

**Revitalising Historic Buildings
Through Partnership Scheme**

Old Dairy Farm Senior Staff Quarters

Resource Kit



Date: 16 December 2013

Table of Contents

- I. Introduction**
- II. Historical Background and Architectural Merits**
 - 2.1 Historical Background
 - 2.2 Architectural Merits
- III. Site Information**
 - 3.1 Location
 - 3.2 Site Boundary
 - 3.3 Site Area
 - 3.4 Major Datum Levels
- IV. Building Information**
 - 4.1 Building Description
 - 4.2 Historic Grading
 - 4.3 Schedule of Accommodation
 - 4.4 Materials of Construction
 - 4.5 Internal Circulation
 - 4.6 Major Alterations and Additions
 - 4.7 Preliminary Structural Appraisal
 - 4.8 Building Services and Utilities
- V. Vicinity and Access**
 - 5.1 Immediate Surroundings
 - 5.2 Access
- VI. Conservation Guidelines**
 - 6.1 General Conservation Approach
 - 6.2 Specific Conservation Requirements
- VII. Town Planning Issues**
- VIII. Land and Tree Preservation Issues**
 - 8.1 Land Issues
 - 8.2 Tree Issues
- IX. Slope Maintenance**
- X. Technical Compliance for Possible Uses**
 - 10.1 Uses That Can Possibly Be Considered
 - 10.2 Technical Considerations
 - 10.3 Further Information on Possible Use
 - 10.4 Recurrent Expenditure
- XI. Special Requirements of the Project**
 - 11.1 Adjacent Proposed Development
 - 11.2 Building Services and Utilities
 - 11.3 Traffic and Parking
 - 11.4 Basic Repair Works

List of Appendices

Appendix I	Location Plan
Appendix II(A)	Site Boundary Plan
Appendix II(B)	Grading Boundary Plan
Appendix III	Datum Levels Plan
Appendix IV	Summary of Site and Buildings Information
Appendix V	Architectural Drawings
Appendix VI	Photos of the Site and Buildings
Appendix VII	Plan Showing Immediate Surroundings
Appendix VIII	Access Plan
Appendix IX	List of Architectural Features to be Preserved
Appendix X	List of Required Treatments to Architectural Features
Appendix XI	List of Recommended Treatments to Architectural Features
Appendix XII	Outline Zoning Plan
Appendix XIII(A)	Topographic Survey
Appendix XIII(B)	Tree Survey Plan and Tree Survey Schedule
Appendix XIV	Recurrent Expenditure
Appendix XV(A)	Record Plan of Water Supplies Department
Appendix XV(B)	Record Plan of the Hongkong Electric Co. Ltd.
Appendix XV(C)	Record Plan of the Hong Kong and China Gas Company Ltd.
Appendix XV(D)	Record Plan of Drainage Services Department
Appendix XVI	Slope Features outside Site Boundary

I. Introduction

1.1 The purpose of the Resource Kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided includes:

Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Slope Maintenance;
Section X	Technical Compliance for Possible Uses; and
Section XI	Special Requirements of the Project.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the Conservation Guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory and building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (i) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under Buildings Ordinance (Cap. 123). The need for preserving the significant architectural features (**Appendix VII**), site constraints and / or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and
- (ii) every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.

1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined.

1.4 The dimensions, areas and datum levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the Site should be carried out by authorised

specialists to verify the dimensions, areas and datum levels before detailed design is carried out.

- 1.5 The information that has been assembled is meant to give a general understanding of the historic buildings and the site. Key parameters available at the time of preparation of the resources kit are supplied for the applicants' convenience and may not be exhaustive. Because of the unique nature and requirements of each proposal, applicants are strongly advised to verify the provided data before finalising their proposals.
- 1.6 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at:-

Address: Commissioner for Heritage's Office,
Development Bureau,
19/F., West Wing, Central Government Offices,
2 Tim Mei Avenue, Tamar, Hong Kong

Email: rhb_enquiry@devb.gov.hk

Phone: 2848 6230

Fax: 2127 4090

II. Historical Background and Architectural Merits

2.1 Historical Background

The Old Dairy Farm Senior Staff Quarters were built in 1887 and is one of the oldest of the remaining Dairy Farm buildings in Hong Kong. It is situated in the north-western corner of the former cowshed compound of the Old Dairy Farm, used to be the dwelling house of the farm manager.

The Dairy Farm Co., Ltd. was founded in 1886 by Sir Patrick Manson, a Scottish surgeon. Pok Fu Lam was selected as the site for dairy farmland due to its reliable water supply for livestock husbandry and its geographical location to benefit from every breeze in summer time. A dairy farm, initially stocked with 80 head of cattle imported from Britain and staffed by British livestock experts, was established. There were years when fresh milk yields were seriously affected, and most of the herd wiped out, owing to the outbreak of diseases. The personnel were not deterred, however, and these problems were overcome.

The year 1941 saw the outbreak of war that decimated the dairy herd and paralyzed the Dairy Farm Co., Ltd. along with the rest of Hong Kong. The Dairy Farm premises were looted. After the war, the Pok Fu Lam dairy herd was restocked once more. In recent decades, vast new housing estates such as Baguio Villas, Wah Fu, and Chi Fu Fa Yuen were built on the original farmlands of some 300 acres. As a result, most of the Dairy Farm premises were demolished. Those still in existence include a Main Office Building, a Senior Staff Quarters, and a Cowshed. They serve as reminders of the success story of a Hong Kong enterprise.

2.2 Architectural Merits

The Old Dairy Farm Senior Staff Quarters comprise the Main Building, the Servants' Quarters and the Garage Block. The Main Building is a 2-storey building. The lower or ground floor storey has thick granite block walls pierced at regular intervals by circular bull's eye windows for ventilation. These granite walls act as a plinth to support the first floor with simple classical architectural features. Each elevation is different but one of the main features is a bay window on the north-east side. The main features of the interior are period fireplaces in the main rooms, panelled doors, and heavily moulded architraves to windows and door frames.

There are two outbuildings comprising a single storey building probably used as servants' quarters and a garage block in simple classical architectural style. Both outbuildings have double-roll Chinese tile pitched roofs.

III. Site Information

3.1 Location

The Old Dairy Farm Senior Staff Quarters are located at 141 Pok Fu Lam Road, Pok Fu Lam, Hong Kong. The Location Plan is at **Appendix I**.

3.2 Site Boundary

The Site of this revitalisation project is located on the top of the slope. Its north, west and south west boundary are surrounded by slopes running downhill. Just beyond the south-east boundary of the Site has a retaining wall owned by the Vocational Training Council (VTC). The east boundary is 8 metres to 13 metres away from an access road currently managed by the VTC. Such access road will be realigned towards the historic buildings of the Site by the VTC during construction and after operation of the proposed International Culinary College (ICC) located on opposite side of the access road. The total length of the site boundary is approximately 201 metres. The Site Boundary Plan is shown at **Appendix II(A)**.

3.3 Site Area

The Site of this revitalisation project includes the Old Dairy Farm Senior Staff Quarters and its surrounding piece of land, all owned by the government. The Site has an irregular footprint having an area of approximately 2124 sq. metres.

3.4 Major Datum Levels

The major datum level of the Site ranges from approximately +148.57 to +149.56. Major datum levels around the Site are shown at **Appendix III**.

A summary of the Site information is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

The Site of the Old Dairy Farm Senior Staff Quarters includes the following historic buildings and structures:

- Main Building
- Servants' Quarters
- Garage Block

The Old Dairy Farm Senior Staff Quarters were constructed in 1887. The Servants' Quarters are located south-east of the Main Building, and the Garage Block is located north-east of the Servants' Quarters.

A summary of building information is shown at **Appendix IV**.

The architectural drawings of the Old Dairy Farm Senior Staff Quarters and other associated buildings, which consist of site plan, floor plans, elevations and sections, 3D perspectives are attached at **Appendix V**.

Photos showing the Site, the Old Dairy Farm Senior Staff Quarters and other associated structures are attached at **Appendix VI**.

4.2 Historic Grading

The Old Dairy Farm Senior Staff Quarters were confirmed as Grade 1 historic building by the Antiquities Advisory Board in December 2009.

“Grade 1 historic building” is defined as a “building of outstanding merit, which every effort should be made to preserve if possible”.

Grading Boundary Plan is shown at **Appendix II(B)**.

4.3 Schedule of Accommodation

The approximate Net Operational Floor Area (NOFA) and Construction Floor Area (CFA) of the Old Dairy Farm Senior Staff Quarters provided in this section are indicative only. Applicants shall verify such information on their own before adopting this information in their proposals.

Total Construction Floor Area is approximately 386 sq. metres.

Floor	Accommodation		Approximate Construction Floor Area (sq. m)	Approximate Net Operational Floor Area / Net Floor Area (sq. m)
G/F	Main Building	Room 12	163	19
		Room 11		21
		Room 10		23
		Room 9		7
		Room 8		20
		Room 7		Inaccessible
		Room 6		9
		Main Staircase		---
		Side Staircase		---
	Servants' Quarters	Room 5	45	7
		Room 4		9
		Room 3		9
		Room 2		3
Room 1 (Toilet)		2		
Garage Block	Room 20	26	18	
1/F	Main Building	Room 19	152	10
		Room 13		5
		Room 14		25
		Room 15(Toilet)		7
		Room 16		26
		Room 17		21
		Room 18		26

Table 1 – Area of identified room of the Old Dairy Farm Senior Staff Quarters

4.4 Materials of Construction

4.4.1 Main Building

Materials	Roof	Concrete hollow tile slab roof structure
	Wall	Granite stone masonry wall and brick wall with render
	Floor	Timber floor decking at the upper floor (1/F); and On-grade cement sand floor at the lower floor (G/F)
	Staircase	Clay/Cementitious base material
	Windows	Timber framed windows with window sills; Circular bull eyes ventilation windows.
Finishes	Exterior	Exposed granite stone masonry wall and brick wall with render
	Interior	<u>Wall finishes:</u> Painted plaster, wall paper and ceramic tiles.

		<u>Floor finishes:</u> Timber floor decking at the upper floor (1/F); and Cement sand floor screeding at the lower floor (G/F) <u>Skirting finishes:</u> Timber skirting <u>Ceiling finishes:</u> Painted plaster board ceiling
--	--	---

Table 2a – Schedule of Materials of Construction of the Main Building

4.4.2 Servants' Quarters

Materials	Roof	Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles.
	Wall	Brick wall with render
	Floor	On-grade cement sand floor
	Windows	Steel framed windows
Finishes	Exterior	Fair faced render
	Interior	<u>Wall finishes:</u> Painted plaster. <u>Floor finishes:</u> Cement sand floor screeding <u>Ceiling finishes:</u> None

Table 2b – Schedule of Materials of Construction of The Servants' Quarters

4.4.3 Garage Block

Materials	Roof	Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles.
	Wall	Granite stone masonry wall
	Floor	On-grade cement sand floor
Finishes	Exterior	Fair faced granite stone
	Interior	<u>Wall finishes:</u> Fair faced granite stone. <u>Floor finishes:</u> Cement sand floor screeding <u>Ceiling finishes:</u> None

Table 2c – Schedule of Materials of Construction of The Garage Block

4.5 Internal Circulation

4.5.1 General Description

Four entrances are provided to the Main Building, 2 nos. for the lower floor (G/F) and 2 nos. for the upper floor (1/F) of the Main Building. There is no direct internal access between G/F and 1/F of the Main Building. The G/F is accessible from the entrances on the north and east elevation and the 1/F can be accessed via staircases from the entrance porch on the east elevation and the side entrance faced the Servants' Quarters.

There is no interconnection between individual rooms of the Servants' Quarters and all rooms can be accessible from separate entrances facing the Main Building. The Garage can be accessible from ground.

4.5.2 Barrier Free Access

(a) Main Building

No barrier free access is provided to the Main building to comply with current standard "Design Manual: Barrier Free Access 2008".

(b) Servants' Quarters

There is no ramp provision for the level difference between internal and external spaces.

(c) Garage Block

There is no level difference between internal and external spaces.

4.6 Major Alterations and Additions

Visual inspection indicates that the original roof structure of the Main Building is suspected to have being replaced with existing concrete hollow tile slab roof structure since this construction method does not exist in the 19th century when the Main Building was constructed, but only commonly used until 1950's and 60's.

4.7 Preliminary Structural Appraisal

The preliminary structural appraisal in this section is prepared based on visual inspection. The information in this section is for reference only and the applicants shall take the supplied preliminary structural information as reference and make their own assessment on the necessary provisions against the proposed usages.

4.7.1 Description

(a) Main Building

The structure of the building comprises:

- (i) Stone masonry walls (ground floor to first floor), loading bearing brick wall (for first floor to roof) and reinforced concrete post as vertical elements;
- (ii) Main roof likely of concrete hollow tile slab system;
- (iii) First floor mainly of timber decking (about 20mm thick) supported by timber rafter/steel T-beam system (with ends of I-beams embedded in stone masonry walls);
- (iv) Ground floor likely of on-grade cement sand floor system; and
- (v) The foundation may be in the form of shallow strip footings under the walls (subject to further trial pit survey).

(b) Servants' Quarters

The structure of the building comprises:

- (i) Loading bearing brick wall (for ground floor to roof) as vertical elements;
- (ii) Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles system;
- (iii) Ground floor likely of on-grade cement sand floor system; and
- (iv) The foundation may be in the form of shallow strip footings under the walls (subject to further trial pit survey).

(c) Garage Block

The structure of the building comprises:

- (i) Loading bearing brick wall (for ground floor to roof) as vertical elements, with masonry wall underneath which may also act as soil retaining system;
- (ii) Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles system;
- (iii) Ground floor likely of on-grade cement sand floor system; and
- (iv) The foundation may be in the form of shallow strip footings under the walls (subject to further trial pit survey).

4.7.2 Preliminary Appraisal

Visual inspection revealed that the overall structural condition of the Old Dairy Farm Senior Staff Quarters are very poor.

(a) Main Building

The overall condition of the Main Building was found to be very poor with extensive failure of roofing system, first floor flooring system and ground floor flooring.

(b) Servants' Quarters

The overall condition of The Servants' Quarters was found to be very poor with extensive failure of roofing system, load bearing brick wall and ground floor flooring.

(c) Garage Block

The overall condition of the Garage Block was found to be poor with some degree of failure of roofing system.

4.7.3 Loading Assessment

(a) Main Building

With extensive refurbishment/repair work, the first floor timber floor decking may be able to have a capacity of imposed load of approximate 2.0kPa. To achieve an upgraded imposed loading capacity, extensive strengthening/enhancement works may be necessary to be carried out to the existing structure/foundation system. The extent of work is subject to further checking of foundation/structural element capacity.

The ground floor may be able to have a capacity of imposed load of approximate 5.0kPa subject to further checking of foundation/geotechnical capacity.

Extensive remedial/strengthening works may be necessary for the roofing system.

(b) Servants' Quarters

With extensive refurbishment/repair work, the ground floor system may be able to have a capacity of imposed load of approximate 5.0kPa subject to further checking of foundation/geotechnical capacity.

Extensive remedial/strengthening works may be necessary for the roofing/load bearing brick wall/footing system.

(c) Garage Block

With some extent of refurbishment/repair work, the ground floor system may be able to have a capacity of imposed load of approximate 5.0kPa subject to further checking of foundation/geotechnical capacity.

Remedial/strengthening works may be necessary for the roofing/footing system.

4.7.4 Recommendation

The poor structural condition of the Old Dairy Farm Senior Staff Quarters means that the historic buildings could be used for adaptive re-use purposes only after extensive remedial/strengthening works. A detailed appraisal, investigation and assessment on all structural elements will be necessary to determine the extent and degree of future refurbishment/repair works.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the Old Dairy Farm Senior Staff Quarters are as follows:

Building Services and Utilities	Existing Provisions
MVAC Installation	<ul style="list-style-type: none"> • No MVAC installation found within the Site.
Fire Service Installation	<ul style="list-style-type: none"> • No wet Fire Protection System (i.e. fire hose (F.H.) / hose reel (H.R.) & sprinkler system) is found in the building. • No manual fire alarm (MFA), visual fire alarm and automatic fire alarm system (AFA) are found in the building. • No exit sign / emergency lights are found.
Electricity Supply	<ul style="list-style-type: none"> • Electricity supply to the premise has been disconnected. • Most of switch accessories and wiring have been disconnected or removed.
Lift	<ul style="list-style-type: none"> • The building is not provided with any lift or escalator.
Plumbing and Drainage Installation	<ul style="list-style-type: none"> • All potable water supply pipes are disconnected. • According to Drainage Services Department's (DSD's) record plan, there is no sewage water connection to the Site. • The surface water on ground within the site is gathered by open channel at ground level and discharged to storm water drain.

	<ul style="list-style-type: none"> The selected applicant may apply to DSD to connect the drains of the Site to the Government sewer from the realigned road managed by the VTC.
Gas Installation	<ul style="list-style-type: none"> No gas connection is found in the existing building.

Table 3 – Existing Provision of Building Services and Utilities

V. Vicinity and Access

5.1 Immediate Surroundings

The Old Dairy Farm Senior Staff Quarters abuts on an access road (managed by the VTC) which leads to Pok Fu Lam Road. The Old Dairy Farm Senior Staff Quarters are located at Pok Fu Lam, mainly “Residential”, “Government, Institution or Community” and “Green Belt” uses nearby. It is surrounded by built heritages and VTC buildings and close to Pok Fu Lam Country Park.

South of the Site of the Old Dairy Farm Senior Staff Quarters are comprise VTC Pok Fu Lam Complex and Shine Skills Centre (Pok Fu Lam).

North and east of the Site of the Old Dairy Farm Senior Staff Quarters are a number of built heritages such as The Bethanie Church (a declared monument), the Old Dairy Farm Cowshed (a Grade 2 historic building) now named as Welcome Theatre and the Old Dairy Farm Administration Office (a Grade 2 historic building) now used as office by the Hong Kong Academy of Performing Arts. All of the above historic buildings are within “Bethanie - The Academy's Landmark Heritage Campus” currently run by the Hong Kong Academy of Performing Arts.

The Plan Showing Immediate Surroundings is at **Appendix VII**.

5.2 Access

Access to the Site is shown in the Access Plan at **Appendix VIII**.

5.2.1 Vehicular Access

Vehicular access to the Site of the Old Dairy Farm Senior Staff Quarters is only available from Pok Fu Lam Road via an access road which is currently managed by the VTC and wide enough for 2 cars. However, such access road will be realigned towards the historic buildings of the Site by the VTC during construction and after operation of the proposed International Culinary College (ICC) located on opposite side of the access road. Applicants shall refer to “**Section XI: Special Requirements of the Project**” for details.

In particular, applicants shall review the alignment and datum levels of the new access road and propose new and proper pedestrian and/or vehicular ingress/egress along the east boundary of the Site when preparing their revitalisation proposals.

5.2.2 Emergency Vehicular Access (EVA)

No EVA complying with the requirement stipulated in Part D of Code of Practice for Fire Safety in Buildings 2011 (FS Code 2011) is found within the Site. Applicants may consider proposing a new EVA at the Open Space on the south of the historic buildings within the Site and connected to the realigned access road when preparing their revitalisation proposals.

5.2.3 Loading and Unloading Area

Loading and unloading area is not provided within the Site. Applicants may consider providing loading/unloading area at the Open Space on the south of the historic buildings within the Site for the purpose of adaptive re-use.

5.2.4 Parking

A Garage Block is located within the Site. Applicants may consider providing parking spaces at the Open Space on the south of the historic buildings within the Site for the purpose of adaptive re-use.

5.2.5 Pedestrian Access

Pedestrian access to the Old Dairy Farm Senior Staff Quarters are available at the access road connected to Pok Fu Lam Road. It takes about 1 minutes' walk from the Site to the nearest bus stop at Pok Fu Lam Road.

5.2.6 Barrier Free Access (Site)

The access road connecting the Site and Pok Fu Lam Road could be treated as barrier free access. Such access road will be realigned towards the historic buildings of the Site by the VTC during construction and after operation of the proposed International Culinary College (ICC) located on opposite side of the access road. Applicants shall refer to “**Section XI: Special Requirements of the Project**” for details.

5.2.7 Refuse Collection Point

There is no refuse collection point within the Site. The nearest public refuse collection point is about 300 metres away at Pok Fu Lam Road.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic building and complying with the current statutory requirements under the Buildings Ordinance (Cap. 123). On this issue, we would advise:

- (a) when undergoing major alteration works and change of use, the historic building should be properly upgraded to meet the same level of safety in respect of the new use as in the case of new buildings. The need for preserving the significant architectural features (**Appendix IX** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the building; and
- (b) every effort should be made to preserve the façades of the historic building except unauthorised building structures, if any. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the building concerned. The original façades of the building should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible⁴. Any fixed signage should match the age and character of the exterior of the building and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

⁴ “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. require the prior approval of the AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with the surroundings to preserve the historical character of the building(s).
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by the AMO.
d) Barrier Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its/ their surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought on the proposed upgrading works.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fitments	If “historic fitment(s)” is/ are identified, it/ they should be preserved, while modern fittings may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

Table 4 – Conservation Guidelines on Possible Building Uses

- 6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO's approval should be sought.
- 6.1.5 As the renovation works will inevitably cause impact on the historic building, the successful applicant should submit a Heritage Impact Assessment (HIA) to the AMO for agreement before the commencement of the works. Consultation with the Antiquities Advisory Board for the agreement may be necessary.
- 6.1.6 A specialist contractor from the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works" in the "Repair and Restoration of Historic Buildings" category (RRHB specialist contractor) should be engaged to carry out the renovation works, either as a main contractor or a domestic sub-contractor. This RRHB specialist contractor should be responsible for the repair and restoration of the "Architectural Features to be Preserved" listed in Appendix IX. If the RRHB specialist contractor is only engaged as a domestic sub-contractor for carrying out works confined to heritage conservation, the successful applicant should separately engage a main contractor for the remaining works from the Development Bureau's "List of Approved Contractors for Public Works" from the appropriate group according to the estimated value of the works (please see http://www.devb.gov.hk/en/construction_sector_matters/contractors/index.html for the list). The main contractor for all building works should also be registered in the relevant Contractor's Register kept by the Building Authority in accordance with the Building Ordinance (Cap. 123). All other domestic sub-contractors for the renovation works should also be engaged from the relevant categories in the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works". The renovation works should be carried out to the satisfaction of the AMO.

6.2 Specific Conservation Requirements

- 6.2.1 The Old Dairy Farm Senior Staff Quarters are one of the oldest of the remaining Dairy Farm buildings in Hong Kong and possesses group value with the other old Dairy Farm buildings in the vicinity including the Main Office Building and the Cowshed. Together with the Bethanie, the Main Office Building and the Cowshed of the Old Dairy Farm are now adaptively reused by the Hong Kong Academy for Performing Arts. In this regard, the setting of the Senior Staff Quarters Site in connection with these buildings

should be generally conserved and properly interpreted such that the public can appreciate the contextual value of the Senior Staff Quarters which were once part of the dairy farmland of the Dairy Farm Co., Ltd., and hence the historical and social values of the Senior Staff Quarters in relation to the history of the Dairy Farm to produce a safe supply of milk as an affordable price and free from contamination by means of stringent hygiene to the public since the 19th century.

- 6.2.2 The Old Dairy Farm Senior Staff Quarters comprises the Main Building, the Servants' Quarter and the Garage Block. They remain fairly authentic while the 2-storey configuration of the Main Building and the architectural features at both exterior and interior of the buildings are still generally kept. As such, repair and restoration should follow the existing forms, architectural details and materials as far as practical in careful considerations so as to bring out the architectural value of these buildings built in the 19th century. New structures to be built on the surrounding open space which are necessary for the new use should not create prominent visual impact to the existing buildings.
- 6.2.3 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at Appendix IX. Their corresponding required and recommended conservation treatments are listed at **Appendix X and XI** respectively.
- 6.2.4 Every effort should be made to carry out all "required treatments" set out under **Appendix X**. If compliance with the "required treatments" cannot be achieved, justifications should be given to the AMO for their consideration. **Appendix XI** set out the "recommended treatments" to the historic building, which should be carried out as far as practicable.

VII. Town planning Issues

The Site falls within “Government, Institution or Community” (“G/IC”) zone on the Approved Pok Fu Lam – Outline Zoning Plan (OZP) No. S/H10/15 gazette on 18 February 2005. The full set of OZP including the Plan, Amendments, Notes, Schedule of Uses and Explanatory Statement is available at Town Planning Board’s Statutory Planning Portal (<http://www.info.gov.hk/tpb/>). Relevant extracts of the OZP and Notes for the “G/IC” zone are shown at **Appendix XII**.

The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or territory. It is also intended to provide land for uses directly related to or in support of the works of Government, organisations providing social services to meet community needs and other institutional establishments.

The Notes for the ‘G/IC’ zone (**Appendix XII**) set out the uses or developments that are always permitted (the ‘Column 1’ uses) within the “G/IC” zone and those requiring permission from the TPB (the ‘Column 2’ uses). The application for Column 2 uses should be made to the TPB under Section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not under Column 1 or Column 2, an application for amendment of the zoning on the OZP under Section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from Hong Kong District Planning Office of the Planning Department at 14/F, North Point Government Offices, 333 Java Road, Hong Kong (Tel: 2231 4957 or Fax No.: 2895 3957).

All applications for permission under Section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified in writing of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The Site is located on Government land and is currently vacant. The Site Boundary Plan is shown at **Appendix II(A)**.

8.2 Tree Issues

Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Services Department (LCSD) is not present within the Site.

Trees are surveyed within the Site and are tagged with Tree Number T1 – T54. A tree identification plan, tree photos and tree identification schedule, depicting the conditions and value of trees, are shown at **Appendix XIII(B)**.

In general, no tree growing on the Site or adjacent thereto shall be interfered without the prior written consent of the District Lands Officer and the AMO or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

Within the Site, however, there is a few numbers of Chinese Banyan (*Ficus microcarpa* 榕樹) in close association with the historic buildings ranging from around 6.5 to 12m in height. These Chinese Banyan have extensive network of lignified aerial roots that penetrate the walls of the buildings and are either partly or entirely situated on top of the buildings. When preparing their revitalisation proposals, applicants shall propose management and mitigation measures so that the structure of historic buildings will no longer be endangered by the above overgrown vegetation.

The selected applicant shall be responsible for the horticultural maintenance of vegetation and maintenance of trees within the Site.

IX. Slope Maintenance

No slope feature is present at the Site of the revitalisation project. Slope maintenance is therefore not required.

Numbers of slope are found just outside the site boundary and the information of the slopes is listed in **Appendix XVI**.

If there is any slope affected by the revitalisation works, the selected applicant should conduct the geotechnical assessment and carry out the upgrading works for the affected slope(s) as required by the Building Authority or other Government Department. The selected applicant shall also be responsible at their own cost for the repair and maintenance of the slopes affected by the revitalisation works.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-use of the Old Dairy Farm Senior Staff Quarters include:

- (a) Food and Beverage Services;
- (b) Education or Training Facilities;
- (c) Exhibition or Convention Hall;
- (d) Field Study / Education / Visitor Centre.

Applicants are welcome to come up with suggestions on possible uses that they consider the most suitable for the Site. Applicants should make reference to the “Definition of Terms” under the Town Planning Board’s web site to ascertain if a particular use is permitted. Applicants are required to ascertain the technical feasibility, including the structural adequacy and conservation requirements, of their proposed uses.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

Requirements	Remarks
Means of Escape	Some modifications to the existing exit arrangements may be required to suit for the new use and layout. In view of the conservation requirements limiting the extent of upgrading works, fire engineering approach may be adopted as an alternative approach to comply with the current safety requirements.
Fire Resisting Construction	Further investigation will be required to demonstrate adequacy of fire resisting construction of the existing building elements. Some upgrading works may be required to suit for the new use and layout.
Means of Access for Firefighting and Rescue	Compensatory measures may be required for non-provision or deficient EVA. Applicants may also propose a new EVA at the Open Space (south to the historic buildings) within the Site and connect it to the realigned access road managed by the VTC.
Barrier Free Access and Facilities	Various provisions for barrier free access, such as ramps, passenger lift, lifting platform, accessible toilets etc. may be required.
Protection against Falling from Height	Existing balustrades or parapets of the preserved staircase will need to be upgraded or alternative proposal to comply with protective barrier requirements is approved by the Building Authority, unless access is restricted for maintenance purpose only.

Structural Adequacy	Structural appraisal for the building is required to ensure stability of all the building elements. Strengthening works may be required depending on the findings of the structural appraisal and the proposed use.
Fire Services Installation Requirements	Major fire services installation and equipment such as sprinkler system, hose reel system, fire alarm system, fire detection system, emergency generator and emergency lighting will be required in accordance with the FSD's Code of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment for proper Classification of Premises.
Natural Lighting and Ventilation	Compensatory measures may be required for the deficiency, especially on G/F of the Main Building, the Servants' Quarters and the Garage.
Provision of Sanitary Fitments	Subject to the use of the buildings, additional toilet facilities may be required to be installed within the site area to comply with current requirements.
Drainage Installation Requirements	Further investigation will be required for proper drainage provisions to suit different uses of revitalisation project. Grease trap facilities may be required to comply with restaurant licensing requirements from FEHD.

Table 5 - Compliance with the requirements under the Buildings Ordinance

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants is listed below:

(a) Heritage Conservation

Applicants shall follow the Conservation Guidelines listed in Section VI of the Resource Kit when resolving technical issues.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as Education or Training Facilities, Exhibition or Convention Hall, Field Study/ Education/ Visitor Centre are under Column 1 of the Notes of the "G/IC" zone in which

uses are always permitted.

The use of Food and Beverage Services or Eating Place is under Column 2 of the Notes of the “G/IC” zone. The application for Column 2 uses should be made to the TPB under Section 16 of the Town Planning Ordinance.

(c) Emergency Vehicular Access

An EVA complying with the requirements stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 will be required. If there are genuine site constraints in the provision of a proper EVA, fire engineering approach with fire safety enhancement measures such as fast-response type sprinkler heads and a direct line connecting to Fire Services Communication Centre may be adopted.

(d) Licensing

- i. If the Old Dairy Farm Senior Staff Quarters are to be used as education or training facilities, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a ‘school’ under the Education Ordinance. If affirmative, the successful applicant shall make an application for registration of a school to the Permanent Secretary for Education under the Education Bureau (EDB). Relevant information on registration procedures and forms can be downloaded from the website of EDB (<http://www.edb.gov.hk>).
- ii. If Old Dairy Farm Senior Staff Quarters are to be used as exhibition or convention venues, the successful applicant should obtain a licence from Food and Environmental Hygiene Department (FEHD) if he intends to carry out:
 - any exhibition of any one or more of the followings, namely pictures, photographs, books, manuscripts or other documents or other things;
 - or a sporting exhibition

For details on the application of places of public entertainment license for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD (<http://www.fehd.gov.hk/licensing/index.html>).

- iii. If the building is to provide food and beverage services, the successful applicant should obtain a licence from the Food and Environmental Hygiene Department (FEHD) if he intends to carry on any food business which involves, generally, the sale of meals or unbottled non-alcoholic drinks other than Chinese herb tea for consumption on the premises. For details on the application of restaurant licence and related matters, the applicants can visit the website of FEHD.

(e) **Structural Limitation**

The required loading capacities for the possible uses are listed in the table below. For required loading capacities of other specific uses of possible adaptive re-use not mentioned in this table, reference should be made to the Building (Construction) Regulations (B(C)R).

Possible Adaptive re-use of the Old Dairy Farm Senior Staff Quarters	Required Loading Capacities (kPa)	(B(C) R) Class No.	Usage stated (B(C) R)
(i) Food and Beverage Services	4.0	3	- Restaurants, canteens and fast food shops
(ii) Education or Training Facilities	3.0	3	- Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage
(iii) Exhibition or Convention Hall	5.0	3	- Art galleries and museums; - Grandstands; - Public halls;
(iv) Field Study/ Education/ Visitor Centre	3.0	3	- Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage

Table 6 – Required Loading Capacities for Possible Uses

After extensive refurbishment/ repair works, it may be structurally feasible for the ground floors of the buildings to accommodate adaptive re-uses with required loading capacities equal to or less than 5.0 kPa and the first floor with required loading capacities equal to or less than 2.0 kPa.

It is advisable for the selected applicant to carry out further structural assessment to investigate the possibility of increasing the floor imposed load for the first floor, and its subsequent effect on the structural stability of the buildings to suit his design for any change of use to meet all statutory requirements.

10.4 Recurrent Expenditure

To facilitate the applicants in forecasting their operating expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditures on some common recurrent items including electricity fee, water and sewage charge, and rates and rent regarding

the historic buildings at **Appendix XIV**. Please note that the estimated expenditures have been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

XI. Special Requirements of the Project

Applicants are required to take these special requirements into account in formulating their revitalisation proposals and explain in their applications how these special requirements have been incorporated in their revitalisation proposals.

11.1 Adjacent Proposed Development

Applicants should be aware of the adjacent development of the International Culinary College (ICC) proposed by the Vocational Training Council (VTC) and its implication to the Site. In particular, the existing access road connecting the Old Dairy Farm Senior Staff Quarters, the Bethanie and the Vocational Training Council Pok Fu Lam Complex to Pok Fu Lam Road will be realigned towards the historic buildings of the Site during construction and operation of the ICC. Applicants should pay special attention to the alignment and levels of the new access road and design proper pedestrian and/or vehicular ingress/egress along the east boundary of the Site when preparing their revitalisation proposals.

To promote the public understanding and appreciation of the site's history, a historic observation point is proposed by the VTC within the site of the ICC where all the major surrounding historic buildings including the Old Dairy Farm Senior Staff Quarters can be appreciated at the same time. Applicants should be aware of the above arrangement when preparing their revitalisation proposals.

Regarding the design and development programme of the ICC, the location of the historic observation point and the realigned access road, applicants are advised to review the documents available in the following web sites:-

http://www.amo.gov.hk/form/HIA_Report_ICC.pdf

<http://www.legco.gov.hk/yr12-13/english/fc/pwsc/papers/p13-17e.pdf>

11.2 Building Services and Utilities

Due to the existing provision of utilities and services to the Site, opening up to the realigned access road managed by the VTC for installation of essential building services by utility companies and authorities may be required. Appropriate management and co-ordination with adjacent operators of the ICC, the Bethanie and the VTC Pok Fu Lam Complex for the provision and re-provision of utilities and services before and/or during the realignment of the access road to avoid the disturbance and disruption caused by later addition and alteration works is essential.

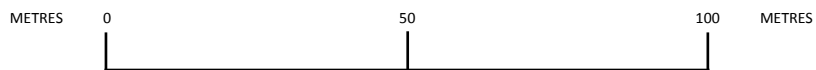
11.3 Traffic and Parking

Applicants should be aware some local stakeholders have expressed concerns on insufficient car parking spaces in the vicinity of the Site and the possible traffic impacts brought about by the revitalisation project on the only access road shared by the users of the Bethanie, the VTC Pok Fu Lam Complex, the ICC and the future operator of the Site. The applicants should ensure that their revitalisation proposals will not unduly affect the existing traffic conditions and should proactively adopt appropriate control and management measures to minimise any adverse traffic impact, including both vehicular and pedestrian traffic, during construction and operation of the project.

11.4 Basic Repair Works

Owing to the existing dilapidated condition of the historic buildings, basic repair works for the building envelope and removal of overgrown vegetation which endangers the building structures are planned to carry out before handover of the Site to the selected applicant. Updated information will be released to the selected applicant if the above works are implemented.

Appendix I
Location Plan



 THE SITE

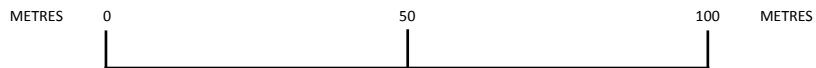
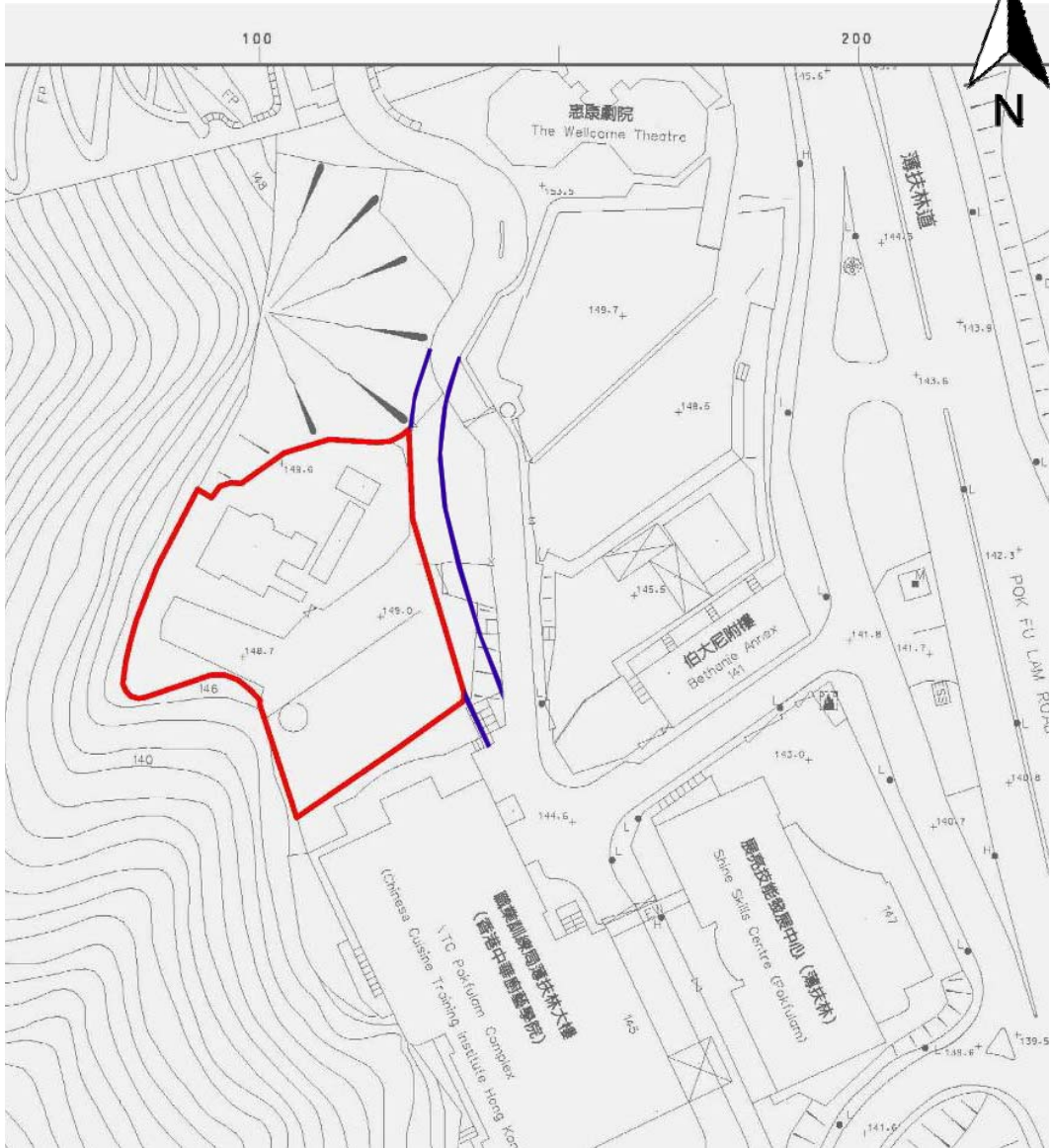
OLD DAIRY FARM SENIOR STAFF
QUARTERS



141 POK FU LAM ROAD
HONG KONG

DRAWING NO.:

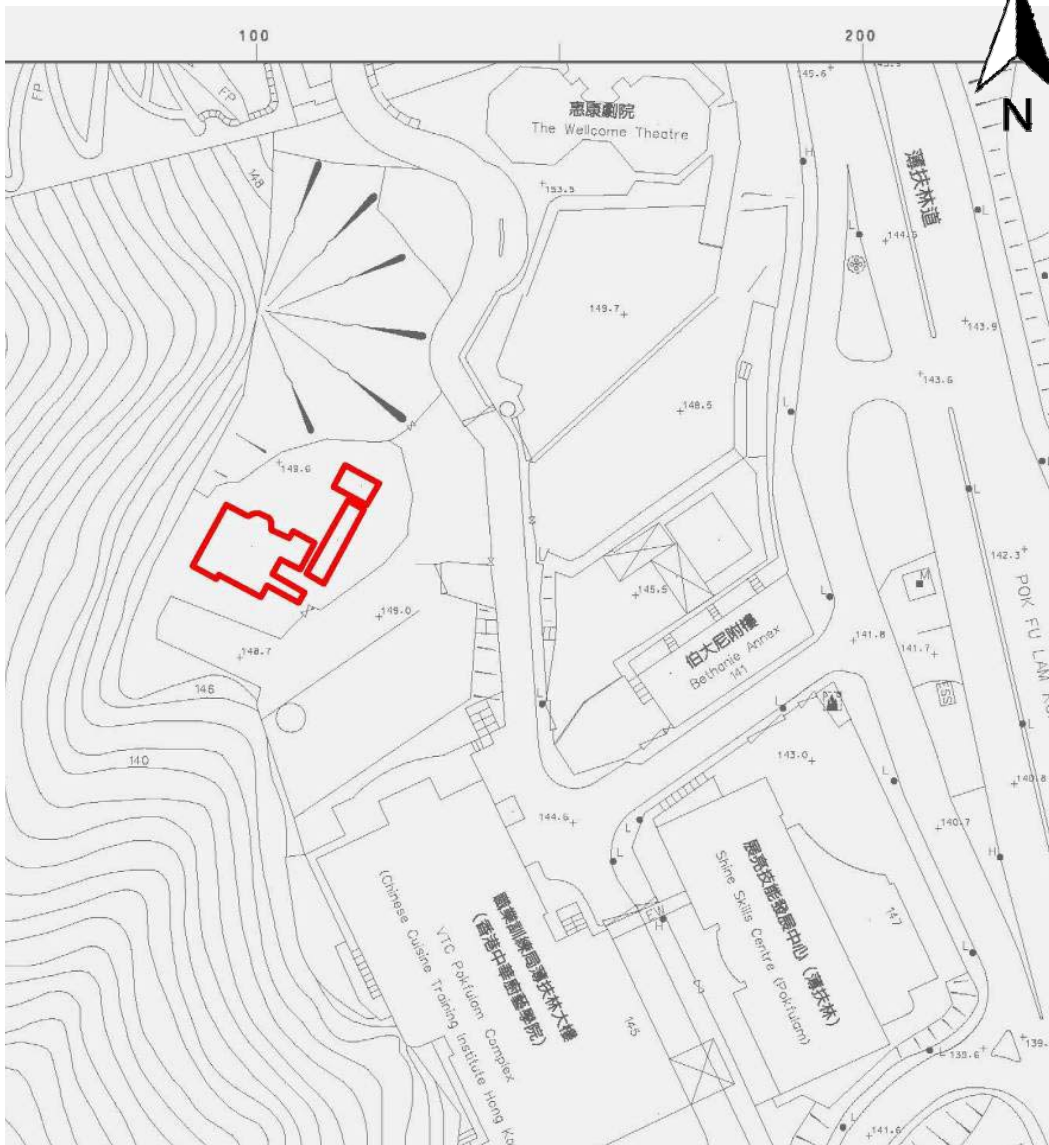
APPENDIX I
LOCATION PLAN
(as shown)


Appendix II(A)
Site Boundary Plan



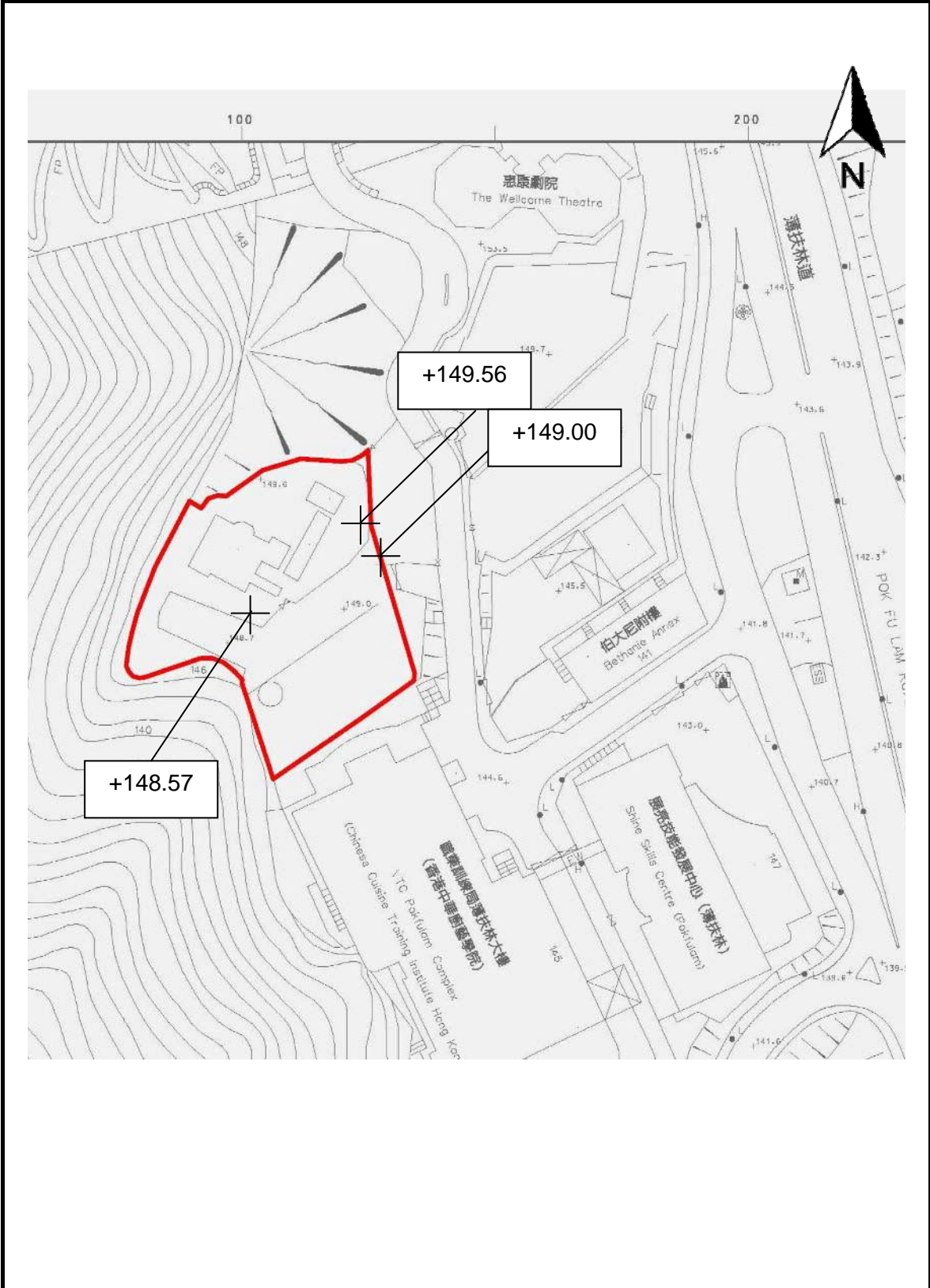
 SITE BOUNDARY	OLD DAIRY FARM SENIOR STAFF QUARTERS 141 POK FU LAM ROAD HONG KONG	DRAWING NO.: <u>APPENDIX II(A)</u> SITE BOUNDARY PLAN (as shown)
 REALIGNED ACCESS ROAD		

Appendix II(B)
Grading Boundary Plan



 GRADING BOUNDARY	<p style="text-align: center;"> OLD DAIRY FARM SENIOR STAFF QUARTERS 141 POK FU LAM ROAD, HONG KONG </p>	<p> DRAWING NO.: APPENDIX II(B) GRADING BOUNDARY PLAN (as shown) </p>
--	---	--

Appendix III
Datum Levels Plan



 SITE BOUNDARY

OLD DAIRY FARM SENIOR STAFF
 QUARTERS
 141 POK FU LAM ROAD
 HONG KONG

DRAWING NO.:
APPENDIX III
 DATUM LEVELS PLAN
 (not to scale)

Appendix IV
Summary of Site and Building Information

Summary of site information is listed below:

Building Name	Old Dairy Farm Senior Staff Quarters
Address	No. 141 Pok Fu Lam Road, Hong Kong
Site Area	Approximately 2,124 sq. meter
Major Datum Level	Ranges from about +148.57mPD to +149.56mPD
Zoning	Government, Institution or Community (G/IC)

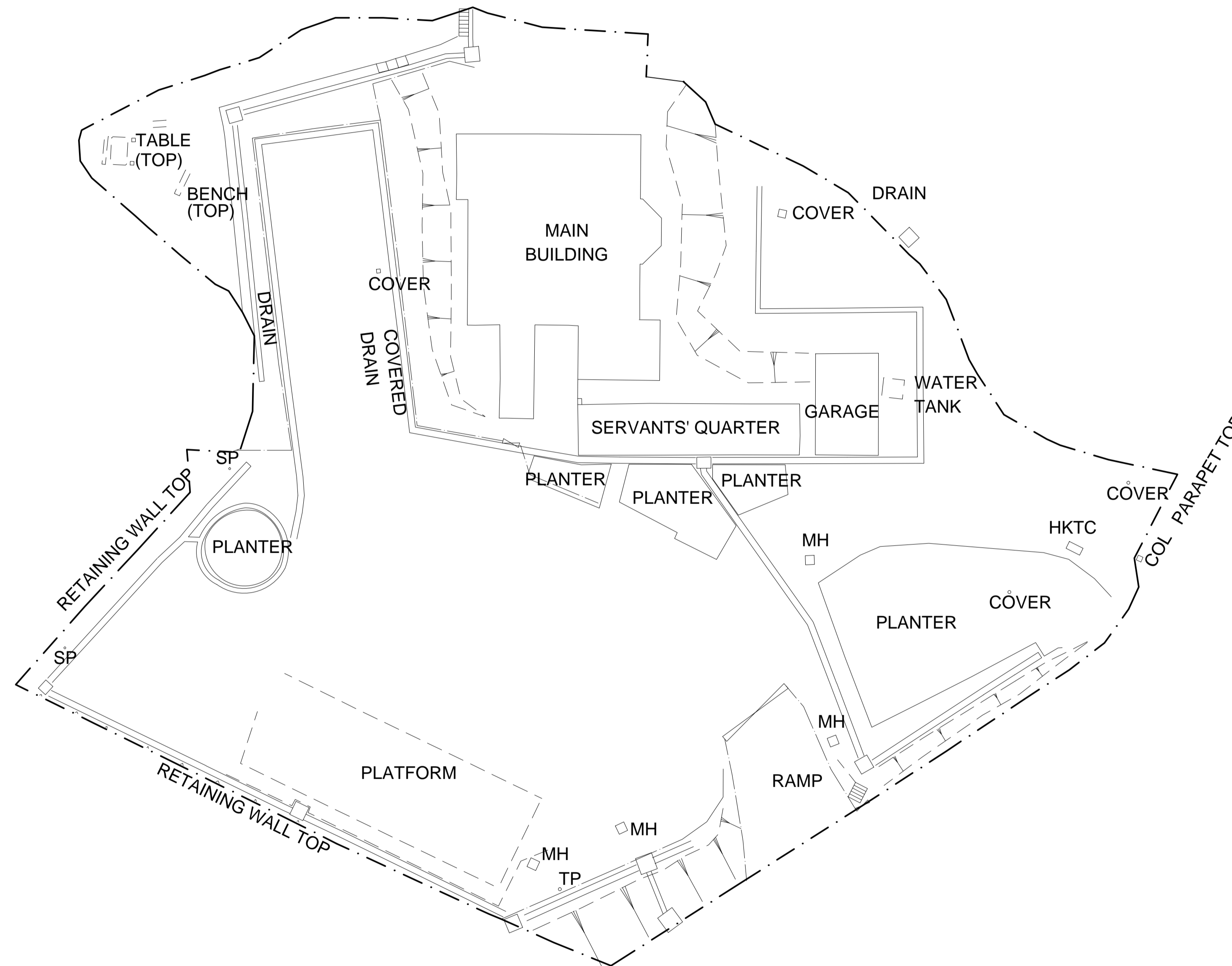
Summary of building information is listed below:

Name of Buildings	The site consists of the following buildings; (i) Main Building (ii) Servants' Quarters (iii) Garage Block	
Year of Completion	Name of Buildings:	Year of Completion:
	Main Building	1887
	Servants' Quarters	No information given
	Garage Block	No information given
Total Construction Floor Area	Name of Buildings:	Construction Floor Area:
	Main Building	315 sq. m
	Servants' Quarters	45 sq. m
	Garage Block	26 sq. m
		Total: 386 sq. m
Historic Grading	Graded as a Grade 1 historic building on 18 December 2009	
Original and Recent Uses	The Old Dairy Farm Senior Staff Quarters served mainly as residential. The historic buildings have been abandoned for nearly 26 years as at year 2013.	
Materials of Construction	<p><u>Main Building:</u> Concrete hollow tile slab roof structure; Granite stone masonry wall and brick wall with render; On-grade cement sand floor at lower floor; Timber floor decking at upper floor.</p> <p><u>Servants' Quarters:</u> Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles; Brick wall with render; On-grade cement sand floor</p> <p><u>Garage Block:</u> Pitched roof of timber trusses and purlins with Chinese pan and roll clay tiles; Granite masonry wall;</p>	

	On-grade cement sand floor
Internal Circulation	<u>Main Building:</u> 2 storey: separate accesses to lower floor and upper floor; <u>Servants' Quarters:</u> Single storey: direct access; <u>Garage Block:</u> Single storey: direct access.

Appendix V
Architectural Drawings

Architectural Drawings	
Drawing No.	Title
A002	Site Plan
A003	Ground Floor Plan
A004	First Floor Plan
A005	Roof Plan
A006	Section A-A & Section B-B
A007	East Elevation
A008	South Elevation
A009	West Elevation
A010	North Elevation
A011	3D View 1
A012	3D View 2
A013	Perspective View 1
A014	Perspective View 2



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

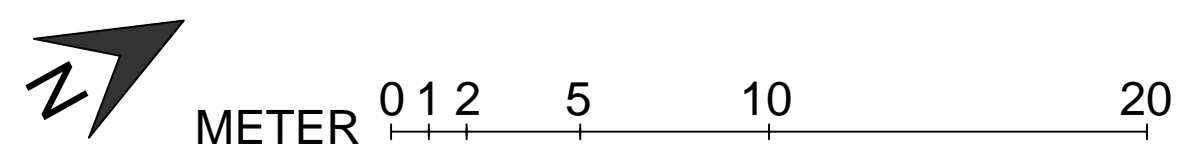
	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

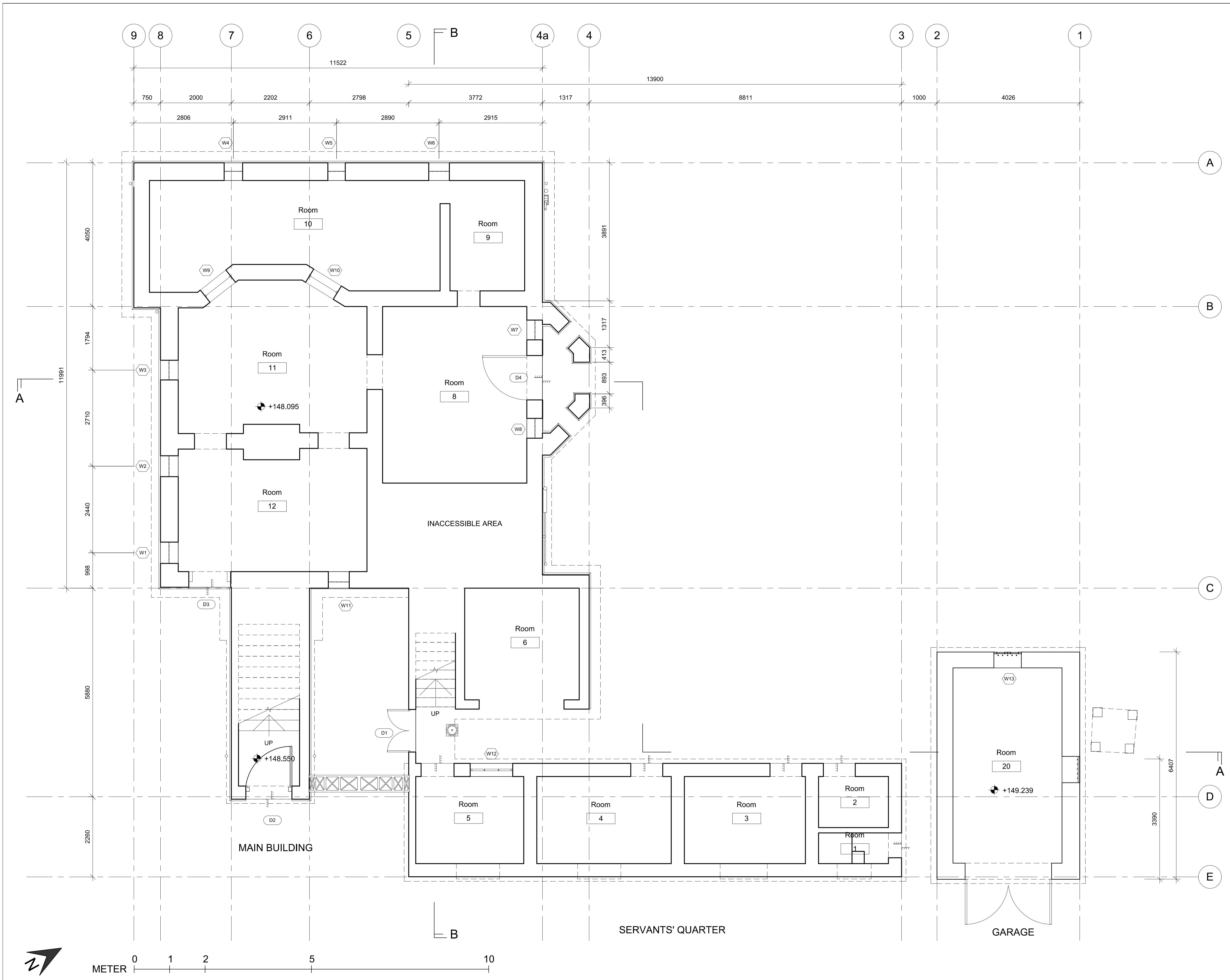
PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141
POK FU LAM ROAD

DRAWING TITLE
SITE PLAN

SCALE **1 : 200 (A1) / 1 : 400 (A3)**

DRAWING NO.
A002





NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

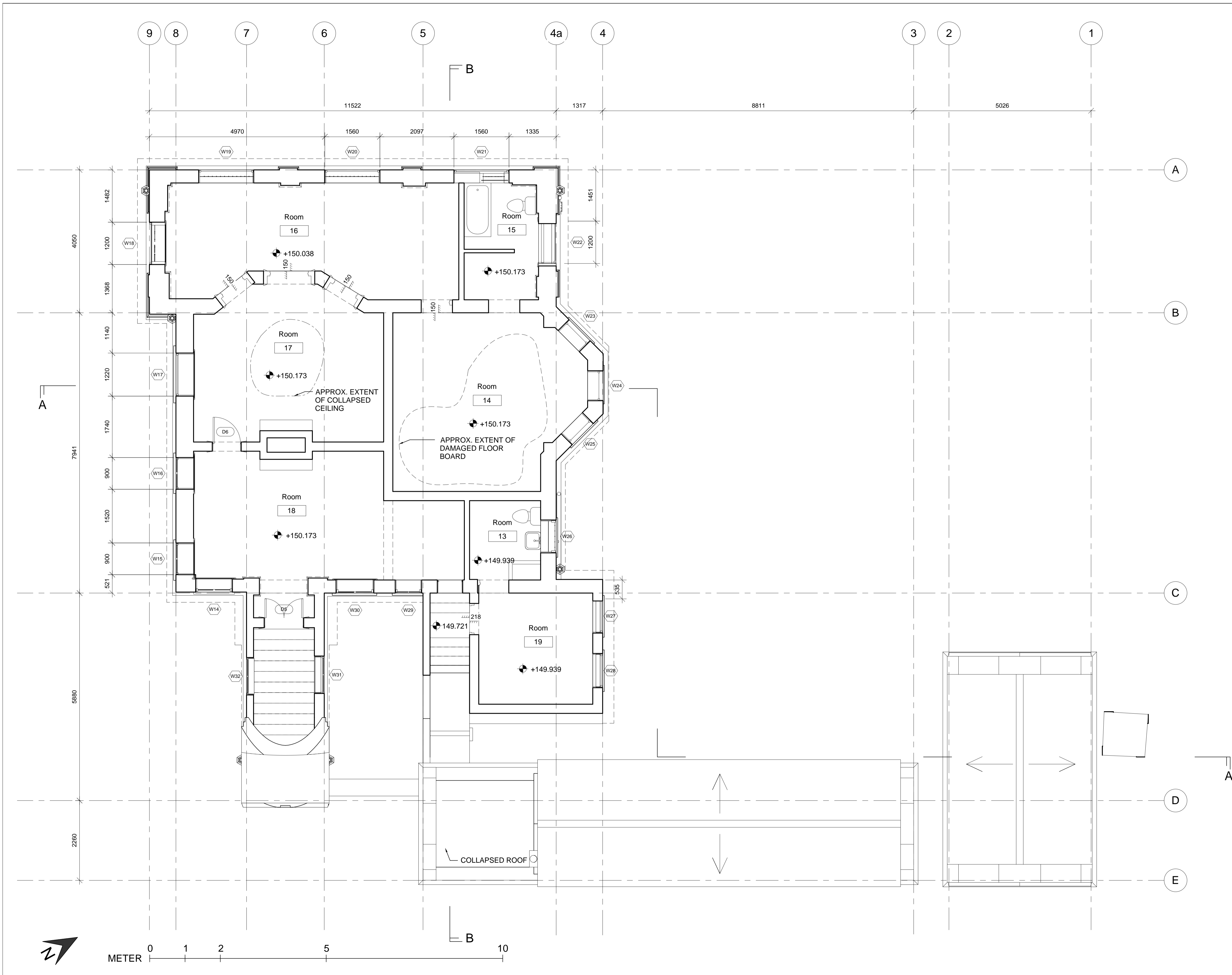
PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD

DRAWING TITLE
GROUND FLOOR PLAN

SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO.
A003





NOTES

- ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
- EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS		INITIAL AND DESIGNATION		
NO	DESCRIPTION AND DATE	DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD

DRAWING TITLE
FIRST FLOOR PLAN

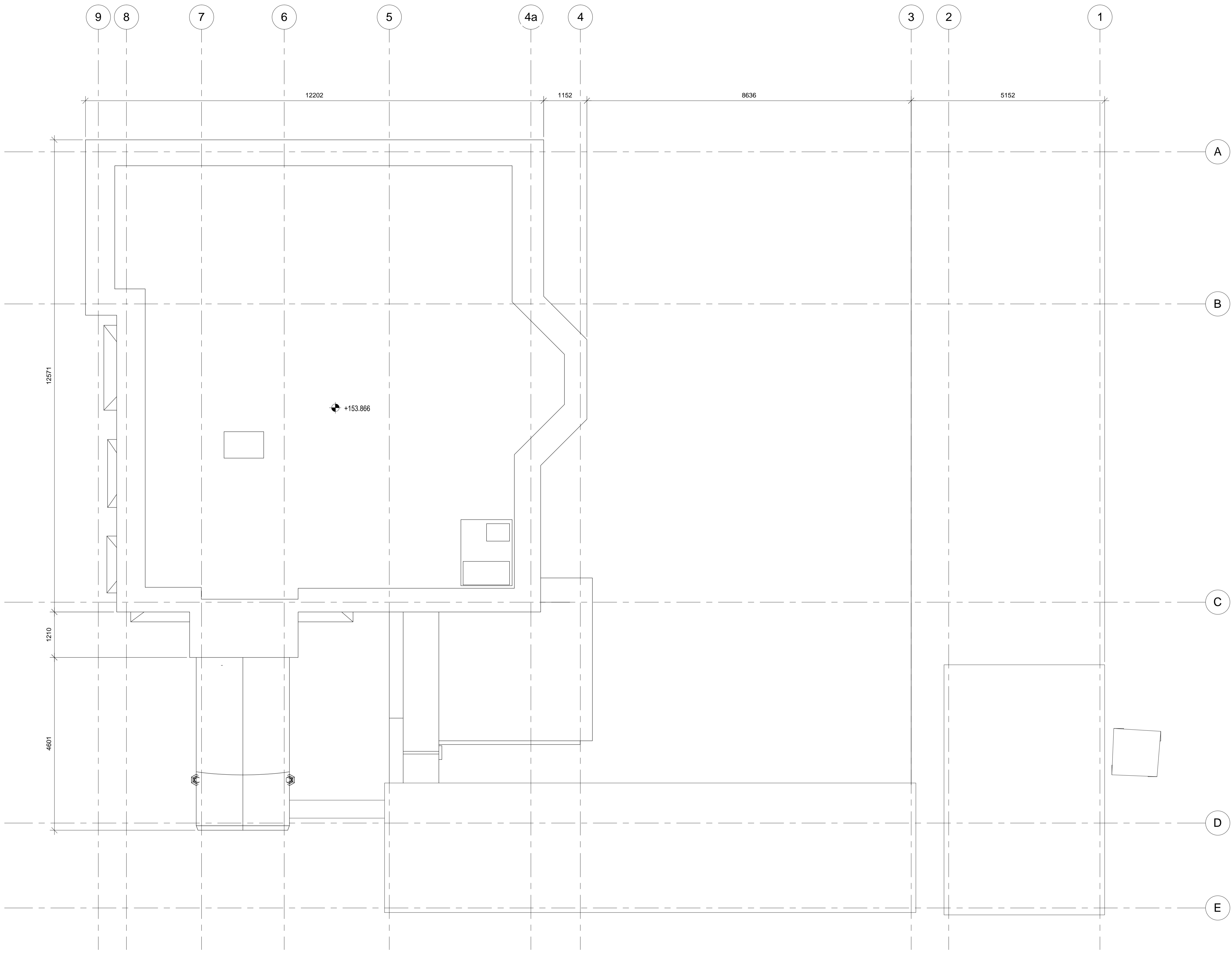
SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO. **A004**

DATE OF PRODUCTION 2013 - 10 - 10

SOURCE





NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD
 DRAWING TITLE

ROOF PLAN

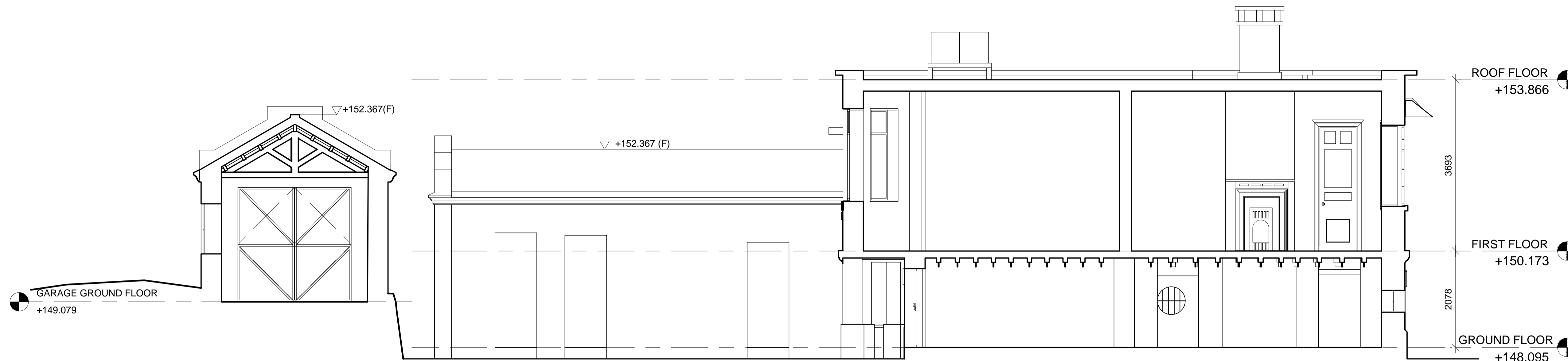
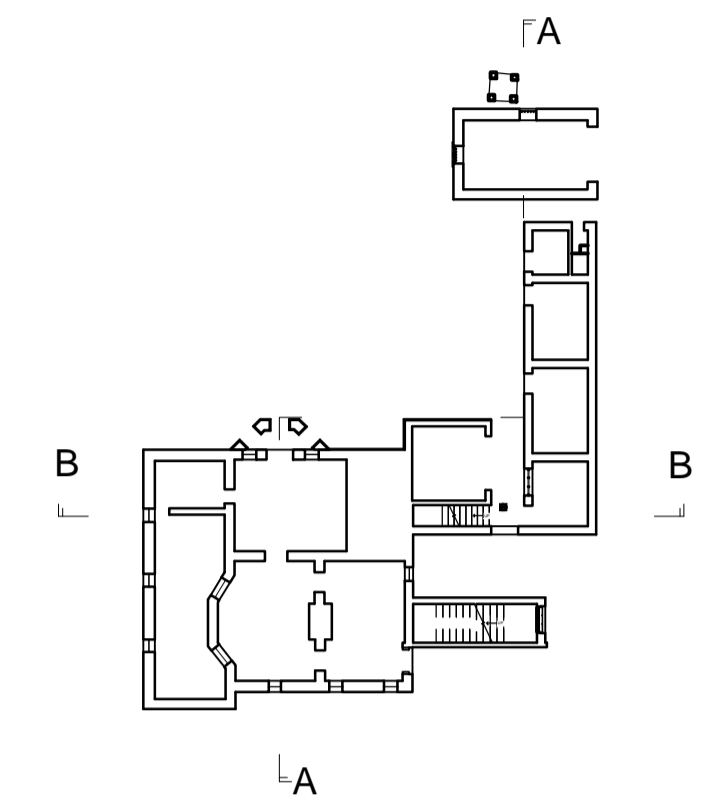
SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO.
A005



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.



SECTION A-A

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD

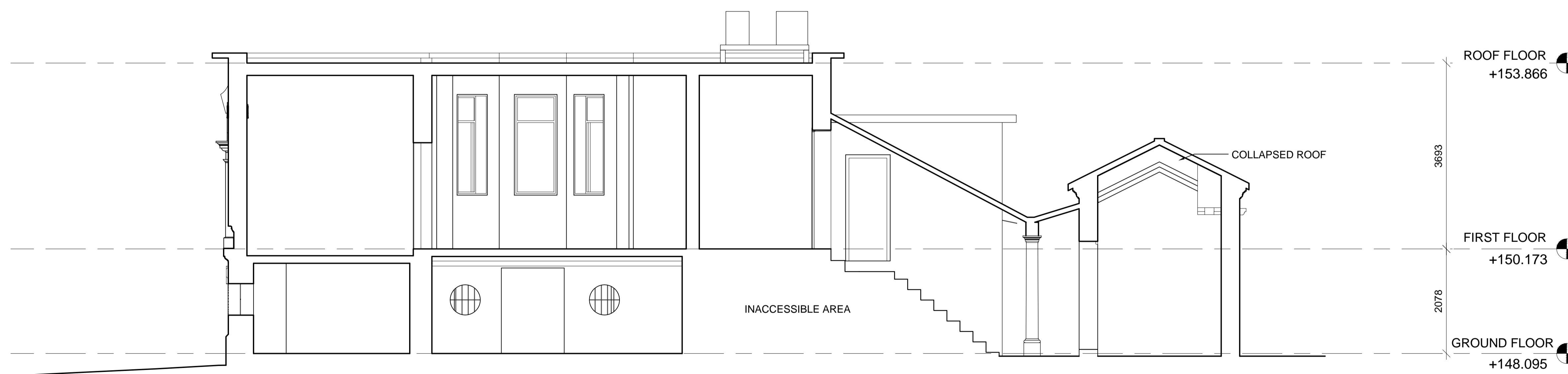
DRAWING TITLE
SECTION A-A & SECTION B-B

SCALE 1 : 50 (A1) / 1 : 100 (A3)

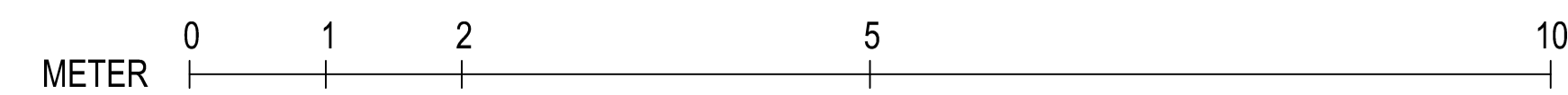
DRAWING NO.

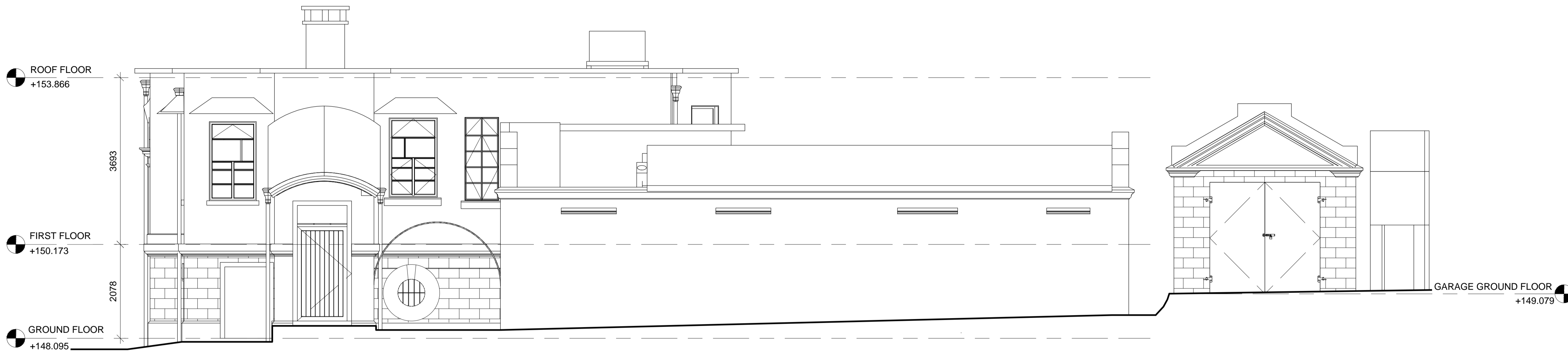
A006

SOURCE



SECTION B-B





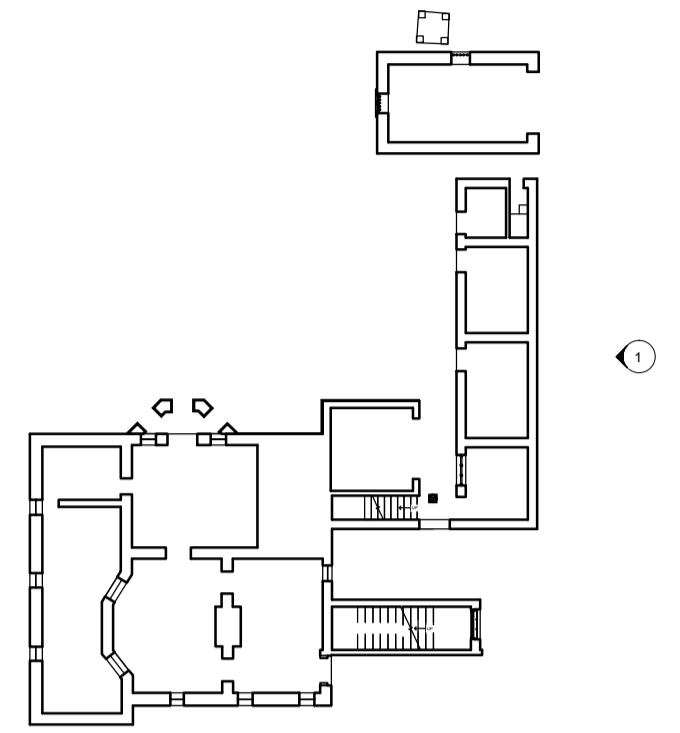
EAST ELEVATION



POINT CLOUD OF EAST ELEVATION

NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.



REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

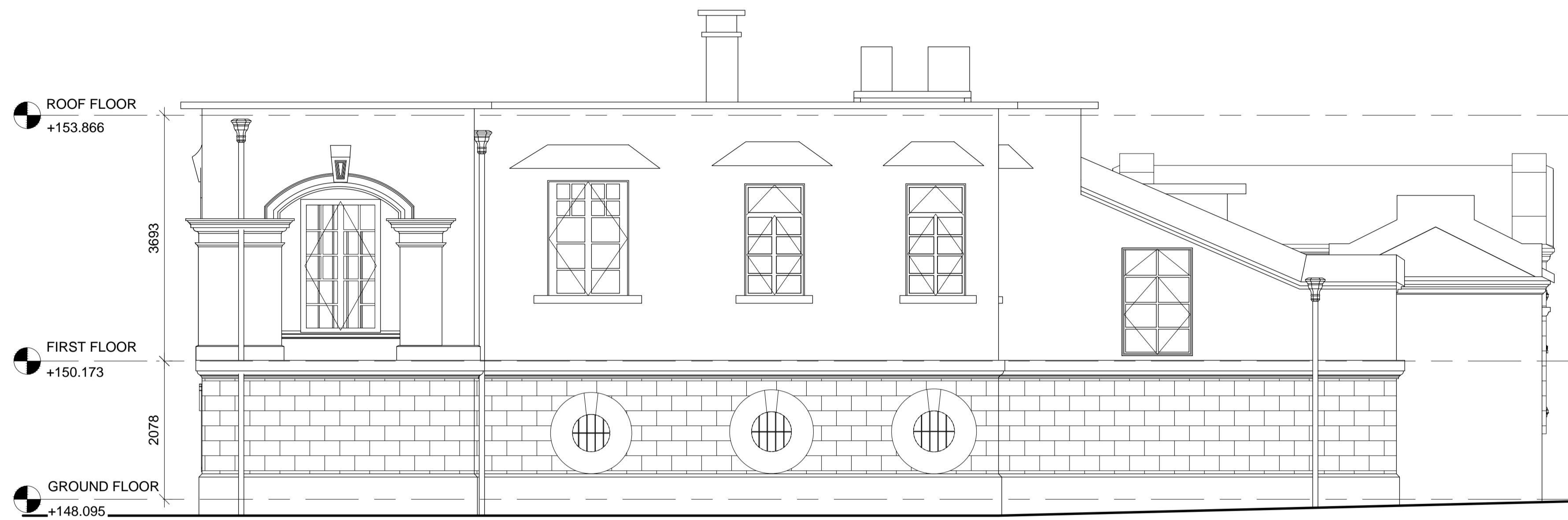
PROJECT
**OLD DAIRY FARM SENIOR
 STAFF QUARTERS NO.141
 POK FU LAM ROAD**

DRAWING TITLE
EAST ELEVATION

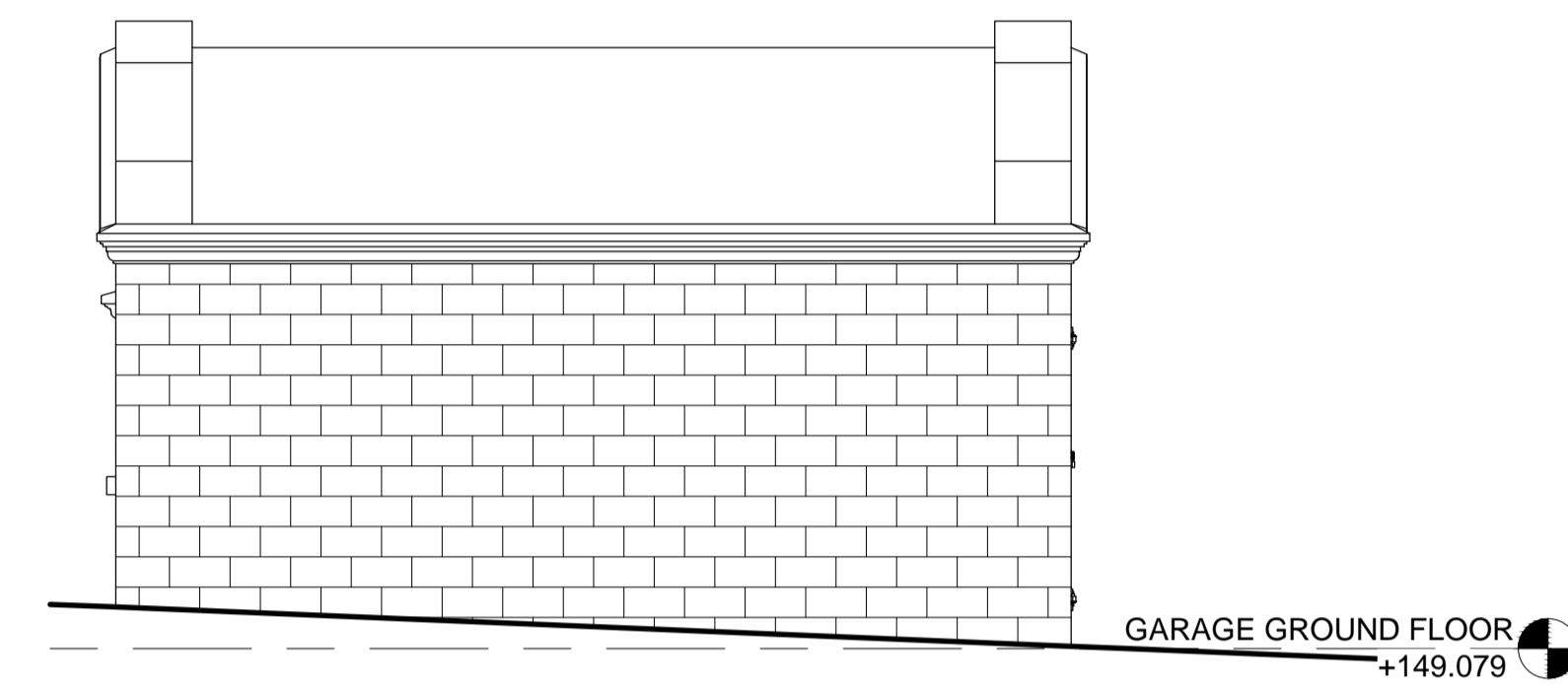
SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO.
A007





SOUTH ELEVATION



GARAGE SOUTH ELEVATION



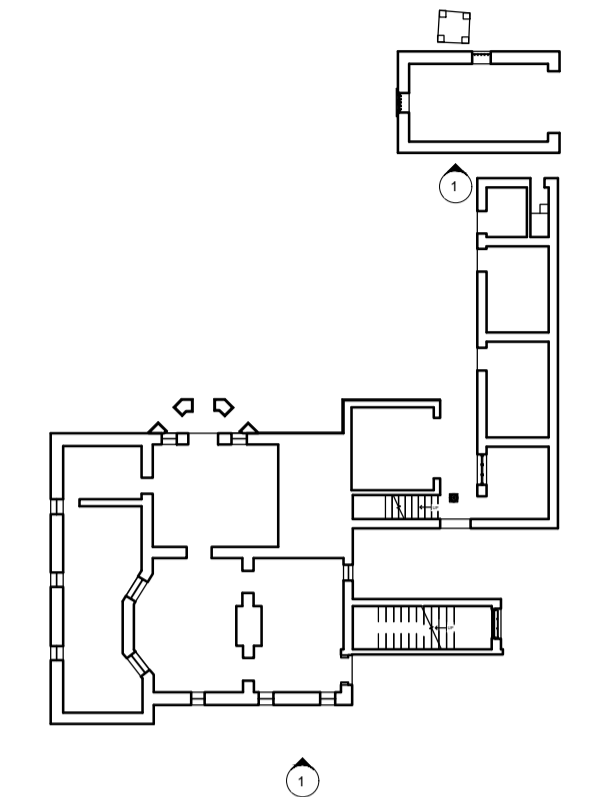
POINT CLOUD OF SOUTH ELEVATION



POINT CLOUD OF GARAGE SOUTH ELEVATION

NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.



REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
 OLD DAIRY FARM SENIOR
 STAFF QUARTERS NO.141
 POK FU LAM ROAD

DRAWING TITLE
 SOUTH ELEVATION

SCALE 1 : 50 (A1) / 1 : 100 (A3)

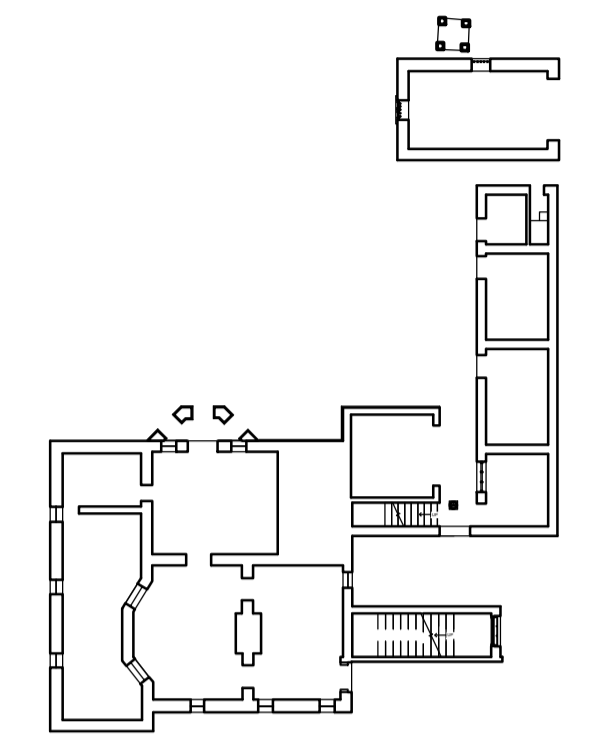
DRAWING NO.
 A008

SOURCE
 雲建 VIRCON

 ARCHITECTURAL
 SERVICES
 DEPARTMENT

NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.



REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

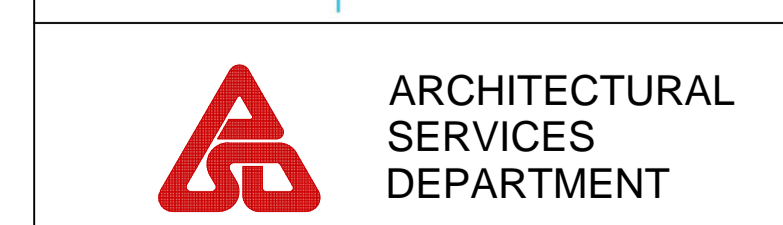
	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
**OLD DAIRY FARM SENIOR
 STAFF QUARTERS NO.141
 POK FU LAM ROAD**

DRAWING TITLE
WEST ELEVATION

SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO.
A009



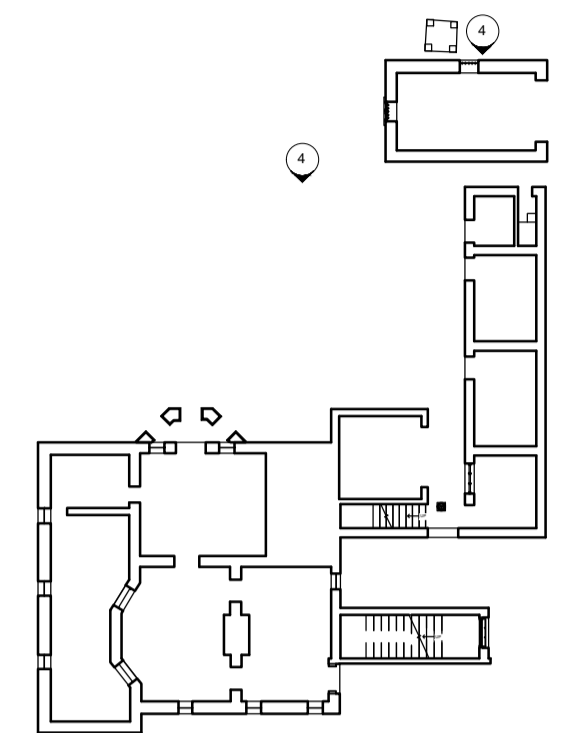
WEST ELEVATION



POINT CLOUD OF WEST ELEVATION

NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.



NORTH ELEVATION

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

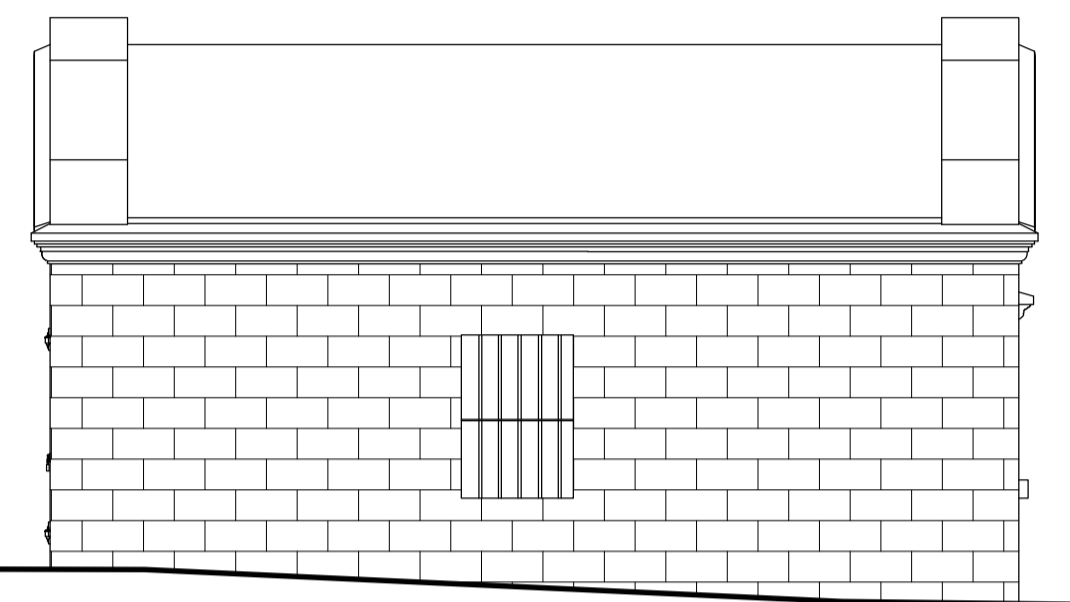
	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD

DRAWING TITLE
NORTH ELEVATION

SCALE 1 : 50 (A1) / 1 : 100 (A3)

DRAWING NO.
A010



GARAGE GROUND FLOOR
 +149.079

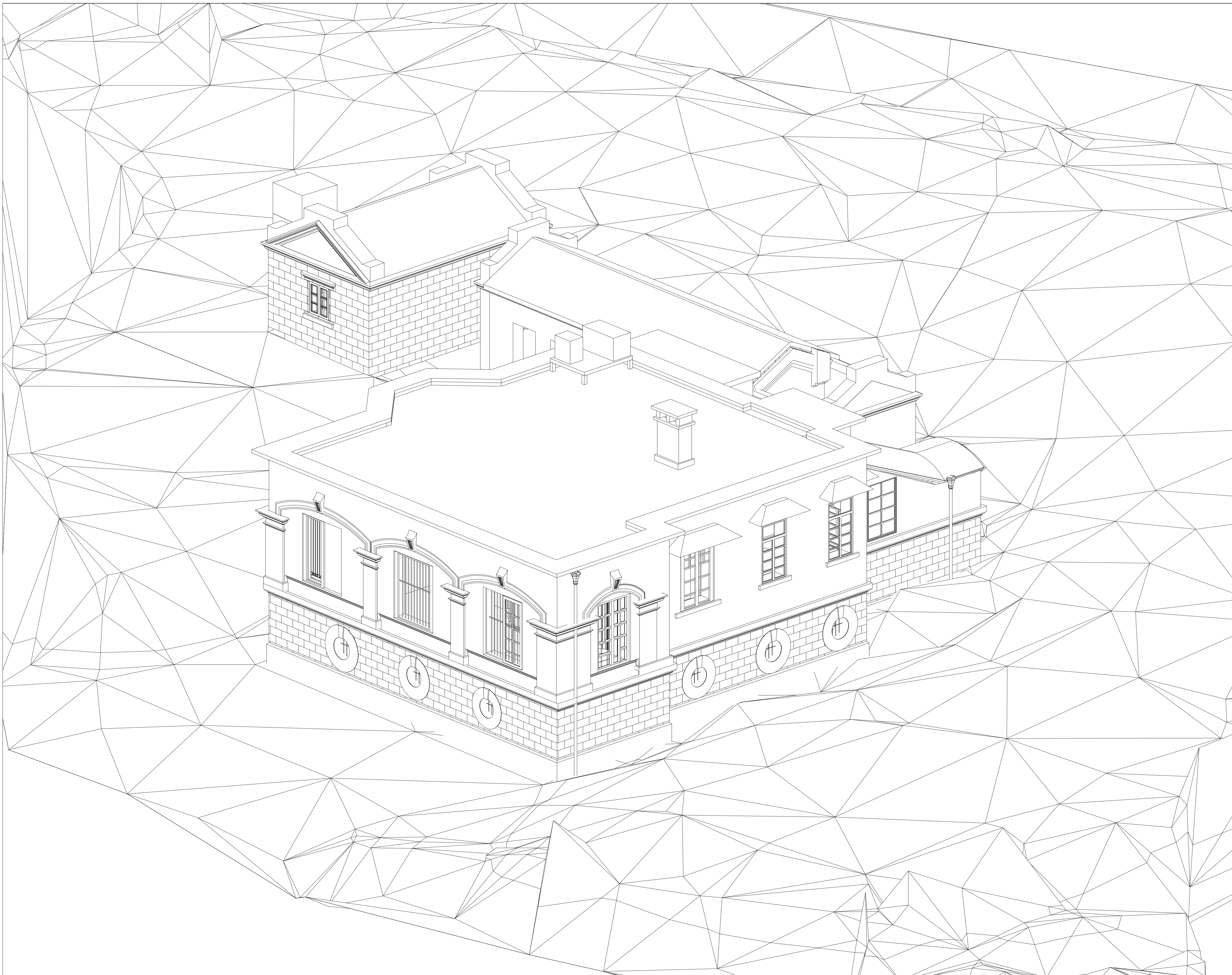
GARAGE NORTH ELEVATION



POINT CLOUD OF GARAGE NORTH ELEVATION



POINT CLOUD OF NORTH ELEVATION



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141
POK FU LAM ROAD

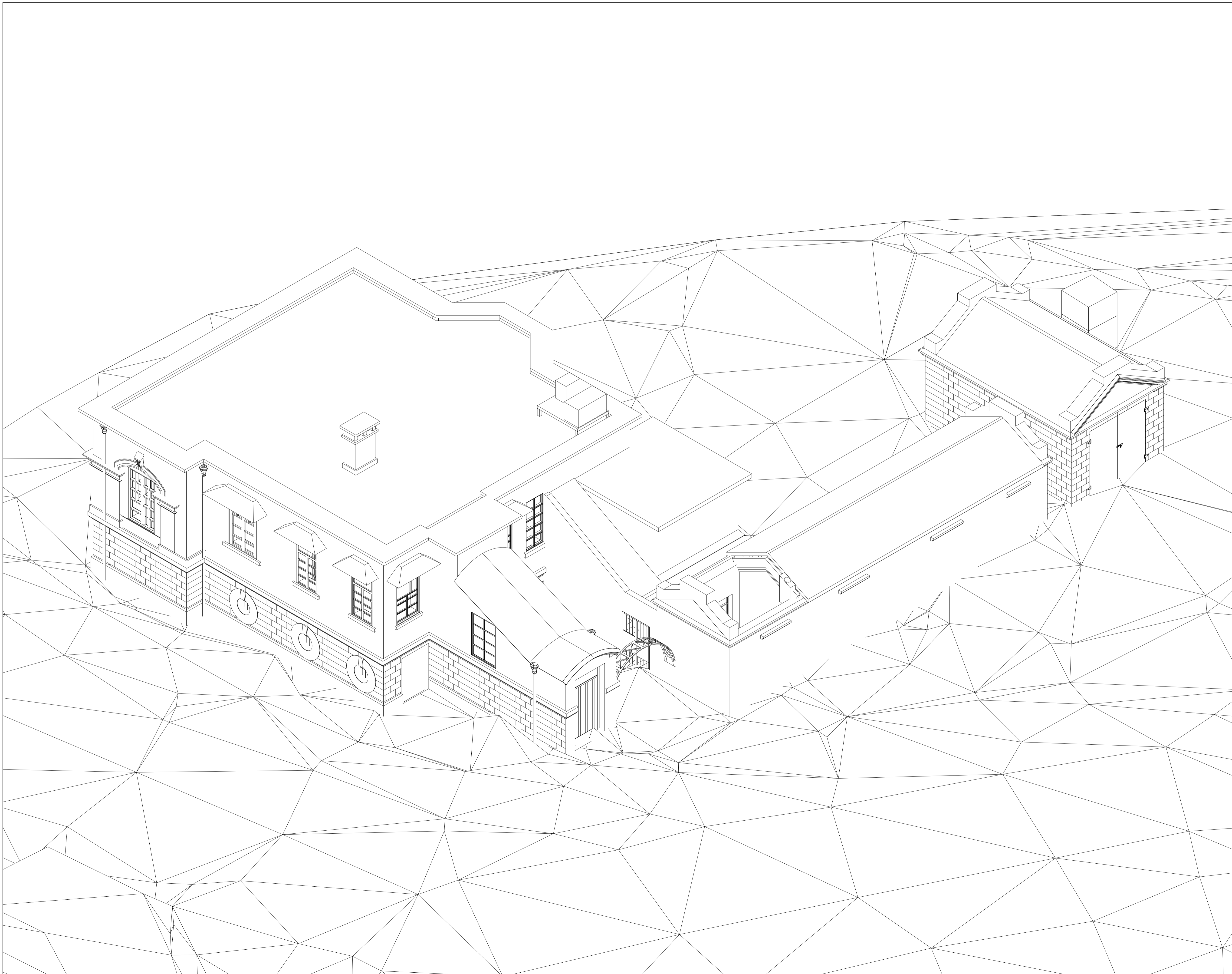
DRAWING TITLE
3D VIEW 1

SCALE **N.T.S.**

DRAWING NO.
A011

SOURCE


 **ARCHITECTURAL SERVICES DEPARTMENT**



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141
POK FU LAM ROAD

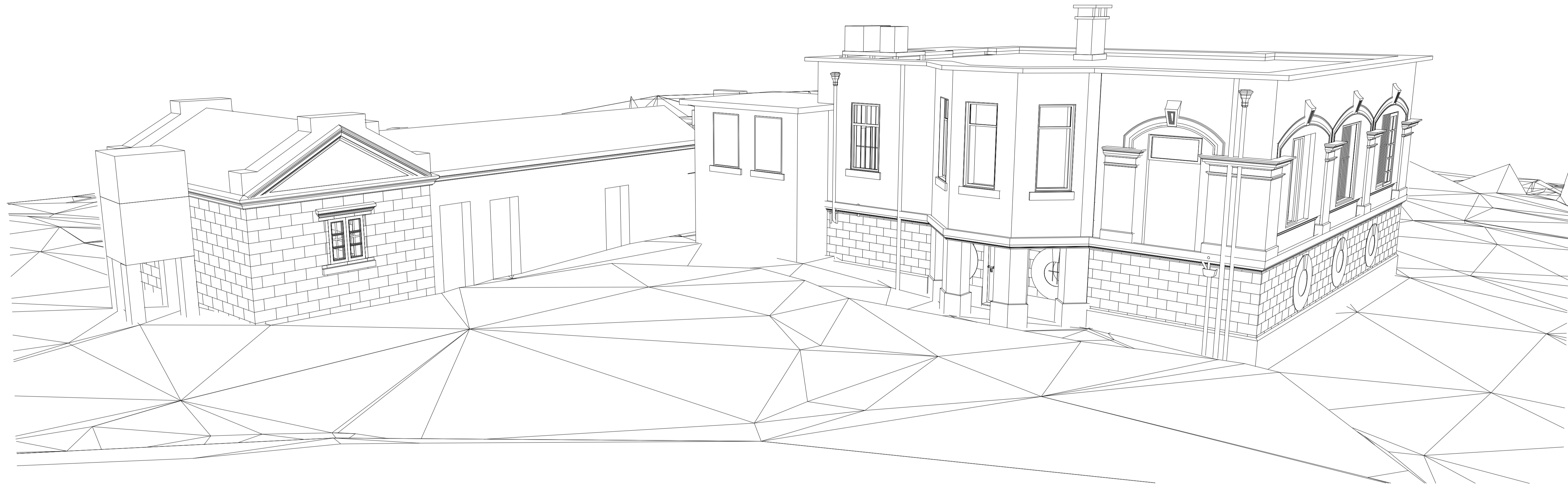
DRAWING TITLE
3D VIEW 2

SCALE **N.T.S.**

DRAWING NO.
A012

SOURCE
 **雲建 VIRCON**

 **ARCHITECTURAL SERVICES DEPARTMENT**



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

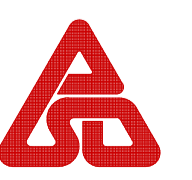
PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141
POK FU LAM ROAD

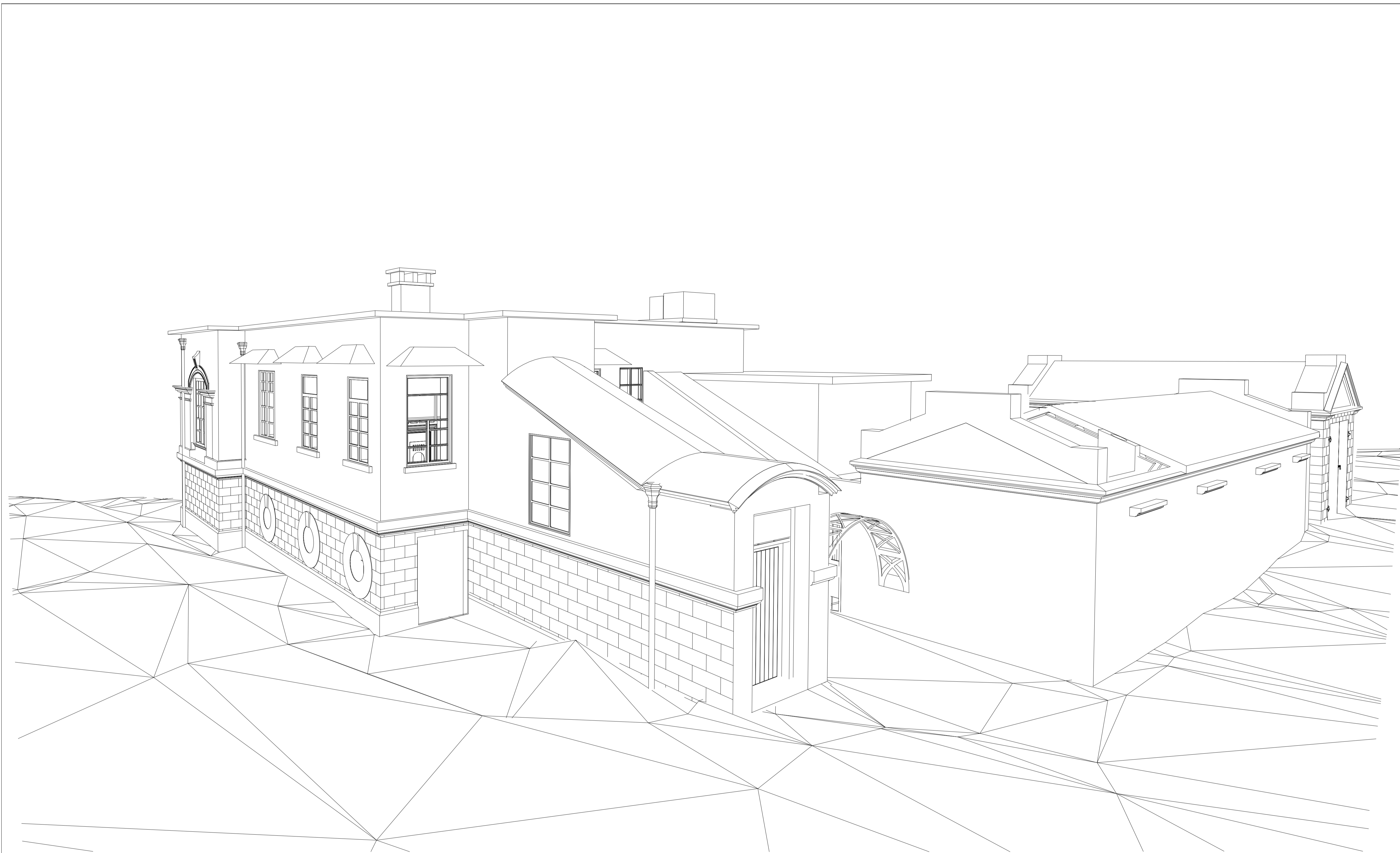
DRAWING TITLE
PERSPECTIVE VIEW 1

SCALE **N.T.S.**

DRAWING NO.
A013

SOURCE
 **雲建 VIRCON**

 **ARCHITECTURAL SERVICES DEPARTMENT**



NOTES

1. ALL DIMENSIONS SHOWN ARE IN MILLIMETER (mm) UNLESS OTHERWISE SPECIFIED.
2. EXACT DIMENSIONS, AREAS AND LAYOUT SHOULD BE VERIFIED ON SITE.

REVISIONS

NO	DESCRIPTION AND DATE	INITIAL AND DESIGNATION		
		DWN	CKD	AUTH

	NAME AND DESIGNATION	INITIAL	DATE
AUTHORISED			
CHECKED			
DRAWN			

PROJECT
OLD DAIRY FARM SENIOR STAFF QUARTERS NO.141 POK FU LAM ROAD

DRAWING TITLE
PERSPECTIVE VIEW 2

SCALE **N.T.S.**

DRAWING NO.
A014



Appendix VI
Photos of the Site and Buildings



An access road connecting the Site to Pok Fu Lam Road
(currently managed by the VTC)



An access road connecting the Site to Pok Fu Lam Road
(currently managed by the VTC)



An access road connecting the Site to Pok Fu Lam Road
(currently managed by the VTC)



Entrance to 1/F of the Main Building



Entrance to G/F of the Main Building



Bay window of the Main Building



Elevation of the Garage Block



Elevation of the Servants' Quarters



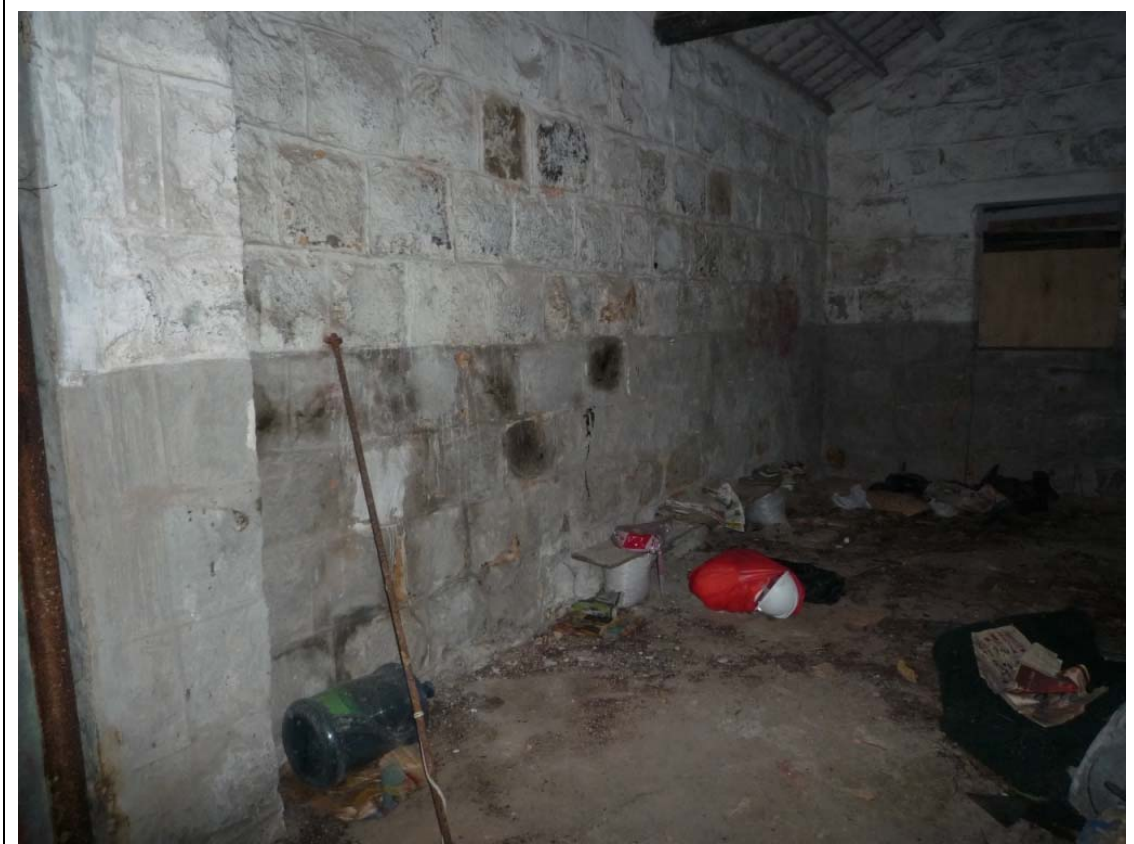
View of the access from the main entrance to the Servants' Quarters



View of the water tank



Side elevation of the Main Building



View of the Garage Block



View of the G/F of the Main Building



View of the usable space of the Main Building



View of the 1/F of the Main Building



View of the 1/F of the Main Building

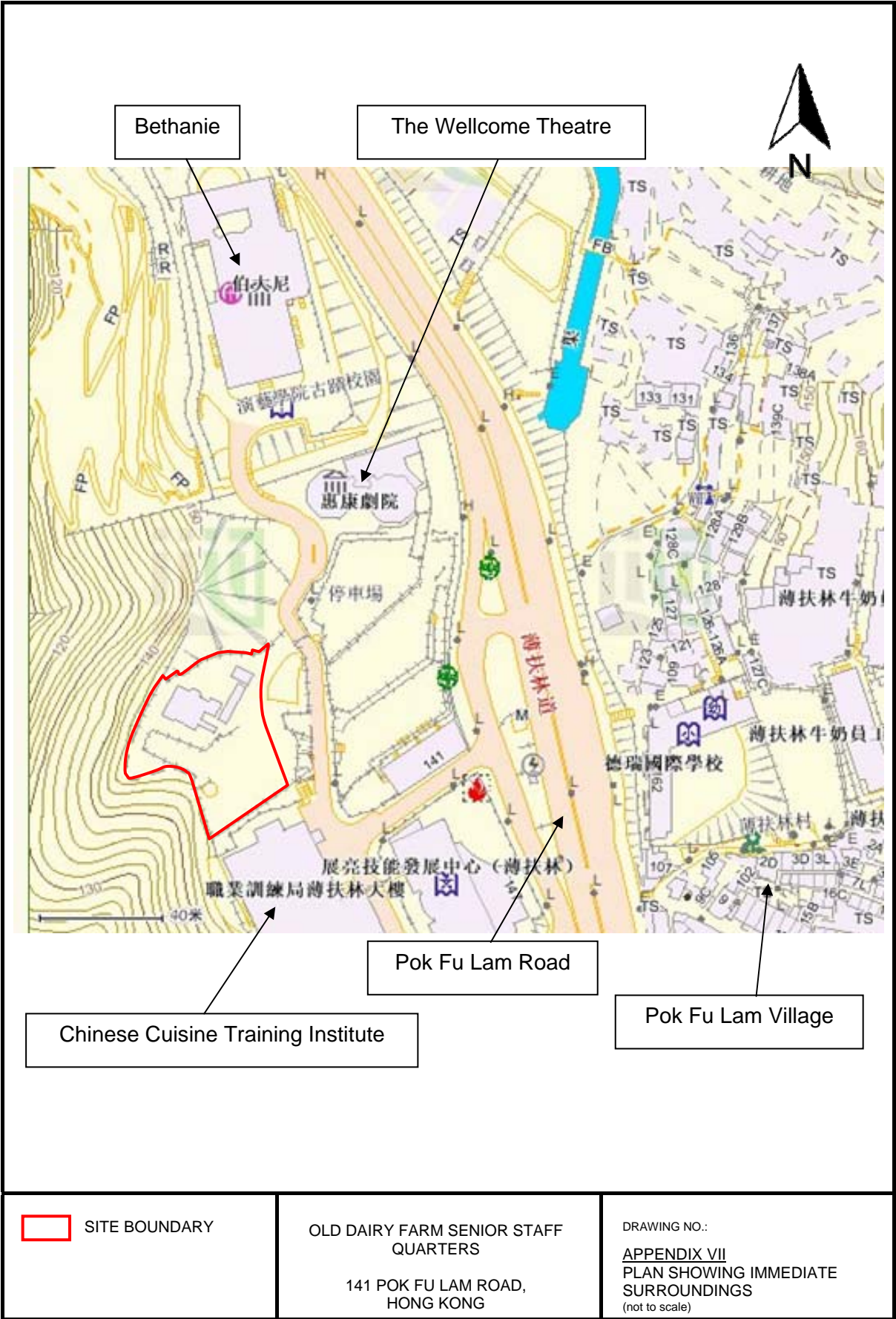


View of the staircase to 1/F of the Main Building








View of the other staircase to 1/F of the Main Building

Appendix VII
Plan Showing Immediate Surroundings



Appendix VIII
Access Plan



-  BUS STOP
-  SITE BOUNDARY
-  REALIGNED ACCESS ROAD
-  VEHICULAR ACCESS/
PEDESTRIAN ACCESS
-  POSSIBLE INGRESS/
EGRESS

OLD DAIRY FARM SENIOR STAFF
QUARTERS

141 POK FU LAM ROAD,
HONG KONG

DRAWING NO.:
APPENDIX VIII
ACCESS PLAN
(not to scale)

Appendix IX
List of Architectural Features
to be Preserved

Old Dairy Farm Senior Staff Quarters **Architectural Features to be Preserved**

1. MAIN BUILDING (EXTERIOR)

1.1) All elevations with granite block walls at the lower floor and the rendered walls at the upper floor



1.2) Classical architectural features on the elevations at the upper floor including columns, window sills, architraves and keystones.



1.3) Window openings at all elevations, including the timber window frames and the window sills (Steel windows and corrugated-sheet canopies are not original)



1.4) Bay window at the north-east elevation, including the window openings, the window sills and the supporting columns



1.5) Horizontal moulded bands aligned with the floor slab



1.6) Circular bull's eye ventilation windows, including the circular surround and the keystone, and the metal grilles and meshes



1.7) Main entrance porch to the upper floor, including its form, the arched roof, the stairway leading into the building, and the moulded copings of the roof



1.8) Projected canopies of the flat roof



1.9) Covered walkway between the Main Building and the Servants' Quarters supported by a column with moulded details



1.10) Cast iron rainwater downpipe with hopper

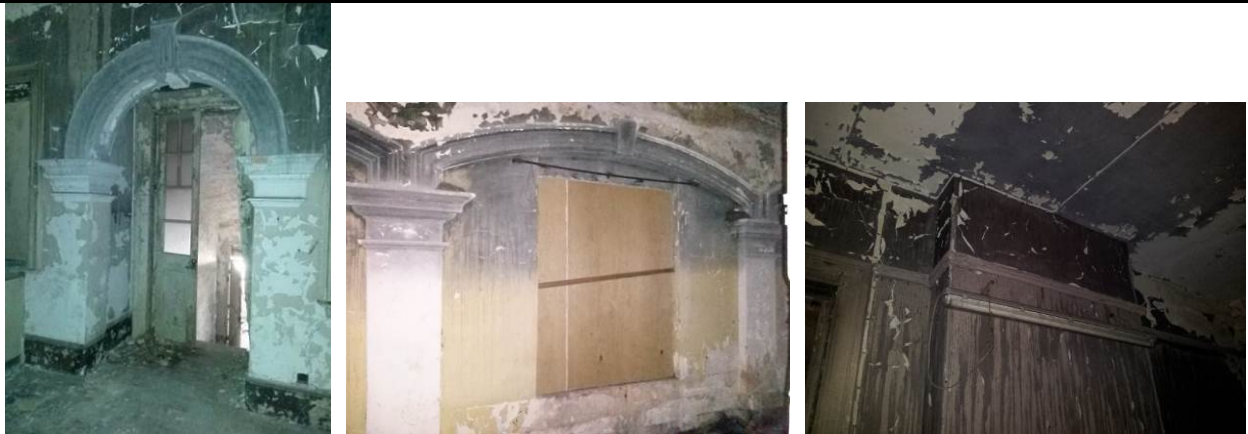


2. MAIN BUILDING (INTERIOR)

2.1) Fireplaces, including the stack, surrounds, tiling, grates and hearths.



2.2) Classical architectural features including columns, architraves, keystones and mouldings



2.3) Door openings, including the timber door panels, glass panels, moulded frame and ironmongeries



2.4) Window openings, including the moulded window frames



2.5) Floor tiles at the enclosed verandah



2.6) Timber floor decking



2.7) Wall skirting



2.8) The lower floor with granite block walls and corbelled mouldings to the steel joists supporting the timber flooring system at the upper floor



3. OUTBUILDINGS

3.1) All elevations of the Garage Block, including the moulded pediments, window hoods and sills, timber windows, and the granite blocks and joints.



3.2) Pitched roofs with double-roll double-layer Chinese style tiles and the timber roof systems at the Garage Block and the Servants' Quarters



Roof of the Garage Block



Roof of the Servants' Quarters

3.3) Moulded copings and horizontal moulded bands to the pitched roof, and the moulded canopies of the blocked door openings at the Servants' Quarters



3.4) Corbelled mouldings to the roof and the remains of chimney at the Servants' Quarters



3.5) Door opening at the Garage Block, including the door hinges and the door stay



Appendix X
List of Required Treatments to
Architectural Features

Old Dairy Farm Senior Staff Quarters
Required Treatments to Architectural Features

1. MAIN BUILDING (EXTERIOR)

Architectural Feature	Required Treatment
<p>a) All elevations with granite block walls at the lower floor and the rendered walls at the upper floor</p>	<p>All elevations should be generally kept intact except for alteration or addition for necessary facilities to suit modern day's requirements, provided that they are installed in a less prominent location and subject to the approval of AMO. No window-type air-conditioning units should be installed.</p> <p>Repair the joints at the granite block walls with the materials and style matching existing. Hack off rendering (if any) and clean the granite blocks to sufficient bright by bristle or nylon brushes with clean water. Corrosive cleaning agent should not be used. The granite block surface should be left unpainted.</p> <p>Repair any damage section of the brickworks and the rendered walls using similar materials as existing. No restriction on the proposed colour scheme on the rendered walls provided that it should be compatible to the appearance of the granite block walls and the paint system should be reversible and breathable in nature.</p>





Architectural Feature	Required Treatment
b) Classical architectural features on the elevations at the upper floor including columns, window sills, architraves and keystones	The features should be generally kept intact and should not be covered up. Repair the damaged architectural details following the existing profiles by materials matching existing.





Architectural Feature	Required Treatment
c) Window openings at all elevations, including the timber window frames and the window sills	No alteration to window openings is allowed unless approved by AMO. Overhaul the existing timber framed windows. Restore the steel framed windows to timber matching the existing style and subdivision. Remove all the corrugated-sheet canopies and other later-added items. Repair the window sills following the existing profiles by materials matching existing.





Architectural Feature	Required Treatment
d) Bay window at the north-east elevation, including the window openings, the window sills and the supporting columns	The form of the bay window should not be altered. No alteration to the window openings, the window sills and the supporting columns is allowed. Restore the window openings with timber framed windows matching existing style.
	


Architectural Feature	Required Treatment
e) Horizontal moulded bands aligned with the floor slab	Repair the feature following the existing profiles by materials matching existing.
	

Architectural Feature	Required Treatment
f) Circular bull's eye ventilation windows, including the circular surround, the keystone, and the metal grilles and meshes	No alteration to circular window openings is allowed. Repair the surround and the keystone following the existing profiles by materials matching existing as necessary. Repair the metal grilles and meshes. Blocking the openings internally by transparent material for operation needs may be permitted subject to AMO's approval.
	

Architectural Feature	Required Treatment
g) Main entrance porch to the upper floor, including its form, the arched roof, the stairway leading into the building, and the moulded copings of the roof	The form of the main entrance porch should not be altered. Repair the mouldings following the existing profiles by materials matching existing. Upgrading of the stairway or installation of access facilities to suit the statutory requirements may be permitted provided that the disturbance to the porch should be kept minimum, and the design should be subject to AMO's approval.
	


Architectural Feature	Required Treatment
h) Projected canopies of the flat roof	Retain and repair as necessary.
	

Architectural Feature	Required Treatment
i) Covered walkway between the Main Building and the Servants' Quarters supported by a column with moulded details	Retain and repair the covered walkway and the moulded details following the existing form and profiles by materials matching existing.
	

Architectural Feature	Required Treatment
j) Cast iron rainwater downpipe with hopper	Retain and repair the cast iron rainwater pipes and hopper heads. Restore its function if feasible.
	

2. MAIN BUILDING (INTERIOR)


Architectural Feature	Required Treatment
a) Fireplaces, including the stack, surrounds, tiling, grates and hearths	All fireplaces should be preserved in-situ. Do not cover up or enclose the fireplaces. Repair by materials matching existing.
	


Architectural Feature	Required Treatment
b) Classical architectural features including columns, architraves, keystones and mouldings	The features should be retained. Repair the damaged architectural details following the existing profiles by materials matching existing. The features should not be covered up.
	


Architectural Feature	Required Treatment
c) Door openings, including the timber door panels, glass panels, moulded	Do not alter the door openings. Repair the moulded frames following the existing profiles by materials matching existing. Original panelled doors should be restored and repainted.


frames and ironmongeries	<p>Repair or replace the glass panels with those matching the existing patterns or similar approved by AMO. Original ironmongeries should be preserved in-situ and oiled, adjusted, overhauled and repaired as necessary.</p> <p>No objection to replacement if the elements are beyond repair, but the replacement should be in the material and style matching the existing. Not necessary to re-provide new door if there is already none at the existing openings unless with strong historical evidence or for operational needs.</p>
--------------------------	--




Architectural Feature	Required Treatment
d) Window openings, including the moulded window frames	Do not alter the window openings unless approved by AMO. Repair the moulded frames following the existing profiles by materials matching existing. Restore the window with window frames following the style and materials of the existing.
	

Architectural Feature	Required Treatment
e) Floor tiles at the enclosed verandah	Original floor tiles should be preserved in-situ and repaired. New replacement of the tiles is acceptable if the tiles are beyond repair and the replacements should follow the existing style and material. Modification works to the floor slabs for structural strengthening to suit operational needs may be permitted subject to the approval of AMO.
	


Architectural Feature	Required Treatment
f) Timber floor decking	Timber flooring decking should be preserved in-situ and repaired. New replacement of the elements is acceptable if the elements are beyond repair and the replacements should follow the existing styles and materials. With the advice from a Registered Structural Engineer, the structural system of the timber floor decking could be upgraded to suit modern statutory requirements and operation needs subject to approval from AMO.
	

Architectural Feature	Required Treatment
g) Wall skirting	Retain and repair the feature following the existing profiles by materials matching existing. The feature should not be covered up.
	

Architectural Feature	Required Treatment
i) The lower floor with granite block walls and corbelled mouldings to the steel joists supporting the floor slabs at the upper floor	The layout of the lower ground floor should not be altered. Repair the joints at the granite blocks as necessary with the material and style matching existing. Clean the granite blocks to sufficient bright by bristle or nylon brushes with clean water. Corrosive cleaning agent should not be used. Repair the corbelled mouldings as necessary following the existing profiles by materials matching existing.
	

Architectural Feature	Required Treatment
j) Ceramic wall tiles	Remove the ceramic wall tiles and restore the wall with finishes matching the existing style and materials.
	

3. OUTBUILDINGS

Architectural Feature	Required Treatment
a) All elevations of the Garage Block, including the moulded pediment, granite blocks and joints, window hoods and sills, and timber framed window.	<p>All the elevations should be generally kept intact. Repair the joints at the granite block walls as necessary with the material and style matching existing. Hack off rendering (if any) and clean the granite blocks to sufficient bright by bristle or nylon brushes with clean water. Corrosive cleaning agent should not be used. The granite block surface should be left unpainted.</p> <p>Repair the damaged architectural details, including the moulded pediment, window hoods and sills, following the existing profiles by material matching existing.</p> <p>No alteration to window openings is allowed unless approved by AMO. Overhaul the existing timber framed windows or restore the window following the material and style of the existing window. No replacement by steel or aluminium windows is allowed. No window-type air-conditioning units should be installed.</p>
	


Architectural Feature	Required Treatment
b) Pitched roofs with double-roll double-layer Chinese style tiles and the timber roof system at the Garage Block and the Servants' Quarters	Do not change the form and the materials of the roofs. Repair and maintain to be waterproofed. Repair the damaged roofs with the Chinese style tiles matching existing. Check structural condition and repair the defective timber trusses, rafters and purlins as necessary. At least part of the timber structure should be exposed for appreciation. Install termite eradication and monitoring system.




Roof of the Garage Block



Roof of the Servants' Quarters

Architectural Feature	Required Treatment
c) Moulded copings and horizontal moulded bands to the pitched roof, and the moulded canopies of the blocked door openings	Repair the damaged architectural details, including the moulded pediment, window hoods and sills, following the existing profiles by materials matching existing.
	


Architectural Feature	Required Treatment
d) Corbelled mouldings to the roof and the remains of the chimney at the Servants' Quarters	Repair the corbelled mouldings and the remains of the chimney as necessary following the existing profiles by materials matching existing. Not necessary to restore the chimney unless with strong historical evidence.
	

Architectural Feature	Required Treatment
e) Blocked door openings of the Servants' Quarters	<p>Do not alter the size of the existing door openings which are now blocked by steel panels. Replace the steel panels by new doors of style and materials compatible to the existing building design.</p> <p>No specific requirement to the door openings which are already blocked. If they are to be restored to doors, the design of the new door should be compatible to the existing building design. The restored door openings should not wider than their corresponding moulded canopies above. Design of the new door should be submitted to AMO for approval.</p>



Architectural Feature	Required Treatment
f) Door opening of the Garage Block, including the door hinges and the door stay	<p>Do not alter the size or block the existing door opening. Retain the door hinges and the door stay in-situ, repair, de-rust and repaint them as necessary. No objection to replace the steel door by new door for operational needs, but the new door should be compatible to the existing building design.</p>



Architectural Feature	Required Treatment
g) Water tank adjacent to the Garage Block	Demolish the structure which hinders appreciation to the side elevation of the Garage Block.
	

4. SURROUNDING

Architectural Feature	Required Treatment
a) Open space	Any new structure should not cause visual impact to the Senior Staff Quarters. In particular, vista from the Senior Staff Quarters to East Lamma Channel, Bethanie, the Cowshed and the Main Office Building of the Old Dairy Farm (these buildings are now re-used by the Hong Kong Academy for Performing Arts) should not be blocked as they possess group value with the Senior Staff Quarters.



Open Space within the Site




View to Bethanie and the Cowshed



View to the Main Office Building

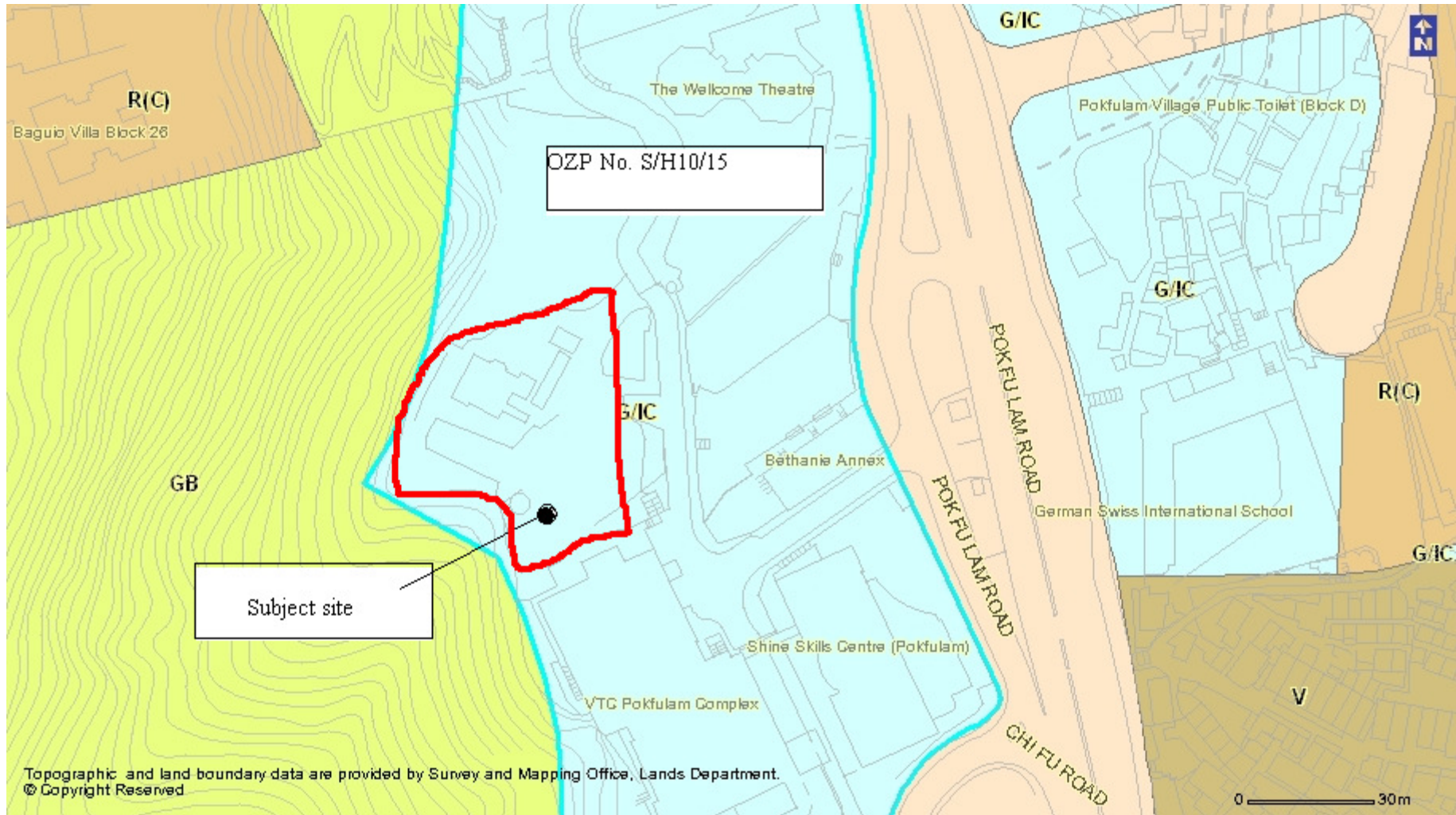
Appendix XI
List of Recommended Treatments to
Architectural Features

Old Dairy Farm Senior Staff Quarters
Recommended Treatment to Architectural Feature

Architectural Feature	Recommended Treatment
a) Side entrance with stairway leading into the Main Building	Retain and upgrade this stairway for circulation purpose.
	

Appendix XII

Outline Zoning Plan



GOVERNMENT, INSTITUTION OR COMMUNITY

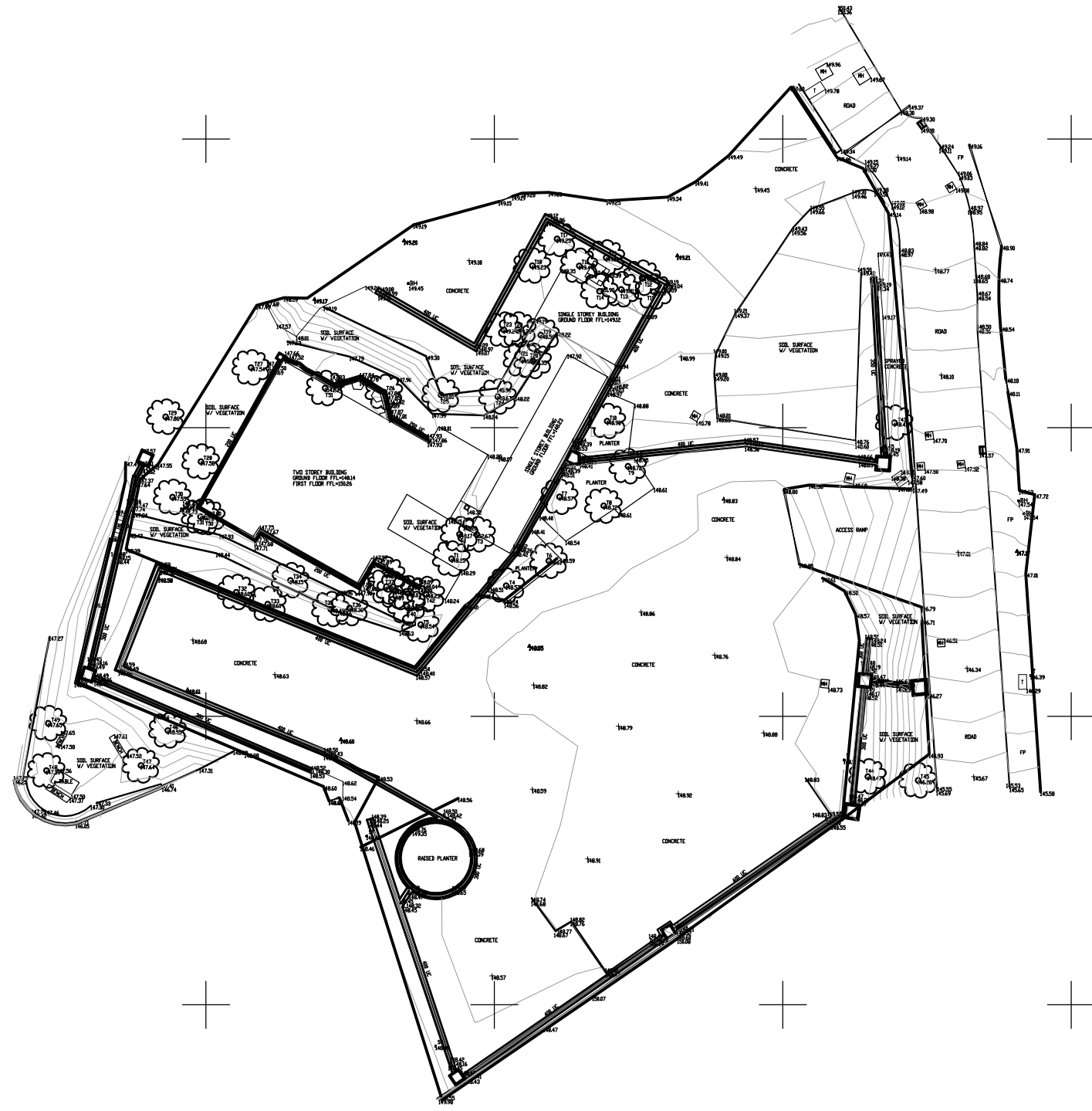
Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Cable Car Route and Terminal Building Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Pier Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Correctional Institution Driving School Eating Place (not elsewhere specified) Flat Funeral Facility Holiday Camp Hotel House Marine Fuelling Station Mass Transit Railway Vent Shaft and/or Other Structure above Ground Level other than Entrances Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

Appendix XIII(A)

Topographic Survey



Notes :

1. Measurements are based on metric system.
2. All levels are in metres to Principal Datum (mPD) unless noted otherwise.
3. All coordinates refer to Hong Kong 1980 Grid unless noted otherwise.

LEGEND:

- CHANGE OF GRADE
- KERBLINE
- FENCE
- 10 —— CONTOUR
- WALL
- RETAINING WALL
- BUILDING
- GUARDRAIL
- CANOPY/OVERHANG
- DRAINAGE CHANNEL TOP
- DRAINAGE CHANNEL INVERT
- FOOTPATH/CONCRETE
- MH — MANHOLE
- — CATCHPIT
- — GULLY
- — STOP VALVE
- G — GAS VALVE
- — TELECOM PIT
- — ELECTRICAL DRAWPIT
- CTV — CABLE TV PIT
- ⊙ — GRAVE
- — LAMP POST
- — ELECTRICITY POLE
- — TELECOM POLE
- TL — TRAFFIC LIGHT
- H — FIRE HYDRANT
- SP — POST/SIGN POST
- W — WELL
- B — BORE HOLE
- — TREE
- △ — SURVEY CONTROL

CONSULTANT :

 PRUDENTIAL SURVEYORS INTL. LTD.
 TEL. 25078333 FAX. 25986576

AUTHORIZED PERSON :

 Dennis W.C. Wong
 BSc (Hons), MSc(Eng), MPhil,
 MRCS, MRICS, RPS, RPE,
 Authorized Person

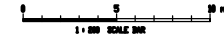
PROJECT TITLE :
**OLD DAIRY FRAM SENIOR
 STAFF QUARTERS NO.141
 POK FU LAM ROAD**

DRAWING TITLE :
**TOPOGRAPHICAL SURVEY
 PLAN**

DRAWN	DATE	CHECKED	SCALE
AT	04/12/13	OSBERT	1:50

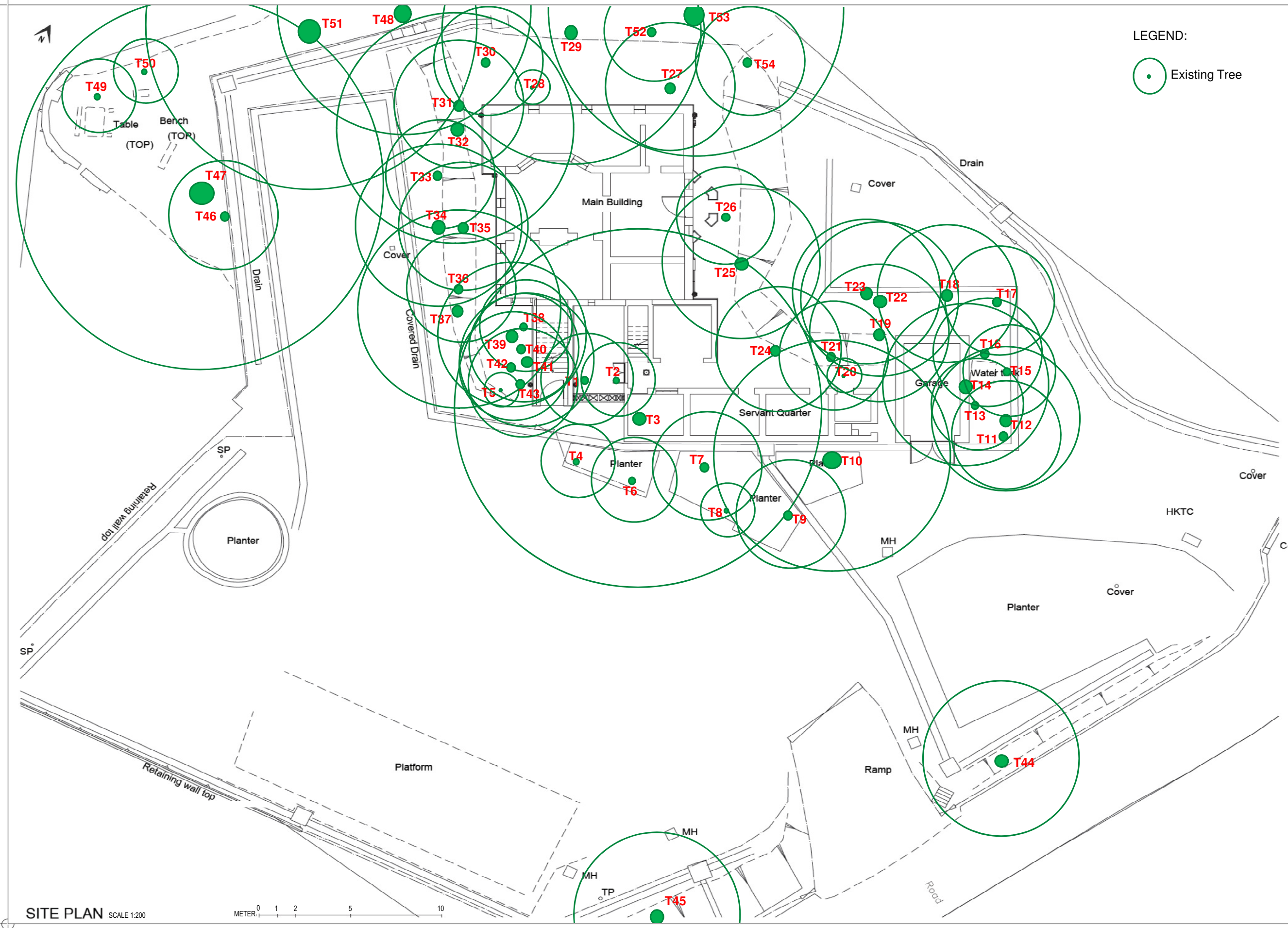
JOB NO. B4437	DWG. NO. A002
FILING CODE N:\B4437\DRAWING \A002-004	


STATUS : **TENDER DRAWING**



Appendix XIII(B)

Tree Survey Plan and Tree Survey Schedule



LEGEND:
 Existing Tree

I.C.U. REF. No.:
 B.D. REF. No.:
 F.S.D. REF. No.:

REVISIONS		INITIAL / DESIGNATION	
NO.	DESCRIPTION AND DATE	OWN	CHK / AUTH

	NAME & DESIGNATION	INITIAL	DATE
APPROVED:			
CHECKED:			
DRAWN:			

PROJECT:
 OLD DAIRY FARM SENIOR STAFF QUARTER

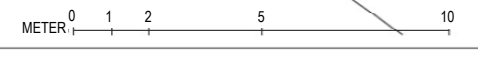
DRAWING TITLE:
 TREE IDENTIFICATION PLAN

SCALE: 1:200 SIZE: A3 REV. No.:

DRAWING NO.
 ODFSSQ/TIP/01

JOB No.:

SITE PLAN SCALE 1:200



TREE SURVEY SCHEDULE

Address: Old Dairy Farm Senior Staff Quarter, 141 Pok Fu Lam Road

Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)

Field Survey was conducted on: 09-11-2013

To be read in conjunction with drawing no.: ODFSSQ/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Good, Fair, Poor, Dead)	Tree Form (Good, Fair, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T1	<i>Macaranga tanarius</i>	血桐	100	6.0	5.0	Poor	Poor	Low	Low	N
T2	<i>Macaranga tanarius</i>	血桐	95	6.0	4.0	Poor	Poor	Low	Low	N
T3	<i>Ficus microcarpa</i>	細葉榕	1100	9.5	20.0	Fair	Fair	Medium	Medium	N
T4	<i>Plumeria rubra</i>	雞蛋花	320	6.0	4.0	Poor	Fair	Low	Medium	N
T5	<i>Dracaena marginata</i>	馬尾鐵	120	4.0	2.0	Fair	Fair	Medium	Medium	N
T6	<i>Macaranga tanarius</i>	血桐	120	3.5	4.5	Fair	Poor	Medium	Low	N
T7	<i>Macaranga tanarius</i>	血桐	175	6.0	6.0	Poor	Poor	Low	Low	N
T8	<i>Macaranga tanarius</i>	血桐	170	6.0	3.0	Poor	Poor	Low	Low	N
T9	<i>Macaranga tanarius</i>	血桐	410	6.0	6.0	Fair	Fair	Medium	Medium	N
T10	<i>Ficus microcarpa</i>	細葉榕	750	14.0	13.0	Fair	Fair	Medium	Medium	N
T11	<i>Macaranga tanarius</i>	血桐	140	5.0	6.0	Poor	Fair	Low	Medium	N
T12	<i>Macaranga tanarius</i>	血桐	230	7.5	8.0	Fair	Fair	Medium	Medium	N
T13	<i>Macaranga tanarius</i>	血桐	150	4.5	5.0	Poor	Poor	Low	Low	N

TREE SURVEY SCHEDULE

Address: Old Dairy Farm Senior Staff Quarter, 141 Pok Fu Lam Road

Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)

Field Survey was conducted on: 09-11-2013

To be read in conjunction with drawing no.: ODFSSQ/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Good, Fair, Poor, Dead)	Tree Form (Good, Fair, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T14	<i>Ficus microcarpa</i>	細葉榕	950	14.0	9.0	Fair	Fair	Medium	Medium	N
T15	<i>Macaranga tanarius</i>	血桐	160	5.5	5.0	Poor	Poor	Low	Low	N
T16	<i>Macaranga tanarius</i>	血桐	260	6.0	6.0	Fair	Poor	Medium	Medium	N
T17	<i>Macaranga tanarius</i>	血桐	220	4.0	6.0	Fair	Poor	Low	Low	N
T18	<i>Macaranga tanarius</i>	血桐	300	7.0	7.5	Fair	Poor	Medium	Low	N
T19	<i>Macaranga tanarius</i>	血桐	240	11.0	7.5	Poor	Fair	Medium	Medium	N
T20	<i>Macaranga tanarius</i>	血桐	95	6.5	2.0	Poor	Poor	Low	Low	N
T21	<i>Macaranga tanarius</i>	血桐	175	12.0	6.0	Fair	Poor	Medium	Medium	N
T22	<i>Macaranga tanarius</i>	血桐	150	3.5	8.5	Fair	Poor	Medium	Low	N
T23	<i>Macaranga tanarius</i>	血桐	210	6.0	8.0	Poor	Poor	Medium	Low	N
T24	<i>Macaranga tanarius</i>	血桐	205	5.0	6.5	Poor	Poor	Low	Low	N
T25	<i>Macaranga tanarius</i>	血桐	190	7.0	8.5	Fair	Poor	Medium	Low	N
T26	<i>Macaranga tanarius</i>	血桐	185	4.0	5.5	Poor	Poor	Low	Low	N

TREE SURVEY SCHEDULE

Address: Old Dairy Farm Senior Staff Quarter, 141 Pok Fu Lam Road

Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)

Field Survey was conducted on: 09-11-2013

To be read in conjunction with drawing no.: ODFSSQ/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Good, Fair, Poor, Dead)	Tree Form (Good, Fair, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T27	<i>Mangifera indica</i>	芒果	420	15.5	7.0	Fair	Fair	Medium	Medium	N
T28	<i>Dracaena marginata</i>	馬尾鐵	220	5.0	2.0	Fair	Fair	Medium	Medium	N
T29	<i>Ficus elastica</i>	印度橡樹	1050	16.0	14.0	Fair	Fair	Medium	Medium	N
T30	<i>Macaranga tanarius</i>	血桐	230	8.0	6	Poor	Poor	Medium	Low	N
T31	<i>Macaranga tanarius</i>	血桐	190	10.0	7.0	Poor	Poor	Medium	Low	N
T32	<i>Macaranga tanarius</i>	血桐	410	10.0	13.0	Fair	Poor	Medium	Low	N
T33	<i>Macaranga tanarius</i>	血桐	190	8.0	6.0	Fair	Poor	Medium	Low	N
T34	<i>Macaranga tanarius</i>	血桐	200	8.0	9.0	Fair	Fair	Medium	Medium	N
T35	<i>Bombax ceiba</i>	木棉	200	15.0	7	Fair	Fair	Medium	Medium	N
T36	<i>Macaranga tanarius</i>	血桐	190	7.0	6.0	Poor	Poor	Medium	Low	N
T37	<i>Macaranga tanarius</i>	血桐	450	8.0	11.0	Fair	Fair	Medium	Medium	N
T38	<i>Macaranga tanarius</i>	血桐	105	6.0	5.0	Fair	Fair	Medium	Medium	N
T39	<i>Macaranga tanarius</i>	血桐	195	9.0	8.0	Fair	Fair	Medium	Medium	N

TREE SURVEY SCHEDULE

Address: Old Dairy Farm Senior Staff Quarter, 141 Pok Fu Lam Road

Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)

Field Survey was conducted on: 09-11-2013

To be read in conjunction with drawing no.: ODFSSQ/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Good, Fair, Poor, Dead)	Tree Form (Good, Fair, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T40	<i>Macaranga tanarius</i>	血桐	210	8.0	6.0	Poor	Poor	Low	Low	N
T41	<i>Macaranga tanarius</i>	血桐	100	6.0	7.5	Fair	Poor	Medium	Low	N
T42	<i>Macaranga tanarius</i>	血桐	160	6.0	6.0	Fair	Poor	Medium	Low	N
T43	<i>Macaranga tanarius</i>	血桐	190	4.5	6.0	Fair	Poor	Medium	Low	N
T44	<i>Macaranga tanarius</i>	血桐	550	5.0	8.5	Poor	Poor	Low	Low	N
T45	<i>Ficus virens</i> <i>var.sublanceolata</i>	大葉榕	230	6.0	9.0	Fair	Poor	Medium	Medium	N
T46	<i>Macaranga tanarius</i>	血桐	220	4.0	6.0	Fair	Poor	Medium	Low	N
T47	<i>Ficus microcarpa</i>	細葉榕	1100	19.0	20.0	Fair	Fair	Medium	Medium	N
T48	<i>Ficus microcarpa</i>	細葉榕	900	16.0	14.0	Fair	Fair	Medium	Medium	N
T49	<i>Ligustrum sinense</i>	山指甲	100	4.5	4.0	Fair	Fair	Medium	Medium	N
T50	<i>Cinnamomum burmannii</i>	陰香	95	4.5	3.5	Fair	Fair	Medium	Medium	N
T51	<i>Ficus microcarpa</i>	細葉榕	1300	21.0	18.0	Fair	Fair	Medium	Medium	N
T52	<i>Macaranga tanarius</i>	血桐	390	6.0	5.5	Poor	Poor	Medium	Low	N

TREE SURVEY SCHEDULE

Address: Old Dairy Farm Senior Staff Quarter, 141 Pok Fu Lam Road

Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)

Field Survey was conducted on: 09-11-2013

To be read in conjunction with drawing no.: ODFSSQ/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Good, Fair, Poor, Dead)	Tree Form (Good, Fair, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T53	<i>Ficus microcarpa</i>	細葉榕	1400	19.0	16.0	Fair	Fair	Medium	Medium	N
T54	<i>Macaranga tanarius</i>	血桐	250	7.0	6.0	Fair	Fair	Medium	Medium	N

Appendix XIV

Recurrent Expenditure

(A) Electricity Fee

Possible Use(s) ⁽¹⁾	GFA (m2) (a)	Net Gross Ratio (b)	UFA (m2) (c) =(a)*(b)	Energy Consumption Indicator ⁽²⁾ (MJ/m2/annum) (d)	Energy Consumption per annum (kWh/annum) ⁽³⁾ (e) = (c)*(d)*0.2778	Estimated Electricity Fee(\$) ⁽⁴⁾ per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website ⁽²⁾
Food and beverage services	386	64.25%	248	5,729	1,421,680	2,123,263	Other Eating and Drinking Place
Education or training facilities				185	45,909	67,862	Post-secondary College
Exhibition or convention hall				2,302	61,581	91,276	Central Services for Shopping Arcade
Field study / education / visitor centre				630	43,431	769,913	Adult Education / Tutorial / Vocational Course

Notes:

(1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 10 hours for, Food and beverage services, Education or training facilities, Exhibition or convention hall, Field Study, Education or Visitor Centre.

(2) The respective "Energy Consumption Indicators" can be found at http://ecib.emsd.gov.hk/en/indicator_cmc.htm

(3) 1MJ x 0.2778 = 1kWh

(4) Electricity fee of Hong Kong side is based on the tariff charged by Hong Kong Electric Holdings Limited (HEH). HEH: @\$1.356 for first 1,500 units, @\$1.467 thereafter. Fuel clause adjustment charge is @\$0.402. 1 Unit = 1 kWh. The estimated electricity fee is for cost projection in the application only. The actual fee will be subject to the then tariff and actual demand and consumption.

(B) Water and Sewage Charge

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d) = (c) x \$0.3	Estimated Water & Sewage Charge(\$) ⁽²⁾ /annum (e) = (d) x 12
Food and beverage services	386	64.25%	248	74.4	892.8
Education or training facilities					
Exhibition or convention hall					
Field study / education / visitor centre					

Notes:

(1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Food and beverage services, Education or training facilities, Exhibition or convention hall, Field Study, Education or Visitor Centre is \$0.3 per m². Based on the above estimate, it is assumed that the use of water per m² of : Food and beverage services, Education or training facilities, Exhibition or convention hall, Field Study, Education or Visitor Centre = Offices x 15

(2) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate. The actual water and sewage charge will be subject to the then tariff and actual consumption.

(C) Estimated Rates and Rent

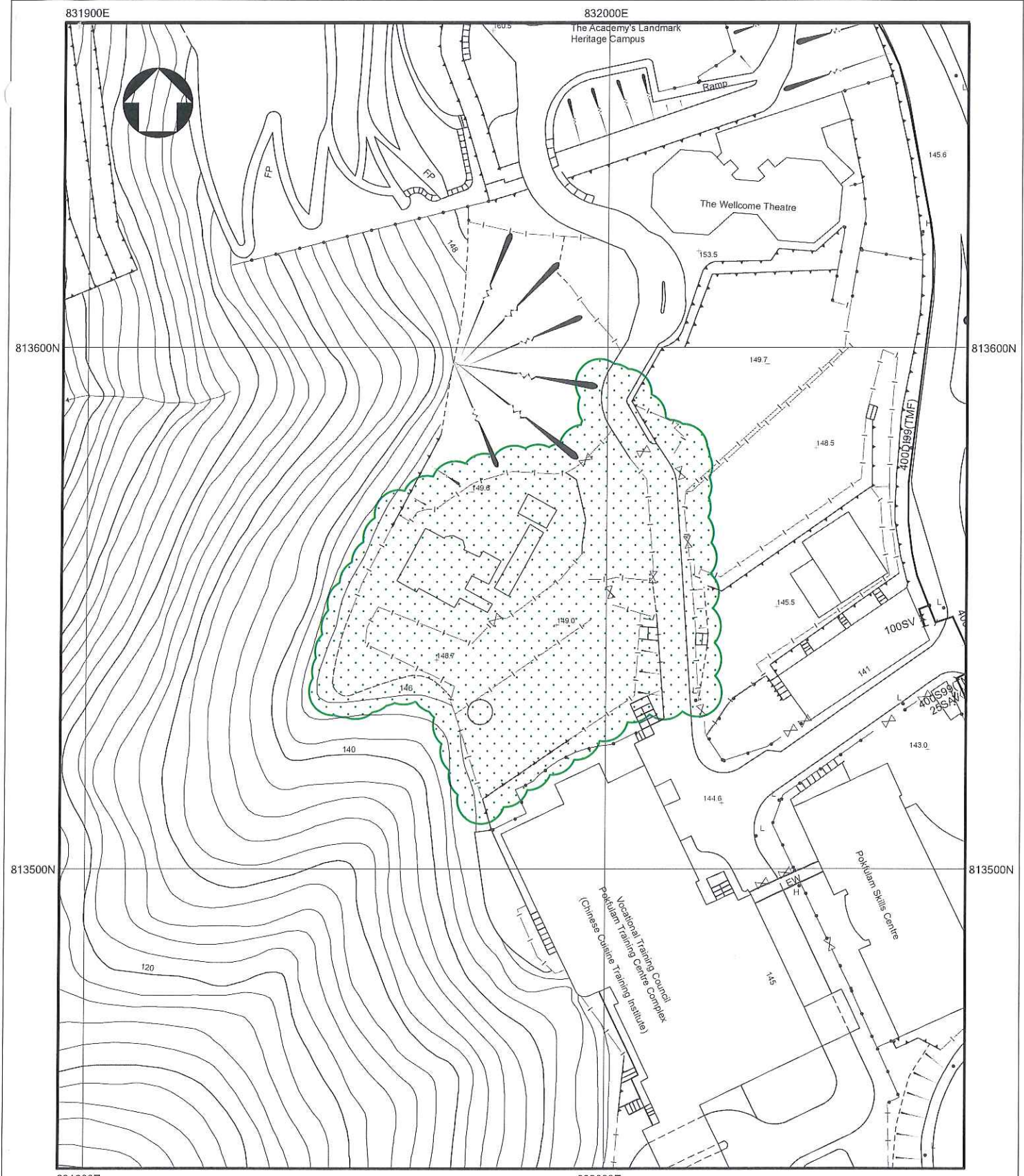
Possible Use(s)	GFA (m ²)	Site Area (m ²)	Rateable Value ⁽¹⁾ (\$) (a)	Rates/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum (\$) (d) = (b) + (c)
Food and beverage services	386	2,124	730,000	36,500	21,900	58,400
Education or training facilities						
Exhibition or convention hall						
Field study / education / visitor centre						

Notes:

(1) The above rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

Appendix XV(A)

Record Plan of Water Supplies Department



- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM.
 3. INFORMATION ON ALIGNMENT OF MAINS IS OF INDICATIVE VALUE ONLY. WHERE POSITIONAL ACCURACY MAY BE OF IMPORTANCE, DETAILS SHOULD BE SITE CHECKED.
 4. FOR MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS SEE SKETCH NO.3988.
 5. NO EXISTING WSD CABLE IN THE VICINITY OF THE SITE.
 6. NO PROPOSED WSD CABLE IN THE VICINITY OF THE SITE.
 7. THE SITE IS NOT WITHIN WSD GATHERING GROUNDS.
 8. NO WSD LAND ALLOCATION / WWR WITHIN THE SITE AREA.
 9. NO WSD SLOPES ARE AFFECTED IN THE VICINITY OF THE SITE.

SUBJECT SITE

PART COPY OF SALT WATER MAINS RECORD PLAN(S)

W67881/11-SW-17C

FILE REF: (19) IN WSD(HK)1741/(3)/13T/J(6)

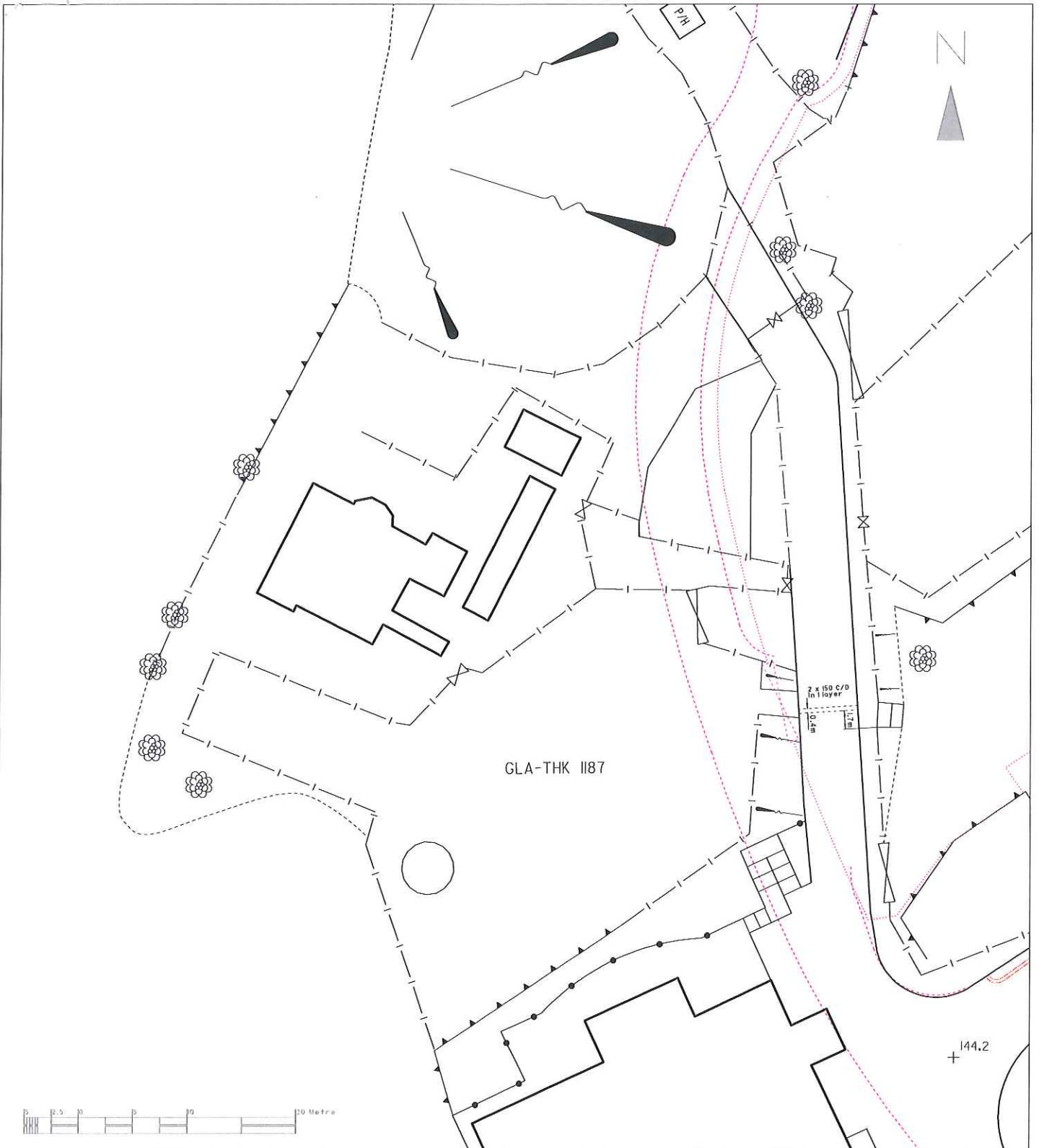
REF. CODE: 44W13M	SHEET 1 OF 1	SCALE 1:1000
-------------------	--------------	--------------



水務署
 Water Supplies Department

Appendix XV(B)

Record Plan of the Hongkong Electric Co. Ltd.



GLA-THK 1187

144.2

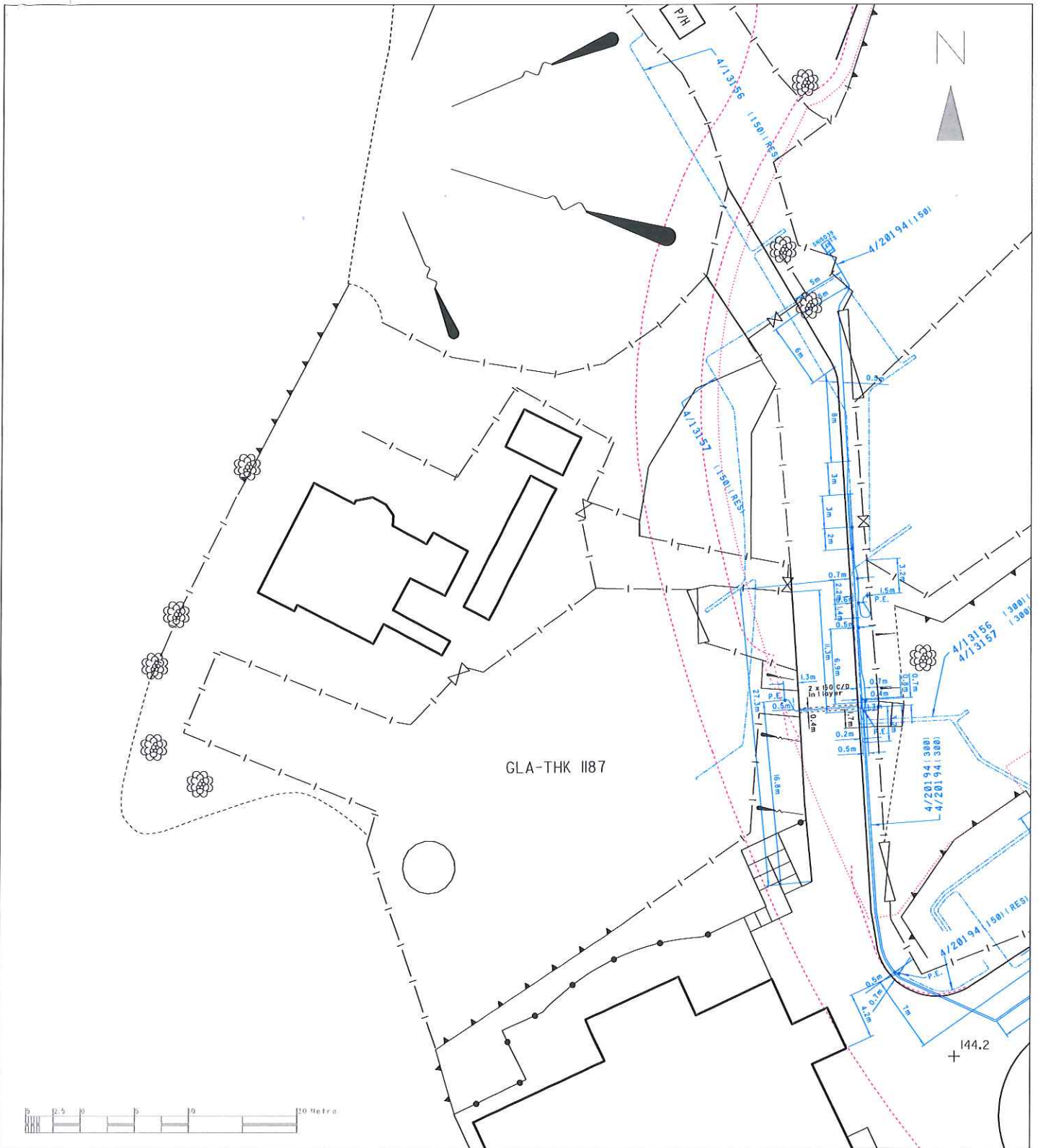
- Notes:**
- THE ELECTRICITY SUPPLY LINES ESU SHOWN ON THE PLAN ARE APPROXIMATE ONLY. WHEN WORKS ARE TAKEN IN VICINITY OF THESE ESU, YOU ARE REMINDED TO TAKE ALL NECESSARY STEPS AND MEASURES AS STIPULATED IN THE CODE OF PRACTICE ON WORKING NEAR ESU ISSUED BY EMSD.
 - THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ITEM 4 OF OUR 'GENERAL PRACTICE ON EXECUTION OF EXCAVATION AND CONSTRUCTION WORK NEAR UNDERGROUND ELECTRICITY CABLES'. HEC CABLES WHICH ARE MORE PRONE TO SHALLOW DEPTH MAY BE FOUND AT THE HATCHED AREA MARKED WITH 'SHALLOW DEPTH' AND AT ITS VICINITY AREAS.
 - FOR THE SAKE OF SAFETY, WHEN YOUR WORKS ARE UNDERTAKEN IN CLOSE PROXIMITY TO THE TYPES OF CABLE JOINT MARKED BY OR , YOU MUST INFORM HEC AT TELEPHONE 2843 443 TO ARRANGE INSPECTION AND NECESSARY ACTION BEFORE COMMENCING SUCH WORKS.
 - FOR WORKS THAT ARE UNDERTAKEN IN CLOSE PROXIMITY TO OUR 275/132/66kV CABLES OR JOINTS OR 132kV O/H LINES, YOU ARE REQUIRED TO CONTACT THE RESPONSIBLE ENGINEER IN OUR CONSTRUCTION & MAINTENANCE DEPARTMENT, T & D DIVISION BEFORE COMMENCING SUCH WORKS.
 - CONFIDENTIAL: EXCEPT FOR YOUR AUTHORIZED CONTRACTORS / EMPLOYEES, THIS DRAWING MUST NOT BE RELEASED TO THIRD PARTY WITHOUT HEC'S WRITTEN APPROVAL.**

- 備註:**
- 此圖顯示供電電纜之大致位置。當在該等供電電纜附近進行工程時，請切記應與有關工程師所編之有關在供電電纜附近工作的實務守則。
 - 此圖應與本公司之「在地下電纜附近進行挖掘及建造工程」之一般守則一併參閱。在該等「SHALLOW DEPTH」標記之電纜範圍及其附近的位置可能會發現某些位於淺地層之本公司電纜。
 - 為了安全理由，在圖中註有 或 標記之處執行工程前，請先與 2814340 知會本公司工程師檢查及進行有關之工程。
 - 在本公司 275/132/66 千伏電纜或接線箱或 132 千伏架空電纜附近進行工程前，請先與本公司輸電組工程建設及維護部之負責工程師聯絡。
 - 保密：此圖在未有本公司書面授權下，只准供有關圖下之僱員/指定承包商使用。

A4P0TH	Map No.:	IISW1C2
EHTYYYYY(22kV) SOKYYYYY	— 2 — 2	22kV/SOK.KOR CABLE ROUTE 22 千伏、繼開完護電纜路線
EHTYYYYY(22kV) SOKYYYYY	- - - 2 - - - 2	22kV/SOK.KOR RESERVED CABLE ROUTE 22 千伏、繼開完護備用電纜路線
EHTYYYYY(22kV) SOKYYYYY	— 2 — 2	22kV/SOK.KOR CABLE JOINT 22 千伏、繼開完護電纜接線箱
EHTYYYYY(22kV) SOKYYYYY	— 2 — C.E.	22kV/SOK.KOR CABLE TERMINATOR 22 千伏、繼開完護電纜終端
EHTXXXXX EHTXXXXX	- - - 2 - - - 2	11 kV CABLE ROUTE 11 千伏電纜路線
EHTXXXXX EHTXXXXX	— 2 — 2	11 kV RESERVED CABLE ROUTE 11 千伏備用電纜路線
EHTXXXXX EHTXXXXX	- - - 2 - - - 2	11 kV CABLE JOINT 11 千伏電纜接線箱
EHTXXXXX EHTXXXXX	— 2 — 2	11 kV CABLE TERMINATOR 11 千伏電纜終端
EHTXXXXX EHTXXXXX	— 2 — C.E.	11 kV CABLE JOINT 11 千伏電纜接線箱
EHTXXXXX EHTXXXXX	— 2 — C.E.	11 kV CABLE TERMINATOR 11 千伏電纜終端
		LOW VOLTAGE CABLE ROUTE 低壓電纜路線
		LOW VOLTAGE RESERVED CABLE ROUTE 低壓備用電纜路線
		LOW VOLTAGE O/H LINE ROUTE 低壓架空電纜路線
		LOW VOLTAGE CABLE JOINT 低壓電纜接線箱
		LOW VOLTAGE CABLE TERMINATOR 低壓電纜終端
		FIBRE OPTIC/PILOT CABLE ROUTE 光纖/導引電纜路線
		FIBRE OPTIC/PILOT RESERVED CABLE ROUTE 光纖/導引備用電纜路線
		FIBRE OPTIC/PILOT CABLE JOINT 光纖/導引電纜接線箱
		FIBRE OPTIC/PILOT CABLE TERMINATOR 光纖/導引電纜終端

Grid Ref.:		Rev.:
RATING/TYPE 額定值/類別	NEW CABLE COLOUR 新線顏色	OUTER DIAMETER (mm) 外圍直徑 (毫米)
22kV CABLE 22 千伏電纜	TURQUOISE 綠藍	43-98
11 kV CABLE 11 千伏電纜	RED, TURQUOISE OR BLACK 紅、綠藍或黑	50-98
LOW VOLTAGE CABLE 低壓電纜	GREEN, BLUE OR BLACK 綠、藍或黑	25-85
FIBRE OPTIC/PILOT CABLE 光纖/導引電纜	YELLOW, PINK OR BLACK 黃、粉紅或黑	25-63
SOK.KOR CABLE 繼開完護電纜	TURQUOISE 綠藍	35-39
SHALLOW DEPTH UNDERGROUND ELECTRICITY CABLES MAY BE BURIED AT DEPTHS LESS THAN THE MINIMUM DEPTH REQUIREMENT AS STIPULATED IN THE CONDITIONS OF EXCAVATION PERMIT OR CONDITIONS OF EMERGENCY EXCAVATION PERMIT ISSUED BY HIGHWAYS DEPARTMENT. 地下電纜可能埋藏於較路政署發出之挖掘准許證或緊急挖掘准許證上所規定的最少埋藏深度為少。		
MAP DATA IS REPRODUCED WITH THE PERMISSION OF THE GOVERNMENT OF HKSAR. © GOVERNMENT OF HKSAR		
Ref. No.:	006656	Scale: 1:500
Date:	29/10/2013	as printed on A4 size paper
香港電燈有限公司 The Hongkong Electric Co., Ltd. T & D Distribution Planning		





Notes:

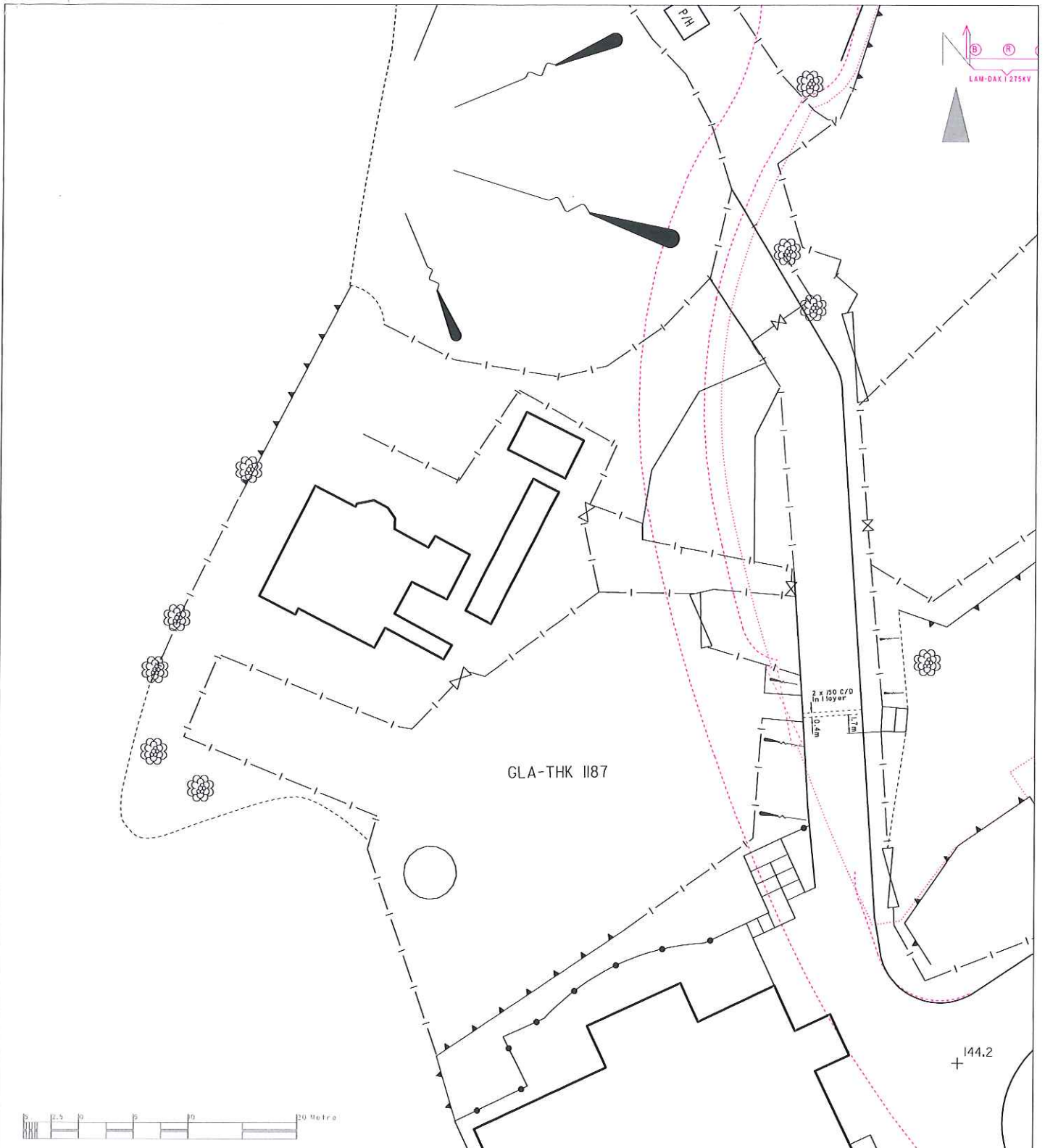
- THE ELECTRICITY SUPPLY LINES (ESL) SHOWN ON THE PLAN ARE APPROXIMATE ONLY. WHEN WORKS ARE TAKEN IN VICINITY OF THESE ESL, YOU ARE REMINDED TO TAKE ALL NECESSARY STEPS AND MEASURES AS STIPULATED IN THE CODE OF PRACTICE ON WORKING NEAR ESL ISSUED BY EMSD.
- THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ITEM 4 OF OUR 'GENERAL PRACTICE ON EXECUTION OF EXCAVATION AND CONSTRUCTION WORK NEAR UNDERGROUND ELECTRICITY CABLES'. HEC CABLES WHICH ARE MORE PRONE TO SHALLOW DEPTH MAY BE FOUND AT THE HATCHED AREA MARKED WITH 'SHALLOW DEPTH' AND AT ITS VICINITY AREAS.
- FOR THE SAKE OF SAFETY, WHEN YOUR WORKS ARE UNDERTAKEN IN CLOSE PROXIMITY TO THE TYPES OF CABLE JOINT MARKED BY ☉ OR ☉, YOU MUST INFORM HEC AT TELEPHONE 2814343 TO ARRANGE INSPECTION AND NECESSARY ACTION BEFORE COMMENCING SUCH WORKS.
- FOR WORKS THAT ARE UNDERTAKEN IN CLOSE PROXIMITY TO OUR 275/132/66kV CABLES OR JOINTS OR 132kV O/H LINES, YOU ARE REQUIRED TO CONTACT THE RESPONSIBLE ENGINEER IN OUR CONSTRUCTION & MAINTENANCE DEPARTMENT, T & D DIVISION BEFORE COMMENCING SUCH WORKS.
- CONFIDENTIAL: EXCEPT FOR YOUR AUTHORIZED CONTRACTORS / EMPLOYEES, THIS DRAWING MUST NOT BE RELEASED TO THIRD PARTY WITHOUT HEC'S WRITTEN APPROVAL.**

備註:

- 此圖只顯示供電纜線之大致位置。當在該等供電纜線附近進行工程時，請切記遵守由機電工程署所頒佈之有關在供電纜線附近工作的實務守則。
- 此圖應與本公司之「在地下電纜線附近進行地盤及建造工程的一般守則」第一項一起參閱。在註有 SHALLOW DEPTH 標記之影線範圍及其附近的位置可能會埋有某些位於淺地層之本公司電纜。
- 為了安全理由，在註有 ☉ 或 ☉ 標記之接線箱附近進行工程前，請先撥 2814343 知會本公司技術人員及進行有關之工程。
- 若本公司 275/132/66 千伏電纜或接線箱或 132 千伏架空電纜 附近進行 先與本公司輸電項目工程總及保養部之負責工程師聯絡。
- 保密：此圖在未有本公司書面授權下，只限於相關下之僱員、指定承辦商使用。

A4P0TH	Map No.: IISW17C2
4/XXXXX	22kV/SOLKOR CABLE ROUTE 22 千伏 / 樹膠保護電纜線
4/XXXXX	22kV/SOLKOR RESERVED CABLE ROUTE 22 千伏 / 樹膠保護備用電纜線
4/XXXXX	11kV CABLE 11 千伏電纜
4/XXXXX	LOW VOLTAGE CABLE 低壓電纜
4/XXXXX	FIBRE OPTIC/PILOT CABLE ROUTE 光纖 / 導引電纜線
4/XXXXX	FIBRE OPTIC/PILOT RESERVED CABLE ROUTE 光纖 / 導引電纜線備用線
4/XXXXX	FIBRE OPTIC/PILOT CABLE JOINT 光纖 / 導引電纜線接線箱
4/XXXXX	FIBRE OPTIC/PILOT CABLE TERMINATOR 光纖 / 導引電纜線終端

Grid Ref.: 144.2		Rev.:	
RATING / TYPE 額定值 / 類別	NEW CABLE COLOUR 新線顏色	OUTER DIAMETER (mm) 外圍直徑 (毫米)	
22kV CABLE 22 千伏電纜	TURQUOISE 綠藍	43-98	
11kV CABLE 11 千伏電纜	RED, TURQUOISE OR BLACK 紅、綠藍或黑	50-98	
LOW VOLTAGE CABLE 低壓電纜	GREEN, BLUE OR BLACK 綠、藍或黑	25-85	
FIBRE OPTIC/PILOT CABLE 光纖 / 導引電纜	YELLOW, PINK OR BLACK 黃、粉或黑	25-63	
SOLKOR CABLE 樹膠保護電纜	TURQUOISE 綠藍	35-39	
SHALLOW DEPTH UNDERGROUND ELECTRICITY CABLES MAY BE BURIED AT DEPTH LESS THAN THE MINIMUM DEPTH REQUIREMENT AS STIPULATED IN THE CONDITIONS OF EXCAVATION PERMIT OR CONDITIONS OF EMERGENCY EXCAVATION PERMIT ISSUED BY HIGHWAYS DEPARTMENT. 地下電纜可能埋藏於低於政府發出之挖掘准許證或緊急挖掘准許證上所規定的最少覆蓋深度為少。			
MAP DATA IS REPRODUCED WITH THE PERMISSION OF THE GOVERNMENT OF HKSAR. © GOVERNMENT OF HKSAR			
Ref. No.: 006656	Date: 29/10/2013		Scale: 1:500 as printed on A4 size paper
香港電燈有限公司 The Hongkong Electric Co., Ltd. T & D Distribution Planning			



Notes:

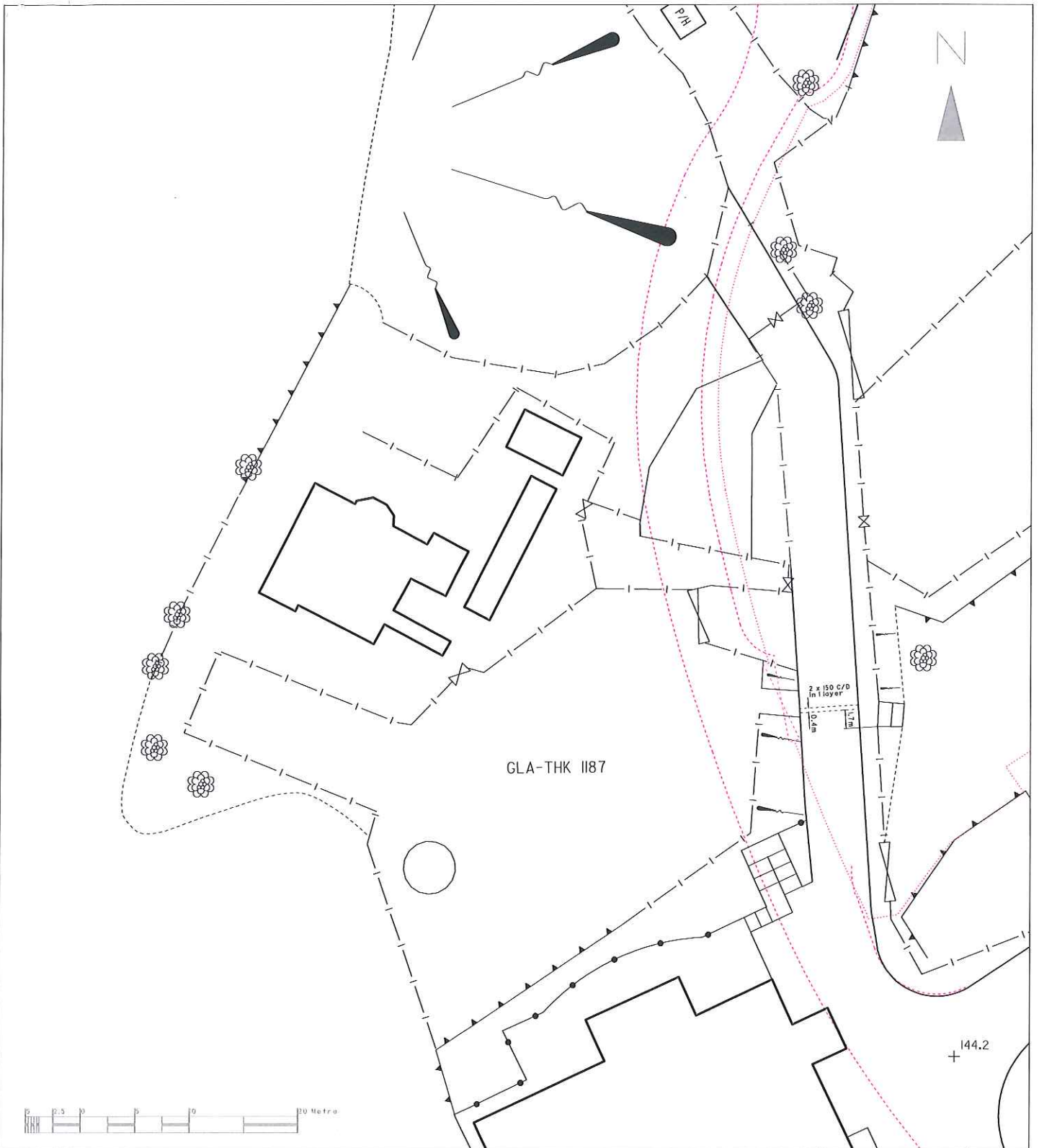
- THE ELECTRICITY SUPPLY LINES (ESL) SHOWN ON THE PLAN ARE APPROXIMATE ONLY. WHEN WORKS ARE TAKEN IN VICINITY OF THESE ESL, YOU ARE REMINDED TO TAKE ALL NECESSARY STEPS AND MEASURES AS STIPULATED IN THE CODE OF PRACTICE ON WORKING NEAR ESL ISSUED BY EMSD.
- THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ITEM 4 OF OUR 'GENERAL PRACTICE ON EXECUTION OF EXCAVATION AND CONSTRUCTION WORK NEAR UNDERGROUND ELECTRICITY CABLES'. HEC CABLES WHICH ARE MORE PRONE TO SHALLOW DEPTH MAY BE FOUND AT THE HATCHED AREA MARKED WITH 'SHALLOW DEPTH' AND AT ITS VICINITY AREAS.
- FOR THE SAKE OF SAFETY, WHEN YOUR WORKS ARE UNDERTAKEN IN CLOSE PROXIMITY TO THE TYPES OF CABLE JOINT MARKED BY (P) OR (T), YOU MUST INFORM HEC AT TELEPHONE 28143443 TO ARRANGE INSPECTION AND NECESSARY ACTION BEFORE COMMENCING SUCH WORKS.
- FOR WORKS THAT ARE UNDERTAKEN IN CLOSE PROXIMITY TO OUR 275/132/66kV CABLES OR JOINTS OR 132kV O/H LINES, YOU ARE REQUIRED TO CONTACT THE RESPONSIBLE ENGINEER IN OUR CONSTRUCTION & MAINTENANCE DEPARTMENT, T & D DIVISION BEFORE COMMENCING SUCH WORKS.
- CONFIDENTIAL: EXCEPT FOR YOUR AUTHORIZED CONTRACTORS / EMPLOYEES, THIS DRAWING MUST NOT BE RELEASED TO THIRD PARTY WITHOUT HEC'S WRITTEN APPROVAL.**

備註:

- 此圖只顯示供電纜線之大致位置。當在該等供電纜線附近進行工程時，請切記遵守有關工程署所編之有關在供電纜線附近工作的實務守則。
- 此圖應連同本公司的「在地下電纜附近進行挖掘及建造工程的一般守則」第4項一起參閱。在註有「SHALLOW DEPTH」標記之影線範圍及在其附近的位置可能會遇到某些位於離地面較近之本公司電纜。
- 為了安全理由，在圖中註有 (P) 或 (T) 標記之接線箱附近進行工程前，請先撥 28143443 知會本公司技師檢查及進行有需要之工程。
- 在本公司 275/132/66 千伏電纜或接線箱或 132 千伏架空導線附近進行工程前，請先與本公司輸配電料工程建設及保養部之負責工程師聯絡。
- 保密:** 此圖在未有本公司書面授權下，不得與相關閣下之僱員、指定承造商使用。

A4P0TH	Map No.: IISW17C2	22kV/SOLKOR CABLE ROUTE 22 千伏 / 纜筒穿纜電纜線路 22kV/SOLKOR RESERVED CABLE ROUTE 22 千伏 / 纜筒穿纜備用電纜線路 22kV/SOLKOR CABLE JOINT 22 千伏 / 纜筒穿纜電纜接線箱 22kV/SOLKOR CABLE TERMINATOR 22 千伏 / 纜筒穿纜電纜終端
		11 kV CABLE ROUTE 11 千伏電纜線路 11 kV RESERVED CABLE ROUTE 11 千伏備用電纜線路 11 kV CABLE JOINT 11 千伏電纜接線箱 11 kV CABLE TERMINATOR 11 千伏電纜終端
		LOW VOLTAGE CABLE ROUTE 低壓電纜線路 LOW VOLTAGE RESERVED CABLE ROUTE 低壓備用電纜線路 LOW VOLTAGE O/H LINE ROUTE 低壓架空線路 LOW VOLTAGE CABLE JOINT 低壓電纜接線箱 LOW VOLTAGE CABLE TERMINATOR 低壓電纜終端
T/PTXXXX		FIBRE OPTIC PILOT CABLE ROUTE 光纖 / 導引層纜線路
T/PTXXXX		FIBRE OPTIC PILOT RESERVED CABLE ROUTE 光纖 / 導引層備用電纜線路
T/PTXXXX		FIBRE OPTIC PILOT CABLE JOINT 光纖 / 導引層電纜接線箱
T/PTXXXX		FIBRE OPTIC PILOT CABLE TERMINATOR 光纖 / 導引層電纜終端

Grid Ref.:		Rev.:
RATING / TYPE 額定值 / 類別	NEW CABLE COLOUR 新線顏色	OUTER DIAMETER (mm) 外圍直徑 (毫米)
22kV CABLE 22 千伏電纜	TURQUOISE 綠藍	43-98
11kV CABLE 11 千伏電纜	RED, TURQUOISE OR BLACK 紅、綠藍或黑	60-98
LOW VOLTAGE CABLE 低壓電纜	GREEN, BLUE OR BLACK 綠、藍或黑	25-85
FIBRE OPTIC PILOT CABLE 光纖 / 導引層纜	YELLOW, PINK OR BLACK 黃、粉或黑	25-63
SOLKOR CABLE 纜筒穿纜電纜	TURQUOISE 綠藍	35-39
SHALLOW DEPTH	UNDERGROUND ELECTRICITY CABLES MAY BE BURIED AT DEPTH LESS THAN THE MINIMUM DEPTH REQUIREMENT AS STIPULATED IN THE CONDITIONS OF EXCAVATION PERMIT OR CONDITIONS OF EMERGENCY EXCAVATION PERMIT ISSUED BY HIGHWAYS DEPARTMENT. 地下電纜可能埋藏於較路政署發出之挖掘准許證或緊急挖掘准許證上所規定的最少埋藏深度為少。	
MAP DATA IS REPRODUCED WITH THE PERMISSION OF THE GOVERNMENT OF HKSAR. © GOVERNMENT OF HKSAR		
Ref. No.: 006656	Scale: 1:500	
Date: 29/10/2013	as printed on A4 size paper	
香港電燈有限公司 The Hongkong Electric Co., Ltd. T & D Distribution Planning 		



A4PXP | Map No.: IISWITC2 | Grid Ref.: | Rev.:

Notes:

1. — P — — P — — — C — — C — —
 — E — — E — — — A — — A — —
 — PA — — PA — — — (C) — — (C) — —
- THE ABOVE MENTIONED LINES ON THE PLAN INDICATE THE APPROXIMATE LOCATIONS WHERE NEW HEC CABLES ARE BEING LAID OR PLANNED TO BE LAID.
2. PLEASE NOTE THAT THE NEW CABLE INSTALLATION PROPOSALS ARE SUBJECT TO CHANGES WITHOUT PRIOR NOTICE AND THEY ARE FOR INFORMATION ONLY WITHOUT COMMITTING OUR COMPANY TO INFORM YOU OF ANY CHANGES WHICH MAY BE MADE FROM TIME TO TIME.

備註:

1. — P — — P — — — C — — C — —
 — E — — E — — — A — — A — —
 — PA — — PA — — — (C) — — (C) — —
- 以上標記顯示本公司正在進行或將會鋪設之電纜大約位置。
2. 此等將會鋪設之電纜大約位置只供參考，本公司將不會就任何更改作另行通告。

MAP DATA IS REPRODUCED WITH THE PERMISSION OF THE GOVERNMENT OF HKSAR. © GOVERNMENT OF HKSAR

Ref. No.: 006656
 Date: 29/10/2013

Scale: 1:500
 as printed on A4 size paper

香港電燈有限公司
 The Hongkong Electric Co., Ltd.
 T & D
 Distribution Planning



Appendix XV(C)

**Record Plan of the Hong Kong and
China Gas Company Ltd.**




煤氣
Towngas
香港中華煤氣有限公司
The Hong Kong And China Gas Company Limited

輸氣操作部

時間: 9:13:46

比例: 1:1000

圖例:

LPA	現有低壓A管道 (2千帕以下)	——	鋼蓋板
LFB	現有低壓B管道 (2-7.5千帕)	○	冷凝液罐
MP	現有中壓管道 (7.5-240千帕)	○	無凝管的冷凝液罐/散熱點
LFA	現有次高壓A管道 (240-400千帕)	□	閘門
LFB	現有次高壓B管道 (400-700千帕)	○	球閘井
HP	現有高壓管道 (700千帕以上)	——	隱埋保護裝置
PE	設有可探察警告帶的聚乙烯燃氣管道	---	擬建管道
FE	沒有可探察警告帶的聚乙烯燃氣管道	▽	大約埋深 (米)
RP	備用管道		管網通訊導管

圖則顯示的管道位置只作參考之用。其實際位置和深度仍須以人手開挖探孔確定。在煤氣管道設施附近施工期間，必須要加倍小心。

檢查日期: ; Dec 2 2013

Appendix XV(D)

Record Plan of Drainage Services Department



DATE: 30 OCT 2013	PART OF DRAINAGE RECORD PLAN VI-SW-17C-2	SCALE 1:500
 Drainage Services Department Hong Kong & Islands Division		
© The Government of Hong Kong SAR Map reproduced with permission of the Director of Lands FOR INFORMATION ONLY		

831900

832000

FMH7024508
CL 140.34
A1 139.61-225
X1 139.61-225

Appendix XVI

Slope Features outside Site Boundary

Slope Feature 1:

Slope No.	11SW-C/F187
Sub-Division	1
Location	POK FU LAM ROAD
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department
Slope No.	11SW-C/F187
Sub-Division	2
Location	POK FU LAM ROAD
Responsible Lot/Party	Lands Department
Maintenance Agent	Architectural Services Department

Slope Feature 2:

Slope No.	11SW-C/NS12
Sub-Division	1
Location	PARTLY WITHIN GLA-HK975 AND PARTLY ON ADJOINING GOVERNMENT LAND
Responsible Lot/Party	Lands Department
Maintenance Agent	Lands Department
Slope No.	11SW-C/NS12
Sub-Division	2
Location	PARTLY WITHIN GLA-HK975 AND PARTLY ON ADJOINING GOVERNMENT LAND
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department

Slope Feature 3:

Slope No.	11SW-C/R652
Sub-Division	-
Location	POK FU LAM ROAD
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department

Slope Feature 4:

Slope No.	11SW-C/R121
Sub-Division	-
Location	TO THE WEST OF POKFULAM ROAD
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department

Slope Feature 5:

Slope No.	11SW-C/NS1
Sub-Division	-
Location	WITHIN GLA-HK975
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department

Slope Feature 6:

Slope No.	11SW-C/NS5
Sub-Division	-
Location	ADJACENT TO VICTORIA ROAD POK FU LAM
Responsible Lot/Party	Lands Department
Maintenance Agent	Lands Department

Slope Feature 7:

Slope No.	11SW-C/R119
Sub-Division	-
Location	WITHIN GLA-THK1754
Responsible Lot/Party	Lands Department
Maintenance Agent	Lands Department

Slope Feature 8:

Slope No.	11SW-C/R618
Sub-Division	1
Location	PARTLY WITHIN GLA-HK975 AND STT SHX992, POK FU LAM ROAD, POK FU LAM
Responsible Lot/Party	Lands Department
Maintenance Agent	Lands Department
Slope No.	11SW-C/R618
Sub-Division	1
Location	PARTLY WITHIN GLA-HK975 AND STT SHX992, POK FU LAM ROAD, POK FU LAM
Responsible Lot/Party	STT SHX992
Slope No.	11SW-C/R618
Sub-Division	2
Location	PARTLY WITHIN GLA-HK975 AND STT SHX992, POK FU LAM ROAD, POK FU LAM
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Architectural Services Department

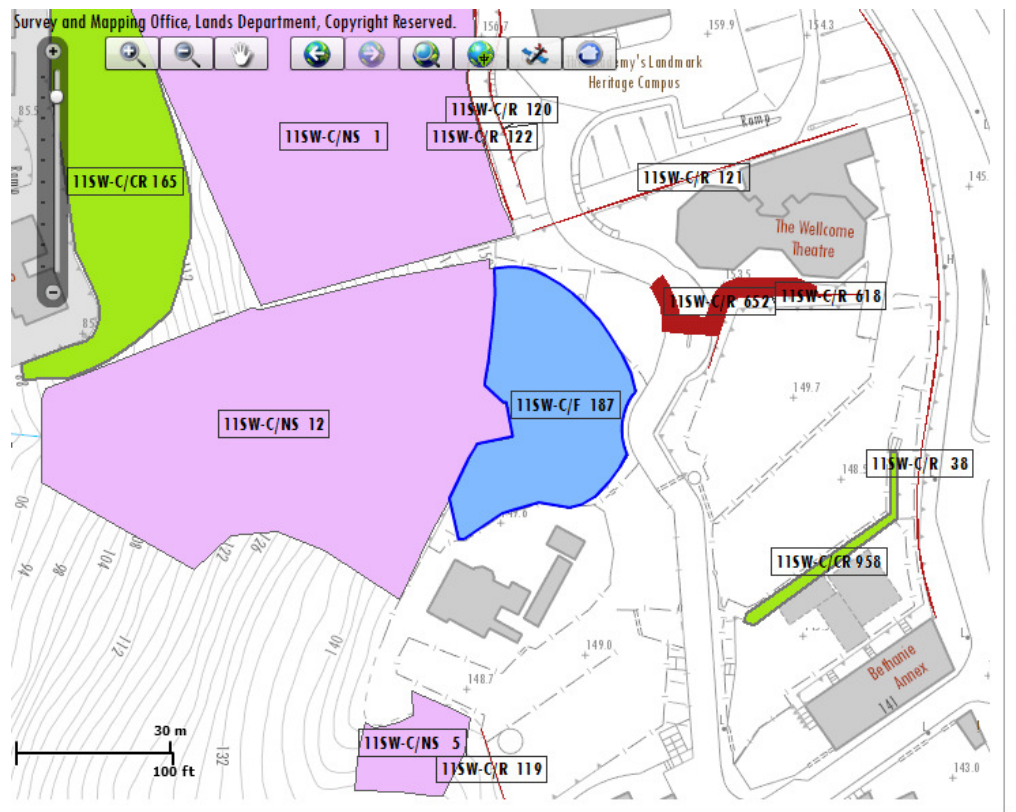
Slope Feature 9:

Slope No.	11SW-C/CR958
Sub-Division	-
Location	ADJOINING GLA-THK1895
Responsible Lot/Party	Civil Engineering and Development Department
Maintenance Agent	Civil Engineering and Development Department

Slope Feature 10:

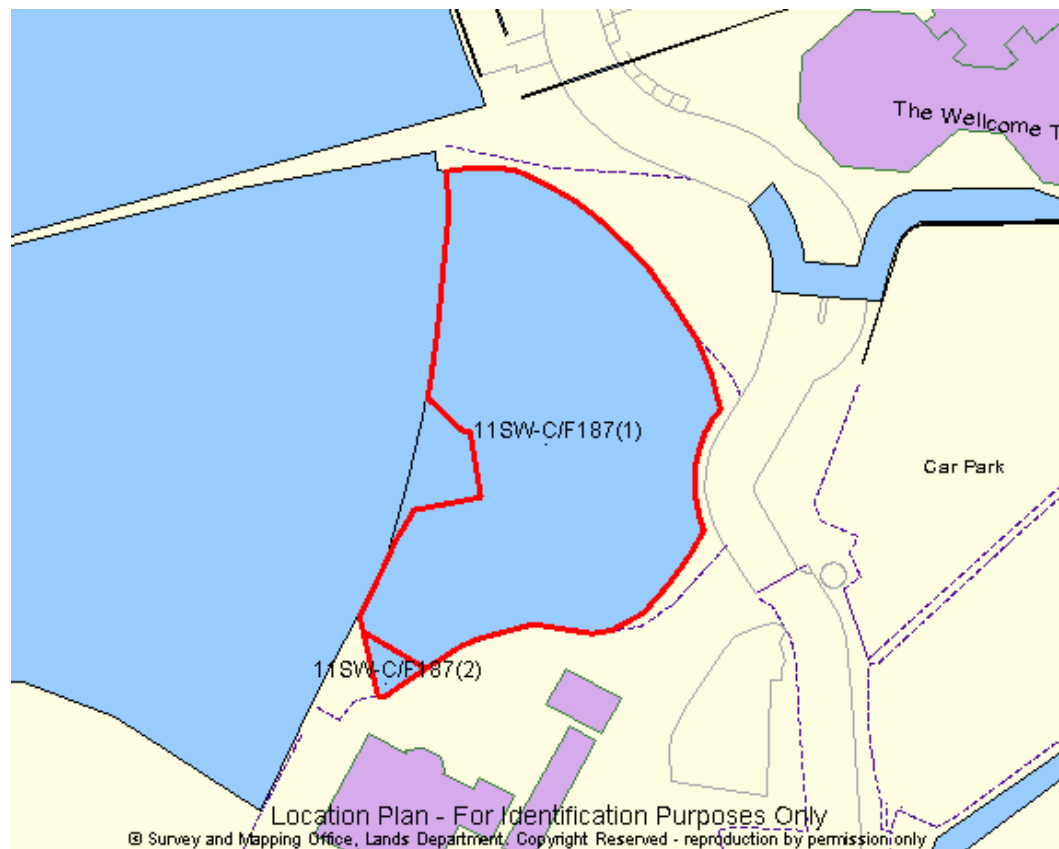
Slope No.	11SW-C/R38
Sub-Division	1
Location	WITHIN GLA-HK975 & GOVERNMENT LAND ADJOINING POK FU LAM ROAD
Responsible Lot/Party	Government Property Agency
Maintenance Agent	Highways Department
Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.
Slope No.	11SW-C/R38
Sub-Division	2
Location	WITHIN GLA-HK975 & GOVERNMENT LAND ADJOINING POK FU LAM ROAD
Responsible Lot/Party	Highways Department
Maintenance Agent	Highways Department

Overview of slopes:

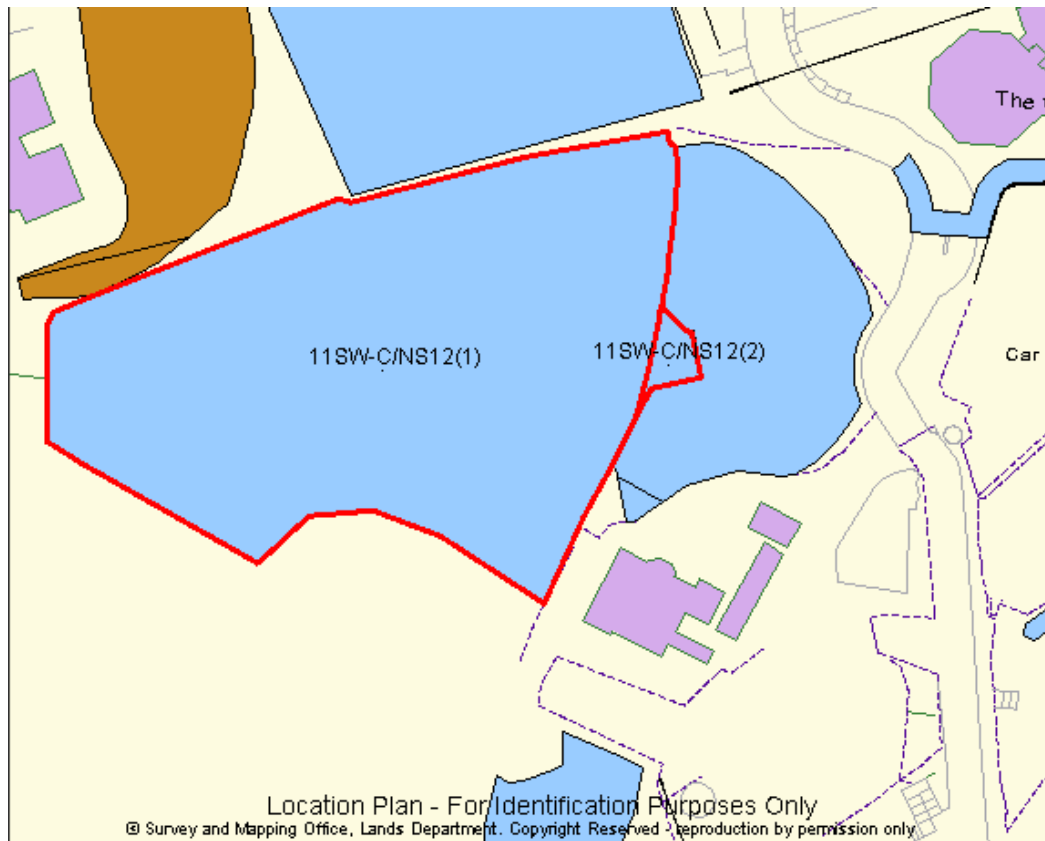


覆檢日期：2013年9月30日

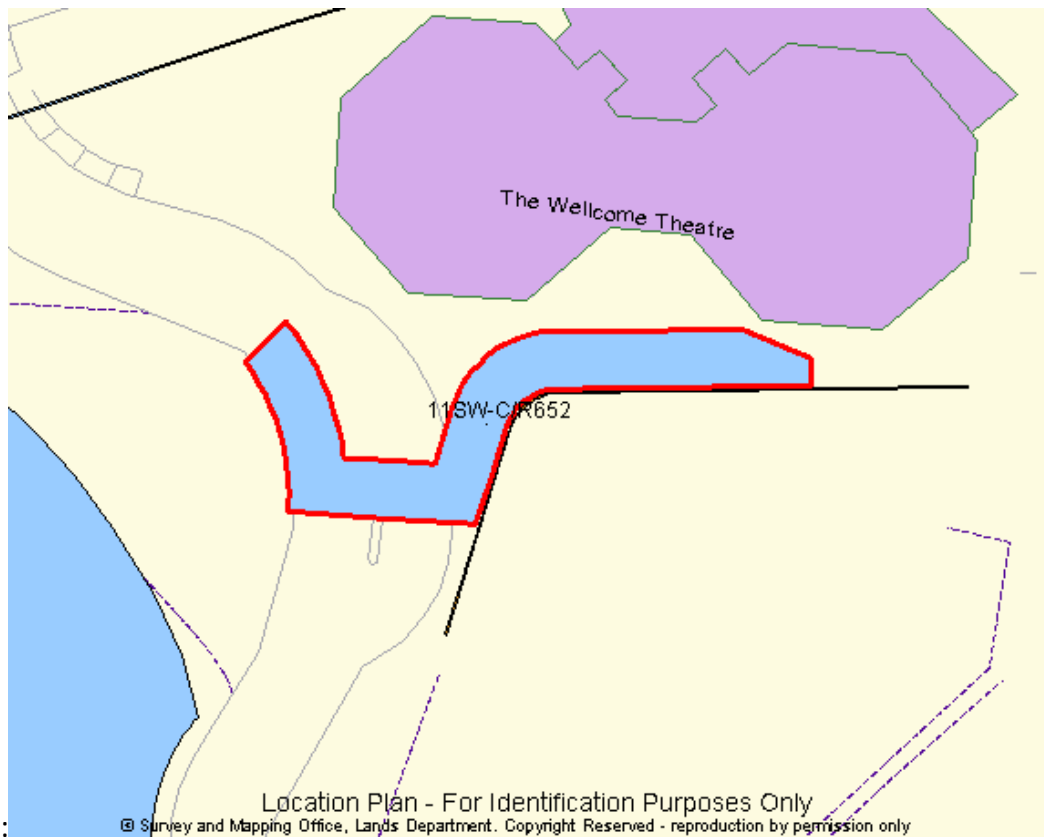
Slope 1:



Slope 2:



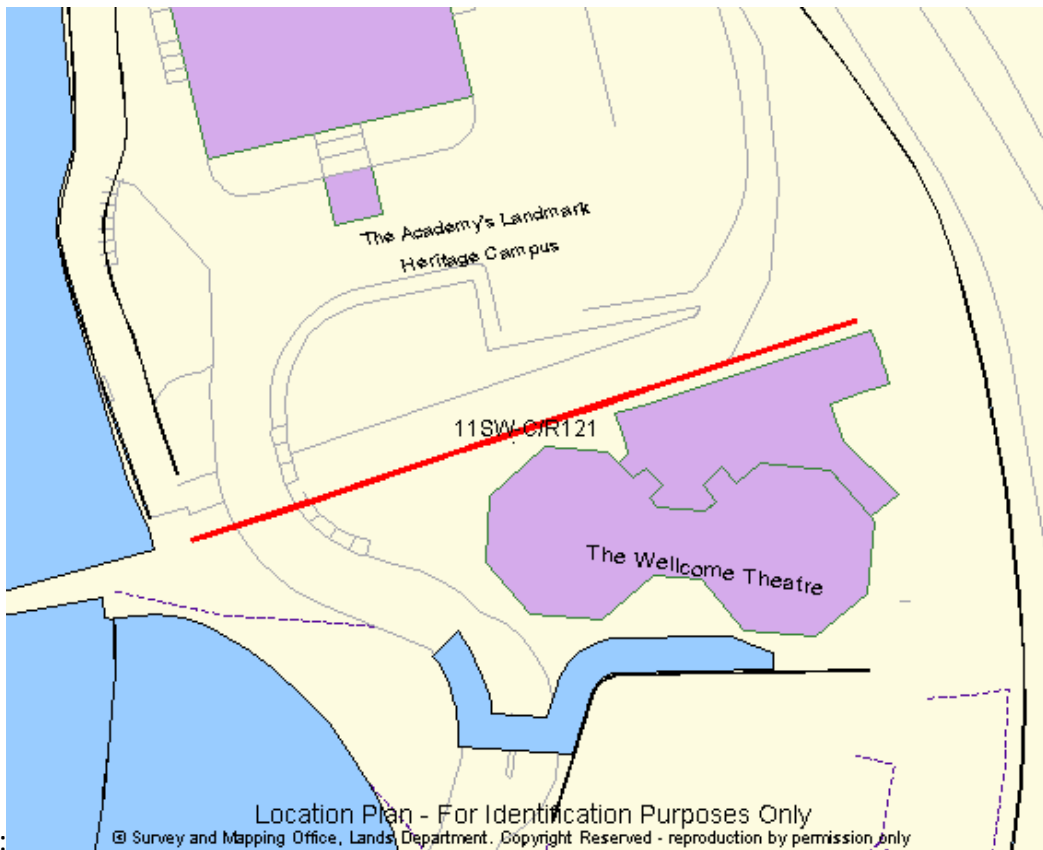
Slope



3:

SI

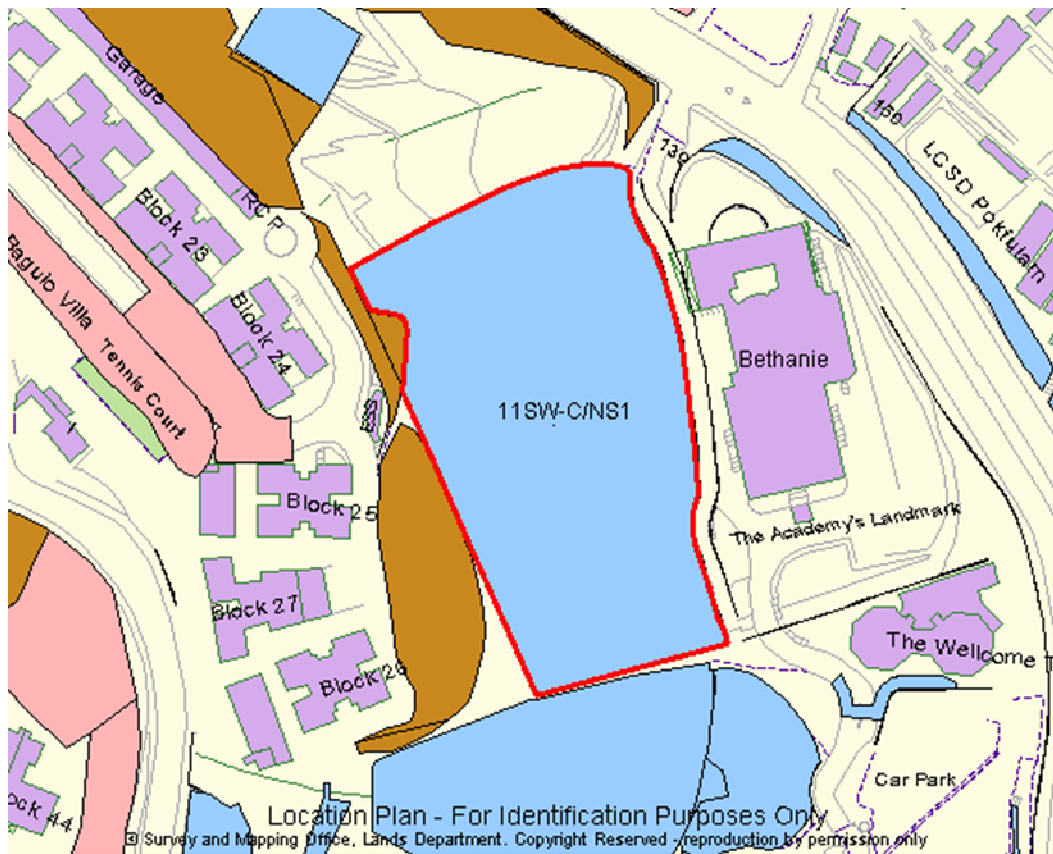
ope



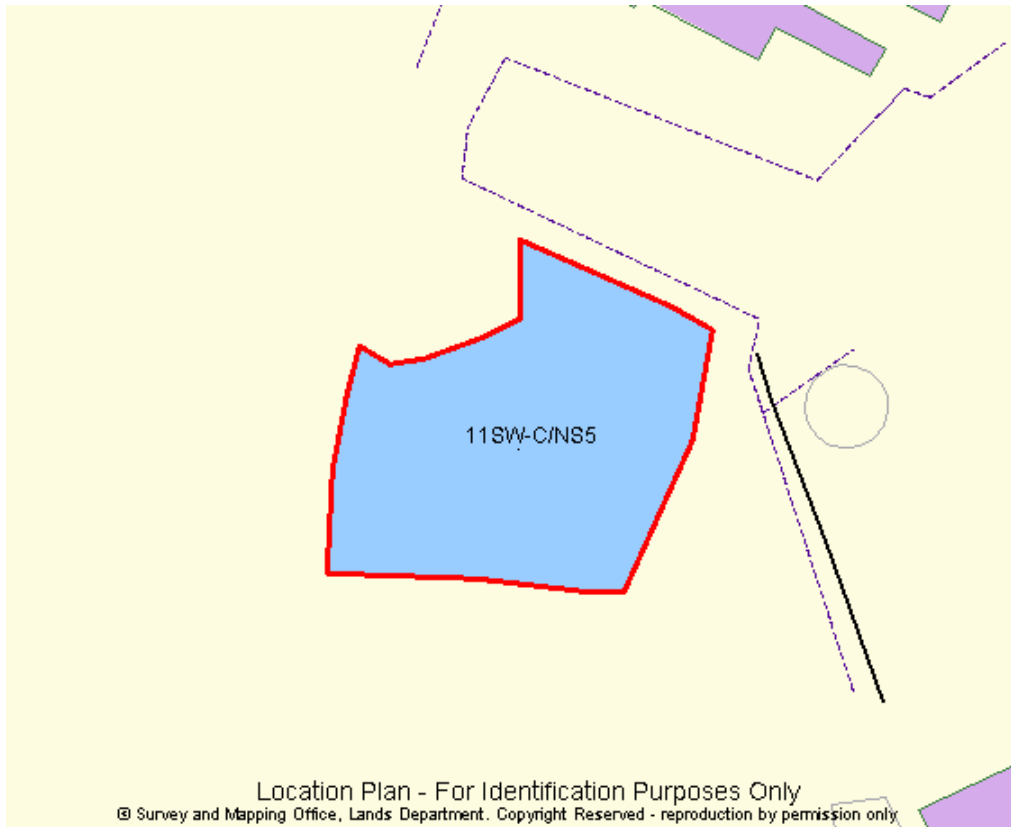
4:

SI

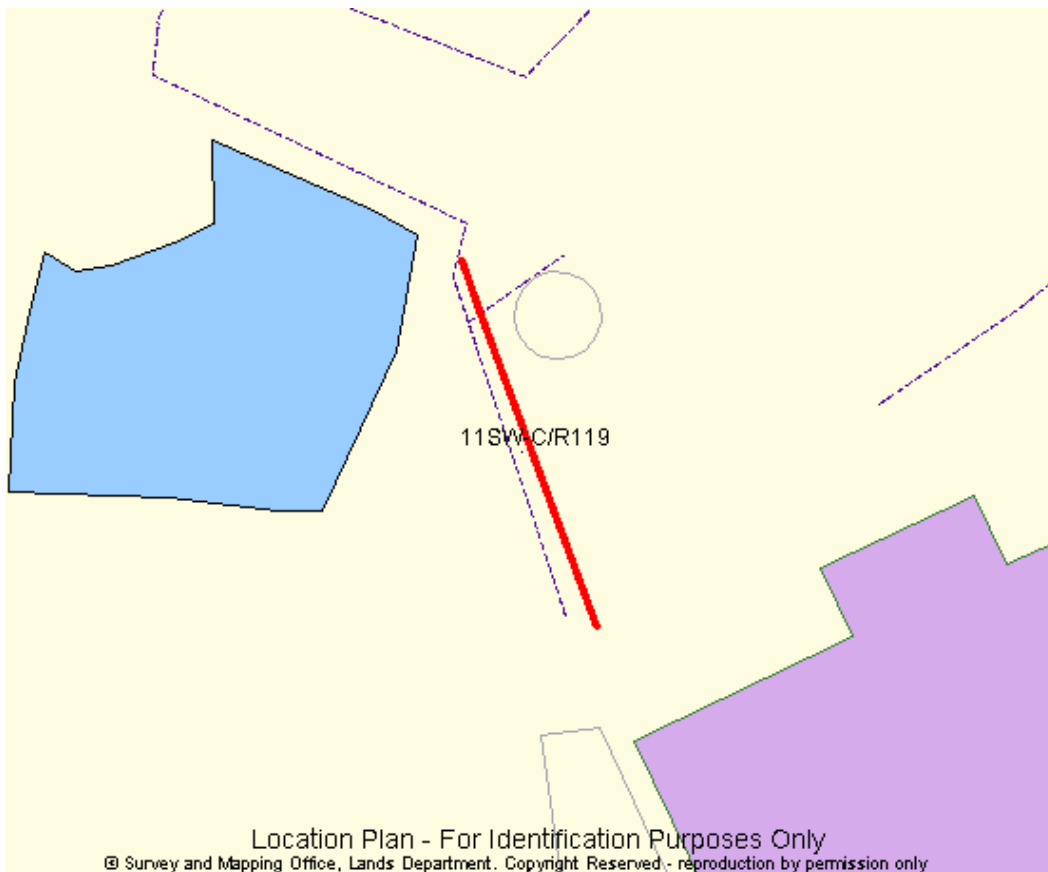
ope 5:



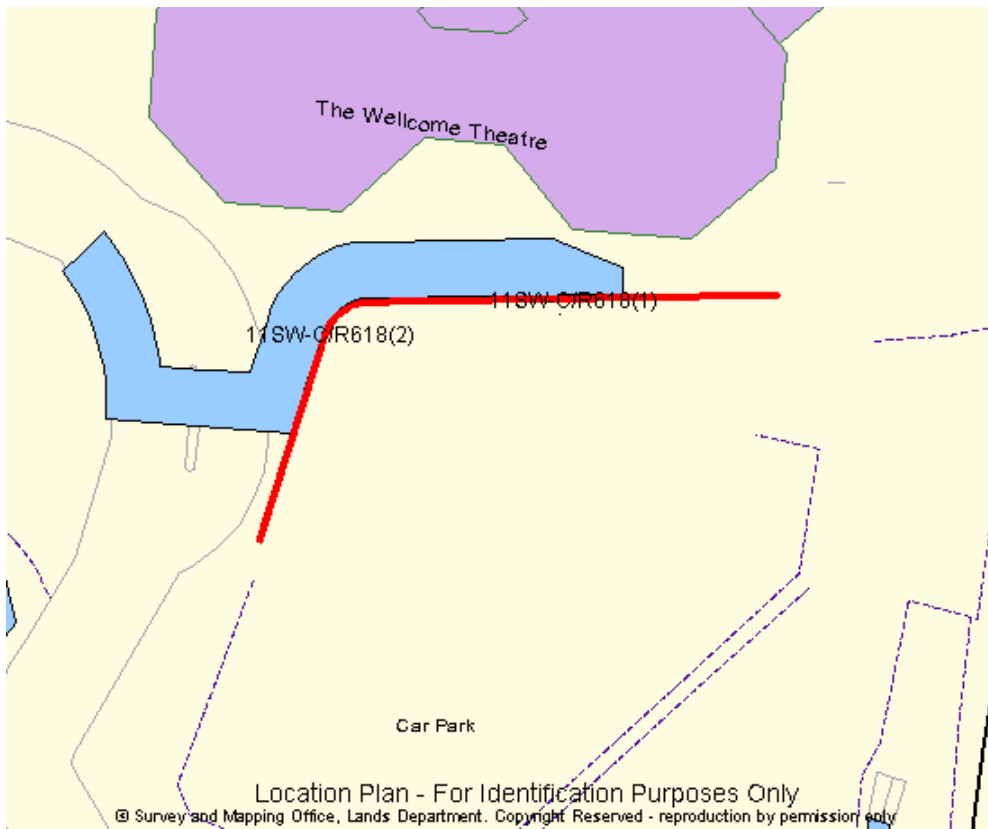
Slope 6:



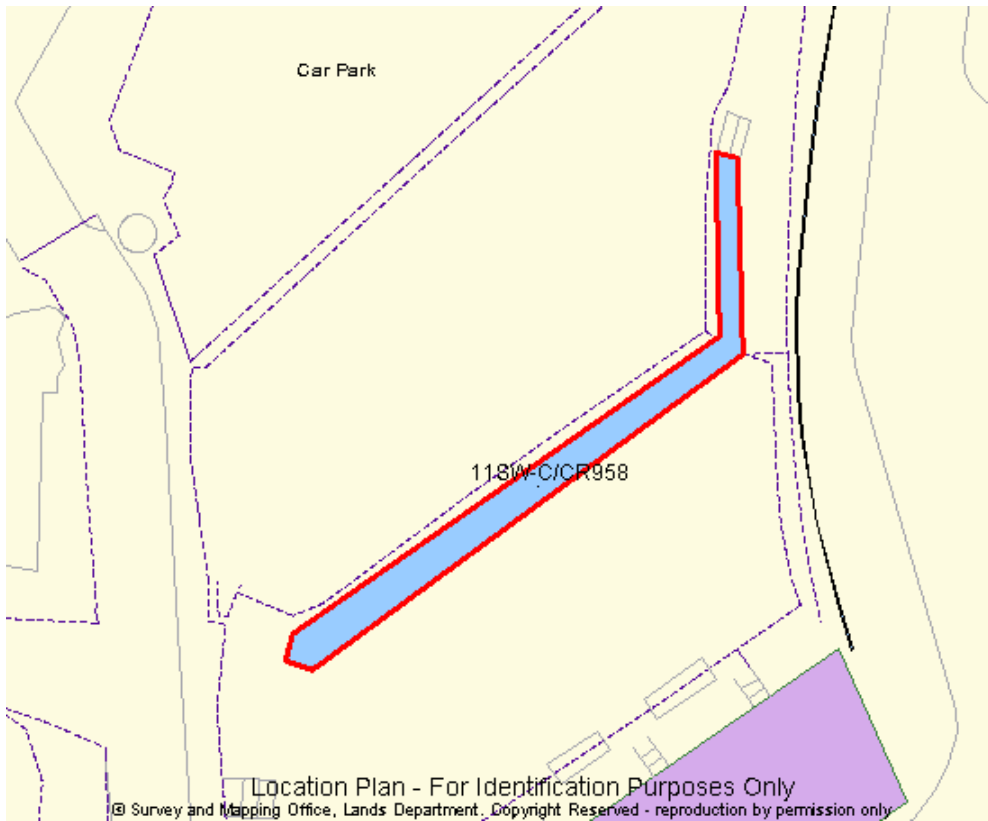
Slope 7:



Slope 8:



Slope 9:



Slope 10:

