

# **Revitalising Historic Buildings Through Partnership Scheme**

## **Bridges Street Market**

### **Resource Kit**



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## **I. Introduction**

**1.1** The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land Issues;
Section IX	Slope Maintenance;
Section X	Technical Compliance for Possible Uses; and
Section XI	Special Requirements of the Project.

**1.2** In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the Conservation Guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (I) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under Buildings Ordinance (Cap. 123). The need for preserving the significant architectural features (**Appendix X** refers), site constraints and / or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and

(II) every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.

**1.3** We have listed out the technical considerations for adaptive reuse of the Site and the building. Any proposed use should take into consideration of its technical feasibility.

**1.4** The dimensions, areas and datum levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the Site should be carried out by authorised specialists to verify the dimensions, areas and datum levels before detailed design is to be carried out.

**1.5** The information we have provided is meant to be helpful. Applicants are advised to verify it before finalising their proposals.

**1.6** The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address: Commissioner for Heritage's Office,  
Development Bureau,  
19/F West Wing, Central Government Offices,  
2 Tim Mei Avenue, Tamar, Hong Kong  
[The Commissioner for Heritage's Office will move to the new  
Central Government Offices and the above address will be  
effective from 3 January 2012.]

Email: [rhb\\_enquiry@devb.gov.hk](mailto:rhb_enquiry@devb.gov.hk)

Phone: 2848 6230

Fax: 2127 4090

## **II. Historical Background and Architectural Merits**

### **2.1 Historical Background**

The building of Bridges Street Market is located at No. 2 Bridges Street, Central. It was built under the auspices of the Urban Council after World War II to replace the old markets which had been destroyed during Japanese occupation, with a view to meeting the demand of the rising population. It was constructed and commenced operation in 1953, housing 26 stalls for selling fish and poultry on the G/F and 33 stalls on the 1/F mostly selling beef, pork, fruits and vegetables. It was the first of its kind built in Hong Kong's urban areas after World War II. Part of the 1/F was converted into a covered playground in 1969. Two link bridges were also constructed to connect the playground to Wing Lee Street. Bridges Street Market has served the community for almost 60 years and is remembered by local residents.

The Market partly falls on the old Site of American Congregational Mission Preaching Hall (now named as China Congregational Church) where Dr. Sun Yat-sen lived and received baptism. The Mission was founded by an American missionary, C.R. Hager in 1883. Dr. Sun Yat-sen was baptized in the church in the same year and given the name "Yat-sun" (日新), which was later changed to "Yat-sen" (逸仙). He also lived on the third floor of the building in 1884-1886 when he was studying in Central School. In 1901, the church was relocated to No. 68 Bridges Street.

### **2.2 Architectural Merits**

The Market is a three-storey utilitarian building of reinforced concrete frame construction built in the International Modernist style. This style of architecture is generally accepted as originated in Germany by the Bauhaus school of art in the 1920s, and its main characteristics, which can also be found in the Market, were asymmetry, severe blocky cubic shapes, smooth flat plain undecorated surfaces often painted white, the complete elimination of all mouldings and ornament, flat roofs, large expanses of glass held in steel frames on the elevation, and long horizontal streamlined bands of windows. Very free planning was made possible by the adoption of reinforced concrete post-and-slab construction with flat slab floors and a

flat roof-slab carried on concrete columns thus enabling partitions to be erected freely as desired, as they played no part in the structure bearing function of the building.

The front elevation of the Market facing Bridges Street is an asymmetrical composition with the main entrance recessed on the left side flanked by a panel of Shanghai plaster grooved to resemble masonry. Above this panel there is a large grid pattern window which illuminates the internal staircase. The remainder of the elevation is a plain painted rendered wall featuring two horizontal streamlined bands of windows with projected horizontal sun-shading concrete fins. The rear elevation and side elevation are similar to the front elevation in design. A small penthouse on the roof once provided accommodation for a caretaker and coolies. Now it is used as rest room and administration office of the Market.

Internally, the G/F consists of open fronted stalls with white glazed tiled partitions separated by aisles. The upper part of the walls and the beams and ceiling are painted white. A staircase in the corner beside the main entrance leads to the 1/F. There is an entrance with a link bridge at the east elevation to connect the 1/F of the Market to Shing Wong Street. The remaining part of the 1/F is used as a covered playground which is connected to Wing Lee Street by two link bridges.

### **III. Site Information**

#### **3.1 Location**

Bridges Street Market is located at No. 2, Bridges Street, Central, Hong Kong. A Refuse Collection Point (RCP) is located at the junction of Shing Wong Street and Bridges Street. The lane and the link bridges between Bridges Street Market and Wing Lee Street and between Bridges Street Market and the RCP are included in the proposed Site boundary. The Location Plan is shown at **Appendix I**.

#### **3.2 Site Boundary**

The proposed Site Boundary Plan is shown at **Appendix II**.

#### **3.3 Site Area**

The Site area is approximately 640 sq. metres.

#### **3.4 Major Datum Levels**

The major datum level is about +47.5mPD. Detail is shown at **Appendix III**.

A summary of information on the Site is given at **Appendix IV**.



## **IV. Building Information**

### **4.1 Building Description**

The Site includes the following buildings and land:

- Bridges Street Market
- Refuse Collection Point (RCP)
- Two lanes (including the three link bridges) on unallocated Government land

Bridges Street Market was constructed in 1953 as a purpose-built market. It is the original Site of American Congregational Mission Preaching House where Dr. Sun Yat-sen was baptized in 1883. The building was designed in International Modernist style. The G/F is used as market. A significant part at the 1/F of the market hall was altered and renovated as a covered playground while the remaining portion was retained for use as a market hall. The staircase on the 1/F leads to an office on the 2/F, which was once named as “Penthouse”. A cat-ladder provides access from the flat roof on the 2/F to the upper roof.

The Refuse Collection Point (RCP) was constructed along Shing Wong Street in 1987. It is a purpose-built single-storey refuse collection building to serve the neighbourhood. Part of the existing stair was demolished to make way for the RCP.

The lane and the link bridges between Bridges Street Market and Wing Lee Street and between Bridges Street Market and the RCP are situated within the Site boundary. The retaining wall no. 11SW-A/R92 and part of the retaining wall no. 11SW-A/R91 are also located within the Site boundary.

A summary of Site and building information is given at **Appendix IV**.

The architectural drawings of Bridges Street Market and the RCP, consisting of site plan, floor plans, elevations and sections, are attached at **Appendix V(A)**. These drawings are produced based on rough site measurement and require further verification. A soft copy of the drawings in AutoCAD format is stored in a CD-ROM forming part of the application materials distributed to prospective Applicants.

Photos showing Bridges Street Market, the RCP and the surroundings area are shown at **Appendix VI**.

## 4.2 Historic Grading

Bridges Street Market was accorded as Grade 3 historic building by the Antiquities Advisory Board at its meeting on 2 September 2011. There is no historic grading for the RCP.

## 4.3 Schedule of Accommodation

### (a) Bridges Street Market

Floor Level	Present Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Market hall with stalls; Toilets and store room; Switch room	430
1/F	Market hall with stalls;	155
	Covered playground with toilets	275
2/F	Rest Room Administration office; Toilet and pantry	90

### (b) Refuse Collection Point (RCP)

Floor Level	Present Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Refuse collection room	45

## 4.4 Materials of Construction

### (a) Bridges Street Market

Materials		
	Roof	Reinforced concrete
	Wall	Reinforced concrete and brick
	Column	Reinforced concrete
	G/F	Reinforced concrete

	1/F	Reinforced concrete (beam and slab)
	Stairs	Reinforced concrete
Finishes	Exterior	Plaster with paint; Shanghai plaster finish at wall next to main entrance at Bridges Street
Finishes (cont'd)	Interior – G/F	
	Market Hall and toilet	<u>Wall:</u> 1900mm ceramic tile dado and plaster rendered with white paint above dado; <u>Floor:</u> Non-slippery homogeneous floor tiles <u>Ceiling:</u> Plaster rendered with white paint <u>Partition of stalls:</u> Ceramic tiles
	Store room and switch room	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> floor tiles <u>Ceiling:</u> Plaster rendered with white paint
	Staircase from ground floor to 1/F	<u>Floor:</u> Granolithic finishes <u>Balustrade:</u> Terrazzo
	Interior – 1/F	
	Market Hall	<u>Wall:</u> Plaster rendered with white paint; 1900mm terrazzo dado <u>Floor:</u> Fairface cement render <u>Ceiling:</u> Plaster rendered with white paint

Finishes (cont'd)		<u>Partition of stalls:</u> Terrazzo
	Covered Playground	<u>Wall:</u> 2500mm plaster rendered dado with white paint; Paint on brick surface for upper part of dado to ceiling <u>Floor:</u> Cement render with colour additives <u>Ceiling:</u> Plaster rendered with white paint
	Toilets	<u>Wall:</u> ceramic tile <u>Floor:</u> Non-slippery floor tiles <u>Ceiling:</u> Plaster rendered with white paint
	Interior – 2/F	
	Staircase, corridor, pantry and toilet	<u>Wall:</u> Plaster rendered with white paint; Dado in cement render <u>Floor:</u> Cement render <u>Ceiling:</u> Plaster rendered with white paint
	Rest Room and Administration Office	<u>Wall:</u> Plaster rendered with white paint; <u>Floor:</u> Vinyl floor sheets <u>Ceiling:</u> Plaster rendered with white paint
	Toilet in Administration	<u>Wall:</u> ceramic tile

	Office	<u>Floor:</u> Floor tiles <u>Ceiling:</u> Plaster rendered with white paint
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(b) Refuse Collection Point (RCP)

Materials	Roof	Reinforced concrete
	Wall and column	Reinforced concrete
	G/F	Reinforced concrete slab construction
Finishes	Exterior	Mosaic tiles
	Interior	<u>Wall:</u> White ceramic tiles <u>Floor:</u> Cement render <u>Ceiling:</u> Plaster rendered with white paint

(c) Link Bridges

Materials	Link Bridges	Reinforced concrete
	Support	Structural steel
Finishes	Outer face	Plaster with paint
	Inner face and capping of balustrade	Granolithic finish
	Floor	Granolithic finish

## **4.5 Internal Circulation**

### **4.5.1 General Description**

(a) Bridges Street Market

There are two front entrances on the G/F from Bridges Street. There is a rear entrance at the lane on the southern side of the market building (abutting Wing Lee Street). The main entrance is near the RCP. There is a wide staircase connecting the G/F and 1/F and an internal staircase connecting 1/F and 2/F. There is a separate access from Shing Wong Street to the 1/F by a link bridge. The covered playground on the 1/F can be accessed from Wing Lee Street by two link bridges.

(b) Refuse Collection Point

There is a direct access on the G/F from Bridges Street.

### **4.5.2 Barrier Free Access**

(a) Bridges Street Market

Barrier free access is not available due to level difference between the internal space and the external grounds. A sub-standard ramp is found at the main entrance leading to the G/F. There is no provision of barrier free access to all floors of the building.

(b) Refuse Collection Point (RCP)

Barrier free access which is not up to the current standard is available from Bridges Street.

## **4.6 Major Alterations and Additions**

Major alterations and additions of Bridges Street Market were carried out in 1969 to convert part of the 1/F into a covered playground with toilets. Two link bridges connecting Wing Lee Street and the covered playground were also constructed. Subsequent maintenance works were carried out in 1987 for the covered playground.

Concrete spalling repair works for the market building (not including the western-facing external wall) were carried out in 2010 and were completed in early 2011.

**4.7 Preliminary Structural Appraisal**

**4.7.1 Descriptions of Structure**

(a) Bridges Street Market

Structural records indicating framing plans for G/F, 1/F, 2/F and Upper Roof; and reinforced concrete (RC) details for beams, slabs, columns, stairs, and footings are kept in Architectural Services Department (ArchSD). These drawings were prepared in 1952. For the buildings built between 1946 and 1955, they were likely designed in accordance with LCC By-laws 1915 as required in Buildings Ordinance 1935. Therefore, the Market is believed to be designed in accordance with LCC By-laws 1915.

The three-storey building is in the form of beam-column frame. G/F slab is believed to be on grade slab and required to be verified subsequently by the applicant. On the 1/F, some locally sunken slabs for drainage channels were observed on top and soffit of the slab. The details have not indicated in the available record drawings. Reinforced concrete was adopted for construction materials of slabs, beams, columns, stairs, and footings. Although the type of reinforcement was not specified, it appeared that mild steel was used for the construction. The concrete grade and its composition were listed below:

<b>Structural Element</b>	<b>Mix*</b>
Slabs, beams, columns, walls, stairs	Mix B (1:2:4)
Footing	Mix A (1:2:4)

Note: \* This information was extracted from the record drawings

The building is supported by 32 nos. of R.C. footings. Beams and slabs are supported by 35 nos. of R.C. columns with different sizes. Two stairs were constructed using reinforced concrete. One linking G/F and 1/F while the other one links 1/F and 2/F.



(b) Refuse Collection Point (RCP)

RCP is a one-storey R.C. building with a flat roof and was constructed in 1987. It appears as a modern construction with beams and walls found on footings. South-eastern side of RCP is situated at Shing Wong Street.

(c) Three Link Bridges

Reinforced concrete details of two link bridges between Bridges Street Market and Wing Lee Street are kept in ArchSD. The drawing of the link bridges was prepared in 1969. They are simply spanned between Bridges Street Market and the existing retaining walls at Wing Lee Street. Each link bridge is formed by two stringer R.C. beams. Drawing only indicates that the Grade A mix concrete was adopted as construction material.

There is no record regarding detail of the link bridge between Bridges Street Market and Shing Wong Street. It is formed by two stringer R.C. beams. There is no indication of the completion date of this link bridge.

These three link bridges were later supported by steel frames underneath. The steel frames are believed to be structural strengthening works. They were framed by steel beams in both orthogonal directions and braced by either steel angles or steel channels. The steel frames are directly seated on ground and it is unlikely that foundations for steels frames existed. There is no record plan for these steel supporting frames of the three link bridges.

#### **4.7.2 Preliminary Appraisal**

When preparing this resource kit, opening-up, coring, laboratory testing and other destructive testings have not been carried out at the structures. This preliminary structural appraisal is purely based on visual inspection and observation of available record drawings.

Visual inspection revealed that there were some minor cracks on floor finishes of G/F and 1/F of Bridges Street Market. The cracks noted on the finishes in covered playground at 1/F are required to be further investigated. The weight of the finishes is also needed to be checked, as these cracks are located near the sunken slabs. The cracks noted on two stairs at western end of the market on G/F are appeared to be caused by past construction at nearby buildings. The applicant shall further study the cause of these cracks. Minor cracks were also observed on the balustrade of staircase between the G/F and 1/F. Further investigation on these local areas is necessary. Beams and columns appear in good condition and well maintained. Routine maintenance and monitoring of these structural elements are recommended.

Some minor cracks were also noted on walls of RCP. They may occur as a result of shrinkage. Opening-up of the finishes is required to ascertain the nature of cracks.

Displacement of three link bridges was observed at the junctions between the parapets of the bridges and the retaining walls. Some movement monitoring markers were installed and monitored by other relevant parties. The cause of movement is believed to be due to expansion and contraction of the joint. Although no crack was observed on the bridges themselves, the structural adequacy of the link bridges shall be further verified. The protective coating for steel trusses underneath link bridges was corroded. Some base plates were fixed on existing surface channels and no direct contact between parts of the steel plates and the ground was observed.

### 4.7.3 Loading Assessment

No design imposed load was specified in the record drawings.

As wind load may affect the estimated imposed load capacity, the applicant shall justify this if change of usage is proposed.

Regarding the wind effect on the existing buildings, the applicant's attention should be drawn to the requirements specified in paragraph 4(a) of PNAP APP-117. It states that in the case of alteration & addition works involving:

- i) partial or total removal of existing major wind resisting walls or frames, which would result in a reduction in their stiffness by 5% or more, or
- ii) the extension of building dimensions which would result in an increase of 10% or more of the wind exposure areas of a building,

The structural adequacy of the building due to wind should be checked based on the current wind code. It implies that, for the alteration and addition works other than the cases mentioned above, the wind effect on the existing building could be checked in accordance with then prevailing wind code.

The estimation of the following imposed load capacity would be based on consideration of the original usage, the age of building, the adoption of current wind effect (Code of Practice on Wind Effects in Hong Kong 2004, (2004 Wind Code)) and the calculations of the capacity of the critical structural elements as given in the record plans. The adverse effect due to the above factors would be adopted as the "estimation of imposed load capacity".

#### Bridge Street Market

Bridges Street Market was built in 1950s. In accordance with London County Council By-laws 1915 (likely to be adopted at that time), the design imposed load for floor loading of retail shops, churches, workshops was 112 lb/sq.ft, equivalent to 5.36 kPa.

The estimated imposed loading capacity of Bridges Street Market for each area is listed as follows:

Item	Area	Estimated Imposed Loading Capacity *
1	G/F	5kPa
2	1/F	0.5kPa
3	2/F	0.5kPa
4	Upper Roof (Inaccessible)	0.25kPa

\* Taking into account of 2004 Wind Code

## RCP

As the RCP was constructed in 1987, it might be designed in accordance with BCR 1976. The estimated imposed loading capacity for each area is listed as follows:

Item	Area	Estimated Imposed Loading Capacity *
1	G/F	5kPa
2	Roof (Inaccessible)	0.5kPa

\*Taking into account of 2004 Wind Code

## Link Bridges

As the two link bridges to Wing Lee Street were built in 1969, they might be designed in accordance with BCR 1956. For BCR 1956, it stipulates that the reinforced concrete should be designed and constructed in accordance with the provisions of LCC By-laws 1938, LCC By-laws 1952 or any subsequent amendments to LCC By-laws 1952.

For the three link bridges, the estimated imposed loading capacity is listed as follows:

Item	Area	Estimated Imposed Loading Capacity *
1	Link Bridge	1.6kPa

\* Taking into account of 2004 Wind Code

The above estimated imposed loading capacity shall be further investigated and verified by sufficient tests on the construction materials by the applicant.

The floor usages and minimum imposed load ranged between 2.0 kPa and 5.0 kPa as stipulated in Building (Construction) Regulations 1990 are extracted below for reference.

Class no.	Usage	Minimum Imposed Load (kPa)
1	Floors for – Dormitories; Hospital wards, bedrooms, toilet rooms; Hotel and motel private sitting rooms, bedrooms, toilet rooms	2.0
2	Floors for – Domestic buildings; Hospital consulting rooms; Hospital operating theatres and X-ray rooms (equipment to be determined, but not less than); Childcare centres and kindergartens	2.5
3	Floors for – College and school classroom, lecture rooms; College and school laboratories (equipment to be determined, but not less than); Offices for general use; Reading rooms without book storage; Recreational areas that cannot be used for assembly purposes, billiard rooms, bowling alleys; Light workrooms, without central power-driven machines and storage	3.0
4	Floors for – Assembly areas with fixed seating; Banking halls; Chapels, churches and places of worship (with fixed seating); Kitchen and laundries other than in domestic buildings (equipment to be determined, but not less than) *fixed seating means that the removal of the seating and the use of the space for other purposes is unlikely to occur.	4.0

Class no.	Usage	Minimum Imposed Load (kPa)
5	Floors for – Art galleries; Assembly areas without fixed seating; Dance halls; Department stores, supermarkets and shops for display and sale of merchandise; Footbridges between buildings, footpaths, terraces, plazas and areas used for pedestrian traffic; Grandstands; Gymnasiums; hotel and motel bars, vestibules, lounges, public rooms, dining rooms; Library rooms with book storage (excluding library stack rooms) Office for storage and normal filing purposes; Public halls and lounges; Restaurants night-clubs, dinning rooms subject to crowd loading, canteens and fast food shops; theatres and cinemas	5.0

#### 4.7.4 Recommendations

As these structures constructed for several decades, comprehensive and in-situ and laboratory tests shall be carried out by future applicant to confirm the as-built and current conditions of the structural members and performance of the building.

When reviewing the structural adequacy, applicant shall also consider the statutory requirement for the balustrade between G/F and 1/F for Bridges Street Market.

With regard to the link bridges, improvement to fixing details of the steel frame on ground shall be made if the link bridges are to be retained.

#### 4.7.5 Conclusion

This preliminary structural appraisal shall not be treated as a comprehensive and complete evaluation of building performance as no laboratory tests or opening-up of finishes is carried out when appraising the buildings. It can only be considered as a reference.

Based on the visual inspection of all structures, the overall conditions are good. Repair to minor defects is recommended to be conducted by future applicant. According to the preliminary loading assessment, the structures are able to take the estimated loading listed out in Section 4.7.3, which are summarised as follows:

Structure	Estimated Imposed Loading (kPa)				Basis of Estimated Imposed Loading
	G/F	1/F	2/F	Roof	
Bridges Street Market	5	0.5	0.5	0.25	1*
Refuse Collection Point	5	N/A	N/A	0.5	2**
Link Bridges	1.6				3***

Remark:

1\* - LCC 1915, 2004 Wind Code, as-built record and age of building

2\*\* - Building (Construction) Regulations 1976, 2004 Wind Code, as-built record and age of building

3\*\*\* - Building (Construction) Regulations, 1956, 2004 Wind Code, as-built record and age of building



#### **4.7.6 Preliminary Structural Study on Demolition of RCP**

There is no structural linkage between the Bridges Street Market and the RCP. The demolition of RCP will be feasible; however, the demolition shall be carried out carefully due to the close proximity to the link bridge at Shing Wong Street and the stair on Shing Wong Street. When considering the demolition of RCP, a study is required to retain the ground of Shing Wong Street. Hoarding or temporary pedestrian diversion may be required. Although there are some temporary shorings to retain Shing Wong Street during the construction of the RCP, retaining structures, for example mass concrete retaining wall or soldier pile wall, may be required to retain the ground on Shing Wong Street when demolishing the RCP.

For mass concrete retaining wall under Shing Wong Street may occupy certain working spaces during construction. But the cost is relatively lower.

For soldier pile wall, the disturbance to Shing Wong Street would be minimal. However, the construction cost would be higher.

## 4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for Bridges Street Market and RCP is summarised as follows:

### 4.8.1 Bridges Street Market:

<b>Building Services</b>	<b>Existing Provision</b>
A. Lift Installation	The building is not served with any lift or escalator.
B. Mechanical Ventilation and Air-Conditioning System Installation	<ol style="list-style-type: none"><li>1. No air-conditioning system is found within the market and covered playground. Only window units are installed in Administration Office at 2/F.</li><li>2. Ceiling mounted rotary fan is installed in market area at G/F.</li><li>3. Window fans are installed in all toilets.</li></ol>
C. Gas Installation	<ol style="list-style-type: none"><li>1. No gas connection pipe is found in the building.</li><li>2. There is a dia. 200mm gas main along Bridges Street and Shing Wong Street. The future tenant may apply to Gas Company for gas connection if necessary.</li></ol>
D. Potable Water Supply	<ol style="list-style-type: none"><li>1. A 50mm dia. potable water pipe with a water meter connected from government main is located at the external wall facing Bridges Street.</li><li>2. All water fitments and market stalls are connected directly from the 50mm dia. incoming main under the same meter.</li><li>3. No potable storage water tank is installed.</li><li>4. An electric storage water heater is installed in the 2/F toilet.</li><li>5. A dia. 250mm potable water main is laid along Bridges Street and Shing Wong Street. The water pressure of the potable water main is 200 kPa.</li></ol>
E. Flush Water Supply	<ol style="list-style-type: none"><li>1. No salt water supply for flushing connected water government main is found.</li></ol>

<b>Building Services</b>	<b>Existing Provision</b>
	<ol style="list-style-type: none"> <li data-bbox="639 271 1342 421">2. There is an existing 250 litres flush water tank is found on roof. The supply water to the roof tank is connected via the dia. 50mm potable water supply pipe.</li> <li data-bbox="639 450 1334 712">3. The flush water supply to the sanitary fitments is supposed to be supplied from the roof tank by gravity. However, it is noted that the flush water supply pipe from roof tank is found disconnected. The flush water supply to the fitments is then reconnected to the potable water supply pipe directly.</li> <li data-bbox="639 741 1347 1048">4. The captioned flush water connection arrangement appears of non-ordinary plumbing practice. The future tenant may be required to apply to WSD to make salt water connection or temporary mains fresh water connection, as appropriate, and re-connect/upgrade the flush water system, as necessary, to comply the WSD requirement accordingly.</li> <li data-bbox="639 1077 1366 1301">5. A dia. 250mm potable water main is laid along Bridges Street and Shing Wong Street. The water pressure of the potable water main is 200 kPa. A salt water government main is laid along Bridges Street. The water pressure of the salt water main is 150 kPa.</li> </ol>
F. Drainage Installation	<ol style="list-style-type: none"> <li data-bbox="639 1386 1366 1693">1. The surface water at roof is gathered by storm water down pipe and discharged to the public surface channel around the building. By visual inspection, most of the down pipes are found in good condition. No storm water terminal manhole is found. The future tenant is necessary to apply to DSD/BD for providing a formal storm water connection to Government storm water main drain.</li> <li data-bbox="639 1722 1358 2029">2. The foul drains of the building are gathered through the existing down pipes and discharged to the existing internal underground foul manholes. The foul water terminal manhole is found at G/F market entrance facing Bridges Street. The location of the foul water terminal manhole is shown on dwg. no. ME-1. Further connection detail from terminal manholes to government drain, please refer to dwg.</li> </ol>

Building Services	Existing Provision
	no. 110-111 (drainage) in Utility Survey Report.
G. Telecommunication Network	<ol style="list-style-type: none"> <li>1. A PCCW telephone lead in cable is found at the G/F entrance facing Bridges Street. A telephone distribution board is installed at the high level of the external wall of the building.</li> <li>2. Telecommunication Network from PCCW, HKBN, HGC and Cable TV are found laid around the lot.</li> </ol>
H. Fire Services Installation	<ol style="list-style-type: none"> <li>1. No Wet Fire Protection System (i.e. FH/HR &amp; Sprinkler System) is installed.</li> <li>2. No manual fire alarm (MFA), visual fire alarm and automatic fire alarm (AFA) systems are installed.</li> <li>3. A dia. 250mm potable water main is laid along Bridges Street and Shing Wong Street. The future tenant may apply to WSD for F.S. connection through the said water main. The F.S. water supply will be of double end feed with 200 kPa water pressure.</li> </ol>
I. Electrical Installation	<ol style="list-style-type: none"> <li>1. The building is served by a HEC LV cable terminated with 400A three phase fuse cutout (fused at 200A) at G/F switch room.</li> <li>2. A 200A three phase copper busbar chamber 'M' has been installed. 3 nos. outgoing 63A TPN fused switch are connected from the 200A TPN BBC. No. 1 &amp; 2 63A TPN fused switch are serving the stalls in market. No. 3 63A TPN fused switch is serving the public supply of the market, 1/F covered playground and 2/F administration office.</li> <li>3. 3 nos. HEC meter is found in switch room. One for public, one for Rest Room and one for Administration Office. Meters for stalls are also installed inside the switch room.</li> <li>4. A check meter for covered playground lighting (MCB board M3R1) is installed at 1/F staircase heading the 2/F. Although the isolating switch for board M3R1 is rated at 100A SPN, the protection MCB for board M3R1 is 40A SPN only. The covered playground lighting is also controlled by a</li> </ol>

<b>Building Services</b>	<b>Existing Provision</b>
	<p>timer installed at the said staircase.</p> <p>5. General lighting and power socket are installed through the building and in good working condition.</p> <p>6. A self-contained battery emergency light is installed in G/F switch room. No generator and other emergency power supply are provided.</p>
J. Others	An abandoned bore well and a fuel tank / fuel pump room are found at G/F.

#### 4.8.2 RCP:

<b>Building Services</b>	<b>Existing Provision</b>
A. Lift Installation	The building is not served with any lift or escalator.
B. Mechanical Ventilation and Air-Conditioning System Installation	<p>1. No air-conditioning system is installed in the building.</p> <p>2. 2 nos. of roof extract exhaust fans are installed for the ventilation purpose of the building.</p> <p>3. 1 no. of wall mounted rotary fans is installed inside the Refuse Collection Point.</p>
C. Gas Installation	<p>1. No gas connection pipe is found in the building.</p> <p>2. There is a dia. 200mm gas main along Bridges Street and Shing Wong Street. The future tenant may apply to Gas Company for gas connection if necessary.</p>
D. Flush Water Supply	<p>1. No flush water supply is connected from Government salt water main since no sanitary fitment is installed in the building.</p> <p>2. The future tenant may apply to WSD for flush water supply connection since there is a dia. 250mm salt water main for flushing laid along Bridges Street. The water pressure of the salt water main is 150 kPa.</p>

<b>Building Services</b>	<b>Existing Provision</b>
E. Potable Water Supply	<ol style="list-style-type: none"> <li>1. No potable water supply is installed in the building.</li> <li>2. A dia. 20mm cleansing water supply is connected from Government potable water main to the building.</li> <li>3. The cleansing water is directly delivered to a 250 litres cleansing tank at roof through a dia. 15mm water meter which is located at the right side of the front entrance.</li> <li>4. The cleansing water from roof tank is delivered to a cleansing tap inside RCP by gravity.</li> <li>5. A dia. 250mm potable water main is laid along Bridges Street and Shing Wong Street. The water pressure of the potable water main is 200 kPa.</li> </ol>
F. Drainage Installation	<ol style="list-style-type: none"> <li>1. The surface water at roof is gathered by storm water down pipes and discharged to the storm water terminal manhole in the building.</li> <li>2. The surface water inside the refuse collection point is gathered by the U channels and discharged to the foul water terminal manhole in the building.</li> <li>3. The location of the terminal manholes are indicated on drawing no. ME-5. Further connection detail from terminal manholes to government drain, please refer to dwg. no. 110-111 (drainage) in Utility Survey Report.</li> </ol>
G. Fire Services Installation	<ol style="list-style-type: none"> <li>1. No Wet Fire Protection System (i.e. FH/HR &amp; Sprinkler System) is installed.</li> <li>2. No manual fire alarm (MFA), visual fire alarm (VFA) and automatic fire alarm (AFA) systems are installed.</li> <li>3. A dia. 250mm potable water main is laid along Bridges Street and Shing Wong Street. The future tenant may apply to WSD for F.S. connection through the said water main. The F.S. water supply will be of double end feed with 200 kPa water pressure.</li> </ol>

<b>Building Services</b>	<b>Existing Provision</b>
H. Electrical Installation	<ol style="list-style-type: none"> <li>1. A 400A three phase fused cutout fused with 60A SPN connection is installed for the electricity supply to the RCP.</li> <li>2. The cutout and the associated meter, MCB board etc are located in the meter chamber at end of the RCP.</li> <li>3. General ceiling lights and sockets are installed.</li> <li>4. Neither generator nor essential power is provided.</li> </ol>
I. Telecommunication Network	<ol style="list-style-type: none"> <li>1. No telecommunication network is connected to the building.</li> <li>2. Telecommunication Network from PCCW, HKBN, HGC and Cable TV are found laid around the Site.</li> </ol>

#### 4.9 Recurrent Expenditure

To facilitate the applicants in forecasting their operating expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditure on some common recurrent items, including electricity fee, water and sewage charge, rates and rent for the buildings at **Appendix VII**. Please note that the estimated expenditure has been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

## V. Vicinity and Access

### 5.1 Immediate Surroundings

Bridges Street Market and the RCP are located in vicinity of Wing Lee Street. It is close to the SOHO area of Central, characterised by high-density mixed-use developments. Buildings or sites of particular interest include tenement buildings at Wing Lee Street, the Former Police Married Quarters on Hollywood Road, the Central Police Station Compound, Man Mo Temple and the Chinese Y.M.C.A. of Hong Kong (Central Building).

The Plan Showing Immediate Surroundings is at **Appendix VIII**.

### 5.2 Access

Access to the Site is shown in the Access Plan at **Appendix IX**.

#### 5.2.1 Vehicular Access

Direct vehicular access to Bridges Street Market and the RCP is available from Bridges Street.

#### 5.2.2 Emergency Vehicular Access (EVA)

Bridges Street Market and the RCP abut Bridges Street, which may serve as the EVA for compliance with Part VI of Code of Practice for Means of Access for Fire-fighting and Rescue.

#### 5.2.3 Loading and Unloading Area

No loading and unloading area is available within the Site. However, there is a loading and unloading bay at Bridges Street for the Food and Environmental Hygiene Department (FEHD) vehicles. The future applicant shall provide details and information concerning the daily servicing demands and the maximum numbers of visitors coming to the venues during major events to the Transport Department for consideration when the existing loading / unloading bay for FEHD vehicles is to be maintained for servicing vehicles.



#### **5.2.4 Parking**

No parking space is available within the Site. Public parking spaces are available along Bridges Street.

#### **5.2.5 Pedestrian Access**

(a) Bridges Street Market

Pedestrian can access Bridges Street Market from Bridges Street, rear lane of the building or from Shing Wong Street and Wing Lee Street through three link bridges.

(b) RCP

Pedestrian access to the RCP is available from Bridges Street.

#### **5.2.6 Barrier Free Access (Site)**

Vehicular access is available at Bridges Street.

#### **5.2.7 Refuse Collection Point**

There is a refuse collection point (RCP) within the Site.

## VI. Conservation Guidelines

### 6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance (Cap. 123). On this issue, we would advise:

- (a) when undergoing alteration & addition works and change of use, the historic buildings should be properly upgraded to meet the current safety and health standard as in the case of new buildings. The need for preserving the significant architectural features (**Appendix X refers**), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the buildings; and
- (b) every effort should be made to preserve the façade of the historic buildings except unauthorised building structures, if any. Alteration & addition works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be

reversible<sup>1</sup>. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the selected applicants to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with the surroundings to preserve the historical character of the building(s).
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for the persons with a disability must respect historical integrity of the building(s) and its/ their surrounding, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned,

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<sup>1</sup> “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

Staircase	which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought on the proposed upgrading works.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fittings	If “historic fitting(s)” is/ are identified, it/ they should be preserved, while modern fittings may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 As the renovation works will inevitably cause impact on the historic building, the selected applicant should submit a Heritage Impact Assessment (HIA) to AMO for endorsement and further consultation with the Antiquities Advisory Board.

6.1.6 A specialist contractor from the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works" in the "Repair and Restoration of Historic Buildings" category (RRHB specialist contractor) should be engaged to carry out the renovation works, either as a main contractor or a domestic sub-contractor. This RRHB specialist contractor should be responsible for the repair and restoration of the "Architectural Features to be Preserved" as listed in **Appendix X**. If the RRHB specialist contractor is only engaged as a domestic sub-contractor for carrying out works confined to heritage conservation, the selected applicant should separately engage a main contractor for the remaining works from the Development Bureau's "List of Approved Contractors for Public Works" from the appropriate group according to the estimated value of the works (please see <http://www.devb-wb.gov.hk/> for the list). The main contractor for all building works should also be registered in the relevant Contractor's Register kept by the Building Authority in accordance with the Buildings Ordinance (Cap 123). All other domestic sub-contractors for the renovation works should also be engaged from the relevant categories in Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works". The renovation works should be carried out to the satisfaction of AMO.

## **6.2 Specific Conservation Requirements**

6.2.1 Bridges Street Market is a two-storey utilitarian building in International Modernist style, representing a simple and functional design to suit its use. This style of building is now becoming rare in Hong Kong due to urban development. Therefore, the façades should be generally kept intact. The façade treatment in the adaptive re-use scheme should respect its original design intention and should not overwhelm the simple and functional appearance.

6.2.2 Bridges Street Market has served the local community for almost 60 years and local residents have a strong sense of attachment to it. Therefore, its social value as a local market is also important to be interpreted and presented to the public. Although the existing internal facilities have low aesthetic value, it

represents the Market's history and some of them should be retained for interpretation (which are listed in **Appendix XI**)

- 6.2.3 The Bridges Street Market Site is associated with the original Site of the American Congregational Mission Preaching Hall (subsequently, re-named as China Congregational Church) where Dr. Sun Yat-sen was baptized in 1883 and lived from 1884 to 1886 when he was studying at Central School at Gough Street. Much of the footprint of Dr. Sun's youth was cast on Hollywood Road as well as Bridges Street, Staunton Street, Shing Wong Street and Gough Street. As such, an interpretation corner shall be set up to illustrate the evolution history of the Site from the American Congregational Mission Preaching Hall to the Bridges Street Market, including the historical value of its relationship with Dr. Sun and contributions to Christianity when it was a church, and the social value of its connection with the community when it was a market.
- 6.2.4 The refuse collection point is now obstructing vista from Bridges Street to Shing Wong Street leading up to the Mid-levels as well as the side elevation of the Bridges Street Market. Shing Wong Street should be reinstated after the demolition of the existing RCP next to the Bridges Street Market
- 6.2.5 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix X**. Their corresponding required and recommended conservation treatments are listed at **Appendix XI and XII** respectively.
- 6.2.6 Every effort should be made to carry out all "required treatments" set out under **Appendix XI** of the Conservation Guidelines. If compliance with the "required treatments" cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XII** of the Conservation Guidelines set out some "recommended treatment" to the historic building, which should be carried out as far as practicable.

## **VII. Town Planning Issues**

The Bridges Street Market Site is zoned “OU” annotated “Historical Site Preserved for Cultural and Recreational Uses” on the draft Sai Ying Pun & Sheung Wan Outline Zoning Plan (OZP) No. S/H3/26. The OZP including Plan, Notes, Schedule of Uses and Explanatory Statement is available at the Town Planning Board (TPB)’s website (<http://www.info.gov.hk/tpb/>). Relevant extracts of the Notes for the subject “OZP” is at **Appendix XIII**.

The planning intention of the “OU” zone is to preserve and revitalise the existing Bridges Street Market Site for cultural and recreational uses, with supporting shop and services uses. The planning controls for this zone are:

- (i) any new development, except alteration and/or modification to an existing building and new structure(s) for facilities that are ancillary and directly related to the always permitted uses, requires permission from the Town Planning Board under section 16 of the Town Planning Ordinance (Cap. 131);
- (ii) the Site is subject to building height restriction of three storeys to reflect the existing building height. Minor relaxation of the building height restriction may be considered by the TPB on application, and each application will be considered on its individual merits; and
- (iii) moreover, reference should be made to the heritage preservation principles in the Conservation Guidelines as set out by the Antiquities and Monuments Office for any development.

The Notes for the “OU” zone (**Appendix XIII**) set out the uses that are always permitted (the ‘Column 1’ uses) within the zone and those that may be permitted upon application to the TPB (the ‘Column 2’ uses). The application for Column 2 uses should be made to the TPB under Section 16 of the TPO. If the use proposed by an applicant is neither a use always permitted nor a Column 2 use, an application

for amendment of the OZP under Section 12A of the TPO may be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from Hong Kong District Planning Office of the Planning Department at 14/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong. (Tel: 2231 4957).

All applications for permission under Section 16 of the TPO will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified in writing of the TPB's decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting). Application forms and Guidance Notes for planning applications can be downloaded from the TPB's website and are available from the Secretariat of the TPB.

To preserve the existing streetscape of Wing Lee Street and Shing Wong Street and to prevent them from being built over, Wing Lee Street and Shing Wong Street together with the adjoining major streets including Staunton Street, Aberdeen Street and Bridges Street, is shown as "Road" on the OZP No. S/H3/26. For the RCP which is located at Shing Wong Street, it also falls within an area shown as "Road" on the OZP. Shing Wong Street should be reinstated after the demolition of the existing RCP next to the Bridges Street Market.

### **VIII. Land Issues**

Bridges Street Market has been allocated to the then Urban Services Department (USD) (now Food and Environmental Hygiene Department) under land allocation No. GLA-HK 290. Plan showing the allocation Site of Bridges Street Market is provided in **Appendix XIV**.

RCP has been allocated to the then USD (now Food and Environmental Hygiene Department) under land allocation No. GLA-HK 619. Plan showing the allocation Site is provided in **Appendix XIV**.



The proposed Site boundary also includes an unallocated lane between Bridges Street Market and RCP and an unallocated lane between Bridges Street Market and Wing Lee Street.

The proposed Site boundary is shown in **Appendix II**. It is an amalgamation of Bridges Street Market, RCP, link bridges and lanes on unallocated Government land. Plans showing the land allocation Sites are provided in **Appendix XIV**.

### **IX. Slope Maintenance**

The retaining wall no. 11SW-A/R92 and part of the retaining wall no. 11SW-A/R91 are located inside the Site boundary.

According to the SIMAR Unit, Estate Management Section of Lands Department, there are two slope features (i.e. retaining walls) in the vicinity of the Site:

Slope Feature 1:

<b>Slope Number</b>	<b>Location</b>		<b>Maintenance Agent</b>
11SW-A/R91	Adjoining Wing Lee Street	Highways Department	Highways Department

Slope Feature 2:

<b>Slope Number</b>	<b>Location</b>		<b>Maintenance Agent</b>
11SW-A/R92	Along Wing Lee Street and Shing Wong Street RCP, behind Bridges Street Market	Highways Department	Highways Department

The SIMAR information of the slope features are shown in **Appendix XV**.

## **X. Technical Compliance for Possible Uses**

### **10.1 Uses That Can Possibly be Considered**

**Appendix XIII** set out the uses that are always permitted and those that may be permitted upon application to the Town Planning Board for the Bridges Street Market Site.

Technical feasibility should be further examined for each preferred future adaptive re-use of Bridges Street Market. Applicants are welcomed to come up with suggestions on possible uses that they consider the most suitable for the building.

### **10.2 Technical Considerations**

Technical considerations to be given due regard include:

(a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

- Means of Escape –

Modifications to the existing staircases, corridors and exit arrangements would be required to meet safety and health standards of modern day requirements of Buildings Department, Fire Services Department and Licensing Authority(ies). In view of the conservation requirements limiting the extent of upgrading works, fire engineering approach may be considered to be adopted as an alternative approach to comply with the current safety requirements. If the rear lane is to be used as mean of escape, it would be necessary to remove the existing steel frames. The existing passageway between Bridges Street Market and Shing Wong Street does not comply with the current standard as a means of escape.

If the market building is proposed to be used as a Place of Public Entertainment under the Places of Public Entertainment Ordinance (Cap, 172), attention is drawn to Part VIA of the Building (Planning)

Regulations and the requirements as stipulated in Part III of the Code of Practices for the Provision of Means of Escape in Case of Fire 1996.

- Fire resisting construction –  
Further investigation will be required to demonstrate the adequacy of fire resisting construction of the existing building elements. Some upgrading works will be required.
  - Barrier free access and facilities –  
Various provisions for barrier free access, such as ramps, passenger lift, lifting platform, accessible toilets, etc. will be required.
  - Protection against falling from height –  
Existing balustrades or parapets must be upgraded to comply with current requirements.
  - Structural adequacy and assessment –  
Structural investigation by Registered Structural Engineer for the intended uses of the buildings is required to ensure stability of the buildings and foundation elements. Strengthening works may be required depending on the finding and the proposed use.
  - Fire Services Installation (F.S.I.) requirements –  
Major F.S.I. and equipments such as automatic sprinkler system, hose reel system and fire detection system will be required.
  - Provision of sanitary fitments –  
Additional toilet facilities, including unisex accessible toilet should be provided to comply with current statutory requirements. The plumbing and drainage systems should be upgraded and addition of terminal manhole will be required to comply with statutory requirements.
- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);

- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above are not exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

## **XI. Special Requirements of the Project**

Bridges Street Market is a Grade 3 historic building.

Taking account of the uniqueness of this heritage site and the views expressed by the public and stakeholders, we have set our special requirements for the revitalisation of Bridges Street Market in this Section. Applicants are required to take these special requirements into account in formulating their proposals and explain in their application submissions on how these special requirements have been incorporated in their proposal.

### **11.1 Conservation and Revitalisation**

Bridges Street Market has a unique location with a unique history. It is located in the vicinity of the south-western end of the plane of the eight projects under the “Conserving Central” initiative announced in the Chief Executive’s 2009-10 Policy Address and within close walking distance of Wing Lee Street and Hollywood Road.

BSM has served the local community for almost 60 years and local residents have a strong sense of attachment to it. The BSM Site is associated with the original Site of the American Congregational Mission Preaching Hall (subsequently re-named as China Congregational Church) where Dr. Sun Yat-sen was baptised in 1883 and lived from 1884 to 1886 when he was studying at Central School at Gough Street. Much of the footprint of Dr. Sun’s youth was cast on Hollywood Road as well as Bridges Street, Staunton Street, Shing Wong Street and Gough Street.

BSM is close to Hollywood Road, which runs between Central (specifically the Central Police Station Compound) and Sheung Wan (Hollywood Road Park, formerly called Possession Point). It is right at the heart of the plane that encompasses the eight projects under the “Conserving Central” initiative and is adjacent to the SoHo area. Hollywood Road was the first road to be completed when the former colony of Hong Kong was founded. From the early colonial years, the road has organically evolved into a well-known and vibrant core of the Central District, where many high quality design studios and galleries as well as antique shops coalesce, promoting a creative and chic lifestyle. There are also a wealth of original historic sites and built heritage on

Hollywood Road, including some historic spots that form part of the Dr Sun Yat-sen Historical Trail.

Of the eight projects under the “Conserving Central” policy initiative, BSM is right next to the former Police Married Quarters on Hollywood Road and close to the Central Police Station Compound, both of which will be adaptively re-used as a creative industries landmark and a precinct of heritage, arts and leisure facilities respectively.

Bridges Street Market is also right next to the tenement buildings at Wing Lee Street. The street, itself, has been in existence for over 90 years and is considered to possess considerable historical value. The tenement buildings may also be one of the last few remaining “tong-lau” on a terrace in Hong Kong. According to the latest planning, the Wing Lee Street area should be preserved for the existing character and ambience of Wing Lee Street.


The decision to preserve and revitalise Bridges Street Market seeks to capitalise on the clustering plane of the “Conserving Central” projects under implementation and planning, and achieve a synergy effect with the preservation of Wing Lee Street. Given the unique location of BSM and to contribute to a “point-line-plane” synergy effect, it is Government’s preference that the revitalisation proposals for BSM should closely relate to the promotion of the “Conserving Central” projects as well as the historic and cultural spots in the Central precinct, e.g. in the form of an information centre or resource centre for the cluster of heritage sites and revitalisation projects in the neighbourhood.

## **11.2 Public Views Collected**

The Commissioner for Heritage’s Office (CHO) co-organised public engagement days for Bridges Street Market with the Central and Western District Council and the Central and Western District Office in mid-June 2011 for the public to appreciate the history and architectural merits of Bridges Street Market and to obtain public views on its revitalisation. A full summary of the public views collected during the open days is available at Development Bureau’s heritage conservation website at [http://www.heritage.gov.hk/en/bsm/opendays\\_index.htm](http://www.heritage.gov.hk/en/bsm/opendays_index.htm). Applicants are advised to take cognizance of the salient public views received.

**Appendix I**  
**Location Plan**



 THE SITE

EXTRACT PLAN BASED ON SURVEY SHEET No. 11-SW-A AND 11-SW-B  
SHEET DATE: 18/08/2010

BRIDGES STREET MARKET

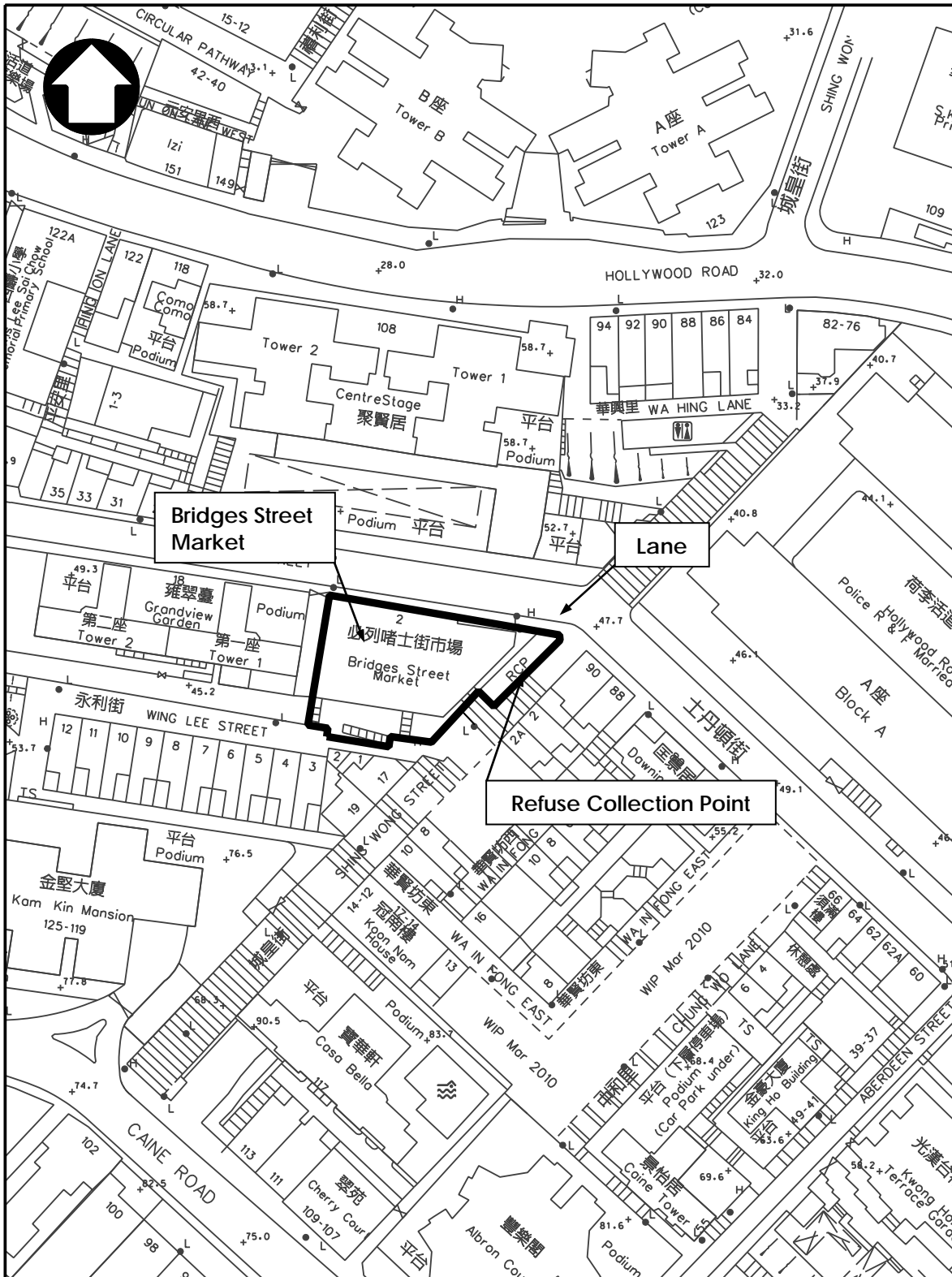
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:

APPENDIX I  
LOCATION PLAN  
1:5000 (A4)



**Appendix II**  
**Site Boundary Plan**



**SITE BOUNDARY**

EXTRACT PLAN BASED ON SURVEY  
SHEET No. 11-SW-8C  
SHEET DATE: 21/01/2011

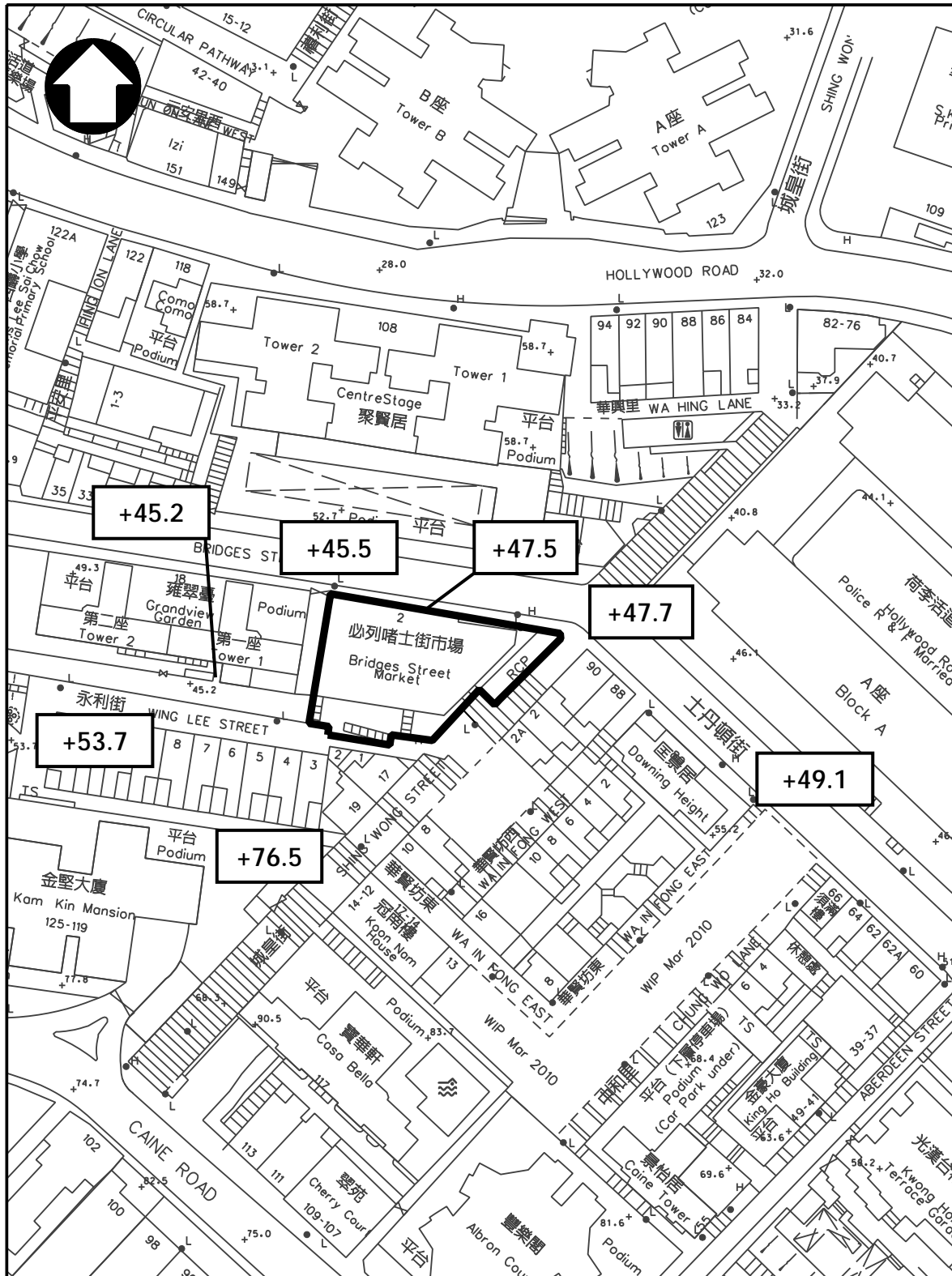
**BRIDGES STREET MARKET**

NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:

**APPENDIX II**  
SITE BOUNDARY PLAN  
1:1000 (A4)

**Appendix III**  
**Datum Levels Plan**



 THE SITE

EXTRACT PLAN BASED ON SURVEY  
SHEET No. 11-SW-8C  
SHEET DATE: 21/01/2011

BRIDGES STREET MARKET  
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:

APPENDIX III  
DATUM LEVELS PLAN  
1:1000 (A4)

**Appendix IV**

**Summary of Site and Building Information**

**Summary of Site information is listed below:**

Site	Consists of Bridges Street Market, RCP, three link bridges, a lane (on unallocated Government land) between the two buildings and a lane (on unallocated Government land) between Bridges Street Market & Wing Lee Street
Address	No.2 Bridges Street, Central, Hong Kong
Site Area	Approximately 640 sq. metres
Major Datum Level	At about +47.5mPD
Zoning	“OU” annotated “Historical Site Preserved for Cultural and Recreational Uses” on the draft Sai Ying Pun & Sheung Wan Outline Zoning Plan (OZP) No. S/H3/26 gazetted on 08 July 2011. RCP falls within an area shown as “Road”, which is outside the “OU” zone.

**Summary of building information is listed below:**

Name of Building	Bridges Street Market
Year of Completion	1953
Gross Floor Area	Approximately 950 sq. metres
Historic Grading	Grade 3
Original and Recent Uses	Original Use: Market Recent Uses: Market with a covered playground at part of 1/F
Schedule of Accommodation	G/F – Market Hall, Toilets, Store Room, Switch Room 1/F – Market Hall and covered playground with Toilets 2/F – Administration Office, Rest Room, Toilets and Pantry

Name of Building	Refuse Collection Point (RCP)
Year of Completion	1987
Gross Floor Area	Approximately 45 sq. metres
Historic Grading	No historic grading
Original and Recent Uses	Original Use: Refuse Collection Point Recent Use: Refuse Collection Point

Schedule of Accommodation	Refuse Collection Point
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**Appendix V(A)**  
**Architectural Drawings**

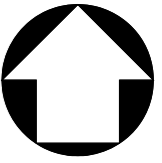
<b>Architectural Drawings</b>	
<b>Drawing No.</b>	<b>Title</b>
BSM-01	Site Plan
BSM-02	Ground Floor Plan of Bridges Street Market
BSM-03	First Floor Plan of Bridges Street Market
BSM-04	Second Floor Plan of Bridges Street Market
BSM-05	Upper Roof Plan of Bridges Street Market
BSM-06	North Elevation of Bridges Street Market
BSM-07	South Elevation of Bridges Street Market
BSM-08	Section 1-1 of Bridges Street Market
BSM-09	Section 2-2 of Bridges Street Market
BSM-10	Section 3-3 of Bridges Street Market
BSM-11	Plans of RCP
BSM-12	Elevations and Sections of RCP



**List of Architectural Drawings**  
**For Bridges Street Market**  
**No.2 Bridges Street, Central, Hong Kong**

Date: 8<sup>th</sup> June 2011

<b>Drawing No.</b>	<b>Drawing Title</b>
BSM-01	Site Plan
BSM-02	Ground Floor Plan of Bridges Street Market
BSM-03	First Floor Plan of Bridges Street Market
BSM-04	Second Floor Plan of Bridges Street Market
BSM-05	Upper Roof Plan of Bridges Street Market
BSM-06	North Elevation of Bridges Street Market
BSM-07	South Elevation of Bridges Street Market
BSM-08	Section 1-1 of Bridges Street Market
BSM-09	Section 2-2 of Bridges Street Market
BSM-10	Section 3-3 of Bridges Street Market
BSM-11	Plans of RCP
BSM-12	Elevations and Sections of RCP



PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

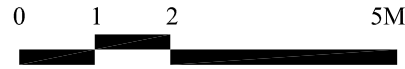
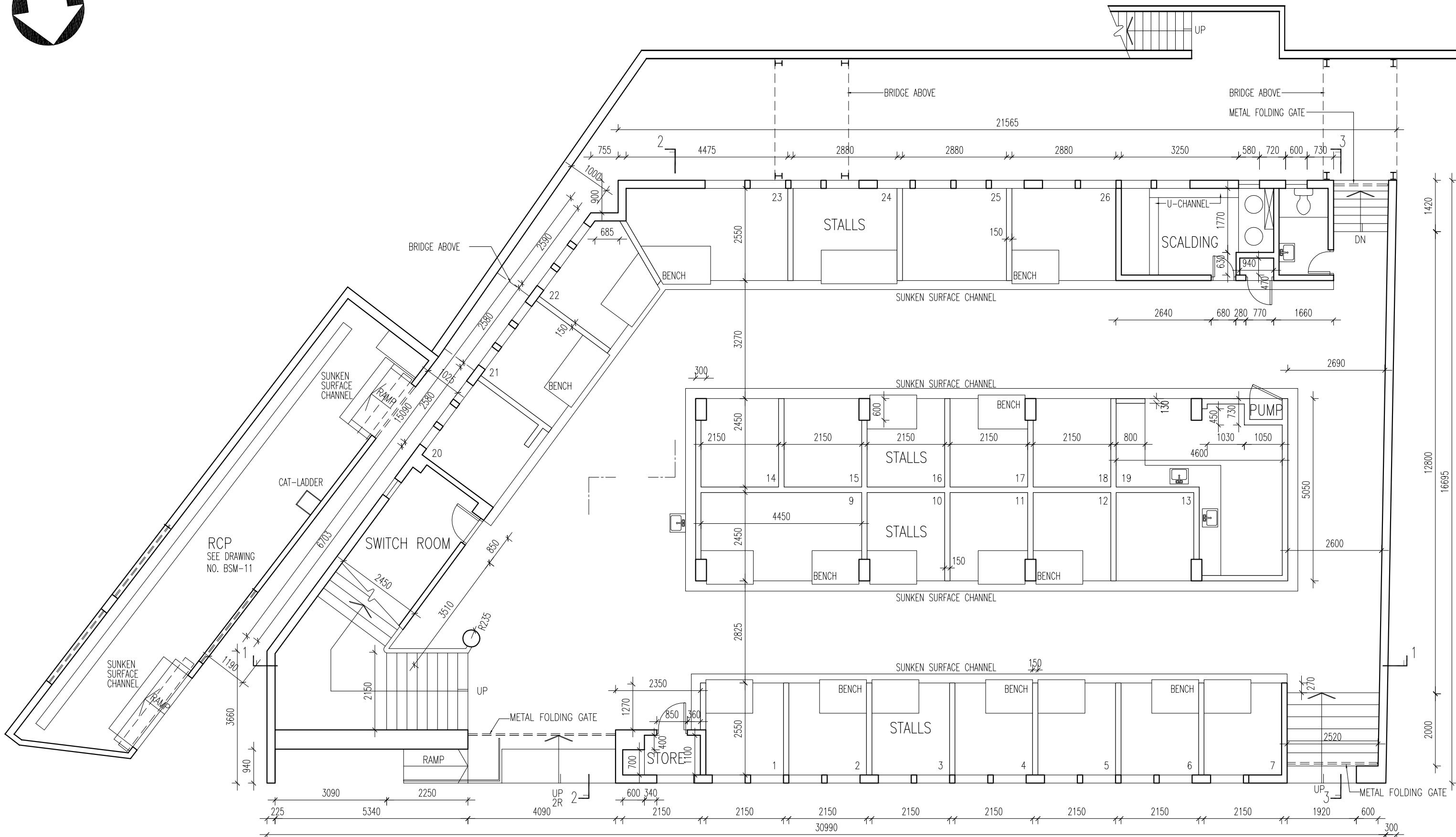
NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:  
**SITE PLAN**  
 SCALE:  
 1 : 1000 (A3)

DRAWING NO.:  
**BSM-01**





ARCHITECTURAL SERVICES DEPARTMENT

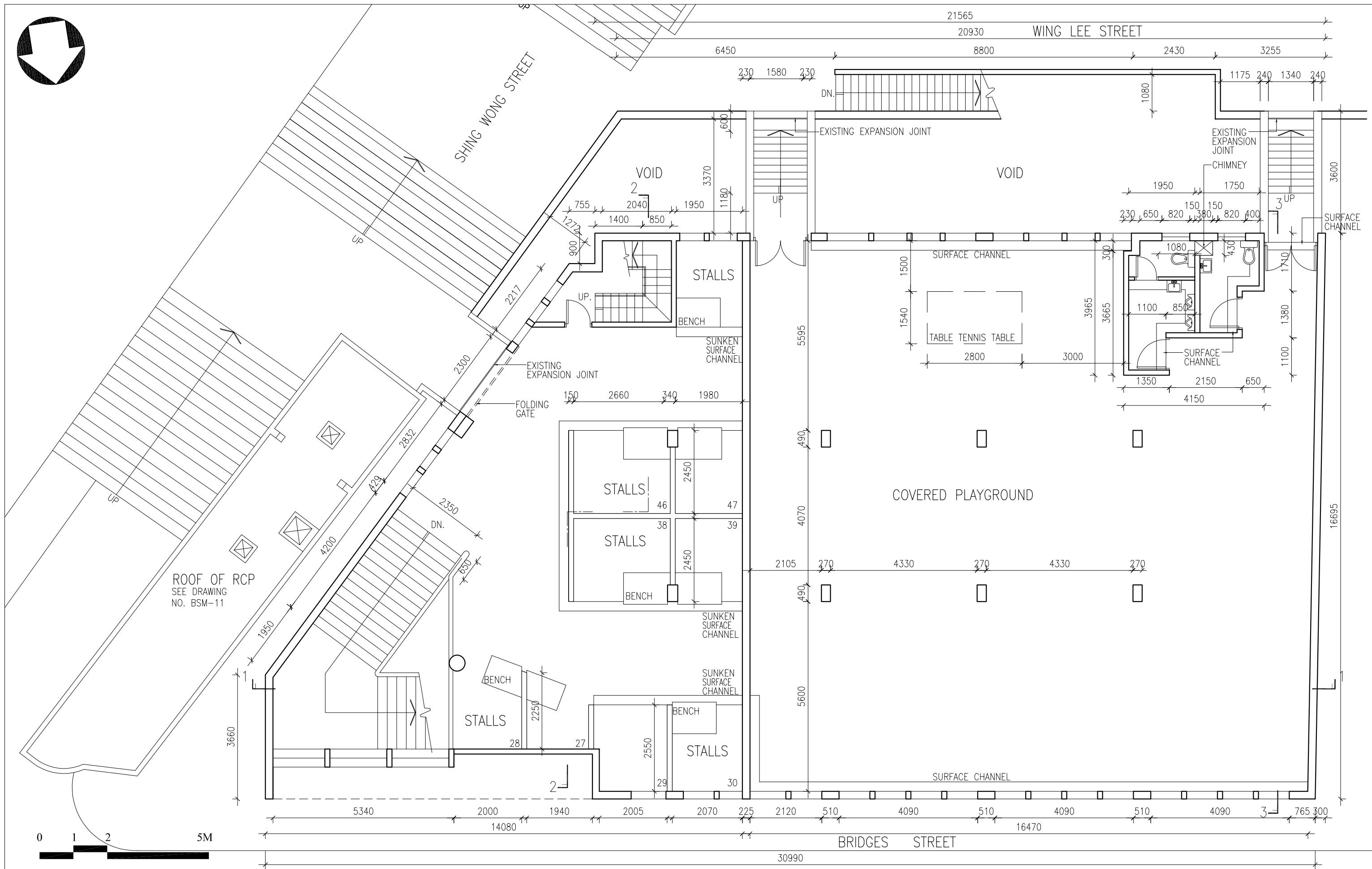
PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

NOTES:  
 The drawingS Should not be construed as the exact Site Situation. The drawingS Should be verified on Site for actual dimension, area and layout by authorized land Surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:  
**GROUND FLOOR PLAN OF BRIDGES STREET MARKET**  
 SCALE:  
 1 : 100 (A3)

DRAWING NO.:  
**BSM-02**



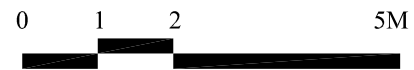
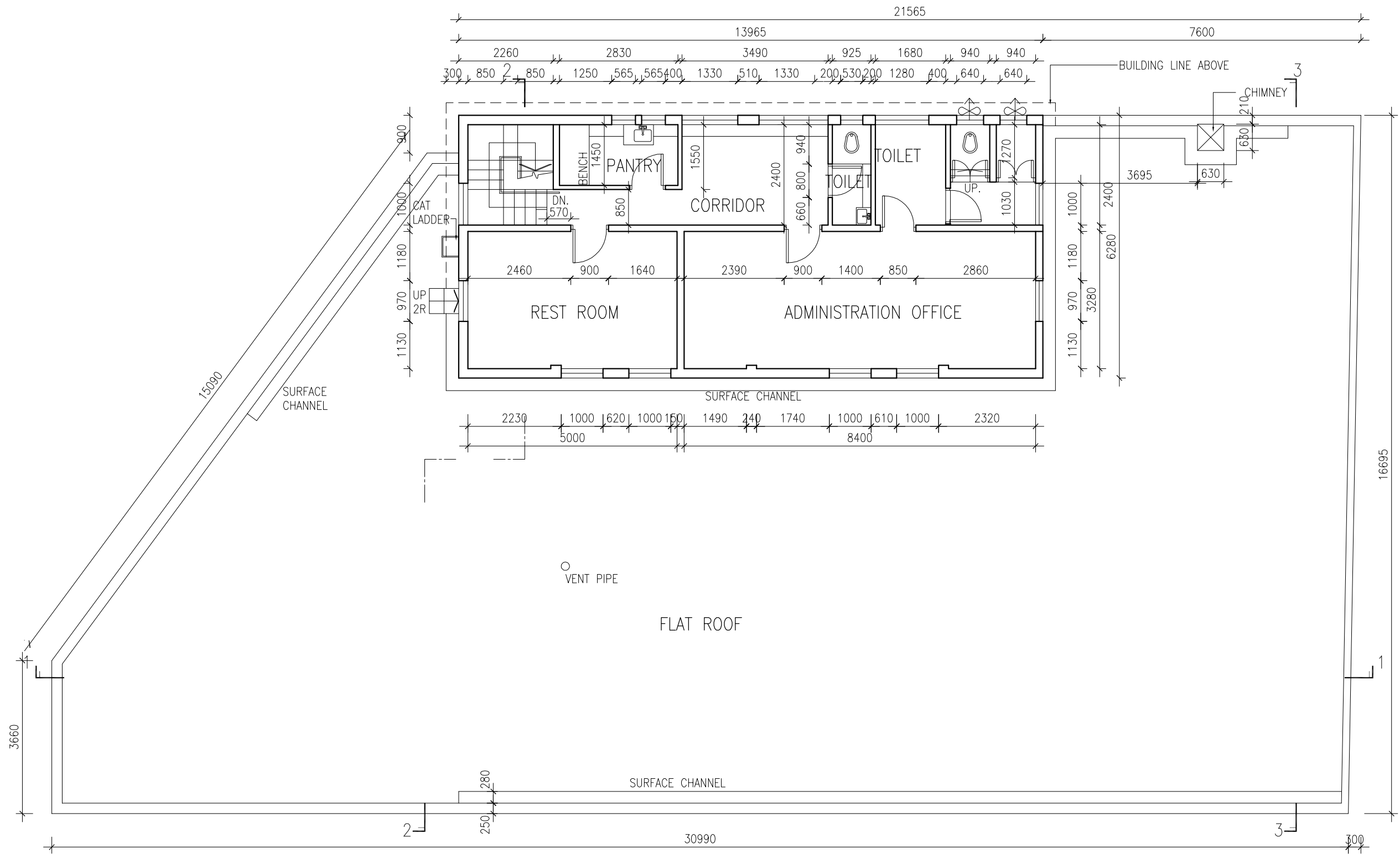
PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:  
**FIRST FLOOR PLAN OF BRIDGES STREET MARKET**  
 SCALE:  
 1 : 100 (A3)

DRAWING NO.:  
**BSM-03**



PRODUCED BY:

**ACO**

Architectural Conservation Office

DATE OF PRODUCTION : 31/01/2011

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:

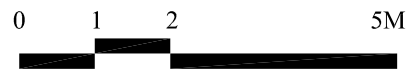
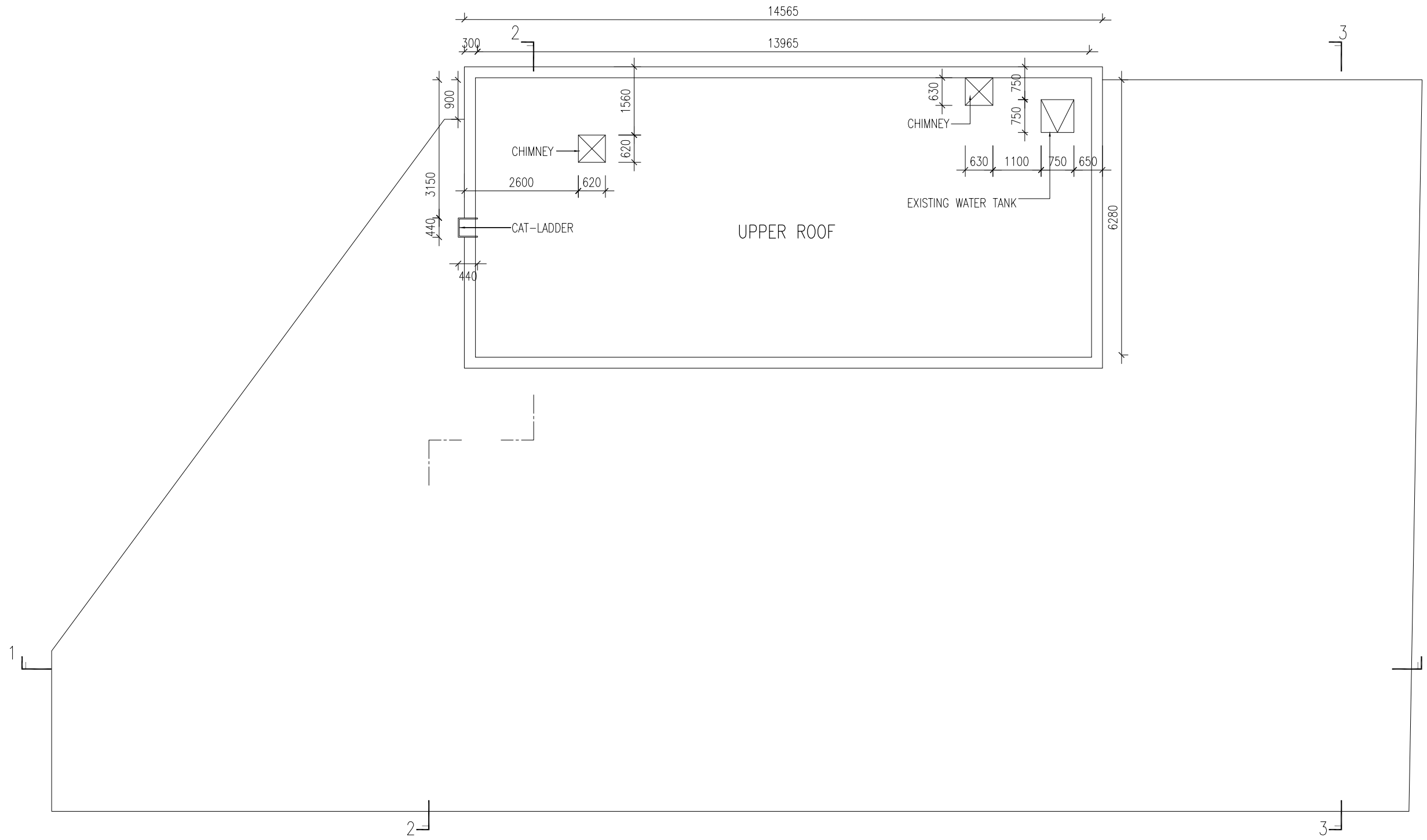
**SECOND FLOOR PLAN OF BRIDGES STREET MARKET**

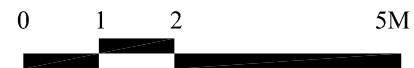
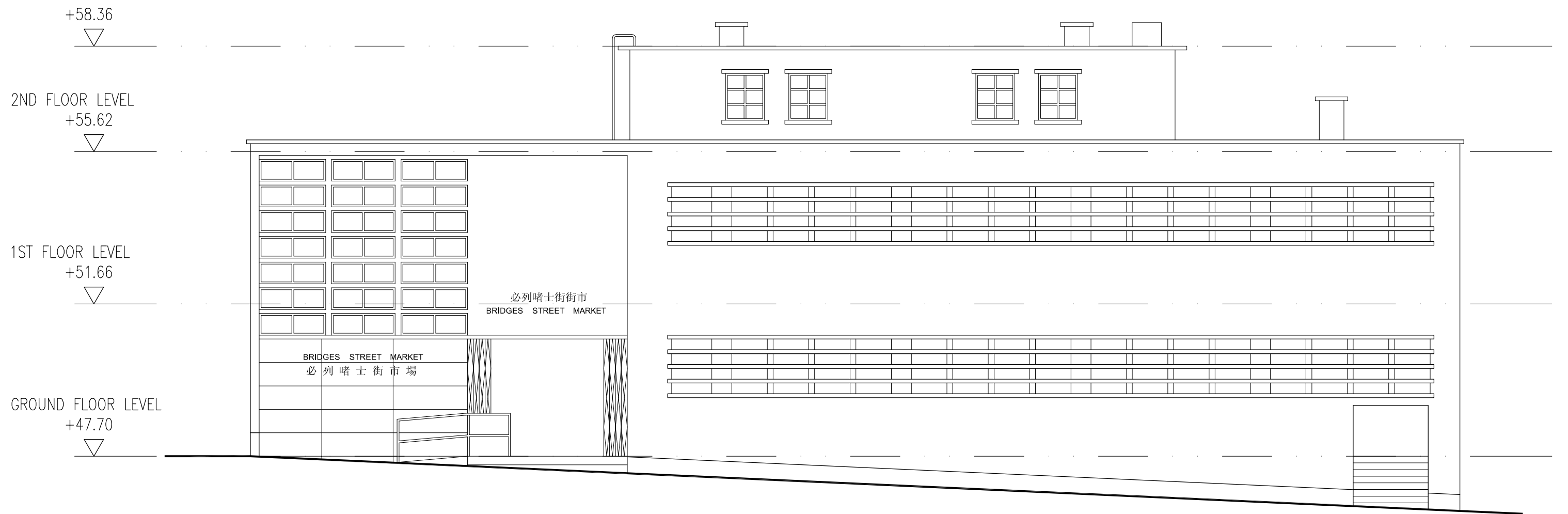
SCALE:

1 : 100 (A3)

DRAWING NO.:

**BSM-04**





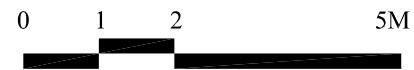
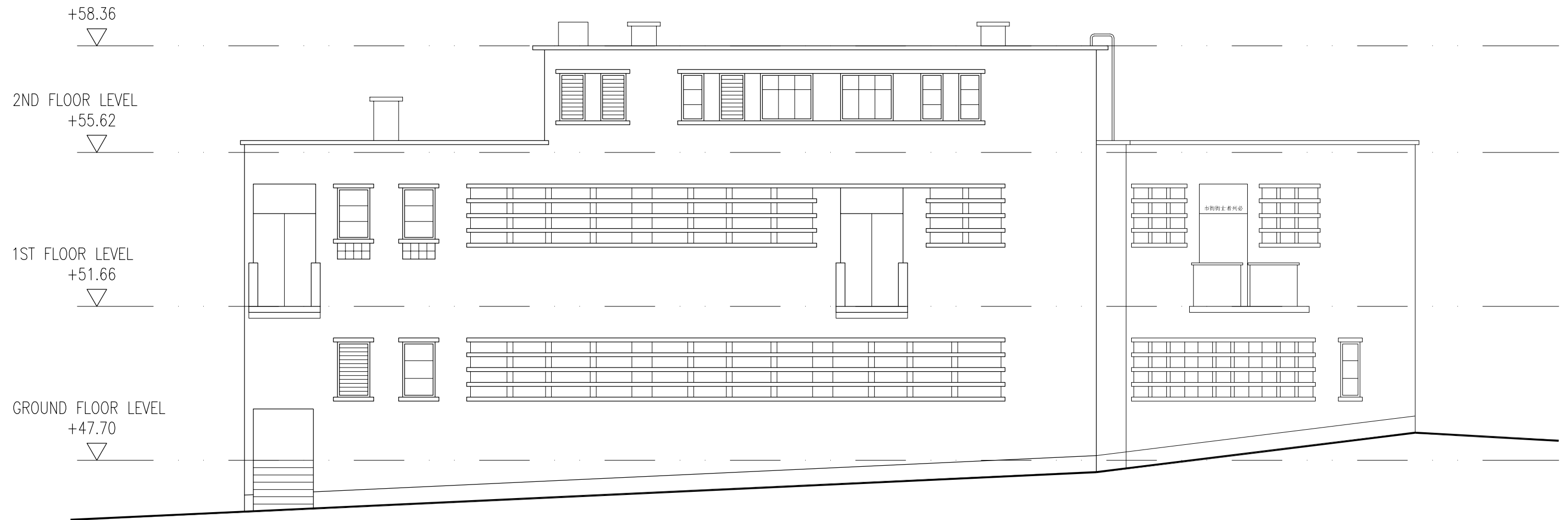
PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:  
 NORTH ELEVATION OF BRIDGES STREET MARKET  
 SCALE:  
 1 : 100 (A3)

DRAWING NO.:  
**BSM-06**



PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

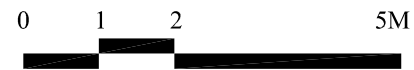
NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

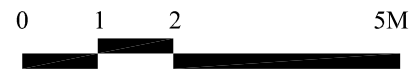
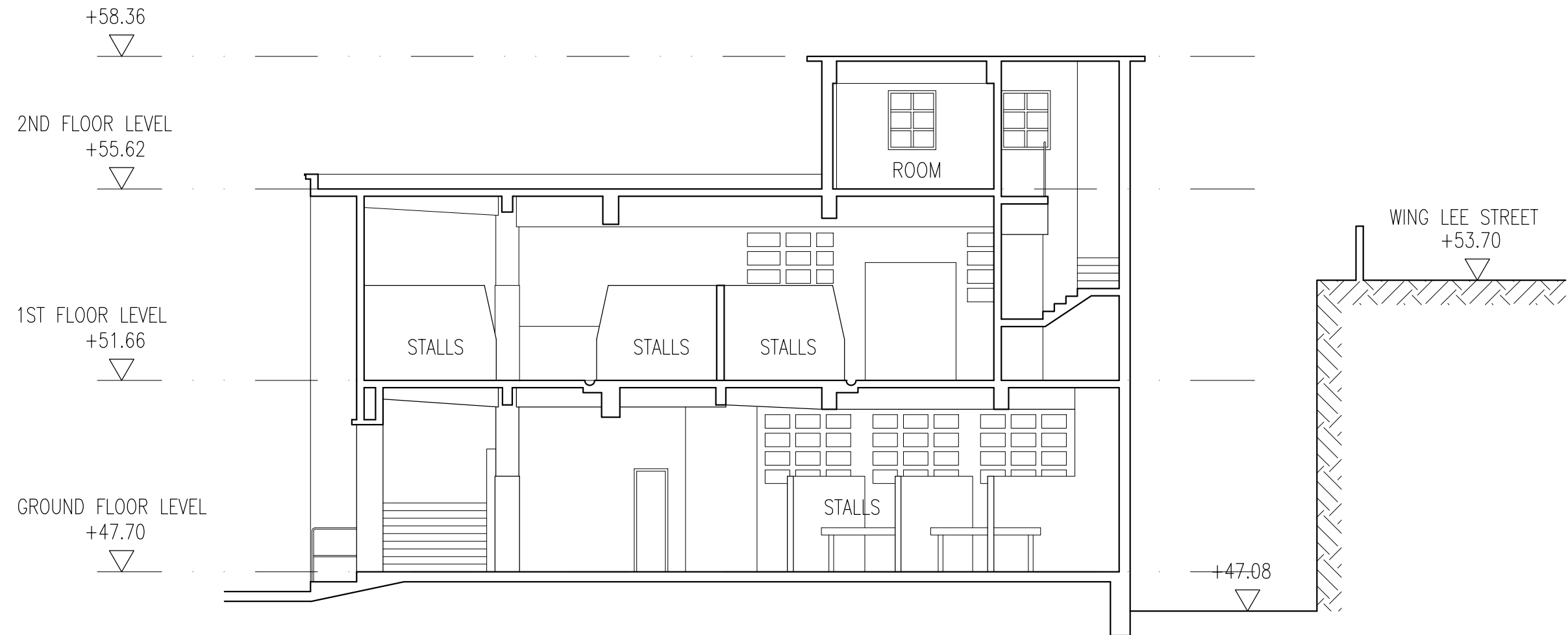
PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

DRAWING TITLE:  
**SOUTH ELEVATION OF BRIDGES STREET MARKET**  
 SCALE:  
 1 : 100 (A3)

DRAWING NO.:  
**BSM-07**







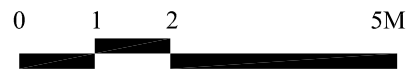
PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

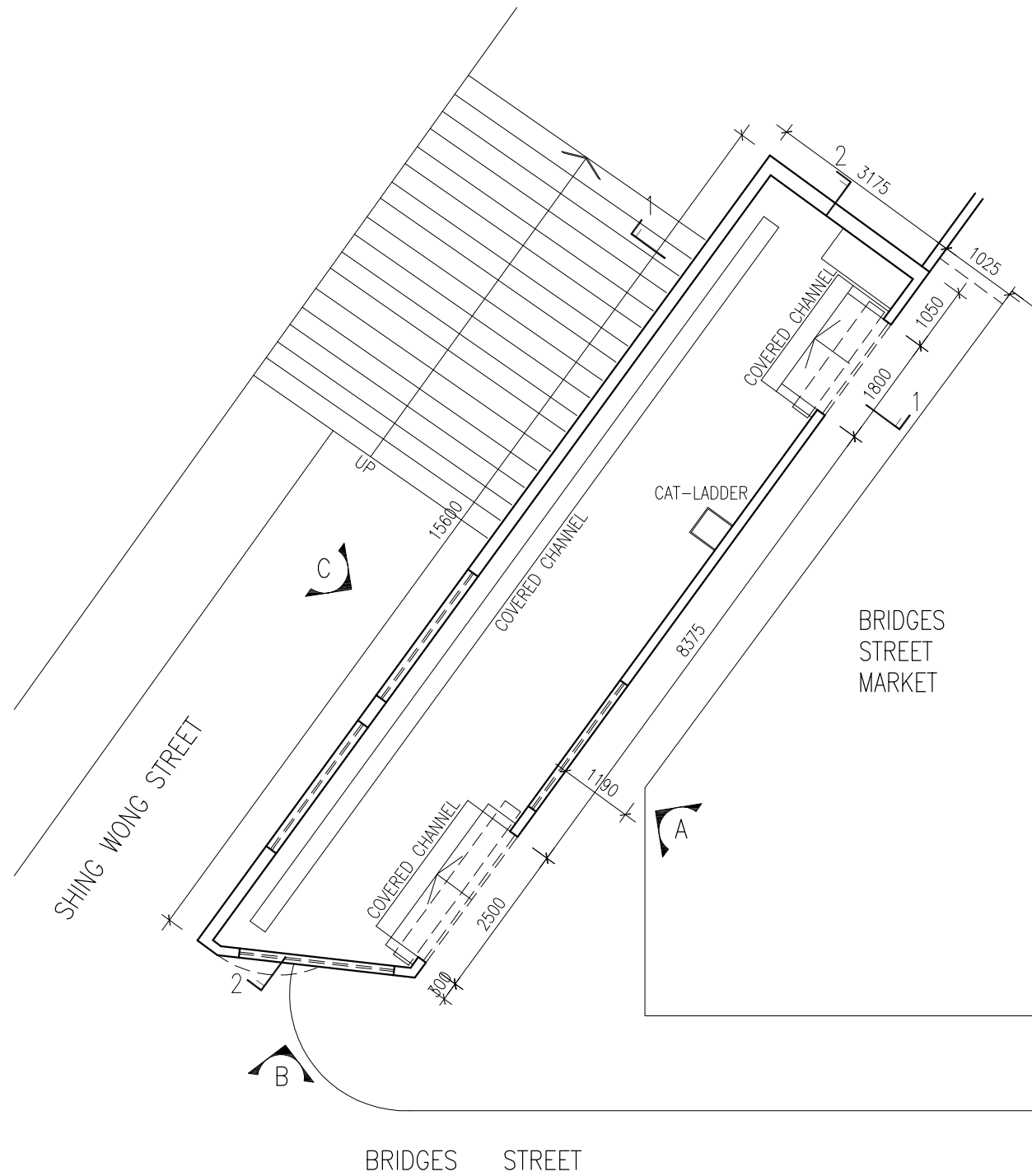
NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET,  
 CENTRAL, HONG KONG**

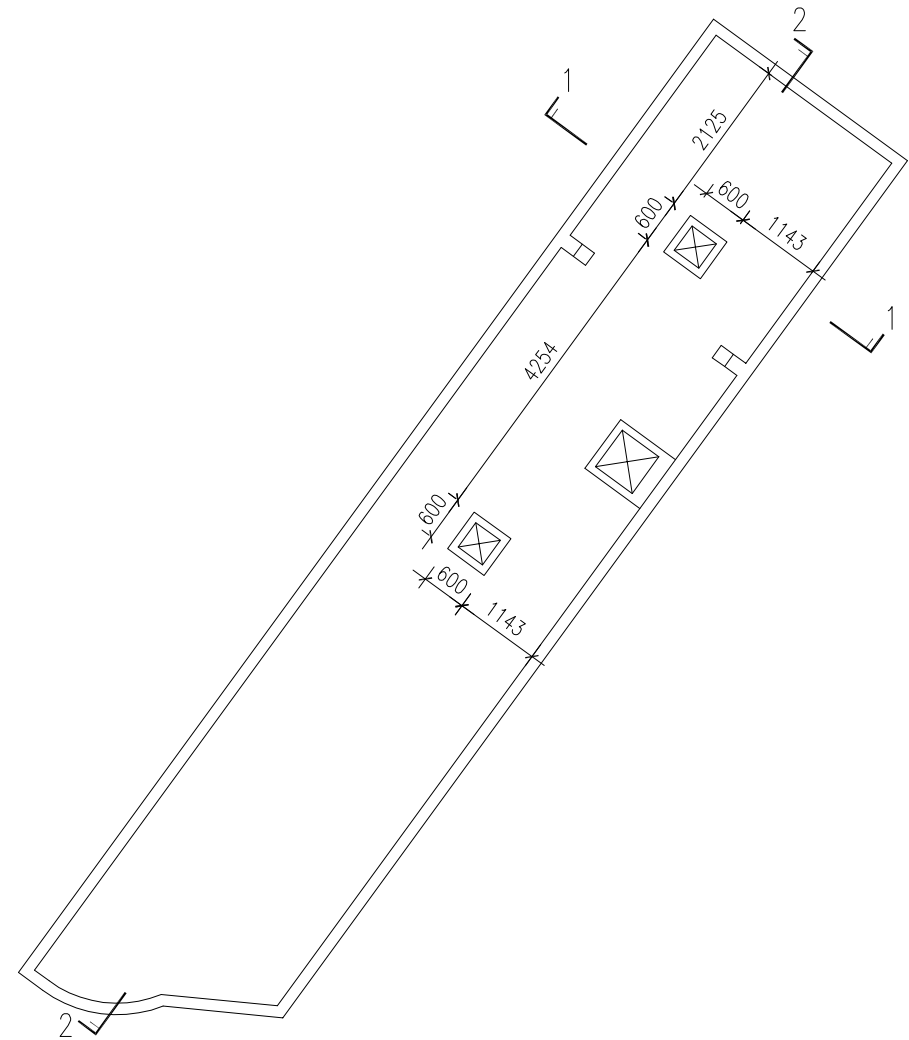
DRAWING TITLE:  
 SECTION 2-2 OF BRIDGES STREET MARKET  
 SCALE:  
 1 : 100 (A3)

DRAWING NO.:  
**BSM-09**

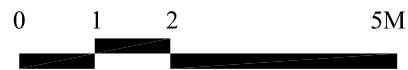


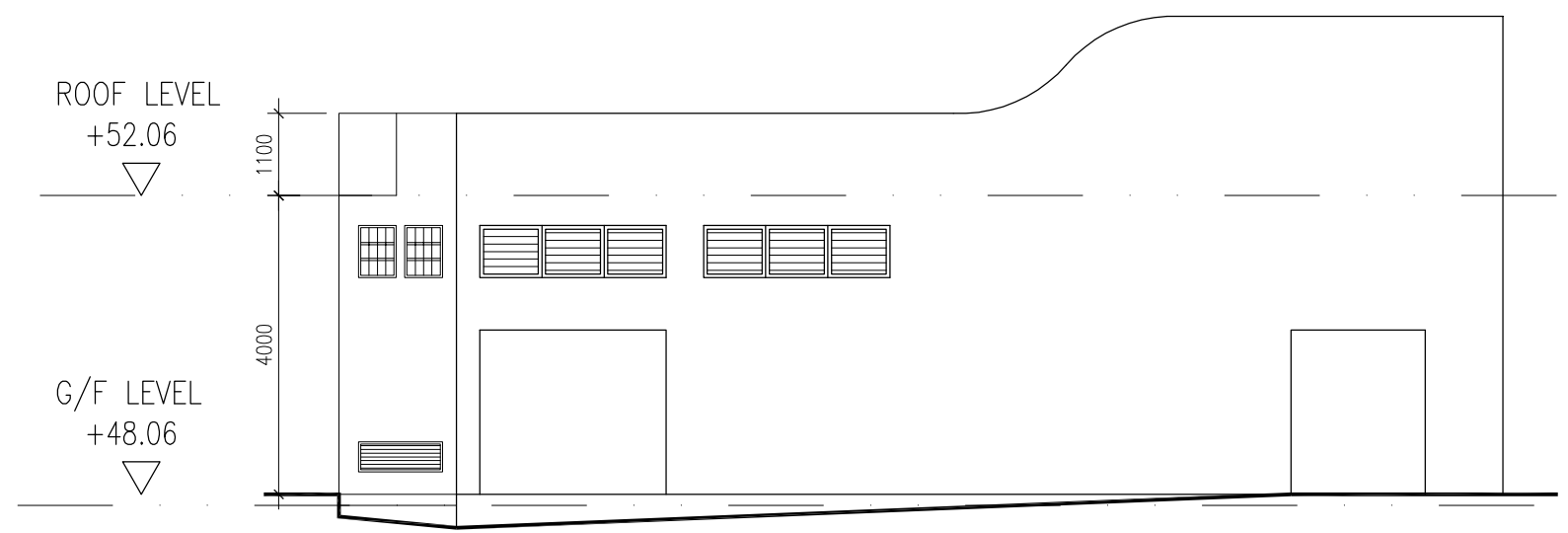


GROUND FLOOR PLAN OF RCP

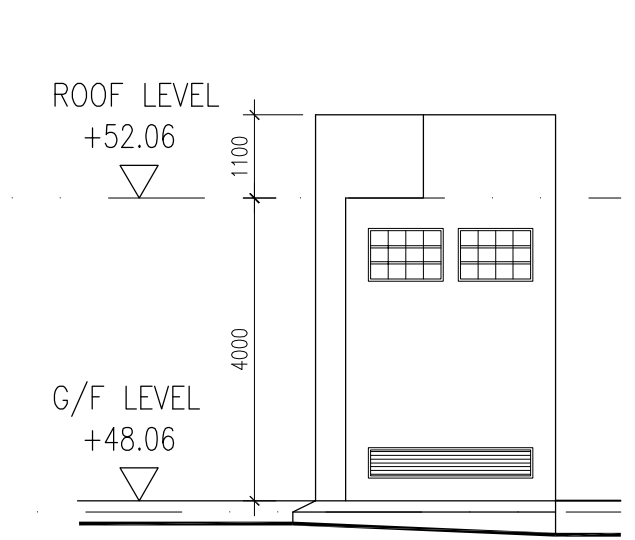


ROOF PLAN OF RCP

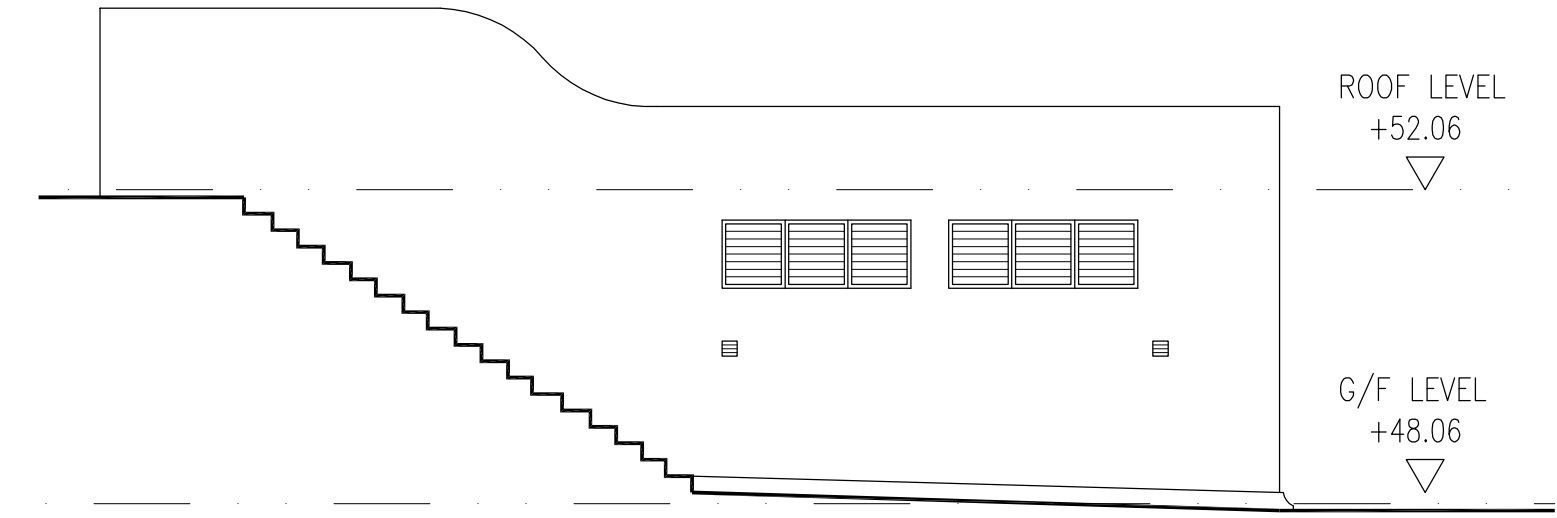




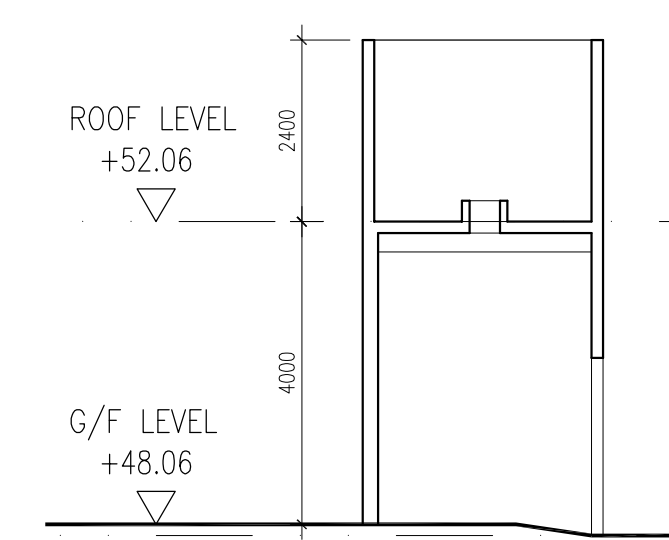
ELEVATION A



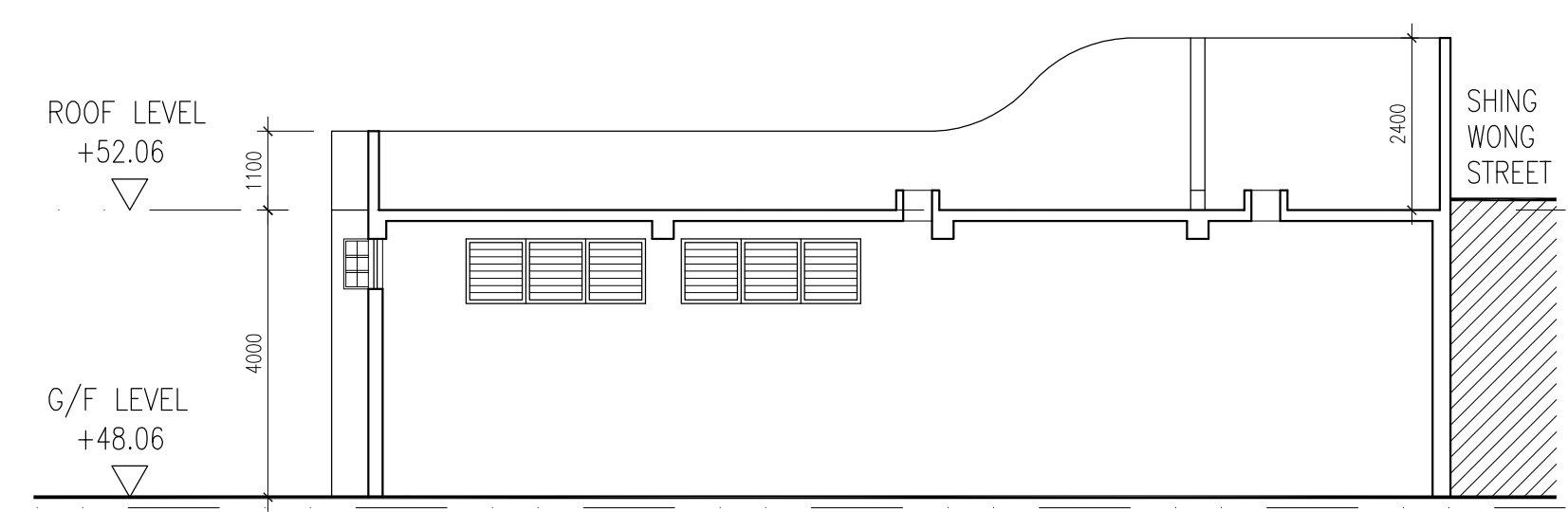
ELEVATION B



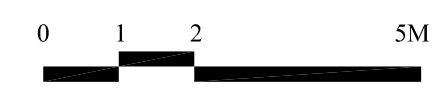
ELEVATION C



SECTION 1-1



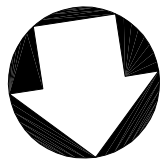
SECTION 2-2










## Appendix V(B)

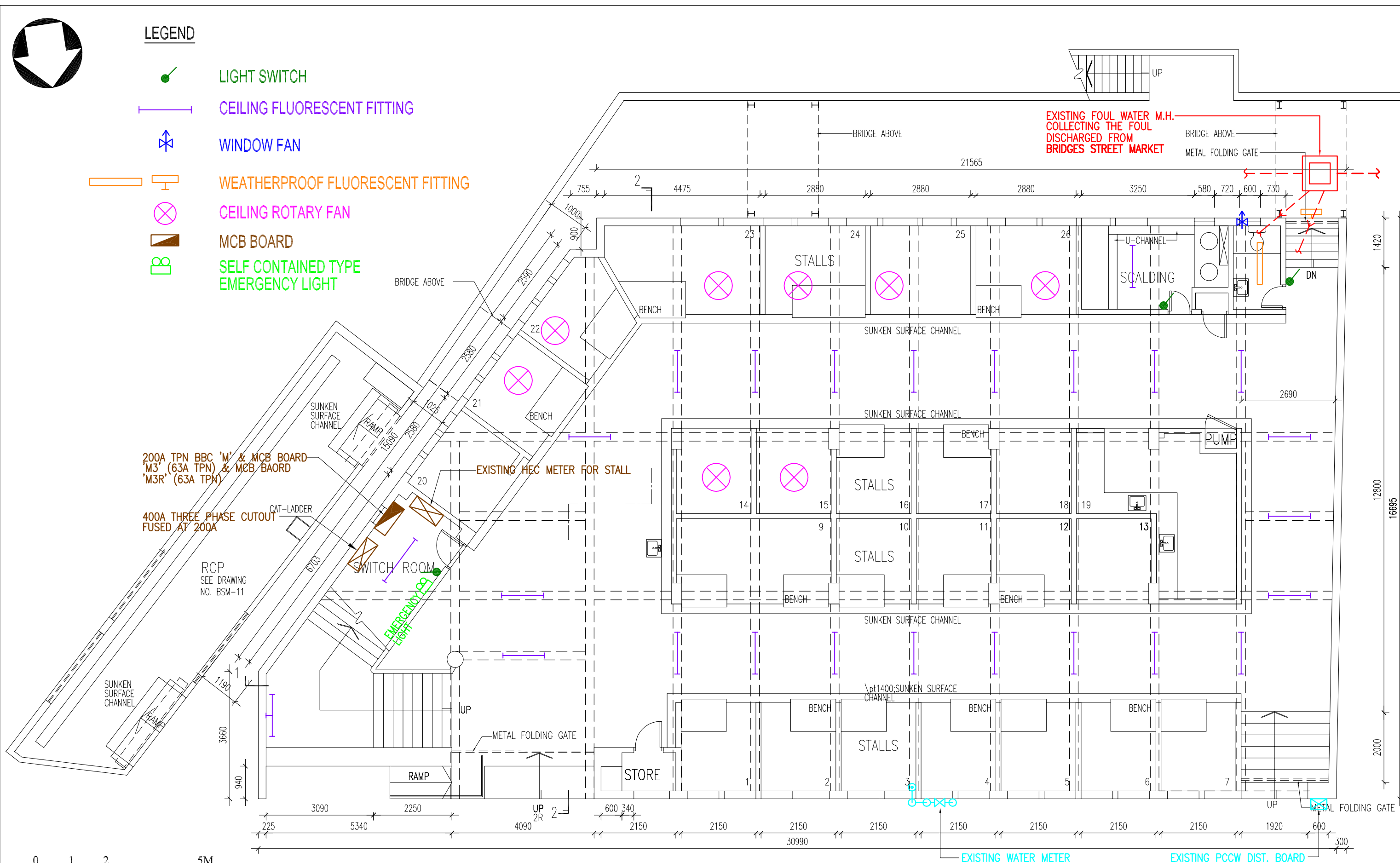
### **Building Services Drawings**

<b>Building Services Drawings</b>	
<b>Drawing No.</b>	<b>Title</b>
ME-1	Ground Floor Plan of Bridges Street Market Existing Building Services Layout
ME-2	First Floor Plan of Bridges Street Market Existing Building Services Layout
ME-3	Second Floor Plan of Bridges Street Market Existing Building Services Layout
ME-4	Upper Roof Plan of Bridges Street Market Existing Building Services Layout
ME-5	Plan of RCP Existing Building Services Layout



**LEGEND**

-  LIGHT SWITCH
-  CEILING FLUORESCENT FITTING
-  WINDOW FAN
-  WEATHERPROOF FLUORESCENT FITTING
-  CEILING ROTARY FAN
-  MCB BOARD
-  SELF CONTAINED TYPE EMERGENCY LIGHT



PRODUCED BY:



Architectural Conservation Office

DATE OF PRODUCTION : 31/01/2011

**NOTES:**

The drawings should not be construed as the exact Site Situation. The drawings should be verified on Site for actual dimension, area and layout by authorized land Surveyor.

**PROJECT:**

**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

**DRAWING TITLE:**

GROUND FLOOR PLAN OF BRIDGES STREET MARKET EXISTING BUILDING SERVICES LAYOUT

**SCALE:**

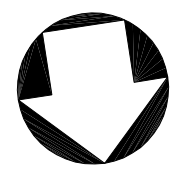
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**DRAWING NO.:**





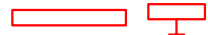


**ME-1**

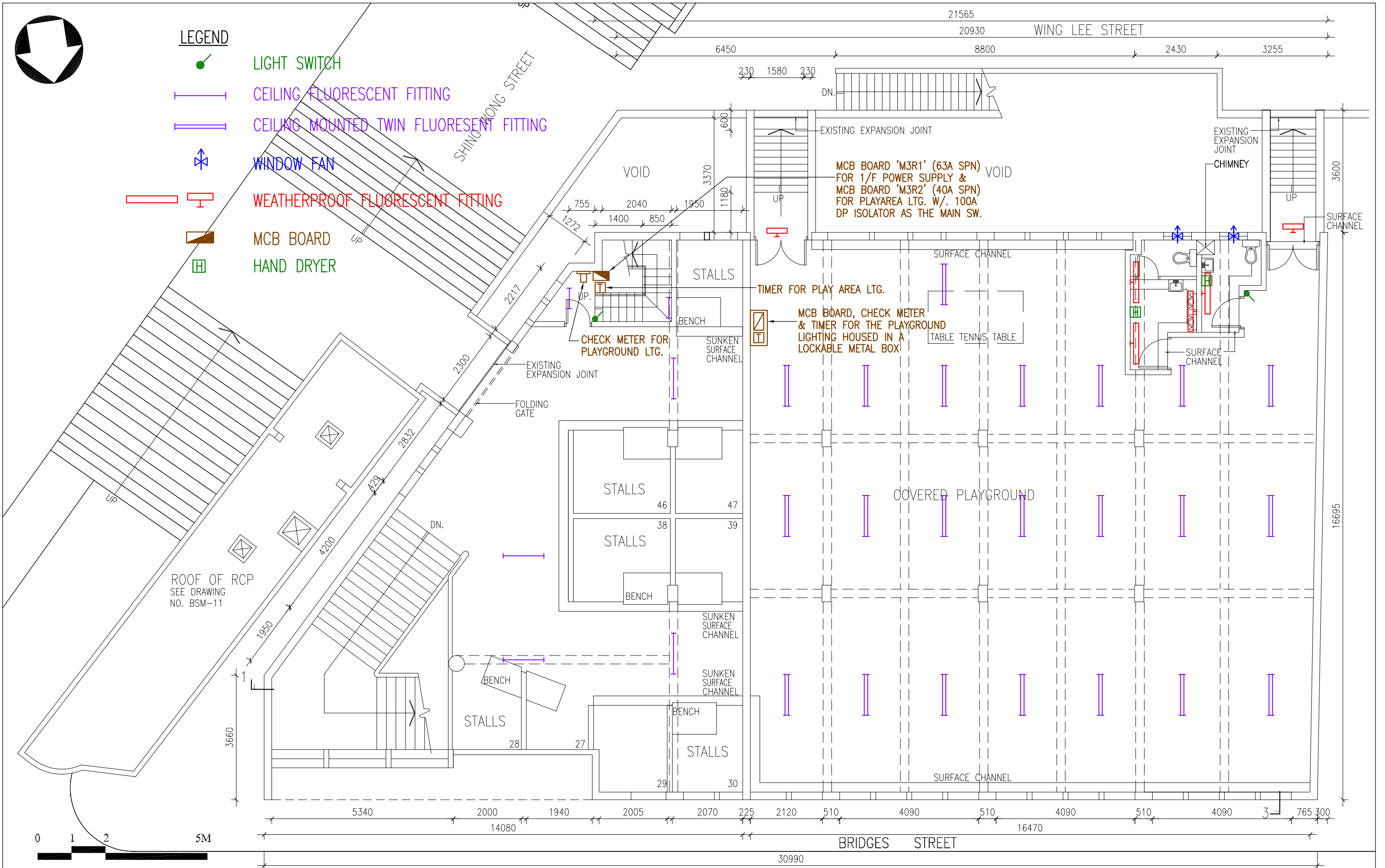


ARCHITECTURAL SERVICES DEPARTMENT



**LEGEND**

-  LIGHT SWITCH
-  CEILING FLUORESCENT FITTING
-  CEILING MOUNTED TWIN FLUORESCENT FITTING
-  WINDOW FAN
-  WEATHERPROOF FLUORESCENT FITTING
-  MCB BOARD
-  HAND DRYER



PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

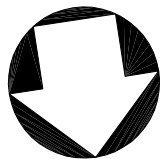
DRAWING TITLE:  
 FIRST FLOOR PLAN OF BRIDGES STREET MARKET EXISTING B.S. INSTALLATION LAYOUT

SCALE:  
 1 : 100 (A3)








DRAWING NO.:

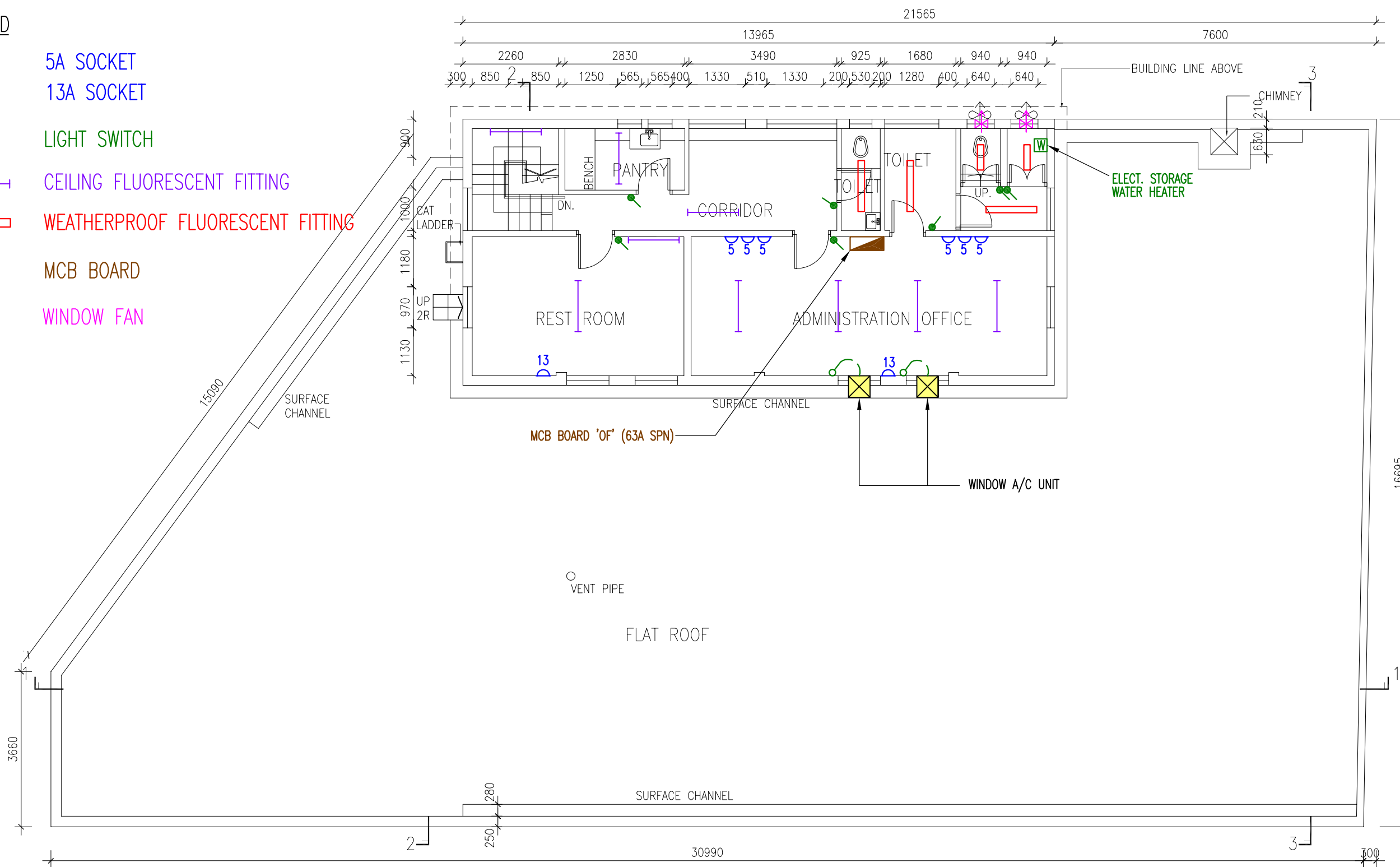
**ME-2**





LEGEND

-  5A SOCKET
-  13A SOCKET
-  LIGHT SWITCH
-  CEILING FLUORESCENT FITTING
-  WEATHERPROOF FLUORESCENT FITTING
-  MCB BOARD
-  WINDOW FAN



PRODUCED BY:  
**ACO**  
 Architectural Conservation Office  
 DATE OF PRODUCTION : 31/01/2011

NOTES:  
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

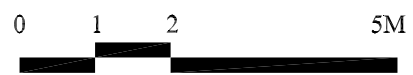
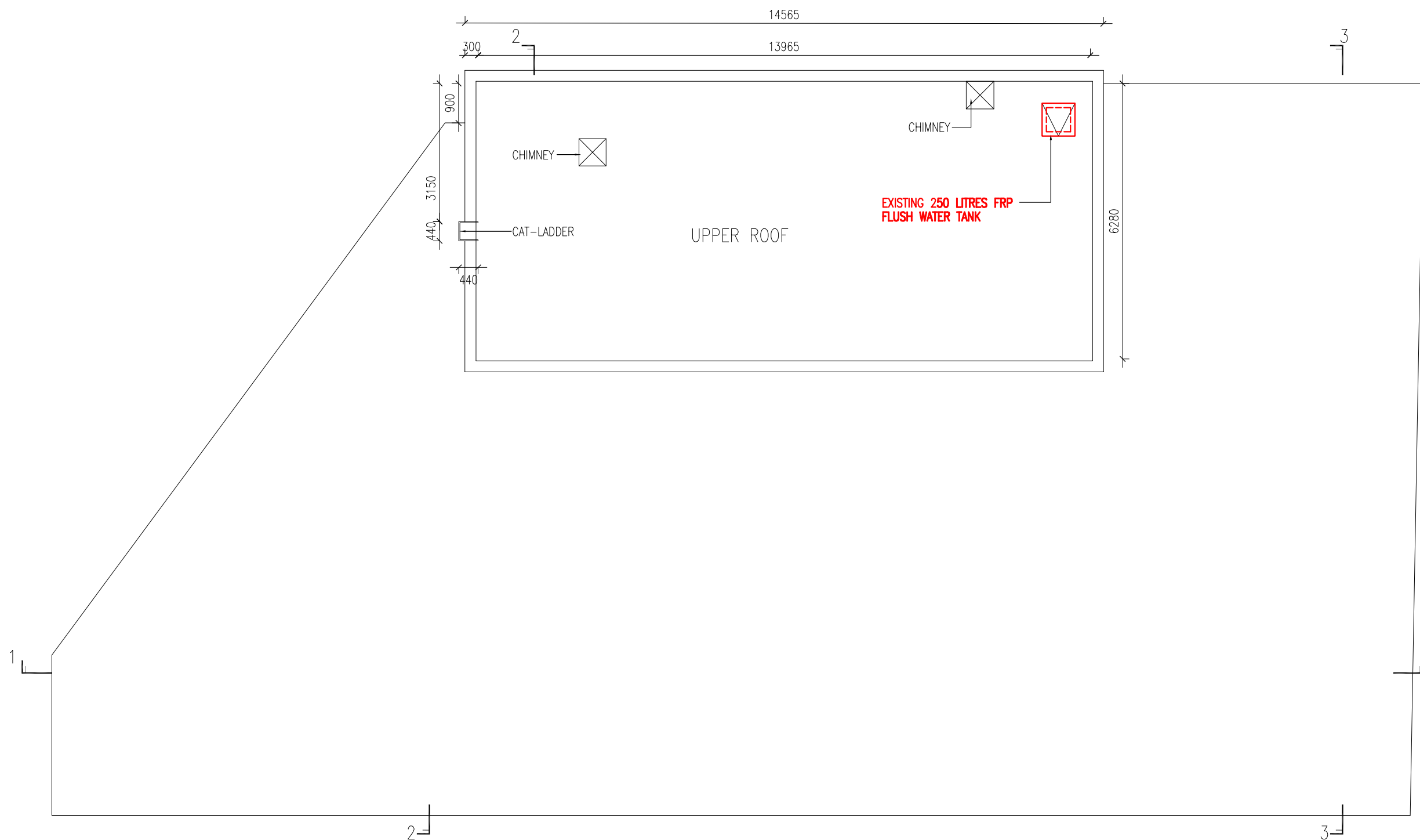
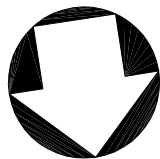
PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET, CENTRAL, HONG KONG**

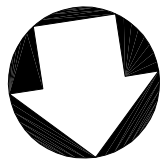
DRAWING TITLE:  
 SECOND FLOOR PLAN OF BRIDGES STREET MARKET EXISTING BUILDING SERVICES LAYOUT

SCALE:  
 1 : 100 (A3)

DRAWING NO.:

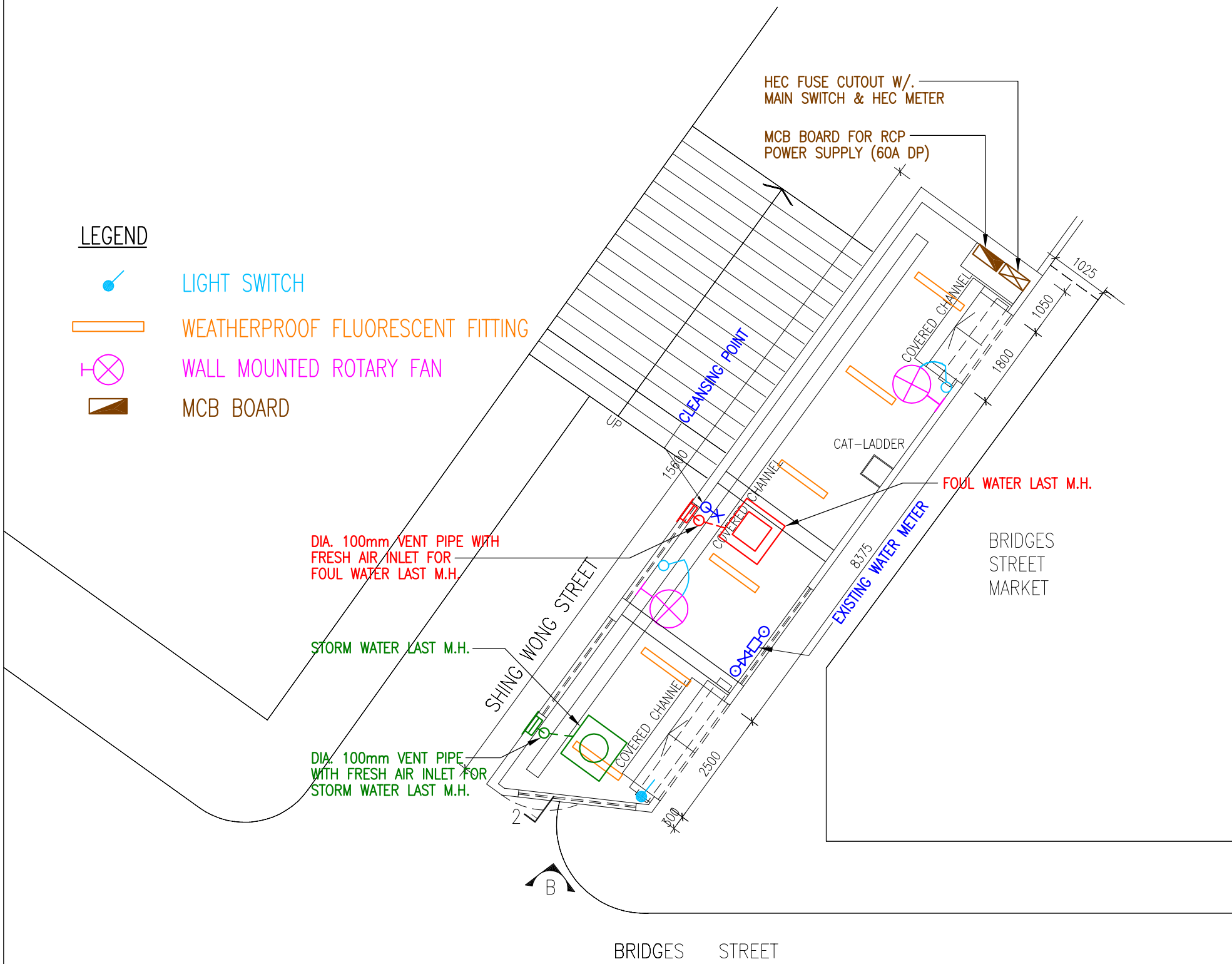
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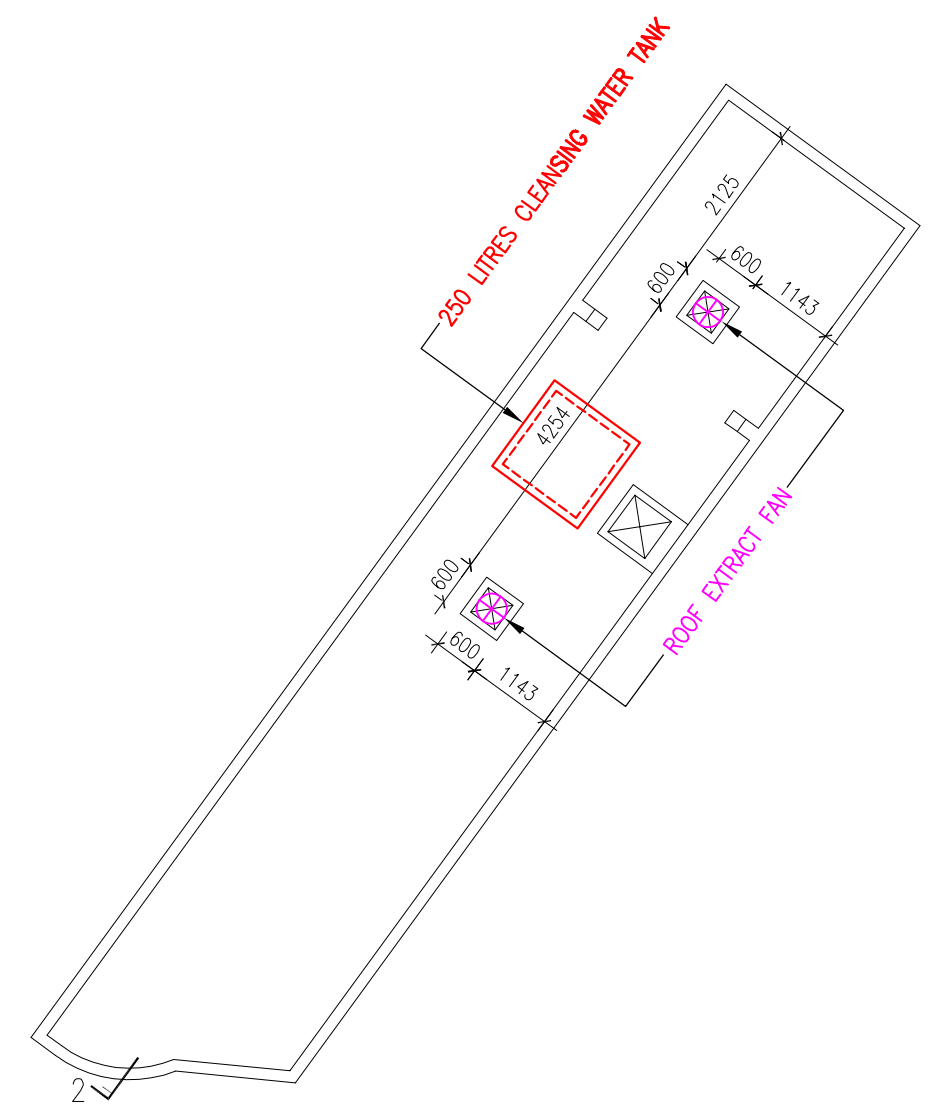


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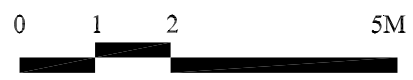
-  LIGHT SWITCH
-  WEATHERPROOF FLUORESCENT FITTING
-  WALL MOUNTED ROTARY FAN
-  MCB BOARD



GROUND FLOOR PLAN OF RCP



ROOF PLAN OF RCP



PRODUCED BY:  
**ACO**  
Architectural Conservation Office  
DATE OF PRODUCTION : 31/01/2011

NOTES:  
The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:  
**BRIDGES STREET MARKET, NO. 2 BRIDGES STREET,  
CENTRAL, HONG KONG**

DRAWING TITLE:  
PLAN OF RCP  
EXISTING BUILDING SERVICES LAYOUT

SCALE:  
1 : 100 (A3)

DRAWING NO.:

**ME-5**

## **Appendix VI**

### **Photos of the Site and Buildings**

## 1. Site and Overview



1.1 View of Bridges Street Market and RCP from Bridges Street

## 2. Bridges Street Market



2.1 View of Bridges Street Market from Bridges Street



2.2 View of Bridges Street Market from Bridges Street



2.3 View of entrance to 1/F of Bridges Street Market from Shing Wong Street



2.4 View of rear façade from Wing Lee Street



2.5 View of Link Bridges connecting Wing Lee Street and Covered Playground



2.6 View of G/F of Bridges Street Market



2.7 View of main staircase of Bridges Street Market





2.8 View of Market Hall at 1/F of Bridges Street Market



2.9 View of interior of Covered Playground at 1/F of Bridges Street Market



2.10 View of interior of Covered Playground at 1/F of Bridges Street Market



2.11 View of 2/F of Bridges Street Market



2.12 View of RCP



2.13 View of interior of RCP

**Appendix VII**  
**Recurrent Expenditure**

### (A) Electricity Fee

Possible Use(s) <sup>(1)</sup>	GFA (m <sup>2</sup> ) (a)	Net Gross Ratio (b)	IFA (m <sup>2</sup> ) (c)=(a)x(b)	Energy Consumption Indicator <sup>(2)</sup> (MJ/m <sup>2</sup> /annum) (d)	Energy Consumption per annum (kWh/annum) <sup>(3)</sup> (e)=(c)x(d)x0.2778	Estimated Electricity Fee(\$) <sup>(4)</sup> per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website <sup>(2)</sup>
Exhibition or Convention Facilities	950	90%	855	1,043	247,732	330,828	Offices
Information Centre				532	126,360	168,675	Post-secondary Colleges

#### Notes:

- (1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 9 hours for exhibition or convention facilities and information centre, 12 hours for recreational and cultural facilities etc.
- (2) The respective "Energy Consumption Indicators" can be found at [http://www.emsd.gov.hk/emsd/eng/pee/ecib\\_indicators.shtml](http://www.emsd.gov.hk/emsd/eng/pee/ecib_indicators.shtml).
- (3) 1MJ x 0.2778 = 1kWh
- (4) Electricity fee of Hong Kong side is based on the tariff charged by Hong Kong Electric Holdings Limited (HEH).  
HEH: @\$0.939 for first 1,500 units, @\$1.034 thereafter. Fuel clause adjustment charge is @\$0.302.  
1 Unit = 1 kWh.  
The estimated electricity fee is for cost projection in the application only. The actual fee will be subject to the then tariff and actual demand and consumption.

### (B) Water and Sewage Charge

Possible Use(s) <sup>(1)</sup>	GFA (m <sup>2</sup> ) (a)	Net Gross Ratio (b)	IFA (m <sup>2</sup> ) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d) = (c) x \$0.3	Estimated Water & Sewage Charge(\$) <sup>(2)</sup> /annum (e) = (d) x 12
Exhibition or Convention Facilities	950	90%	855	257	3,084
Information Centre					

#### Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is \$0.3 per m<sup>2</sup>.  
Based on the above estimate, it is assumed that the use of water per m<sup>2</sup> of :  
Exhibition or convention facilities and information centre = Offices  
Recreational and cultural facilities = Offices x 2

- (2) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate. The actual water and sewage charge will be subject to the then tariff and actual consumption.

**(C) Rates and Rent**

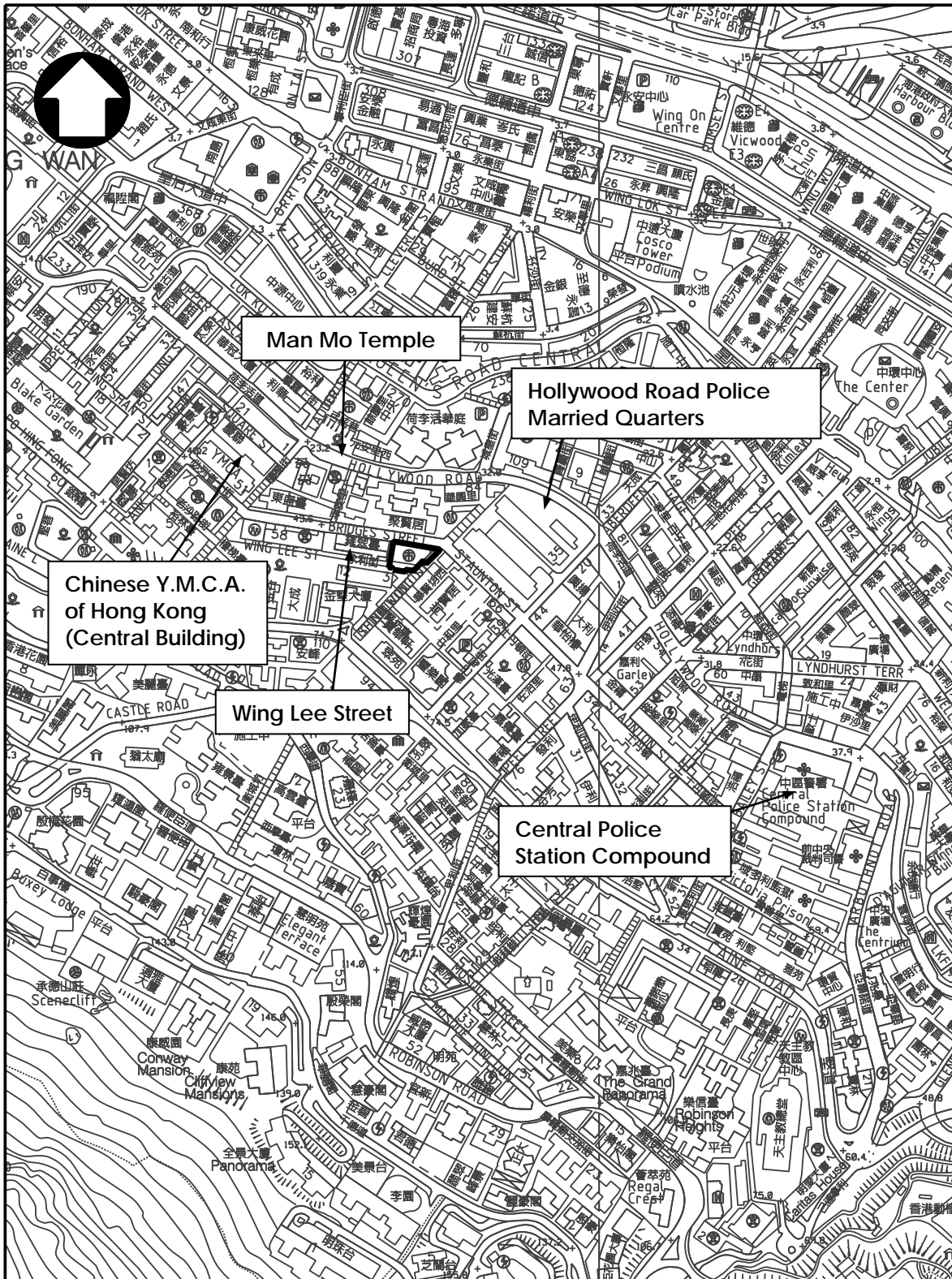
Possible Use(s)	GFA (m <sup>2</sup> )	Site Area (m <sup>2</sup> )	Rateable Value <sup>(1)</sup> (\$) (a)	Rates/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum (\$) (d) = (b) + (c)
Exhibition or Convention Facilities	950	640	1,344,000	67,200	40,320	107,520
Information Centre						

**Notes:**

- (1) The above rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The rateable value will be subject to annual revaluation by the Rating and Valuation Department. The actual assessment of rateable values are for reference only and the exact amount will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building.

**Appendix VIII**

**Plan Showing Immediate Surroundings**



□ THE SITE

EXTRACT PLAN BASED ON SURVEY SHEET No. 11-SW-A AND 11-SW-B SHEET DATE: 18/08/2010

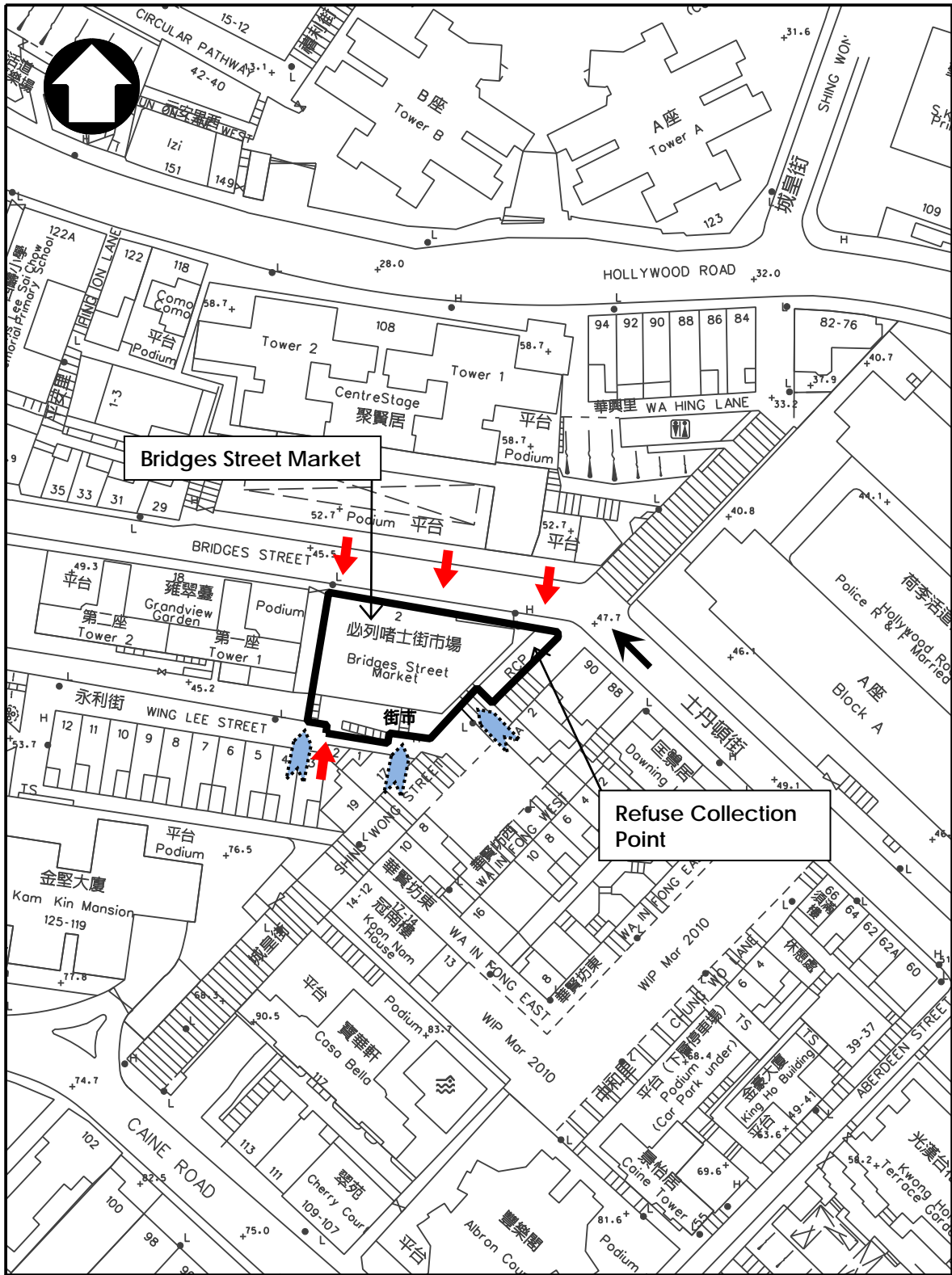
BRIDGES STREET MARKET  
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG





DRAWING NO.:

APPENDIX VIII  
PLAN SHOWING IMMEDIATE  
SURROUNDINGS  
1:5000 (A4)



**Appendix IX**  
**Access Plan**



-  THE SITE
-  VEHICULAR ACCESS
-  PEDESTRIAN ENTRANCE
-  PEDESTRIAN ENTRANCE BY LINK BRIDGES OUTSIDE BOUNDARY

**BRIDGES STREET MARKET**  
 NO.2 BRIDGES STREET,CENTRAL,  
 HONG KONG

DRAWING NO.:  
**APPENDIX IX**  
**ACCESS PLAN**  
 1:1000 (A4)

**Appendix X**  
**List of Architectural Features**  
**to be Preserved**

## **Bridges Street Market** **Architectural Features to be Preserved**

### **1. Exterior: North Elevation (facing Bridges Street)**

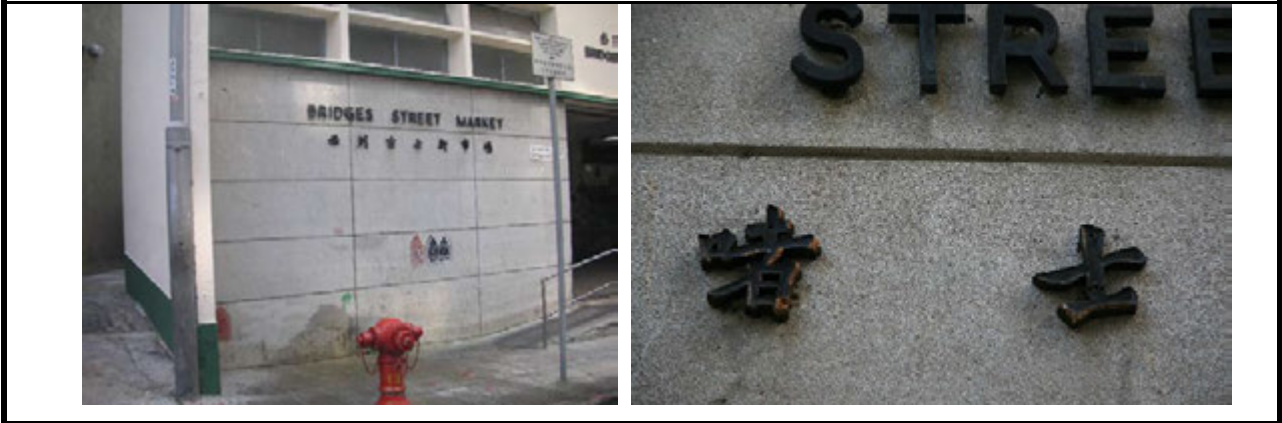
1.1) Asymmetrical composition of the elevation with plain painted rendered wall, grooved panel of Shanghai plaster, the main entrance and the side entrance, the horizontal streamlined bands of windows and the large grid pattern windows.



1.2) Main entrance at G/F level.



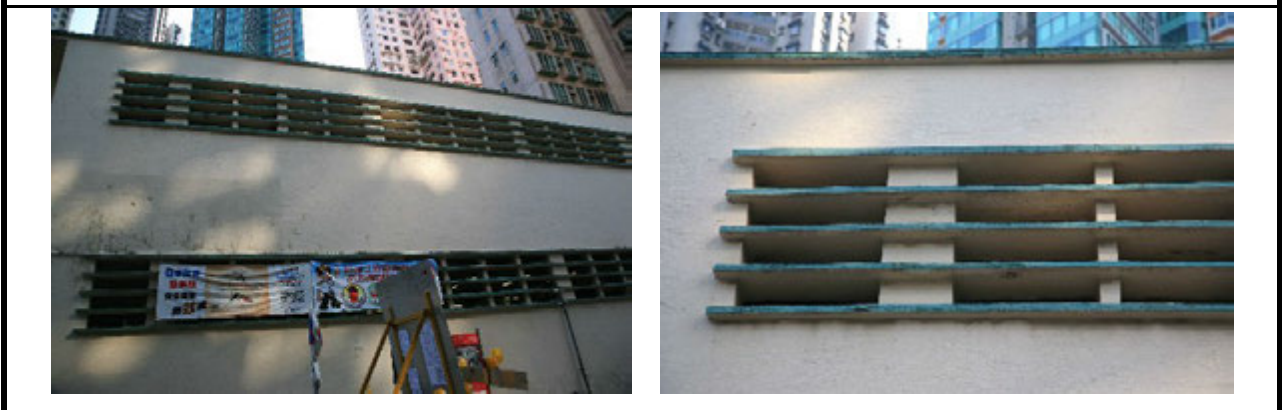
1.3) Panel of grooved Shanghai plaster resembling masonry on the left hand side of the main entrance, with the old style lettering: “Bridges Street Market 必列啫士街市場” in English and Chinese



1.4) Large grid pattern window to illuminate the internal staircase formed of concrete grilles and wired glass.



1.5) Two horizontal streamline bands of windows on G/F and 1/F levels, fitted with concrete grilles and iron bars.



1.6) Side entrance at G/F level.



## 2. Exterior: East Elevation (facing Shing Wong Street)

- 2.1) Asymmetrical composition of the elevation consisting of plain painted rendered wall, the entrance with Bostwich gate, and the horizontal streamlined bands of windows.



- 2.2) Side entrance with a link bridge to Shing Wong Street framed by strip with the old style lettering: “必列者士街市場” in Chinese



- 2.3) Horizontal streamlined bands of windows fitted with reinforced concrete grilles and iron bars.



### 3. Exterior: South Elevation (facing Wing Lee Street)

3.1) Asymmetrical composition of the elevation in three storey high incorporating the rear of the staff quarters on the flat roof. Plain painted rendered wall, punctuated with streamlined bands of windows fitted with reinforced concrete grills and iron bars; Projecting flat roof forming the eave of the roofs of staff quarter and 2/F. Two entrances connected by linking stairways to Wing Lee Street.



3.2) Horizontal streamlined bands of windows fitted with concrete grills and iron bars.



3.3) Two entrances from Wing Lee Street served by link bridges.





3.4) Flat roofs of the building and the staff quarters



3.5) Staff quarters at roof, including the window openings with horizontal eaves and cills



3.6) Chimneys at roofs of the building and the staff quarters



3.7) Cast iron rainwater and waste pipes and hopperheads



## 4. Interior

4.1) G/F open stalls cladded by tiles, comprising partition walls, concrete benches and parameter ditches



4.2) Stoves and chimney in poultry slaughter room



4.3) Round concrete columns with Shanghai plaster dado



4.4) Staircase, landing and balustrade wall and steel tubular handrail leading from G/F to 1/F



4.5) Shanghai plaster dado on internal walls



4.6) Open stalls at 1/F with concrete benches and Shanghai plaster dado walls.



4.7) Internal painted brick walls



4.8) Bench and chimney at staff quarters



4.9) Conventional printed stencil letterings on walls




**Appendix XI**  
**List of Required Treatment to**  
**Architectural Features**

## Bridges Street Market


### Required Treatment to Architectural Features

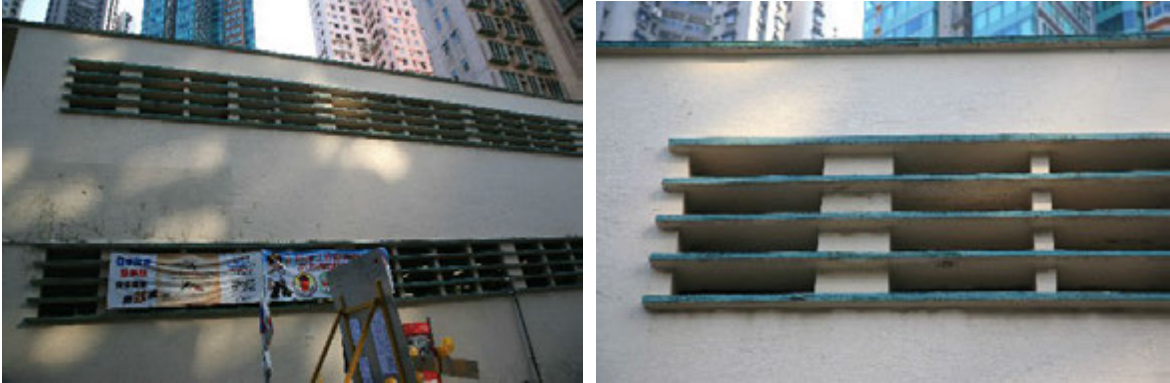
#### 1. Exterior: North Elevation (facing Bridges Street)

Architectural Feature	Required Treatment
a) Asymmetrical composition of the elevation	The elevation should be generally kept intact. Do not install any structure project out of the front external walls such as awning, additional shading fins or window-type air-conditioning units. No new opening should be made unless approved by AMO. Repair the plain painted rendered wall as necessary. Installation of new signage to the elevation may be permitted provided that it will not overwhelm the existing elevation design and it should be submitted to AMO for approval.
	

Architectural Feature	Required Treatment
b) Main entrance at G/F level.	No alteration to the size of the doorway should be allowed unless approved by AMO. No objection to retain the existing ramp for barrier free access, and additional installations to suit current building standards may be permitted subject to AMO's approval. No objection to remove the FEHD logo and the modern-style wordings of Bridges Street Market.
	

Architectural Feature	Required Treatment
<p>c) Panel of grooved Shanghai plaster resembling masonry, with the old style lettering: “Bridges Street Market 必列啫士街市場” in English and Chinese</p>	<p>The panel of grooved Shanghai plaster should not be covered up. Repair and clean by appropriate methods as necessary. The old style letters should be preserved in-situ for public appreciation. Restore the lost or the damaged characters with reference to the existing characters.</p>
	


Architectural Feature	Required Treatment
<p>d) Large grid pattern window to illuminate the internal staircase formed of concrete grilles and wired glass.</p>	<p>The large grid pattern window should not be altered. No covering up to the feature is allowed. Blocking the windows internally by transparent material for operation needs may be permitted subject to AMO’s approval.</p>
	



Architectural Feature	Required Treatment
e) Two horizontal streamlined bands of windows on G/F and 1/F levels, fitted with concrete grilles and iron bars	The patterns of horizontal streamlined bands with concrete grilles should not be altered. No covering up to the features is allowed. Blocking the windows internally by transparent material for operation needs may be permitted subject to AMO's approval. Repair the spalled and weathered concrete sun shading fins as and when necessary.
	


Architectural Feature	Required Treatment
f) Side entrance at G/F level.	No alteration to the size of the doorway is allowed unless approved by AMO. Installations to suit current building standards may be permitted subject to AMO's approval.
	




**2. Exterior: East Elevation (facing Shing Wong Street)**


Architectural Feature	Required Treatment
a) Asymmetrical composition of the elevation	The features on the elevation should be generally kept intact. Do not install any structure project out of the elevation such as awning, additional shading fins or window-type air-conditioning units. Repair the plain painted rendered wall as necessary. Alterations to the elevation to suit current requirements on building services or access facilities may be permitted subject to AMO’s approval.
	

Architectural Feature	Required Treatment
b) Side entrance framed by strip with the old style lettering: “必列者士街市場” in Chinese	No alteration to the size and the strip frame of the doorway is allowed. The old style lettering should be preserved in-situ for public appreciation. Installations to the entrance to suit current building standards may be permitted subject to AMO’s approval. Check the structural condition of the link bridge, strengthen and repair the bridge as necessary.
	

Architectural Feature	Required Treatment
c) Horizontal streamlined bands of windows fitted with concrete grilles and iron bars.	The patterns of horizontal streamlined bands with concrete grilles should not be altered. No covering up to the feature is allowed. Blocking the windows internally by transparent material for operation needs may be permitted subject to AMO's approval. Repair the spalled and weathered concrete sun shading fins as and when necessary.
	


### 3. Exterior: South Elevation (facing Wing Lee Street) and West Elevation

Architectural Feature	Required Treatment
a) Asymmetrical composition of the south elevation	The features on the elevation should be generally kept intact. Do not install any structure project out of the elevation such as awning, additional sun shading fins or window-type air-conditioning units. Repair the plain painted rendered wall as necessary. Alterations to the elevation to suit current requirements on building services or access facilities may be permitted subject to AMO's approval.
	


Architectural Feature	Required Treatment
b) Horizontal streamlined bands of windows fitted with concrete grilles and iron bars.	The patterns of horizontal streamlined bands with concrete grilles should not be altered. No covering up to the feature is allowed. Blocking the windows internally by transparent material for operation needs may be permitted subject to AMO's approval. Repair the spalled and weathered concrete sun shading fins as and when necessary.
	

Architectural Feature	Required Treatment
c) Two entrances from Wing Lee Street served by link bridges	The entrances should not be blocked. Check the structural condition of the link bridges, strengthen and repair the bridges as necessary. Alteration to the bridges, the sizes of the entrances and installations to the entrance to suit current building standards may be permitted subject to AMO's approval.
	

Architectural Feature	Required Treatment
d) Flat roofs of the building and the staff quarters	The form of the roofs should not be altered. Installations of building services or other facilities to suit current standards for the proposed use may be permitted, provided that it will not cause visual impact to the building and subject to the advice from a Registered Structural Engineer if any structural strengthening works is necessary.
	


Architectural Feature	Required Treatment
e) Staff quarters at roof, including the window openings with projected horizontal eaves and cills	The staff quarters on the roof should be preserved in-situ. Additional structure added to the staff quarters to suit operation needs may be permitted subject to AMO's approval and advice from a Registered Structural Engineer if strengthening of the roof slab is necessary, but the envelope of the staff quarters should not be altered. No alteration to the window opening and the projected horizontal eaves and cills is allowed unless approved by AMO. No restriction on the replacement of the window frames and no specific requirement on the style of the new windows. GMS frame with existing configuration is recommended.
	

Architectural Feature	Required Treatment
f) Chimneys at roofs roofs of the building and the staff quarters	Preserve in-situ and repair as necessary.
	


Architectural Feature	Required Treatment
g) Cast iron rainwater and waste pipes and hopperheads	Preserve in-situ and repair as necessary the historic cast iron rainwater and waste pipes and hopperheads. Restore its function if feasible.
	


Architectural Feature	Required Treatment
h) West elevation	No specific requirement. New openings to the elevation may be permitted subject to AMO's approval and advice from a Registered Structural Engineer.
	

#### 4. Interior


Architectural Feature	Required Treatment
a) G/F open stalls clad by tiles, comprising partition walls, concrete benches and surrounding ditches	At least one example of the open stalls at G/F with the existing finishes and features should be preserved for interpretation purpose.
	


Architectural Feature	Required Treatment
b) Stoves and chimney in poultry slaughter room	Preserved in-situ and repair as necessary for interpretation purpose.
	


Architectural Feature	Required Treatment
c) Round concrete column with Shanghai plaster dado	Do not clad on the column to conceal its round shape. The Shanghai plaster should be preserved and repaired as necessary, and should not be covered up. The dual colour tone with white paint at the upper portion and Shanghai plaster dado (grey colour) at the lower portion should be preserved in-situ.
	

Architectural Feature	Required Treatment
d) Staircase, landing and balustrade wall and steel tubular handrail from G/F to 1/F	The staircase, landing and balustrade wall and the steel tubular handrail should be preserved in-situ. Repair the finishes of the staircase as necessary. Upgrading works to meet current standards may be permitted subject to AMO's approval.
	





Architectural Feature	Required Treatment
e) Shanghai plaster dado on internal walls	Preserve in-situ and repair as necessary. No covering up is allowed unless approved by AMO.
	

Architectural Feature	Required Treatment
f) Open stalls at 1/F with concrete benches Shanghai plaster dado walls.	At least one example of the open stalls at 1/F with the existing finishes and features preserved for interpretation purpose.
	


Architectural Feature	Required Treatment
g) Internal painted brick walls	Repair any damage sections of brickwork and rendering, using appropriate materials as necessary. No restriction on alterations of internal partitions of the staff quarters, subject to the advice from a Registered Structural Engineer.
	

Architectural Feature	Required Treatment
h) Bench and chimney at staff quarters	Preserve in-situ and repair as necessary. No objection to be covered up but the method should be in reversible manner.
	

Architectural Feature	Required Treatment
i) Painted stencil letterings on walls	They should be displayed for public appreciation. Measures to protect them for further deterioration are required, provided that they are reversible and will not cause extensive damage to the Shanghai plaster finishes.
	

Architectural Feature	Required Treatment
j) Covered playground at 1/F accessing from Wing Lee Street	No specific requirement on the playground furniture. However, interpretation tools should be provided to describe its use as an indoor playground within the market.
	

## 5. Surrounding

Architectural Feature	Required Treatment
a) Refuse Collection Point	<p>The Refuse Collection Point blocks the vista of the steps leading to mid level of Shing Wong Street and obstructs the side elevation of the Bridge Street Market. Shing Wong Street should be reinstated after the demolition of the existing Refuse Collection Point next to the Bridges Street Market. Access facilities required for the proposed use may be permitted to be built on the area provided that it will not cause visual impact to both the vista of Shing Wong Street and the east elevation of the building and the design should be approved by AMO.</p>
	


**Appendix XII**

**List of Recommended Treatment to  
Architectural Features**

## Bridges Street Market

### Recommended Treatment to Architectural Features

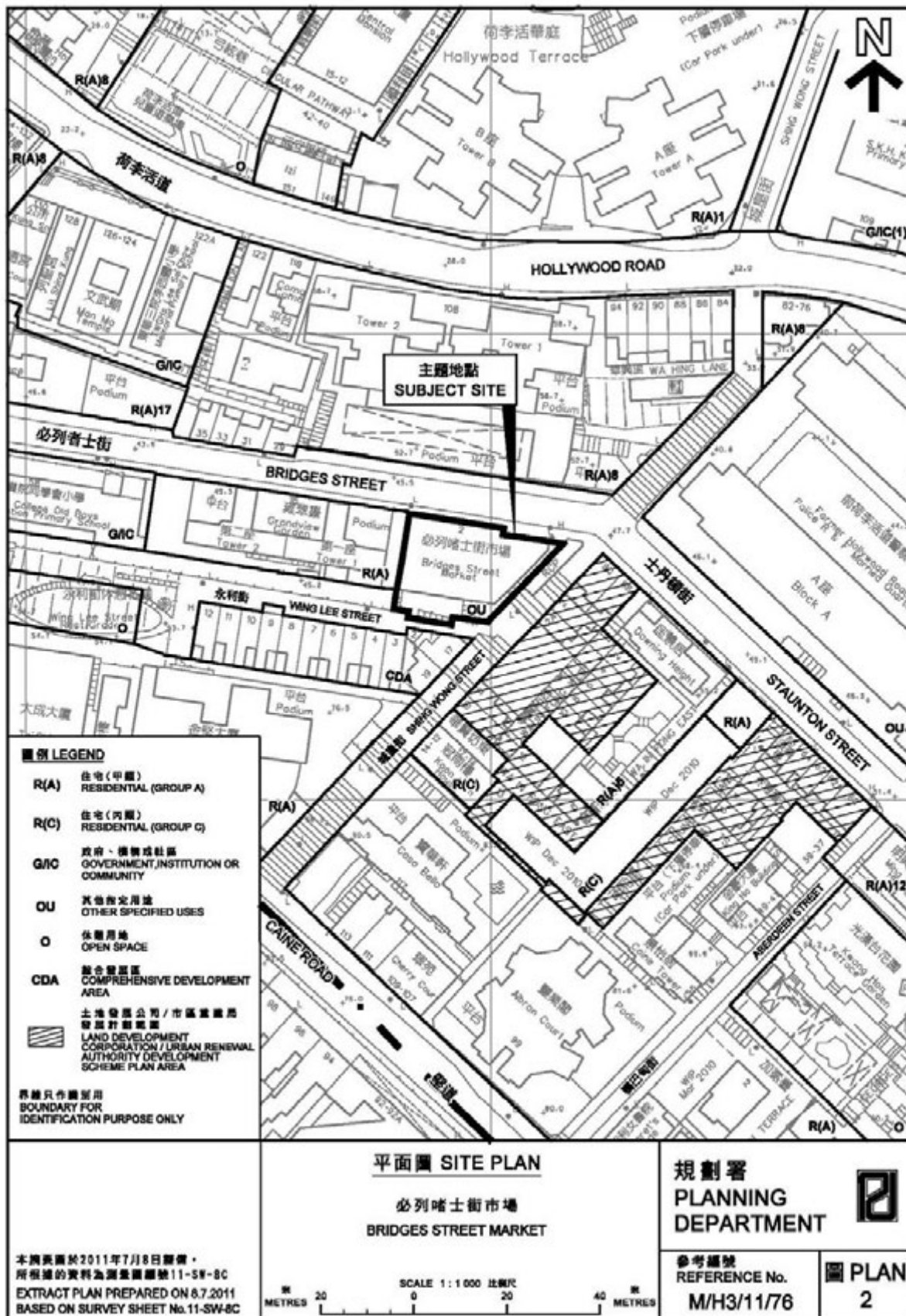
#### 1. Exterior

Architectural Feature	Recommended Treatment
a) All elevations	Recommended to remain the existing colour scheme as it echoes with a simple and functional façade treatment of the Building.
	

#### 2. Interior

Architectural Feature	Recommended Treatment
a) Open stalls at G/F and 1/F	Recommended to retain and re-use the open stalls as far as practicable.
	

**Appendix XIII**  
**Outline Zoning Plan**





OTHER SPECIFIED USES (Cont'd)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
<u>For "Historical Site Preserved for Cultural and Recreational Uses" Only</u>	
Creative Industries	Eating Place
Education Centre/Visitor Centre	Educational Institution
Exhibition or Convention Hall	Institutional Use (not elsewhere specified)
Government Use	Library
Place of Recreation, Sports or Culture	Office (not elsewhere specified)
Research, Design and Development Centre	Place of Entertainment
Shop and Services (excluding Motor-vehicle Showroom)	Religious Institution
Training Centre	School

Planning Intention

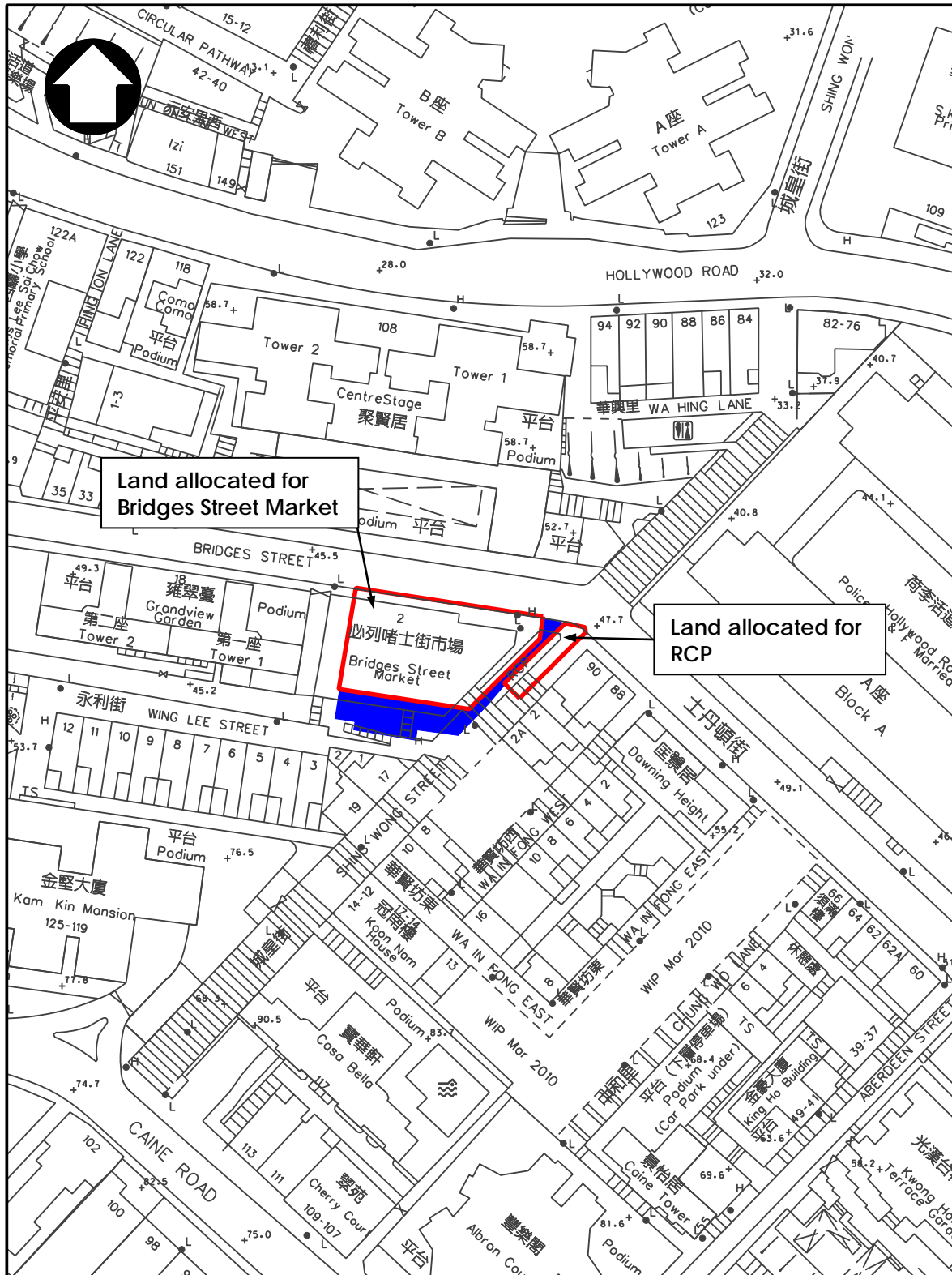
This zone is intended to preserve and revitalize the existing Bridges Street Market site for cultural and recreational uses, with supporting shop and services use.

Remarks

- (1) Any new development, except alteration and/or modification to an existing building and new structure(s) for facilities that are ancillary and directly related to the always permitted uses, requires permission from the Town Planning Board under section 16 of the Town Planning Ordinance.
- (2) No new development, or addition, alteration and/or modification to an existing building shall result in a total development in excess of the maximum building height, in terms of number of storeys, as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- (3) Based on the individual merits of a development proposal, minor relaxation of the building height restriction stated in paragraph (2) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

**Appendix XIV**

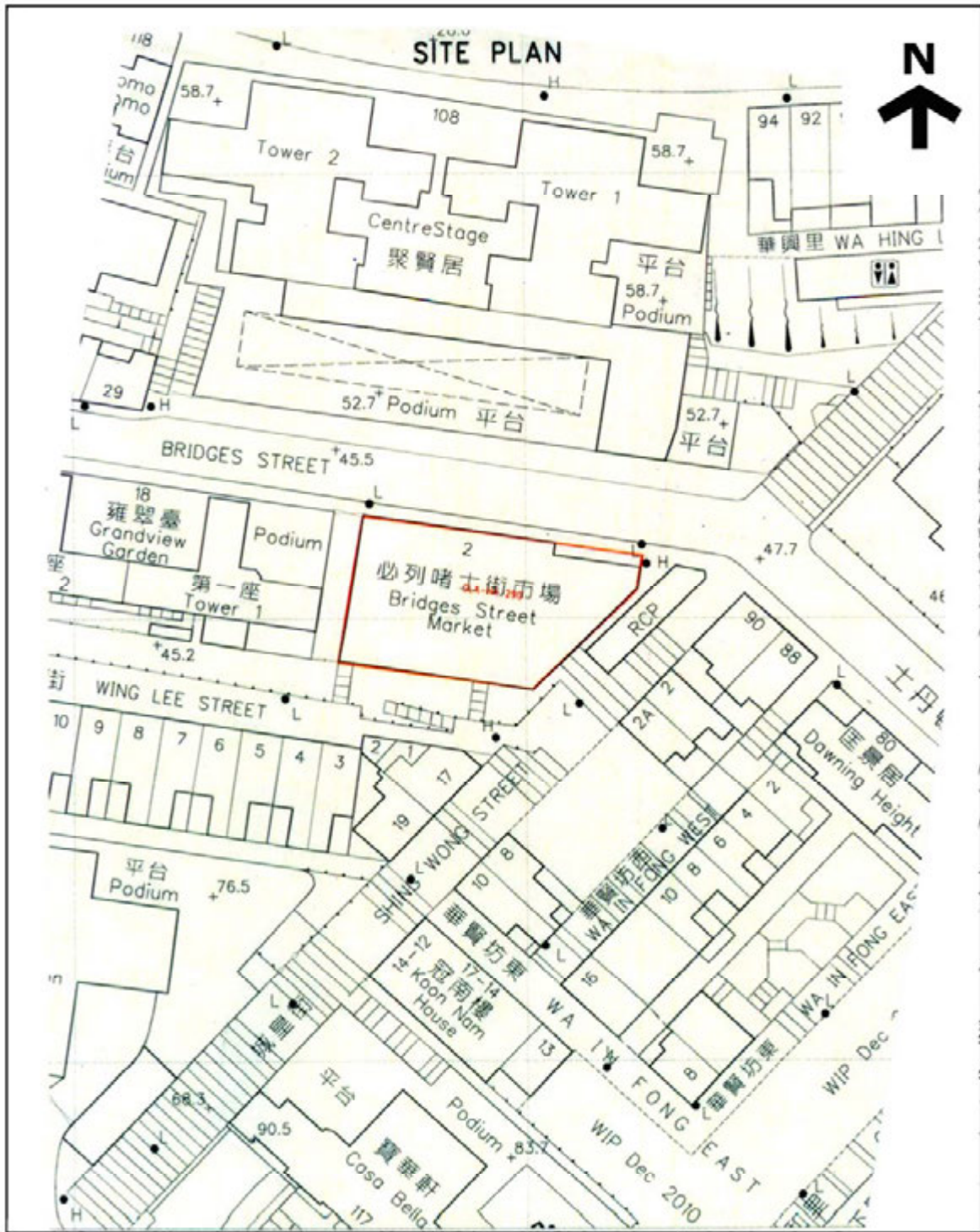
**Plans Showing Land Allocations**



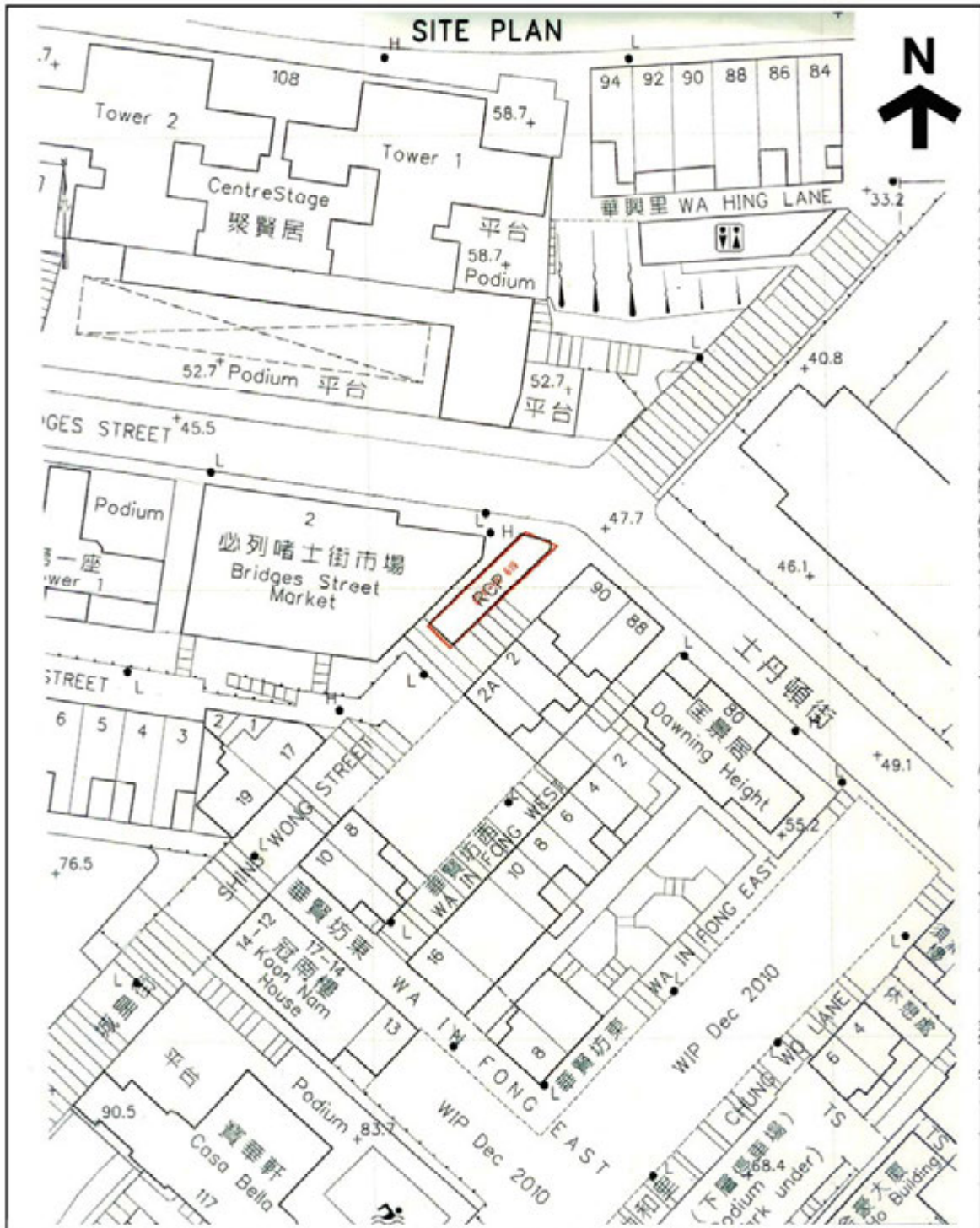
- THE SITE
- ALLOCATED LAND
- UNALLOCATED LANE

BRIDGES STREET MARKET  
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:  
**APPENDIX XIV**  
PLAN SHOWING LAND  
ALLOCATION - Overall  
(not to scale)

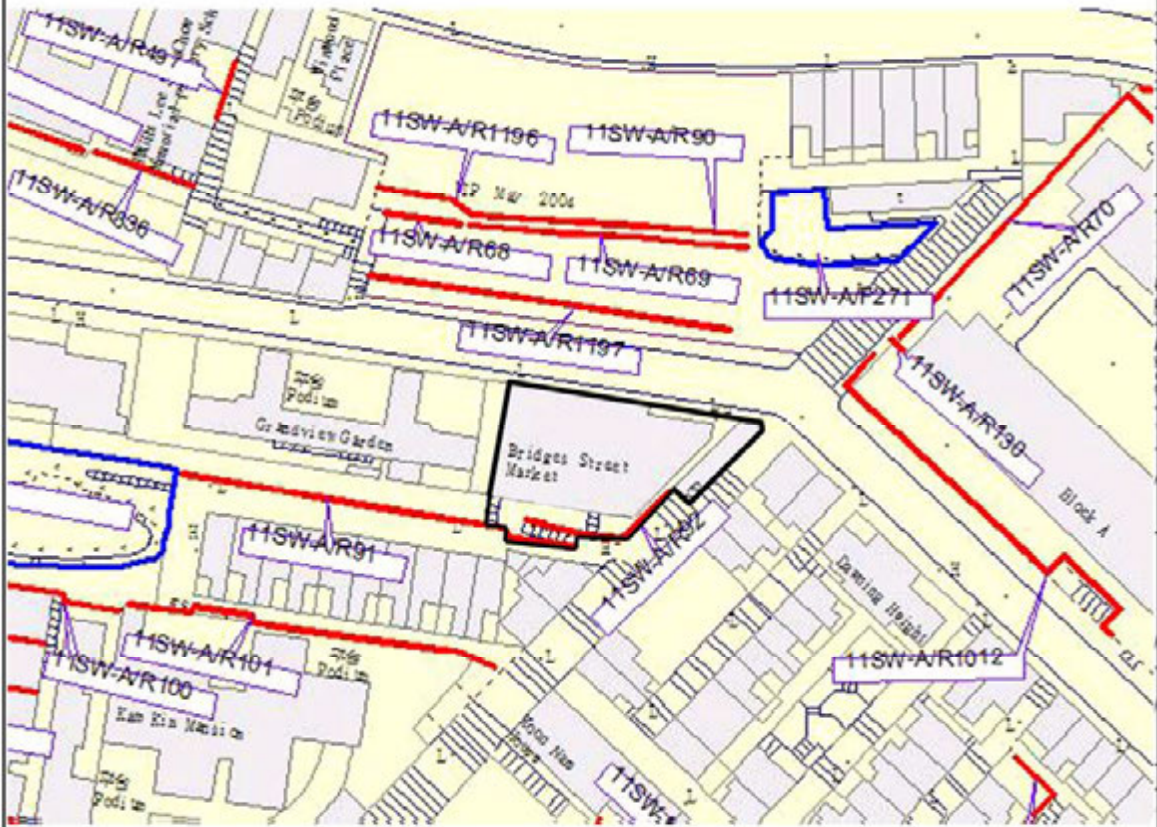



 <p>Allocated Land demarcation for Bridges Street Market</p>	<p align="center"><b>BRIDGES STREET MARKET</b> NO.2 BRIDGES STREET, CENTRAL, HONG KONG</p>	<p>DRAWING NO.: <b>APPENDIX XIV</b> PLAN SHOWING LAND ALLOCATION - Bridges Street Market (not to scale)</p>
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 <p>Allocated Land demarcation for RCP</p>	<p>BRIDGES STREET MARKET NO.2 BRIDGES STREET, CENTRAL, HONG KONG</p>	<p>DRAWING NO.: APPENDIX XIV PLAN SHOWING LAND ALLOCATION - RCP (not to scale)</p>
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**Appendix XV**  
**Slope Features**  
**(Retaining Walls)**



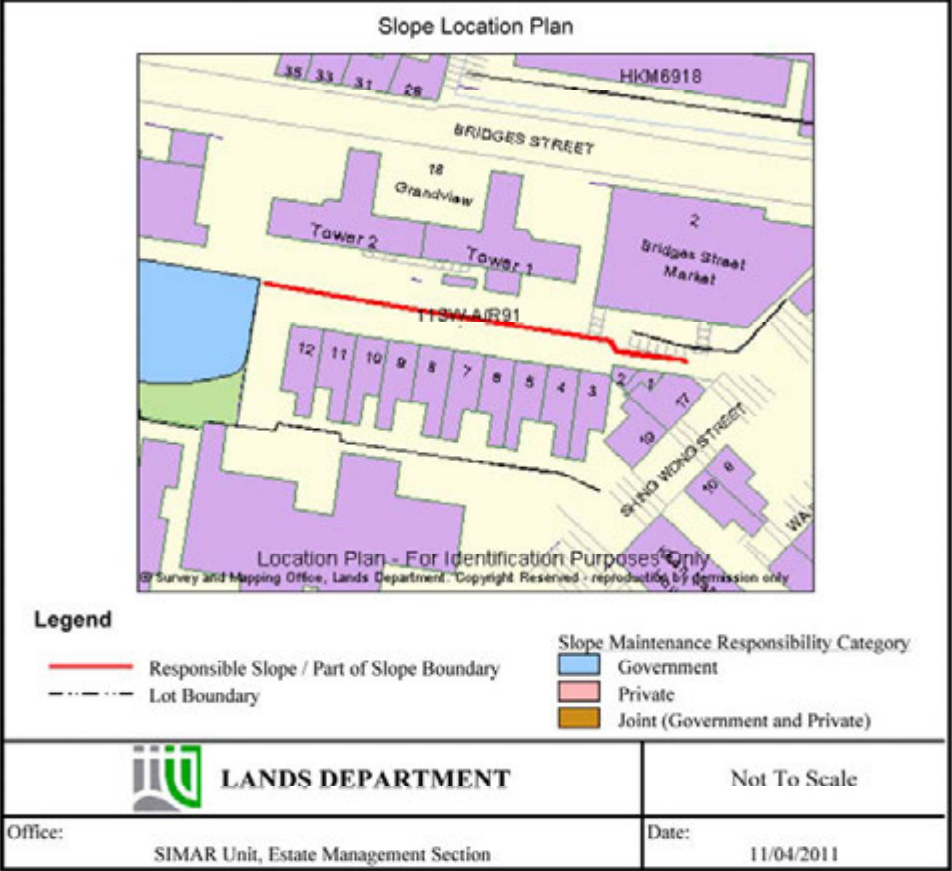
 THE SITE  
EXTRACT PLAN BASED ON SIMAR PLAN  
AND SURVEY SHEET 11-SW-A  
SHEET DATE: 18/08/2010

BRIDGES STREET MARKET  
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:  
APPENDIX XV  
SLOPE FEATURES  
(not to scale)

# Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number  
11SW-A/R91

### SIMAR REGISTER

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11SW-A/R91		ADJOINING WING LEE ST	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

EXTRACT PLAN BASED ON SIMAR PLAN AND SURVEY SHEET 11-SW-A SHEET DATE: <u>18/08/2010</u>	<b>BRIDGES STREET MARKET</b> NO.2 BRIDGES STREET, CENTRAL, HONG KONG	DRAWING NO.: <b>APPENDIX XV</b> SLOPE FEATURE 1 (not to scale)
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# Slope Report

FOR IDENTIFICATION PURPOSES ONLY

Slope Location Plan



**Legend**

- Responsible Slope / Part of Slope Boundary
  - Lot Boundary
- Slope Maintenance Responsibility Category**
- Government
  - Private
  - Joint (Government and Private)



**LANDS DEPARTMENT**

Not To Scale

Office: SIMAR Unit, Estate Management Section

Date: 11/04/2011

Slope Number  
11SW-A/R92

**SIMAR REGISTER**

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11SW-A/R92		ALONG WING LEE STREET AND SHING WONG STREET RCP, BEHIND BRIDGES STREET MARKET	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

EXTRACT PLAN BASED ON SIMAR PLAN AND SURVEY SHEET 11-SW-A SHEET DATE: 18/08/2010

BRIDGES STREET MARKET  
NO.2 BRIDGES STREET, CENTRAL,  
HONG KONG

DRAWING NO.:  
APPENDIX XV  
SLOPE FEATURE 2  
(not to scale)