

**Revitalising Historic Buildings
Through Partnership Scheme**

Old Tai Po Police Station

Resource Kit



Table of Contents

- I. Introduction**

- II. Historical Background and Architectural Merits**
 - 2.1 Historical Background
 - 2.2 Architectural Merits

- III. Site Information**
 - 3.1 Location
 - 3.2 Site Boundary
 - 3.3 Site Area
 - 3.4 Major Datum Levels

- IV. Building Information**
 - 4.1 Building Description
 - 4.2 Historic Grading
 - 4.3 Schedule of Accommodation
 - 4.4 Materials of Construction
 - 4.5 Internal Circulation
 - 4.6 Major Alterations and Additions
 - 4.7 Preliminary Structural Appraisal
 - 4.8 Building Services and Utilities
 - 4.9 Recurrent Expenditure

- V. Vicinity and Access**
 - 5.1 Immediate Surrounding
 - 5.2 Access

- VI. Conservation Guidelines**
 - 6.1 General Conservation Approach
 - 6.2 Specific Conservation Requirements

VII. Town Planning Issues

VIII. Land and Tree Preservation Issues

8.1 Land Issues

8.2 Tree Issues

IX. Slope Maintenance

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

10.2 Technical Considerations

10.3 Further Information on Possible Uses

List of Appendices

Appendix I	Location Plan
Appendix II	Site Boundary Plan
Appendix III	Datum Levels Plan
Appendix IV	Summary of Site and Building Information
Appendix V	Architectural Drawings
Appendix VI	Photos of Building
Appendix VII	Grading Boundary Plan
Appendix VIII	Recurrent Expenditure
Appendix IX	Plan Showing Immediate Surrounding
Appendix X	Access Plan
Appendix XI	List of Architectural Features to be Preserved
Appendix XII	List of Required Treatment to Architectural Features
Appendix XIII	List of Recommended Treatment to Architectural Features
Appendix XIV	Outline Zoning Plan
Appendix XV	Registered Old and Valuable Trees
Appendix XVI	Slope Features

I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

- Section II Historical Background and Architectural Merits;
- Section III Site Information;
- Section IV Building Information;
- Section V Vicinity and Access;
- Section VI Conservation Guidelines;
- Section VII Town Planning Issues;
- Section VIII Land and Tree Preservation Issues;
- Section IX Slope Maintenance; and
- Section X Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance. The need for preserving the significant architectural features (**Appendix XI** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the buildings; and
- (b) every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or

other less visually prominent locations of the buildings concerned.

- 1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined.
- 1.4 The dimensions, areas and levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorized specialists to verify the dimensions, areas and datum levels before detailed design is to be carried out.
- 1.5 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - “Preliminary Structural Appraisal” is a rough estimate only.
- 1.6 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address: Revitalising Historic Buildings Through Partnership Scheme Secretariat
Room 2150, 21/F, Murray Building, Garden Road, Central
Hong Kong

Email: rhb_enquiry@devb.gov.hk

Phone. 2848 6230

Fax: 2127 4090

II. Historical Background and Architectural Merits

2.1 Historical Background

The Old Tai Po Police Station, constructed in 1899, was the first police headquarters in the New Territories. The importance of the building, however, lies beyond its function as a police headquarters.

After the lease of the New Territories to the Hong Kong British Government in 1898, Tai Po became the administrative centre for the entire New Territories. The Old Tai Po Police Station is said to be located at the site of the British flag raising ceremony which marked the official take-over of the New Territories by Britain.

Apart from the police headquarters constructed in 1899, the Old District Office North, the other critical part of territorial administration, was completed in around 1907. These buildings together with Island House (former residence of District Officers) and the Old Police Bungalow (former residence of Divisional Superintendents of the New Territories) symbolized the power of the colonial administration in the old days.

In 1899, the police headquarters contained 12 rooms besides a kitchen and out offices, providing accommodation for five European and 32 Indian or Chinese constables.

The Main Building is a single-storey bungalow with its structures arranged around a central courtyard. The Staff Quarters Block was to provide accommodation for officers stationed at the police headquarters. The Canteen Block was a much later addition (which was not shown in the 1930s drawings) using new construction method and materials.

The setting of the police station was (and is) notable. Situated at the hilltop of Wan Tau Kok Lane, the site faces Tolo Harbour and enjoys a commanding view of the Tai Po District.

The building was no longer used as a police headquarters after World War II. Since then, it has been used as a police divisional office, a regional crime prevention office for

New Territories North and temporary accommodation and offices for the Marine Police North Division.

It was designated as Grade 2 Historic Building in 1988.

2.2 Architectural Merits

The Old Tai Po Police Station presently comprises the Main Building, the Canteen Block, the Staff Quarters Block (all of which are single-storey) and a large lawn area. The Main Building is of colonial form with features like verandahs, red brick walls, chimneys and pitched roofs. There may be some Chinese influence on the design of the building, especially the roofs.

III. Site Information

3.1 Location

The Old Tai Po Police Station is located at the top of Tai Po Wan Tau Tong Hill. Its address is No.11, Wan Tau Kok Lane, Tai Po, New Territories. The Location Plan is shown at **Appendix I**.

3.2 Site Boundary

The Site Boundary Plan of the Old Tai Po Police Station is shown at **Appendix II**.

3.3 Site Area

The site area is approximately 6,500 sq. metres.

3.4 Major Datum Levels

The major datum level of the site is around +28.5mPD. Major datum levels around the site are shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

The Old Tai Po Police Station consists of three single-storey buildings, namely the Main Building, the Staff Quarters Block and the Canteen Block.

Spacious and flat lawn (much like a playing field) draws the three buildings together – with the Main Building on the east, the Staff Quarters Block on the west and the Canteen Block on the north. In front of the Main Building, which overlooks Tolo Harbour, stands the emblematic flagpole.

The architectural drawings of the Old Tai Po Police Station, which consist of block plan, floor plans, major elevations and sections, are attached at **Appendix V**. Softcopy of the architectural drawings in AutoCAD are stored in a CD-Rom accompanying the application materials.

The photos showing the general appearance and various details of the Old Tai Po Police Station are attached at **Appendix VI**.

4.2 Historic Grading

The Old Tai Po Police Station was designated as a Grade 2 historic building by the Antiquities Advisory Board (AAB) in 1988. “Grade 2 historic building” is defined as “building of special merit. Efforts should be made to selectively preserve.”

The Grading Boundary Plan is shown at **Appendix VII**.

4.3 Schedule of Accommodation

a) Main Building

	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Police Station with Report Room, Superintendent Office, Conference Rooms, Cells, Armoury Back-of-house includes Bathrooms, Toilets, Kitchen and Laundry	1000

b) Canteen Block

	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Canteen and Kitchen	200

c) Staff Quarters Block

	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Dormitories, Pantry and Toilets	100

4.4 Materials of Construction

a) Main Building

Materials	Roof	There are several types of supports for the tiled roof, namely inclined timber battens, timber purlins, steel purlins and steel trusses
	Wall	Brick wall
	Floor	On grade concrete slab (Reinforced concrete slab for raised floor portion, subject to further investigation)
Finishes	Exterior	Plaster and paint
	Interior	Plaster and paint

b) Canteen Block

Materials	Roof	A series of steel trusses on which the purlins rested and support the corrugated metal sheet roof
	Wall	Reinforced concrete columns and wall
	Floor	On grade concrete slab
Finishes	Exterior	Plaster and paint
	Interior	Plaster and paint; ceramic tiles for kitchen

c) Staff Quarters Block

Materials	Roof	Timber purlins with roof tiles for dormitories; flat concrete roof for pantry
	Wall	Brick wall
	Floor	On grade concrete slab
Finishes	Exterior	Plaster and paint
	Interior	Plaster and paint

4.5 Internal Circulation

4.5.1 General Description

The main entrance to the Main Building is located at its east elevation. The entrance leads to an enclosed verandah and the main function room, reporting rooms, officer rooms and cells (all resting on a concrete raised floor). The rooms in the rear portion of the Main Building open to the courtyard, which in turn leads to the expansive lawn. The Staff Quarters Block and Canteen Block are directly accessible from the lawn.

4.5.2 Barrier Free Access

No barrier free access is presently available to the Main Building and the Canteen Block. There is a level difference between the internal rooms and the access corridor in the west (rear) portion of the Main Building. Front portion of the Main Building is also not accessible for persons with a disability. There is also a level difference between the canteen covered walkway and external grounds.

No barrier free access is available to the Staff Quarters Block (and the pantry at the rear) as only steps are provided to connect between buildings and their surrounding external areas.

4.6 Major Alterations and Additions

Since the construction of the Main Building in 1899, various alteration/addition works have been carried out. The Staff Quarters Block, rear portion of the Main Building and the Canteen Block were constructed later but the exact dates are not known.

A floor plan, prepared after a major renovation in 1930s, shows a square plan for the Main Building – and includes the Staff Quarters Block as well as the open lawn between the two buildings as the key activity area for the police constables. The inner courtyard of the Main Building has an open plan with a central covered walkway.

Since the 1930s appears to be the main operational period of the police headquarters, it seems appropriate that the plan at that period should be used as reference for both conservation and adaptive reuse.

Owing to damage to the original roof of the Main Building, all the timber pitched roofs of its front and rear portions were replaced with steel truss and purlins, laid with roof tiles to match the original profile. However, no proper cartographic record of the original timber roof truss was carried out before its demolition.

Other alterations/additions to the Main Building were carried out to cater for its more recent uses as a crime prevention centre and as temporary accommodation for Marine Police North Division. These changes include the addition of toilets, laundry and storage blocks at the courtyard.

4.7 Preliminary Structural Appraisal

4.7.1 Description

The structural system of the three single-storey buildings, i.e. Main Building, Staff Quarters Block and Canteen Block, is probably masonry wall construction with piers at required location. Further investigation should be carried out by the successful applicant if considered necessary. The masonry walls with piers support the vertical loads from roof trusses and lintels. The main parts of existing roofs are sloping, with some minor parts constructed flat. The roof battens are made of timber and most of the purlins are made of steel. All the flat roof buildings and steel purlins are later additions but the dates of their construction are unknown.

The thickness of all the existing walls is roughly 500mm, but this needs to be verified by further investigation by the successful applicant. Slabs with concrete surface are on-ground slabs. The condition of the slabs is good and no serious cracking is found.

4.7.2 Appraisal

Most walls are assumed to be load-bearing walls, which are very important in load transfer. They cannot be removed unless there is assessment, based on structural investigation, that such removal will not compromise the structural integrity of the walls.

Structurally, the roofs of the Main Building are in good conditions. However, if the steel roofs need to be replaced in future, it is recommended that timber construction, based on the roof of the Staff Quarters Block, be used as a reference. If replacement of the roof is carried out, further structural investigation should be carried out for such works.

In general, all the individual buildings of the Old Tai Po Police Station are in good conditions and only minor repair works are needed for non-structural cracks and deteriorated wall finishes.

4.7.3 Loading Assessment

The Main Building was built in 1899, the design of which pre-dated the London County Council (LCC) – 1915. In LCC 1915, 100 lb/sq ft (=4.79 kPa) is specified for floor loading of an office entrance floor.

4.7.4 Recommendations

Further site investigation and some laboratory testing should be carried out by the successful applicant to determine the existing conditions of the buildings, the allowable loading capacity of the floor and other important structural information for the adaptive reuse of the buildings.

4.7.5 Conclusion

- Existing buildings are in good conditions.
- Buildings require only minimal repair work.
- Loading capacity of the ground floor of the Main Building may be assumed to be 4.79 kPa.
- Subject to further investigation confirming that the concrete floor is constructed on grade, the loading capacity of the ground floor can be assumed to take an imposed load of 5.0kPa

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the Old Tai Po Police Station is as follows:

Building Services	Existing Provisions
MVAC Installation	■ Window type room coolers are installed. According to the Conservation Guidelines, they must be removed. New split-type air conditioning to be installed at less obvious locations.

<p>Fire Services Installation</p>	<ul style="list-style-type: none"> ■ No wet fire protection system (i.e., F.H./HR and sprinkler system) is found in the building. ■ Manual fire alarm (MFA), visual fire alarm and automatic fire alarm system (AFA) are found in the building.
<p>Electricity Supply</p>	<ul style="list-style-type: none"> ■ A 300A three phase fused cutout together with CLP meter is installed inside the switch room, which is located next to the verandah at the east façade. ■ A 25KVA genset is installed in the Main Building to serve the essential power supply for the building.
<p>Lift</p>	<ul style="list-style-type: none"> ■ The building is not served with lift or escalator.
<p>Plumbing & Drainage Installation</p>	<ul style="list-style-type: none"> ■ A 25mm diameter potable water supply pipe together with a water meter is installed for the building's potable water supply. ■ The flush water is fed by the roof flush water tank by gravity. ■ The surface water of the site is gathered by storm water down pipe and collected by surface channels and discharged to nearby public channels/culverts. ■ The sewage from relevant toilets is collected by underground pipe work/manholes and discharged to government manholes.
<p>Gas Installation</p>	<ul style="list-style-type: none"> ■ A LPG cylinder store room together with a gas regulator is provided. An underground LPG pipe between the LPG cylinder store and the existing kitchen is provided.

4.9 Recurrent Expenditure

To facilitate the applicants in forecasting their operating expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditures on some common recurrent items including electricity fee, water and sewage charge, and rates and rent regarding the historic buildings at **Appendix VIII**. Please note that the estimated expenditures have been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surrounding

The neighbourhood of the Old Tai Po Police Station includes the Old District Office, (which is a declared monument and is now used as Law Ting Pong Scout Centre), S. K. H. Bishop Mok Sau Tseng Secondary School, Wan Tau Kok Playground and Tai Po Contour Sitting-out Area. They form a network of Government and institutional buildings and public activity grounds.

The Tai Po Egretty located to the east of the site is designated as a Site of Special Scientific Interest (SSSI). It provides an important habitat for egrets and herons. Apart from the Tai Po Egretty, the Tai Po Market Egretty 2008 encroaches partly onto the northern part of the site. From nature conservation point of view, these egrettries should be protected and impact or disturbance arising from the site activities/works to the ardeids in particular during the breeding seasons should be avoided.

The buildings and the egrettries mentioned above are shown at **Appendix IX**.

5.2 Access

5.2.1 Vehicular Access

The only vehicular access road serving the site is Wan Tau Kok Lane, which is a two-way drive leading from Tai Po Kwong Fuk Road. The current vehicular access point to the site is located at Wan Tau Kok Lane. The Access Plan is shown at **Appendix X**. The successful applicant is required to liaise with Leisure and Cultural Services Department and Transport Department at the design stage to see whether the existing vehicular access point needs to be shifted to offer protection to an Old and Valuable Tree (OVT) with Register I.D. LCSD TP/7 as mentioned in paragraph 8.2.

5.2.2 Emergency Vehicular Access (EVA)

The EVA is only up to the entrance gate at Wan Tau Kok Lane and a paved area next to the south façade of the Main Building. Less than 25% of major façade of the buildings can be served by the EVA.

5.2.3 Loading and Unloading Area

No loading/unloading area is currently available within the site. Successful applicant should provide space within the site for loading and unloading of motor vehicles to meet operational requirements to the satisfaction of the Commissioner for Transport.

5.2.4 Parking

There are several public car parking spaces opposite to the site's main entrance gate of the site at Wan Tau Kok Lane. There is no defined parking space within the site. Successful applicant should provide space within the site for parking of motor vehicles to meet operational requirements to the satisfaction of the Commissioner for Transport.

5.2.5 Pedestrian Access

The site can be reached by footpaths from the nearby Wan Tau Kok Playground (to the west of the site leading to Tai Po Market MTR Station) and Tai Po Contour Sitting-out Area (to the east of the site leading to Tai Po Kwong Fuk Road). A pedestrian access point to the site is also available at Wan Tau Kok Lane (next to the vehicular entrance gate).

5.2.6 Barrier Free Access (Site)

There is a ramp of gradient 1 in 8 leading from the pedestrian gate to the main entrance of the Main Building. It is too steep to comply with the requirement of ramps for barrier free access.

The Staff Quarters Block is connected to the open lawn by a flight of steps only and no barrier free access is provided.

5.2.7 Refuse Collection Point

No refuse collection point is available within the site.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance and the allied regulations. On this issue, we would advise:

- (a) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance. The need for preserving the significant architectural features (**Appendix XI** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the buildings; and
- (b) every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and

¹ “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation. However, there is no restriction on the type/design of temporary signage, e.g. banners, displays, etc., provided that the number of such signs is not excessive.

6.1.3 For the restoration works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicant to refer to the full requirements imposed by relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works involving alteration or addition to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with surroundings to preserve the historical character of the building(s).
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its (their) surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.

f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought on the proposed upgrading works .
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fitments	If “historic fitment(s)” is/ are identified, it/ they should be preserved, while modern fittings may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the restoration works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 As the renovation works will inevitably cause impact to the historic building, the successful applicant should submit a Heritage Impact Assessment (HIA) to AMO for endorsement and further consultation with the Antiquities Advisory Board is required.

6.1.6 A specialist contractor from the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works" in the "Repair and Restoration of Historic Buildings" category (RRHB specialist contractor) should be engaged to carry out the renovation works, either as a main contractor or a domestic sub-contractor. This RRHB specialist contractor should be responsible for the repair and restoration of the "Architectural Features to be Preserved" as listed in **Appendix XI**. If the RRHB specialist contractor is only engaged as a domestic sub-contractor for carrying out works confined to heritage conservation, the successful applicant should separately engage a main contractor for the remaining works from the Development Bureau's "List of Approved Contractors for Public Works" from the appropriate group according to the estimated value of the works (please see <http://www.devb-wb.gov.hk/> for the list). The main contractor for all building works should also be registered in the relevant Contractor's Register kept by the Building Authority in accordance with the Buildings Ordinance (Cap 123). All other domestic sub-contractors for the renovation works should also be engaged from the relevant categories in Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works". The renovation works should be carried out to the satisfaction of AMO.

6.2 Specific Conservation Requirements

6.2.1 The Old Tai Po Police Station comprises the Main Building, the Canteen Block, the Staff Quarters Block and a number of small buildings; all of single storey construction set around a large open grassed garden. The Main Building and the Staff Quarters Block are the most historic buildings and therefore more stringent conservation requirements are imposed on them. Other buildings are considered less historic and more flexibility is given to their conservation treatment.

6.2.2 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix XI**.

- 6.2.3 Some alterations or additions, which are inappropriate from heritage conservation angle, have been carried out to the original buildings over the years. It is recommended that these alterations or additions should be removed where possible and the building fabric restored and reinstated to reveal the full cultural significance of the Old Tai Po Police Station. Please refer to **Appendices XII and XIII** for the required and recommended conservation treatment respectively.
- 6.2.4 Every effort should be made to carry out all “required treatment” set out at **Appendix XII** of the Conservation Guidelines. If compliance with the “required treatment” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XIII** of the Conservation Guidelines set out some “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The Old Tai Po Police Station site is zoned “Government, Institution or Community” (“G/IC”) on the Tai Po Outline Zoning Plan (OZP) No. S/TP/21. The full set of the OZP including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the “G/IC” zone are shown at **Appendix XIV**.

The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of Government, organizations providing social services to meet community needs, and other institutional establishments.

The Notes for the “G/IC” zone (**Appendix XIV**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2” uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from the Sha Tin, Tai Po & North District Planning Office of the Planning Department at 13/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories (Tel: 2158 6274).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site currently rests on Government land. A Site Boundary Plan is shown at **Appendix II**.

8.2 Tree Issues

According to the Register of Old and Valuable Trees (OVT) by the Leisure and Cultural Services Department (LCSD), there are three valuable trees within and adjacent to the Old Tai Po Police Station. Their information and the current maintenance parties are summarized below:

Tree 1:

Register ID	Location	Common Name	Characteristics	Maintenance Party
LCSD TP/5	Within site; south slope	Chinese Banyan	Large size	LCSD

Tree 2:

Register ID	Location	Common Name	Characteristics	Maintenance Party
LCSD TP/6	Within site; next to foot path at site entrance	Camphor	Large size	LCSD

Tree 3:

Register ID	Location	Common Name	Characteristics	Maintenance Party
LCSD TP/7	Outside site; next to entrance gate	Lemon-scented Gum	Large size	LCSD

Detailed information on the above OVT is given at **Appendix XV**.

The successful applicant should be responsible for the maintenance of all trees falling within the site boundary of this revitalization project. In particular, the successful applicant shall preserve and shall not fell, remove or interfere with the OVT with Register I.D. LCSD TP/5 and LCSD TP/6 and shall at his own expense and in all respects to the satisfaction of the District Lands Officer (DLO) keep and maintain the said trees in a healthy condition throughout the term agreed to be granted.

Apart from the three OVT listed in the table above, in general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the DLO or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

Save with the prior written consent of the DLO, no building or structure or support for any building or structure may be erected or constructed on, over, above, under, below or within the designated area for each OVT.

The successful applicant should also be responsible for the horticultural maintenance of vegetation within the site boundary of this revitalisation project.

IX. Slope Maintenance

According to information of the Lands Department, there are three registered slope features near the Old Tai Po Police Station. Their information is summarized below:

Slope Feature 1:

Slope Number	Location	Responsible Party	Maintenance Agent
7NW-B/C466	Adjoining Kwong Fuk Road to the north of GLA-TP64	Highways Department	Highways Department

Slope Feature 2:

Slope Number	Location	Responsible Party	Maintenance Agent
7NW-B/C467	Adjoining Wan Tau Kok Lane opposite DD6 Lot 1914	Highways Department	Highways Department

Slope Feature 3:

Slope Number	Location	Responsible Party	Maintenance Agent
7NW-B/C468	Adjoining Wan Tau Kok Lane and the west slope of Old Tai Po Police Station	Highways Department	Highways Department

Detailed information of the above slope features is attached at **Appendix XVI**.

It is the responsibility of Government to maintain the slope features listed above. However, the successful applicant shall allow access for Government to carry out necessary inspection, maintenance, repair and upgrading works to the slope features falling within or in the vicinity of the site.

Should the successful applicant's proposal for adaptive re-use of the site affect any existing slope feature, the successful applicant should carry out the corresponding slope studies and works, including slope upgrading works, and maintain the slope feature. The successful applicant or its consultant should also review whether it is necessary to carry out a geotechnical assessment in accordance with Practice Note for Authorized Persons and Registered Structural Engineers 78.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Educational Institute;
- (b) Arts and Cultural Village;
- (c) Youth Hostel; and
- (d) Holiday Camp.

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider are most suitable for the building.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

Requirements	Remarks
Means of Escape	Widening the existing doors and corridors, changing the swing of existing doors and providing additional exits may be required.
Fire Resisting Construction	<ul style="list-style-type: none">▪ In view of the conservation requirements that the existing tiled roof supported on timber and steel members have to be preserved and no covering up is allowed, fire engineering study may be required to demonstrate that current fire safety requirements are satisfied.▪ A recently restored portion in the Main Building consists of a tiled verandah built on timber beams and columns. The timber structure should comply

	with current statutory requirements, in particular safety in the case of fire by fire engineering study or making reference to then prevailing Building Construction Regulations.
Means of Access for Firefighting and Rescue	Compensatory measures may be required for deficient EVA.
Barrier Free Access and Facilities	Various provisions for barrier free access, such as ramps and lifting platform may be required. Existing ramps may be modified to comply with the current requirements.
Protection against Falling from Height	Addition of new parapet and/or upgrading the existing balustrades or parapets may be required.
Structural Adequacy	<ul style="list-style-type: none"> ▪ Structural appraisal is required to ensure stability of the buildings and their elements, including the roofs and any internal structures such as false ceiling. ▪ Strengthening and repair may be required depending on the findings of structural appraisal and the proposed use. ▪ While the buildings are basically single storey, load bearing capacity of the ground floor can be investigated.
Fire Services Installation Requirements	Various fire services installations and equipment, such as automatic sprinklers systems are required to comply with the Code of Practice for Minimum Fire Services Installations and Equipment.
Natural Lighting and Ventilation	Compensatory measures may be required for any deficiencies.
Provision of Sanitary Fitments	In the provision of sanitary fitments to the old buildings, the possible effect of pipe laying to the building and foundation should be considered.

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

(a) Heritage Conservation

AMO has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as educational institute and arts and cultural village (likely to be a kind of Place of Recreation, Sports or Culture) are under Column 1 of the Notes of the “G/IC” zone of the OZP in which uses are always permitted. Uses as youth hostel (as a kind of Residential Institution) and holiday camp are under Column 2 in which case approval from the TPB is required.

(c) Emergency Vehicular Access

The existing emergency vehicular access (EVA) to the building is inadequate. However, the inadequacy of EVA can be compensated by provision of fast response type sprinkler heads and direct line to Fire Services Communication Centre to the satisfaction of Fire Services Department.

(d) Licensing

- (i) If the building is to be used as an educational institute, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a ‘school’ under the Education Ordinance. If affirmative, the successful applicant shall make an application for registration of a school to the Permanent Secretary for Education under the Education Bureau (EDB). Relevant information on registration procedures and forms can be downloaded from the website of EDB (<http://www.edb.gov.hk>).

- (ii) If the building is to be used as an arts and cultural village, a youth hostel or a holiday camp, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a “hotel” or “guesthouse” under the Hotel and Guesthouse Accommodation Ordinance. If affirmative, the successful applicant shall be required to obtain a licence from the Office of the Licensing Authority under the Home Affairs Department (HAD).

Relevant information can be obtained from the website of HAD (http://www.had.gov.hk/en/public_services/licensing/office.htm)

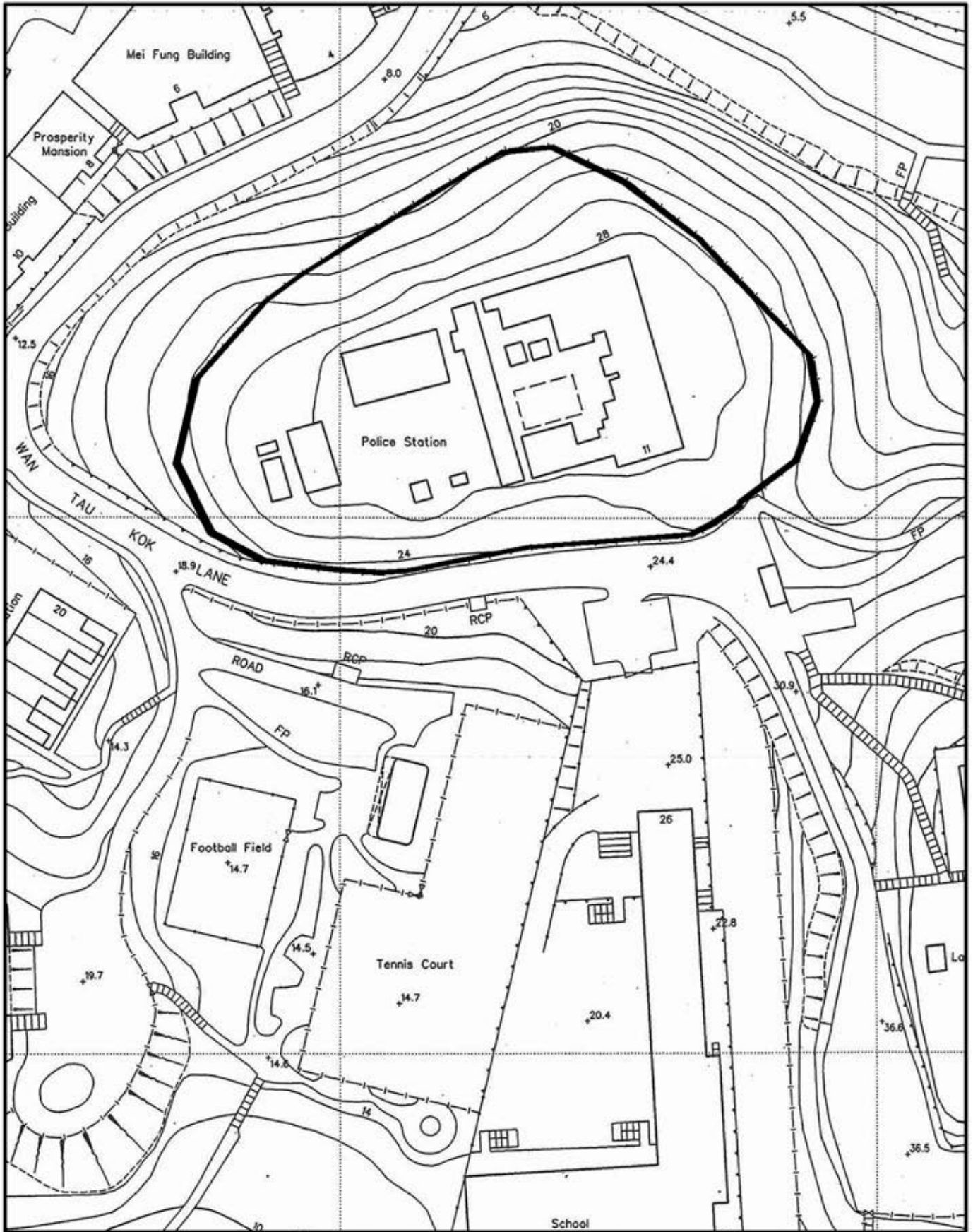
(e) Structural Limitation

The required loading capacities for the possible uses are listed in the table below. For required loading capacities for other specific uses of possible adaptive re-use not mentioned in this table, reference should be made to the Building (Construction) Regulations (B(C)R).

Possible Adaptive re-use	Required Loading Capacities (kPa)	B (C) R Class No.	Specific Usage as described in B (C) R
(i) Educational Institute	3.0	3	Classrooms and offices
(ii) Arts and Cultural Village	5.0	5	Galleries, assembly areas without fixed seating
(iii) Youth Hostel and Holiday Camp	2.0	1	Dormitory, bedroom and private sitting room
	3.0	3	Recreational area (no assembly)
	4.0	4	Assembly areas with fixed seating
	5.0	5	Assembly areas without fixed seating

The floors may take the imposed load for all types of adaptive re-uses specified in the table above (i.e. loading capacity of 5.0 kPa) provided that further investigation confirms the floors of these single-storey buildings are built on-grade. Where necessary, the concrete floor can be re-laid on compacted ground, subject to AMO's approval from conservation point of view.

Appendix I
Location Plan



 THE SITE

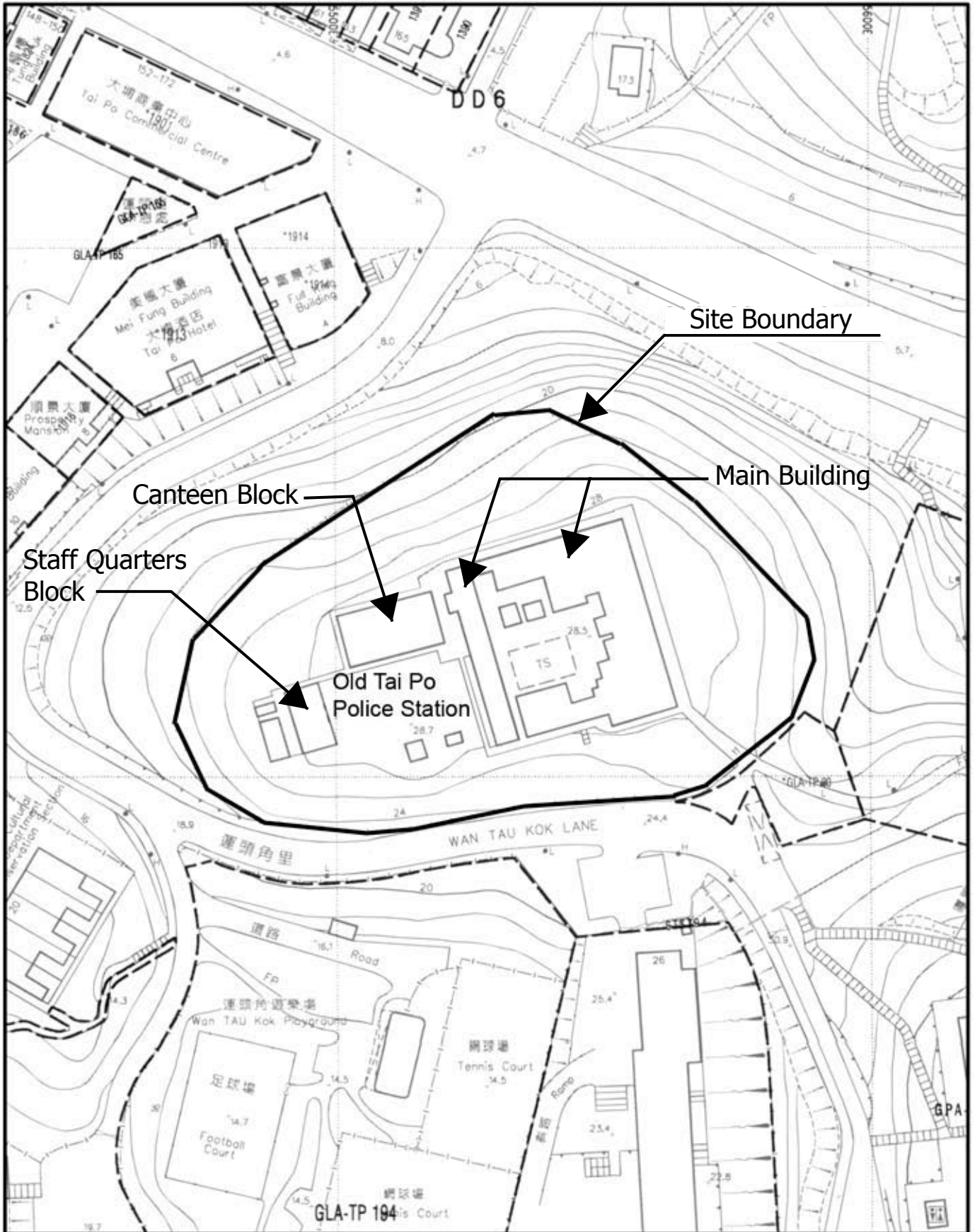
EXTRACT PLAN BASED ON
SURVEY SHEET Nos.
7-NW-9B & D

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX I
LOCATION PLAN
1 : 1000

Appendix II

Site Boundary Plan



SITE BOUNDARY

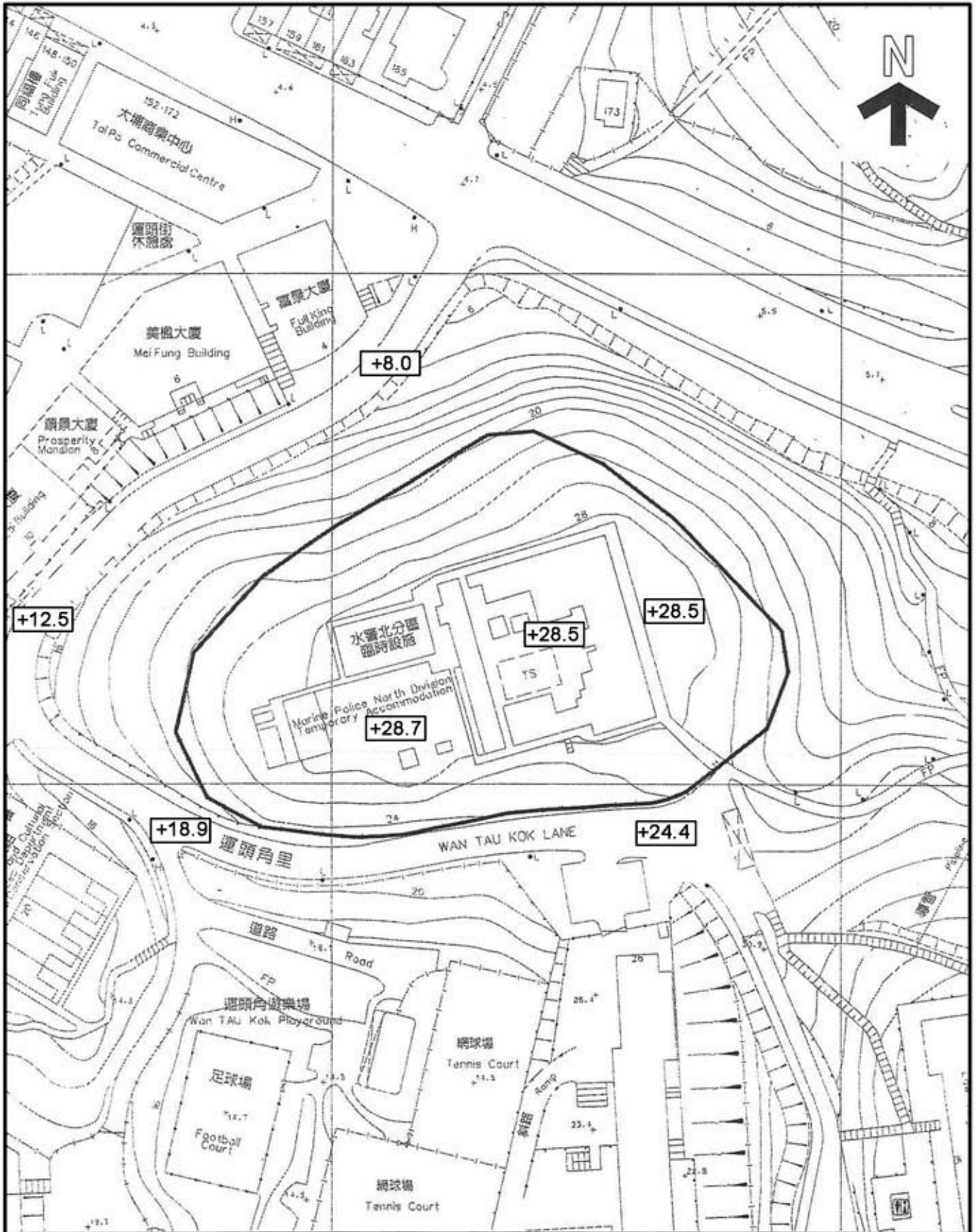
EXTRACT PLAN BASED ON
SURVEY SHEET Nos.
7-NW-9B

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX II
SITE BOUNDARY PLAN
1 : 1000

Appendix III

Datum Levels Plan



 THE SITE

EXTRACT PLAN BASED ON
SURVEY SHEET Nos.
7-NW-9B & D

*LEVELS REFER TO HONG KONG
PRINCIPAL DATUM LEVEL

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:

APPENDIX III

DATUM LEVELS PLAN

1 : 1000

Appendix IV

**Summary of Site and
Building Information**

Summary of site information is listed below:

Building Name	Old Tai Po Police Station
Address	No. 11, Wan Tau Kok Lane, Tai Po, New Territories
Site Area	Approximately 6,500 sq. metres
Major Datum Level	Around +28.5mPD
Zoning Permissible Uses	Government, Institution or Community (G/IC)

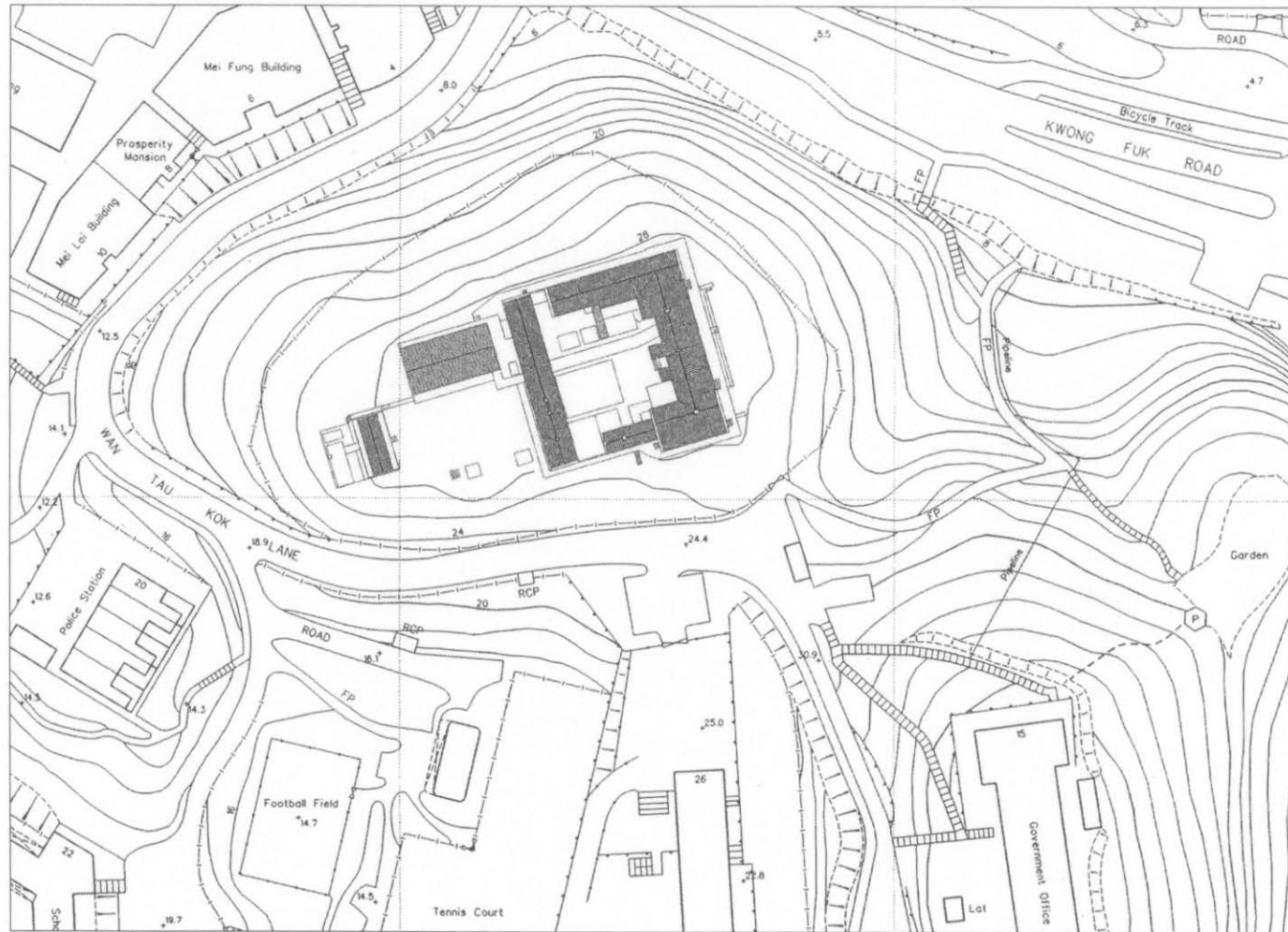
Summary of building information is listed below:

Number of Blocks	Mainly consists of 3 blocks i.e. Main Building, Canteen Block and Staff Quarters Block with a number of small buildings
Year of Completion	1899 for Main Building. Unknown for Staff Quarters Block and Canteen Block
Gross Floor Area	Approximately 1,300 sq. metres (1,000 sq. metres for Main Building 200 sq. metres for Canteen Block and 100 sq. metres for Staff Quarters Block)
Historic Grading	Grade 2
Original Use	Headquarters of Hong Kong Police in the New Territories
Recent Uses	Regional Crime Prevention Office New Territories North and Marine Police North Division temporary accommodation
Schedule of Accommodation	Main Building – Police station with report room and back-of-house area Canteen Block – Canteen and kitchen Staff Quarters Block – Dormitories, pantry and toilets
Materials of Construction	Main Building – on-grade concrete slab and brick walls. Roof supported by inclined timber battens, timber purlins, steel purlins or steel trusses Canteen Block – on-grade concrete slab and reinforced concrete columns & walls. Roof supported by steel trusses and purlins Staff Quarters Block - on-grade concrete slab, brick walls and mainly timber purlins with roof tiles
Internal Circulation	The main entrance to Main Building is located at its east elevation. Canteen Block and Staff Quarters Block are directly accessible from the lawn near the courtyard

Appendix V

Architectural Drawings

Drawing No.	Title
TP-1	Block Plan
TP-2	Ground Floor Plan
TP-3	Roof Plan
TP-4	Elevations
TP-5	Sections



0 10 20 30 40 50
Metres



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

OLD TAI PO POLICE STATION
NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

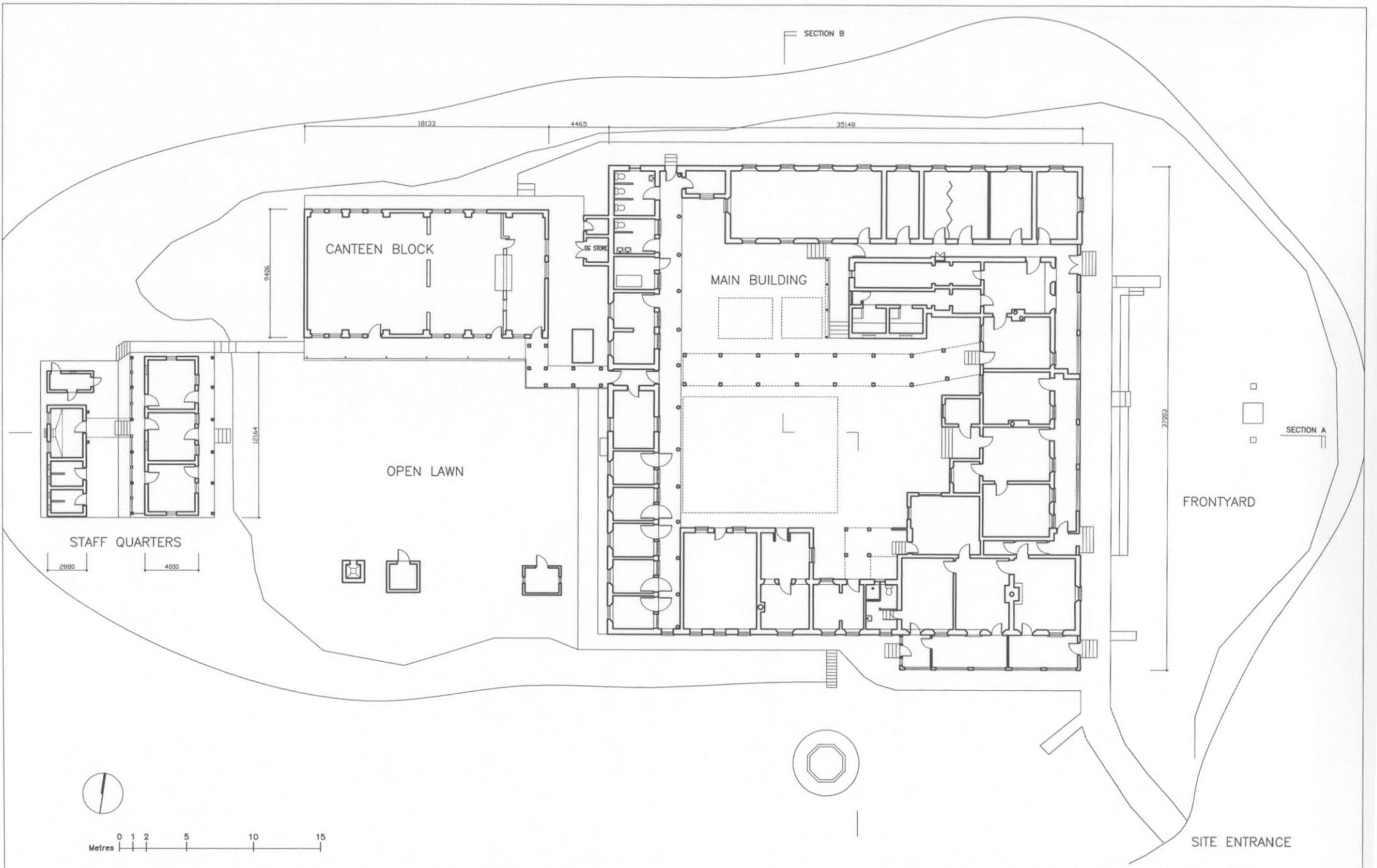
BLOCK PLAN

SCALE:

1 : 1000(A3)

DRAWING NO.:

TP-1



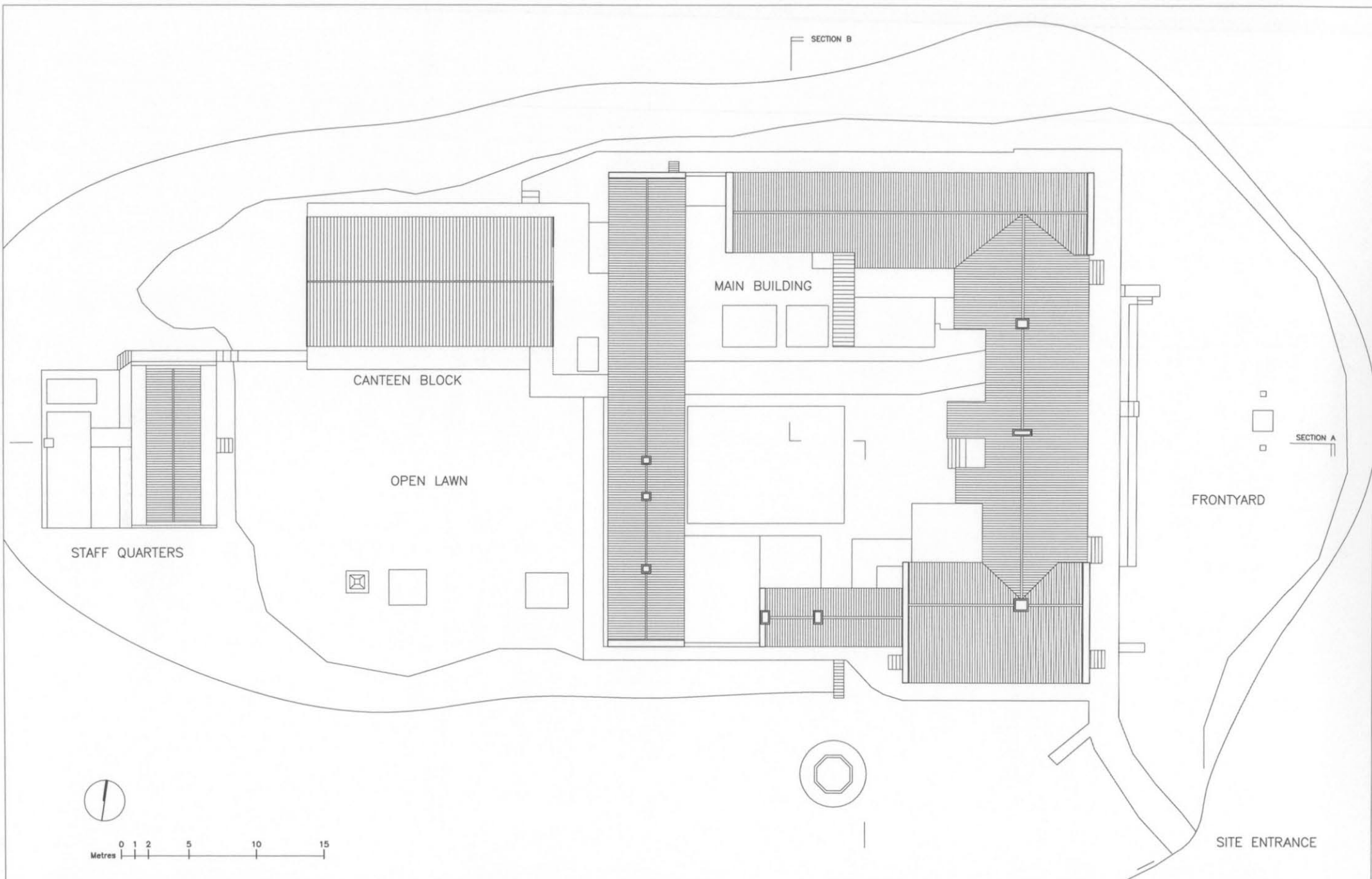
PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
 OLD TAI PO POLICE STATION
 NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:
 GROUND FLOOR PLAN
 SCALE:
 1 : 250(A3) / 1:350(A4)

DRAWING NO.:
TP-2



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

OLD TAI PO POLICE STATION
 NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

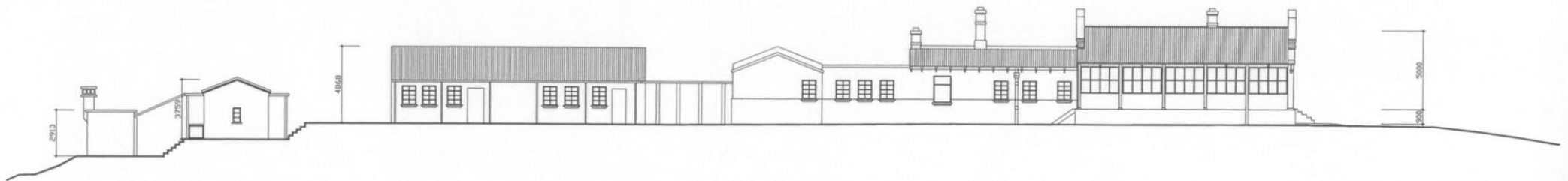
ROOF PLAN

SCALE:

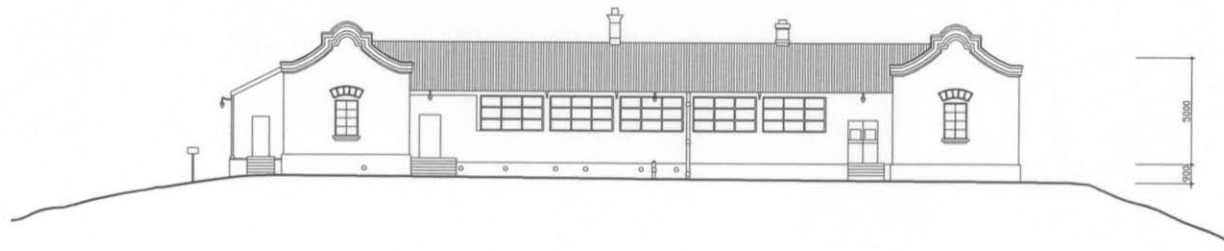
1 : 250(A3) / 1:350(A4)

DRAWING NO.:

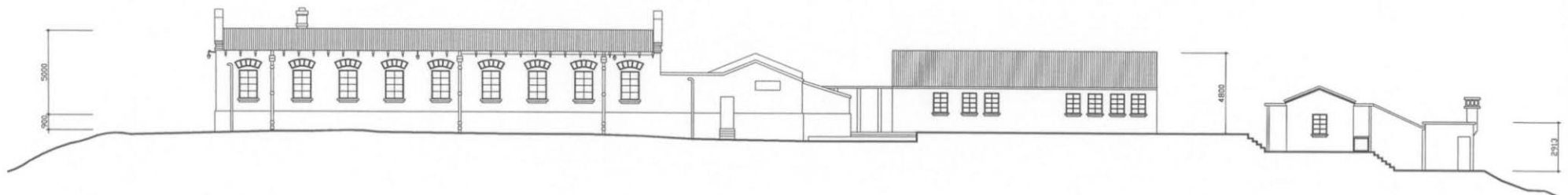
TP-3



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

OLD TAI PO POLICE STATION
NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

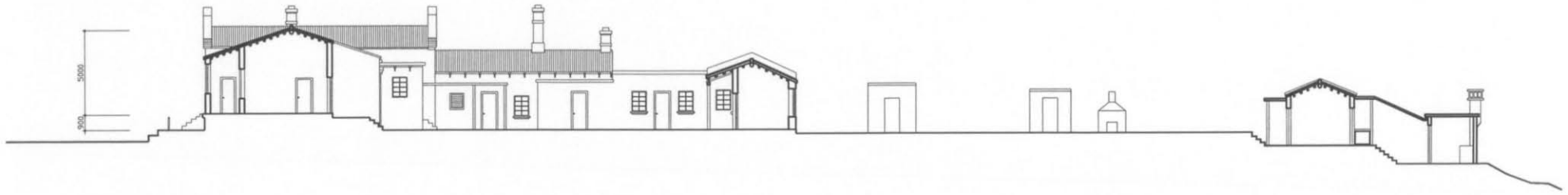
ELEVATIONS

SCALE:

1 : 250(A3) / 1:350(A4)

DRAWING NO.:

TP-4



SECTION A



KEY PLAN (NOT TO SCALE)



SECTION B



NOTES:
The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
OLD TAI PO POLICE STATION
NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:
SECTIONS
SCALE:
1 : 250(A3) / 1:350(A4)

DRAWING NO.:
TP-5



PRODUCED BY:
ACO
Architectural Conservation Office
DATE OF PRODUCTION: 15/12/2007

Appendix VI

Photos of Building



View of cat-arched gable wall at internal courtyard of Main Building



View of corridor at internal courtyard of Main Building



View of internal courtyard of Main Building



View of footway beside Main Building



View of Canteen Block and Staff Quarters Block from open lawn



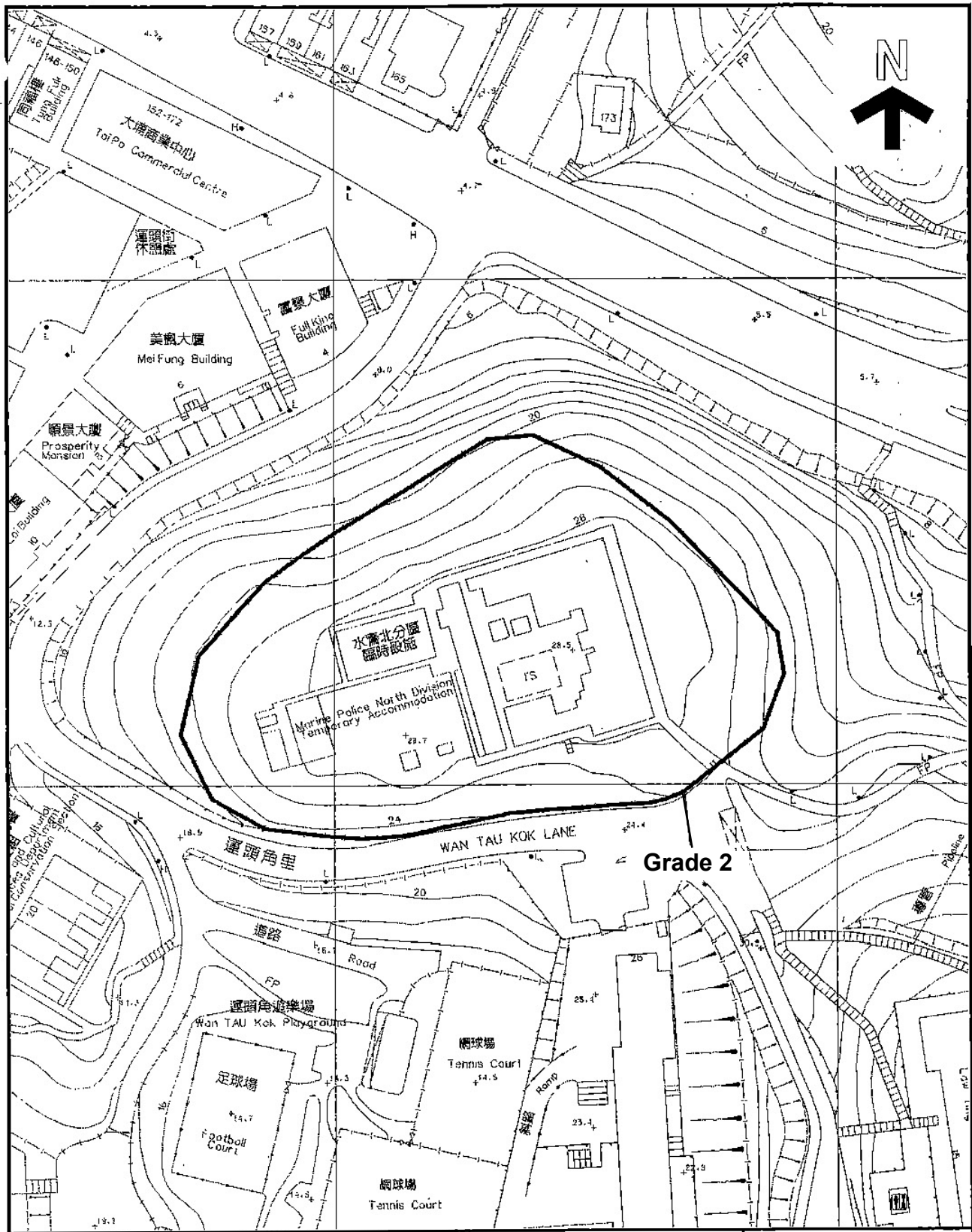
View of Canteen Block



View of Staff Quarters Block

Appendix VII

Grading Boundary Plan



 **GRADING BOUNDARY**

EXTRACT PLAN PREPARED ON 25.10.07
 BASED ON SURVEY SHEET Nos.
 7-NW-0B & D

**OLD TAI PO POLICE STATION
 No. 11 WAN TAU KOK LANE, TAI PO**

**APPENDIX VII
 GRADING BOUNDARY
 PLAN 1 : 1000**

Appendix VIII
Recurrent Expenditure

(A) Electricity Fee

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Energy Consumption Indicator ⁽²⁾ (MJ/m ² /annum) (d)	Energy Consumption per annum (kWh/annum) ⁽³⁾ (e)=(c)x(d)x0.2778	Estimated Electricity Fee(\$) ⁽⁴⁾ per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website ⁽²⁾
Hostel, Holiday Camp, Arts and Cultural Village	1,300	85%	1,105	796	244,347	236,329	Boarding House
Educational Institution				254	77,970	75,442	Primary Schools and Secondary Schools with A/C in Classrooms

Notes:

- (1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 24 hours for boarding houses, 9 hours for schools and offices, 12 hours for shops and café, etc.
- (2) The respective "Energy Consumption Indicators" can be found at http://www.emsd.gov.hk/emsd/eng/pee/ecib_indicators.shtml.
- (3) 1MJ x 0.2778 = 1kWh
- (4) Electricity fee of Kowloon side is based on the tariff charged by China Light & Power Company (CLP), and the fee of Hong Kong side by Hong Kong Electric Holdings Limited (HEH).
CLP: @\$0.858 for first 5,000 units and @\$0.849 thereafter. Fuel clause adjustment charge is @\$0.118.
HEH: @\$0.953 for first 1,500 units, @\$1.046 thereafter. Fuel clause adjustment charge is @\$0.254.
1 Unit = 1 kWh.
The estimated electricity fee is for cost projection in the application only. The actual fee will be subject to the then tariff and actual consumption.

(B) Water and Sewage Charge

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d) = (c) x \$0.3	Estimated Water & Sewage Charge(\$) ⁽²⁾ /annum (e) = (d) x 12
Hostel, Holiday Camp, Arts and Cultural Village	1,300	85%	1,105	663	7,956
Educational Institution				332	3,984

Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is \$0.3 per m².
Based on the above estimate, it is assumed that the use of water per m² of :
Educational Institution, Field Study, Education or Visitor Centre, Gallery = Offices
Hostel, Holiday Camp, Arts and Cultural Village, Activity Centre = Offices x 2
Cafe = Offices x 15
- (2) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate. The actual water and sewage charge will be subject to the then tariff and actual consumption.

(C) Rates and Rent

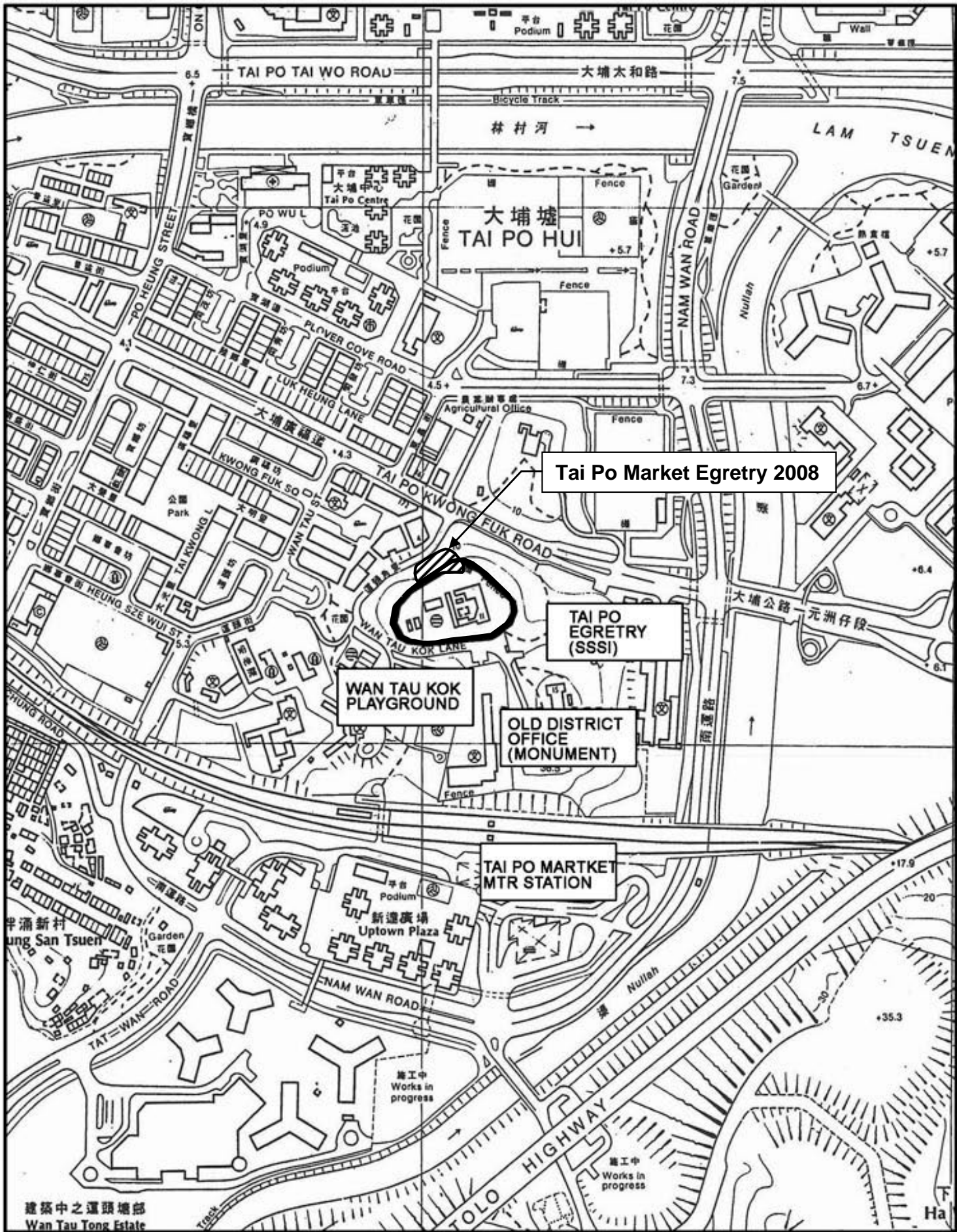
Possible Use(s)	GFA (m²)	Site Area (m²)	Rateable Value ⁽¹⁾ (\$) (a)	Rates/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum (\$) (d) = (b) + (c)
Hostel, Holiday Camp, Arts and Cultural Village	1,300	6,500	660,000	33,000	19,800	52,800
Educational Institution						

Notes:

(1) The rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

Appendix IX

Plan Showing Immediate Surrounding



Tai Po Market Egrety 2008

TAI PO EGRET
(SSSI)

WAN TAU KOK
PLAYGROUND

OLD DISTRICT
OFFICE
(MONUMENT)

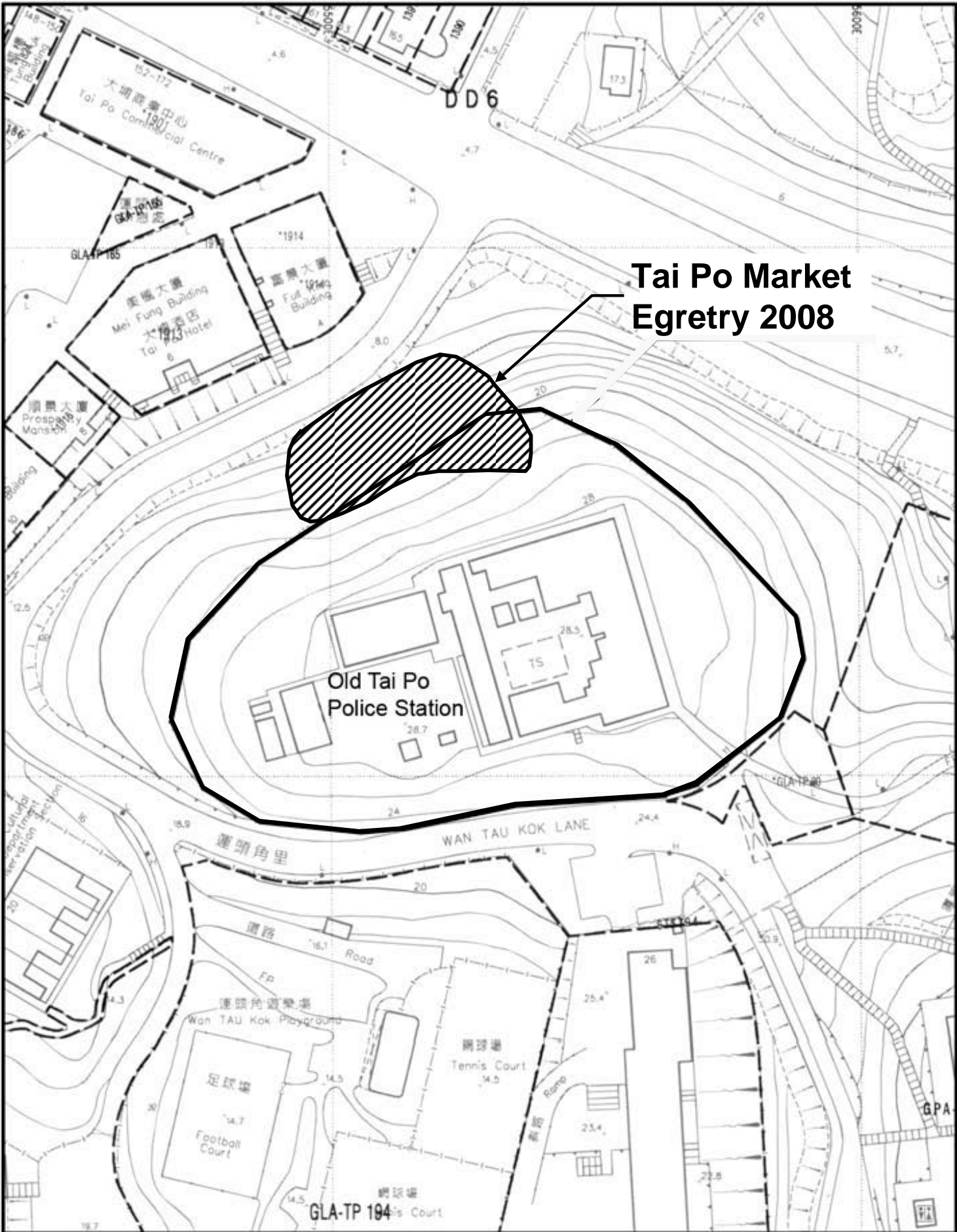
TAI PO MARKET
MTR STATION

建築中之運頭塘部
Wan Tau Tong Estate

 THE SITE

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX IX
IMMEDIATE
SURROUNDING (1/2)



**Tai Po Market
Egretry 2008**

**Old Tai Po
Police Station**

WAN TAU KOK LANE

運頭角里

道路

運頭角遊樂場
Wan TAU Kok Playground

足球場

Football Court

網球場

Tennis Court

網球場

Tennis Court

GLA-TP 194

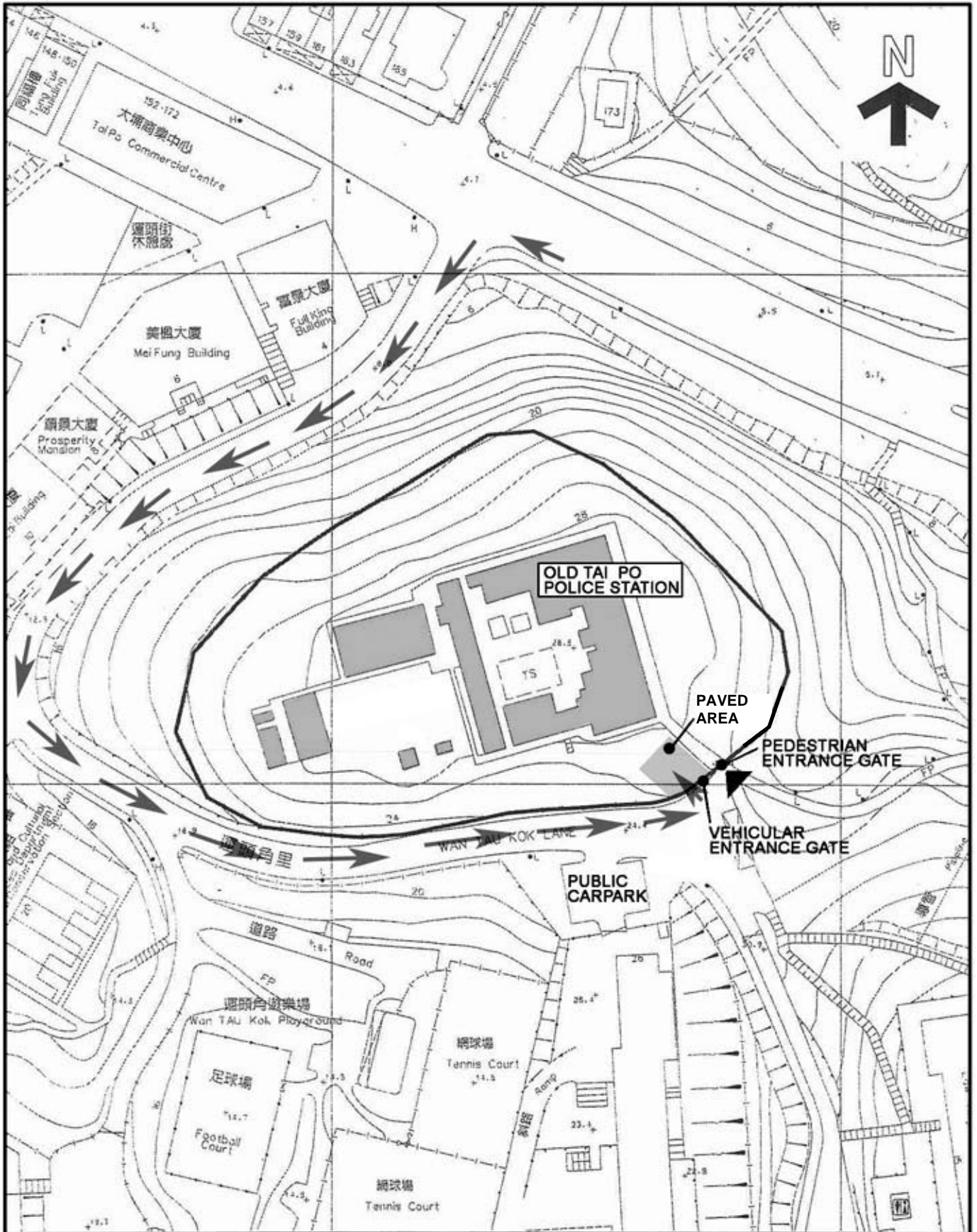
 THE SITE

**OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO**

DRAWING NO.:
**APPENDIX IX
IMMEDIATE
SURROUNDING (2/2)**

Appendix X

Access Plan



- THE SITE
- PEDESTRIAN ACCESS
- VEHICULAR ACCESS

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX X
ACCESS PLAN

Appendix XI

**List of Architectural Features
to be Preserved**

Old Tai Po Police Station
Architectural Features to be Preserved

1. MAIN BUILDING

1.1) Chinese pitched roof with distinctive “Wok Yee” style gable ends and oculus (small round window) to each elevation of the main roofs



1.2) Rendered brick chimney stacks



1.3) Ornamental window arches and window cills, which are presently painted red colour



1.4) Cell Unit, which comprises two cells, security doors, toilet and corridor



1.5) Armoury with gun loading opening



1.6) Fireplaces inside the building



1.7) Verandah to Rear Wing of the Main Building



1.8) Plaster mouldings to gable wall of the roof of the North Wing



1.9) White coloured external plaster finish



1.10) Cast iron drain pipe and hopper head, located outside the Cell Unit at Rear Wing



2. STAFF QUARTERS BLOCK

2.1) Chinese pitched roof, timber truss details and tile works



2.2) Painted external walls with brickwork texture



2.3) Open verandahs along front and rear elevations and the tapered columns



2.4) Toilet/ Kitchen Annex attached to the rear of the building



3. OUTBUILDINGS AND GROUNDS

3.1) Covered walkway attached to the Main Building



3.2) Valuable and mature trees



3.3) Open lawn



3.4) Entrance guard house



3.5) Flagpole and cannon rests at Frontyard (to the east of Main Building)





Appendix XII
List of Required Treatment to
Architectural Features


Old Tai Po Police Station
Required Treatment to Architectural Features


1. MAIN BUILDING

Architectural Feature	Required Treatment
a) Chinese pitched roof	Retain the existing style and form. Remove vegetation and check for any loose roof tiles and replace as necessary.
	


Architectural Feature	Required Treatment
b) Rendered brick chimney stacks (4 nos)	Clean down and repaint to match existing; permanent coating systems are not permitted.
	


Architectural Feature	Required Treatment
c) Ornamental window arches and window cills (presently painted red colour)	Carefully remove the red paint, in order to expose the original brick surfaces of the arches and cills. Window openings should not be enlarged.
	


Architectural Feature	Required Treatment
d) Window mounted air conditioning units	Remove air conditioners and make-good window frames where disturbed. Where new air-conditioning units are required they should be provided in less obvious locations or by discrete split-unit type.
	


Architectural Feature	Required Treatment
<p>e) Original open verandah at front elevations (East)</p>	<p>The old verandah has been modernized by addition of modern metal windows and brick enclosures, so there is no objection to the removal of the windows or to re-instating the original open-air nature of the verandahs. If re-instate, the balustrade should be reconstructed and original windows along verandah should be reconstructed with reference to the Staff Quarters.</p>
	


Architectural Feature	Required Treatment
<p>f) Cell Unit inside the building comprising two cells, toilet and corridor</p>	<p>Cell Unit can be re-used but its layout should be retained unaltered for heritage preservation purposes. It should be cleaned and maintained as required.</p>
	

Architectural Feature	Required Treatment
g) Armoury	To be re-used, cleaned and maintained. The metal door and the opening for gun loading should retain unaltered.
	


Architectural Feature	Required Treatment
h) Fireplaces inside the building	All fireplaces to be retained in-situ. They should be opened up if blocked and restored with same materials.
	


Architectural Feature	Required Treatment
i) Cast iron drain pipe and hopper head, located outside the Cell Unit at Rear Wing.	To remove vegetation in the pipes to prevent blockage of drains that may cause water entering into the walls
	

Architectural Feature	Required Treatment
j) Beams, truss system and roof	To install termite monitoring system to all timber areas. The roof structure using steel truss and purlins should be removed and replaced by timber roof system. Reference should be made to the roof construction at the Staff Quarters.
	


Architectural Feature	Required Treatment
k) Internal walls	No or minimum openings to load-bearing walls should be carried out unless with approval from AMO.
	

Architectural Feature	Required Treatment
l) Toilets	If functionally not required take down cubicle partitions, remove fittings and fitment and plumbing make good walls, floors and seal off drains.
	


Architectural Feature	Required Treatment
m) Ceilings	Remove suspended ceiling to check roof leakage. No objection to reinstating them if necessary.
	


Architectural Feature	Required Treatment
n) Covered walkway attached to the Main Building	This appears to be an original structure that should be retained in-situ, repaired and repainted as necessary. However, modern additions should be removed.
	

2. STAFF QUARTERS BLOCK



Architectural Feature	Required Treatment
a) Chinese pitched roof	The pitched roof style and form should be retained. Remove vegetation and check for any loose roof tiles and replace as necessary.
	

Architectural Feature	Required Treatment
b) Open verandahs along front and rear elevations	Repair concrete posts and retain the open verandahs. Repair and upgrade railings at the rear elevation as necessary.
	


Architectural Feature	Required Treatment
c) Windows	Remove existing wall mounted air conditioning units and make-good to brickwork. Any replacement air-conditioning units required should be provided in less obvious locations (e.g. at rear of building)
	


Architectural Feature	Required Treatment
d) Toilet/ Kitchen Annex attached to the rear of the building	Repair these small buildings, which are part of the original complex. Clean down and repaint by reversible paints.
	


3. CANTEEN BLOCK


Architectural Feature	Required Treatment
<p>a) This single storey block is considered less historic, however the open verandah must be retained in order to harmonize with the overall style of the remainder of buildings on-site.</p>	<p>There is no objection, on heritage grounds to major internal changes, providing the structural stability of the building is not affected. The modern corrugated roof may be replaced if necessary by a more compatible roof covering. The proposed external redecoration should also be in keeping with the historic appearance of the site. Kitchen facilities may be stripped out if not required; walls and floor surface should be made good.</p>
	


4. COURTYARD & EXTERNAL AREAS

Architectural Feature	Required Treatment
<p>a) Trees and shrubs</p>	<p>Undertake a horticultural survey of the existing trees and shrubs on the site, as some may be of special interest. Valuable or mature trees must be preserved.</p>
	

Architectural Feature	Required Treatment
b) Post fencing along the footpath leading to the site	Repair and replace defective bars and posts where necessary. However, no objection to replacing by new fence if necessary.
	

Architectural Feature	Required Treatment
c) Frontyard and open lawn	Frontyard and open lawn should be neatly designed. The vista from main façade (east façade) towards Tolo Harbour should be reinstated by removal of over-grown climbing plants at the frontyard
	

Architectural Feature	Required Treatment
d) Entrance guard post	Repaint and maintain
	


Architectural Feature	Required Treatment
e) Flagpole and Cannon rests	The flagpole at frontyard should be retained and maintained. The two rests for original cannons should be retained.
	

Appendix XIII

**List of Recommended Treatment to
Architectural Features**

Old Tai Po Police Station
Recommended Treatment to Architectural Features


1. MAIN BUILDING

Architectural Feature	Required Treatment
a) Window frames	It is recommended that all external windows be reconstructed with timber frames in order to reveal the historic outlook of the building. Design can be referred to design of the same period. Good reference can be made to the Staff Quarters.
	


Architectural Feature	Required Treatment
b) Three small brick Store Units, attached to the main rear wall, used for LPG dangerous goods and storage.	These are modern structures and recommended to be demolished if not required.
	

Architectural Feature	Required Treatment
c) Verandah along Rear Wing of Main Building	The verandah, timber columns and roof system at the long block along West façade of main building are recommended to be reconstructed with timber roof of appropriate size, timber sections, species and details. Reference should be made to the Staff Quarters.
	

2. STAFF QUARTERS BLOCK

Architectural Feature	Required Treatment
a) External painted brick wall	Recommended to remove white paint from face of brickwork to expose original face of red bricks.
	

3. CANTEEN BLOCK

Architectural Feature	Required Treatment
a) Steel canopy structure	Recommended to reconstruct by timber structure similar to that of the Staff Quarters in order to harmonize with the overall style of the remainder of buildings on-site.
	

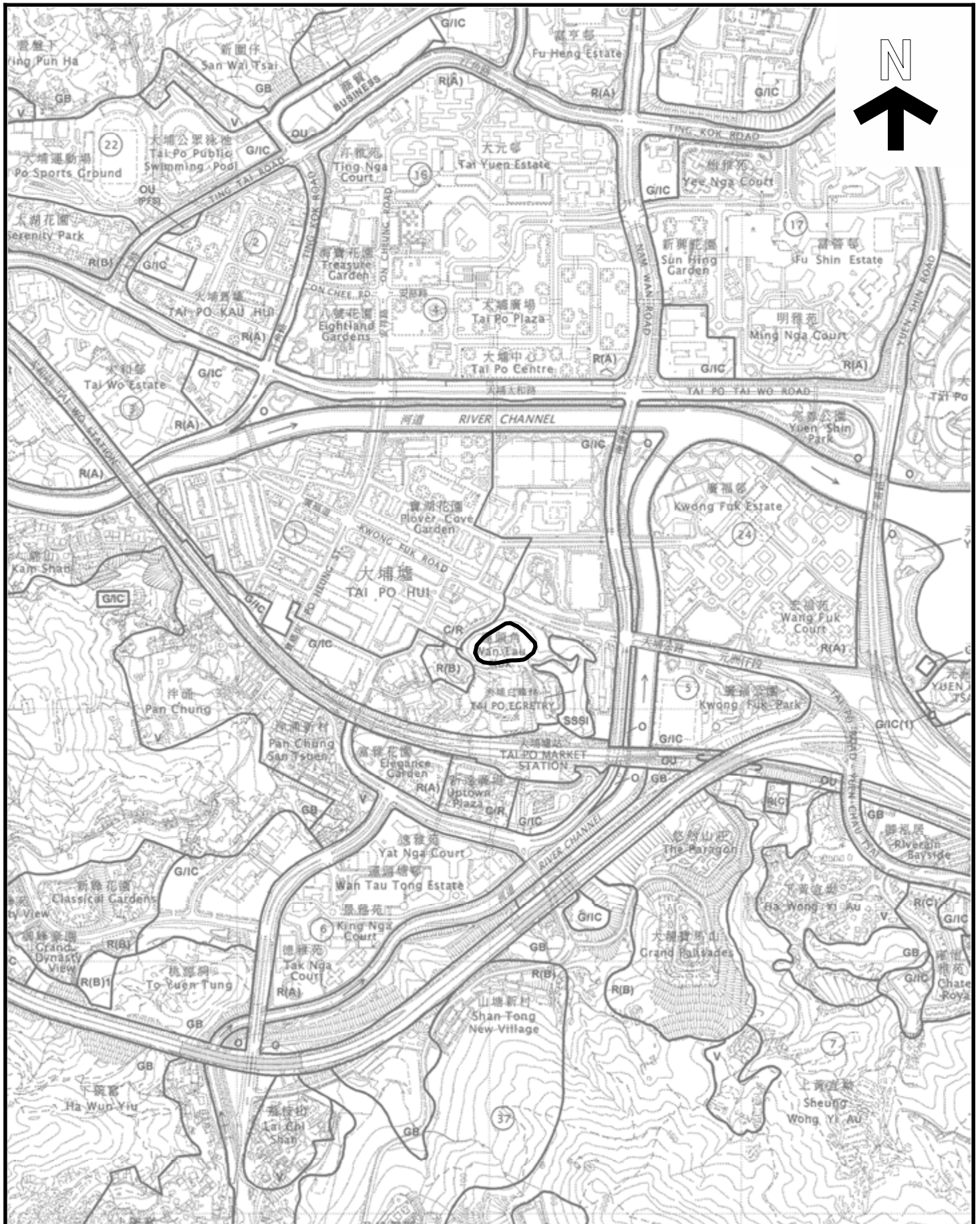
4. OUTBUILDINGS

Architectural Feature	Required Treatment
a) Two small Dangerous Goods Stores	These have no historic interest and recommended to be demolished in order to improve the overall historic appearance of the site.
	

Architectural Feature	Required Treatment
b) Four outbuildings at main building openyard	They have no historic interest and recommended to be demolished in order to improve passage circulation and overall historic appearance of the site



Appendix XIV
Outline Zoning Plan



 THE SITE

EXTRACT PLAN PREPARED ON 14.05.09
 BASED ON OUTLINE ZONING PLAN No.
 S/TP/21 APPROVED ON 13.01.09

**OLD TAI PO POLICE STATION
 No.11 WAN TAU KOK LANE, TAI PO**

DRAWING No.:
APPENDIX XIV
 OUTLINE ZONING PLAN

GOVERNMENT, INSTITUTION OR COMMUNITY

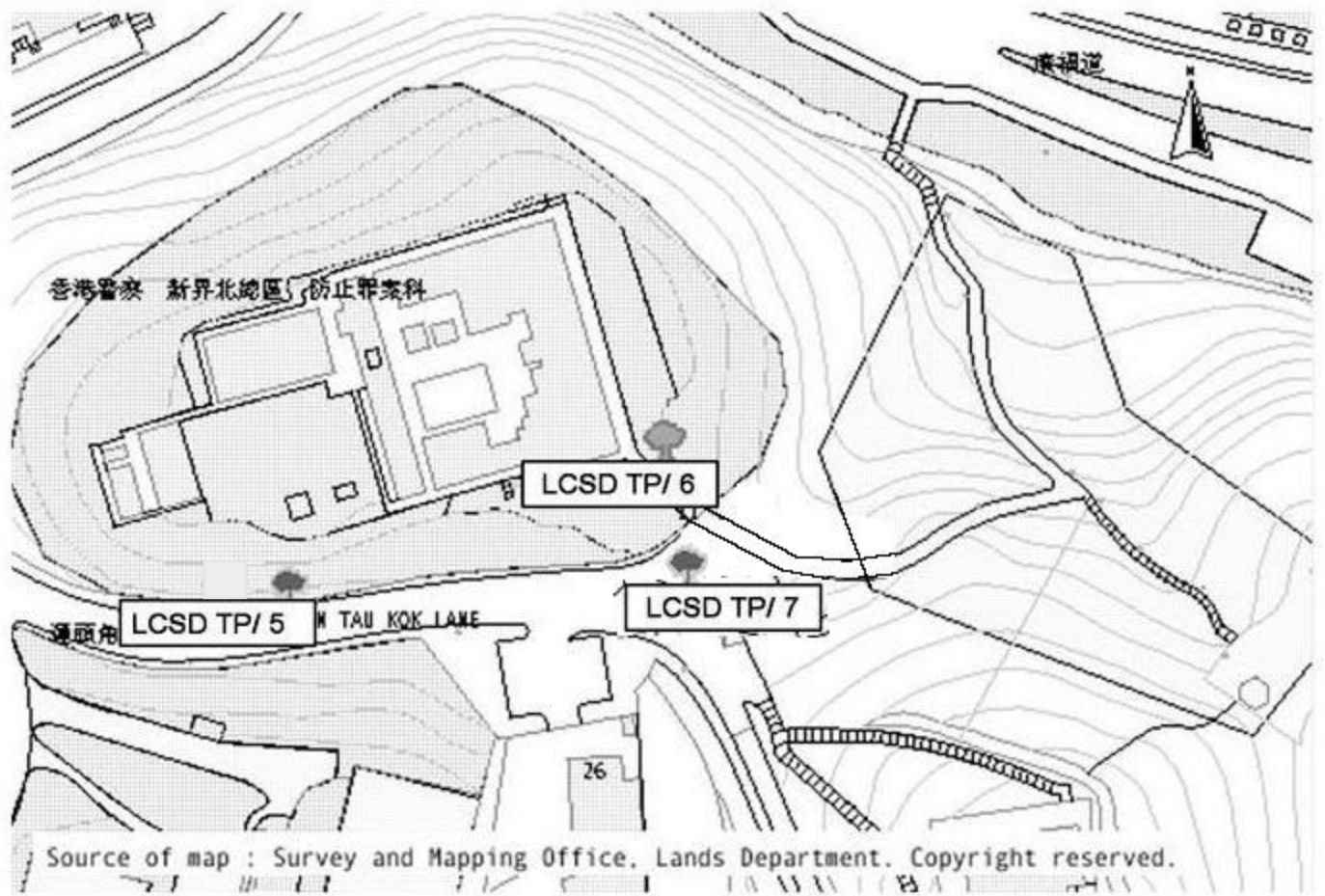
Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Cable Car Route and Terminal Building Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Pier Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre Rural Committee/Village Office School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Columbarium Correctional Institution Crematorium Driving School Eating Place (not elsewhere specified) Flat Funeral Facility Holiday Camp Hotel House Marine Fuelling Station Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

Appendix XV

Registered Old and Valuable Trees



OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING No.:
APPENDIX XV
Registered Old and
Valuable Trees (1/4)

Old and Valuable Tree Information



General Information

Registration No.: LCSD TP/5
Registration Date: 8 Sep, 2004
Maintenance: LCSD
Department:
District: Tai Po
Location: Tai Po Old Police Station



Special Characteristic

Large size

Tree Detail

Botanical Name: Ficus microcarpa
Common Name: Chinese Banyan
Chinese Name: 細葉榕
DBH: 1280 (mm)
(i.e. Trunk diameter
measured at 1.3m
above ground level)
Height: 15 (m)
Crown Spread: 25 (m)
Estimated Age: - (Years)

OLD TAI PO POLICE STATION

No.11 WAN TAU KOK LANE, TAI PO

DRAWING No.:

APPENDIX XV

Registered Old and
Valuable Trees (2/4)

Old and Valuable Tree Information



General Information

Registration No.: LCSD TP/6
Registration Date: 8 Sep, 2004
Maintenance: LCSD
Department:
District: Tai Po
Location: Tai Po Old Police Station



Special Characteristic

Large size

Tree Detail

Botanical Name: Cinnamomum camphora
Common Name: Camphor Tree
Chinese Name: 樟樹
DBH: 1030 (mm)
(i.e. Trunk diameter measured at 1.3m above ground level)
Height: 16 (m)
Crown Spread: 22 (m)
Estimated Age: - (Years)

OLD TAI PO POLICE STATION

No.11 WAN TAU KOK LANE, TAI PO

DRAWING No.:

APPENDIX XV

Registered Old and Valuable Trees (3/4)

Old and Valuable Tree Information



General Information

Registration No.: LCSD TP/7
Registration Date: 8 Sep, 2004
Maintenance: LCSD
Department:
District: Tai Po
Location: Wan Tau Kok Lane



Special Characteristic

Large size

Tree Detail

Botanical Name: Eucalyptus citriodora
Common Name: Lemon-scented Gum
Chinese Name: 檸檬桉
DBH: 1000 (mm)
(i.e. Trunk diameter
measured at 1.3m
above ground level)
Height: 24 (m)
Crown Spread: 14 (m)
Estimated Age: - (Years)

OLD TAI PO POLICE STATION

No.11 WAN TAU KOK LANE, TAI PO

DRAWING No.:

APPENDIX XV

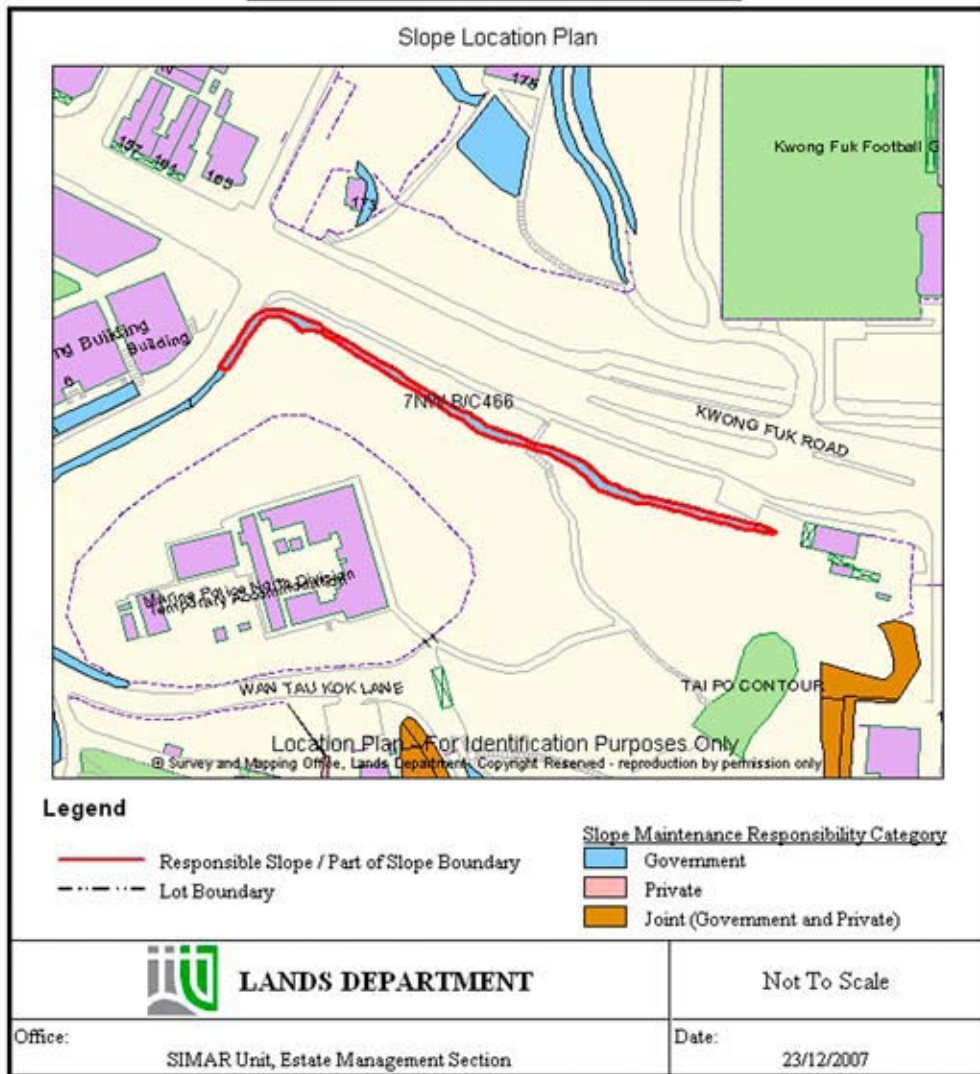
Registered Old and
Valuable Trees (4/4)

Appendix XVI

Slope Fearutes

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
7NW-B/C466

IASMP01001

SIMAR REGISTER

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
7NW-B/C466		ADJOINING KWONG FUK RD TO THE N OF GLA-TP64	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

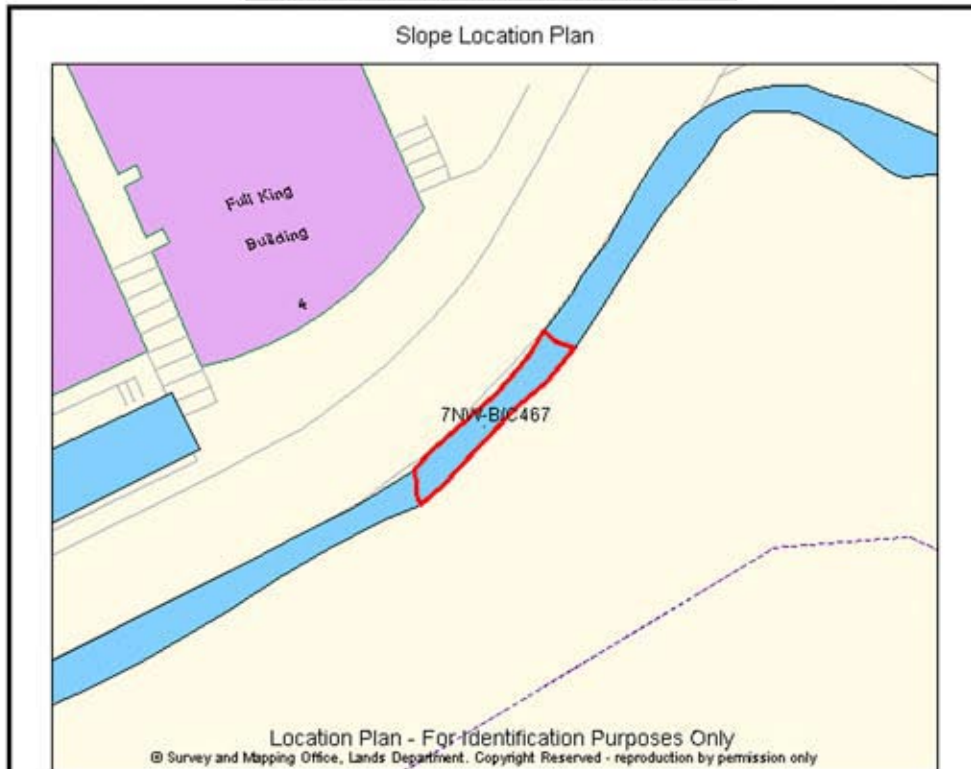
* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX XVI
SLOPE FEATURES
(2/4)

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Legend

- Responsible Slope / Part of Slope Boundary
- Lot Boundary

Slope Maintenance Responsibility Category

- Government
- Private
- Joint (Government and Private)

LANDS DEPARTMENT	Not To Scale
Office: SIMAR Unit, Estate Management Section	Date: 23/12/2007

Slope Number

7NW-B/C467

IASMP01001

SIMAR REGISTER

23/12/2007 06:48 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
7NW-B/C467		ADJOINING WAN TAU KOK LANE OPPOSITE DD6 LOT1914	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

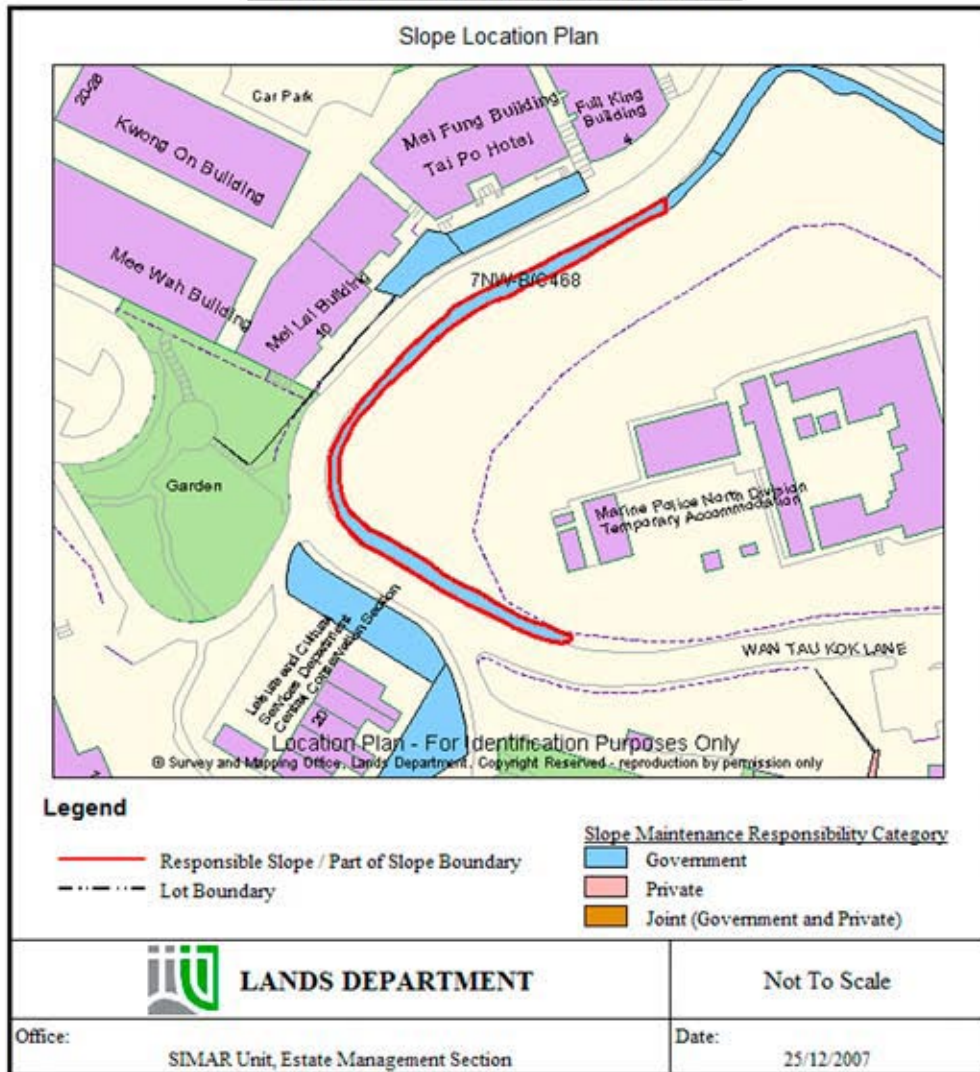
* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

**OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO**

DRAWING NO.:
**APPENDIX XVI
SLOPE FEATURES
(3/4)**

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number

7NW-B/C468

IASMP01001

SIMAR REGISTER

25/12/2007 12:52 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
7NW-B/C468		ADJOINING WAN TAU KOK LANE TO THE W OF POLICE STATION	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

OLD TAI PO POLICE STATION
No.11 WAN TAU KOK LANE, TAI PO

DRAWING NO.:
APPENDIX XVI
SLOPE FEATURES
(4/4)