

**Revitalising Historic Buildings
Through Partnership Scheme**

Former Lau Fau Shan Police Station

Resource Kit

Date: 17 Nov 2016



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I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided includes:

- Section I – Introduction;
- Section II – Historical Background and Architectural Merits;
- Section III – Site Information;
- Section IV – Building Information;
- Section V – Vicinity and Access;
- Section VI – Conservation Guidelines;
- Section VII – Town Planning Issues;
- Section VIII – Land and Tree Preservation Issues;
- Section IX – Slope Maintenance;
- Section X – Technical Compliance for Possible Uses; and
- Section XI – Special Requirements of the Project.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the Conservation Guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory and building control requirements.

Item (c) of the above will be a complex task. The following suggestions for the applicants' consideration:

- (i) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under Buildings Ordinance (Cap.123). The need for preserving the significant architectural features (Appendix IX), site constraints and / or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and

- (ii) every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.
- 1.3 For each historic building, there are a number of suggested uses which appear to be pursuable based on available information. However, the technical feasibility of such uses will need to be further examined.
- 1.4 The dimensions, areas and datum levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorized specialists to verify the dimensions, areas and datum levels before detailed design is carried out.
- 1.5 The information that has been assembled is to give a general understanding of the site and the historic buildings. Key parameters available at the time of preparation of the resources kit are for the applicants' convenience and may not be exhaustive. Because of the unique nature and requirements of each proposal, applicants are strongly advised to verify the provided data before finalizing their proposals.
- 1.6 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at:-

Address: Commissioner for Heritage's Office,
Development Bureau,
19/F., West Wing, Central Government Offices,
2 Tim Mei Avenue, Tamar, Hong Kong

Email: rhb_enquiry@devb.gov.hk

Phone: 2848 6230

Fax: 2127 4090

II. Historical Background and Architectural Merits

2.1 Historical Background

The Former Lau Fau Shan Police Station was built in 1962 to replace an earlier police station on the site. It is strategically located at the top of a small hill of Lau Fau Shan, overlooking Ping Shan in the south-east and Deep Bay and Shenzhen of China in the north-west, functioning for decades as an outpost and the operation base of the police force to keep a watch on illegal immigration. The Lau Fau Shan Automatic Weather Station is also operated at the site since 1980s to meet the growing demands for regional meteorological data for engineering projects in areas under development. Since 2002, the police station ceased operation after the squad stationed in this police station was incorporated into the manpower of Tin Shui Wai Police Station.

2.2 Architectural Merits

The Former Lau Fau Shan Station is a typical Modern Utilitarian building built in 1960s. It is a three-storey high reinforced concrete building in split levels due to the topography of the site. The main gate of the site is located at the Lower Ground Floor, leading to an open area in front of the building. An external staircase located at the side of masonry retaining walls leads up from the open area to the main entrance of the building at the Ground Floor level. The building is generally in U-shaped plan, with major alterations made at the north-east portion of the building to suit the different functions throughout the years. The elevations of the building consist of expressed reinforced concrete columns and beams and bands of aluminium framed windows. Grille block screen walls were used at the Lower Ground Floor of south-east and Ground Floor of north-west facade for ventilation. The building consists of flat roofs at different levels, which some of them have to be accessed by metal cat ladders. There are two scout towers on the roof at the east and south corners overlooking the town, but curiously no turret built on the Deep Bay side. The site is enclosed by a chain link security fence with security lights all around the building. A path runs around the inner side of the fence for patrols.

Internally, the rooms are plain and devoid of architectural detail. For security purpose, most of the aluminium framed windows are fitted with burglar bars. The Lower Ground Floor of the building consists of several covered parking spaces, a Generator Room, Document Store Room, Workman Room, Equipment Room, Support Office, Laundry Room and two tiled washtubs. There is an internal reinforced concrete staircase with geometric patterned metal balustrade at the central location of the Police Station, providing access from the Lower Ground Floor to the First Floor.

The Report Room is located on the Ground Floor, which is fitted out with a lower wooden counter. Behind the Report Room, there are Armoury, Cell Room and offices. Steel shutters are found installed to the windows facing China in one of the offices. Outside the Main Entrance, there is a Loading and Unloading Area for guns with rubber safety matting and a metal-framed canopy. To the opposite side of the Report Room, Mess and Recreation Room with a shrine of Kwan Tai, a kitchen and kitchen storeroom, male and female toilets are situated. Other accommodation on the Ground Floor includes the barrack rooms and toilets, Computer Equipment Room, General Office, SDVC Office, Interpreter Office, and Pantry Room.

On the First Floor, accommodation includes PABX Room, Instrument Hut Room, Briefing Operation Room and Conference Room, JPO Changing Room and Night Duty Room, NCO Changing Room and Night Duty Room and Male Bathroom and Toilet etc. A fair-sized balcony overlooking Deep Bay with a flagpole erected is connected to the room at the north-west end.

III. Site Information

3.1 Location

The Former Lau Fau Shan Police Station is located at No. 1, Shan Tung Street, Yuen Long, N.T., Hong Kong. The Location Plan is at **Appendix I**.

3.2 Site Description

The site of this revitalisation project is located on the top of a small hill and surrounding by trees. The site comprises three buildings, the Main Building and two Storage Shelters.

3.3 Site Boundary

The east boundary is connected to the Shan Tung Street leading to the village at the south and Deep Bay Road. The Site Boundary Plan is shown at **Appendix II (A)**.

3.4 Site Area

The site of this revitalisation project includes the Former Lau Fau Shan Police Station and its surrounding piece of land, all owned by the Government. The site area is approximately 2500 sq. metres.

3.5 Major Datum Levels

The major datum level of the site ranges from approximately +29.81mPD to +33.60 mPD. Major datum levels around the site are shown at **Appendix III**.

A summary of the site information is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

The Former Lau Fau Shan Police Station comprises the Main Building and 2 nos. of storage shelters namely Storage Shelter No.1 and Storage Shelter No.2.

The Main Building is a 3-storey building situating on a slope and consists of main section, extension and two scout towers.

Storage Shelter No.1 is located at the lower ground floor (LG/F) level at the south-west of the Main Building.

Storage Shelter No.2 is located at the south-west corner of the site.

The Former Lau Fau Shan Police Station has been vacant since 2002. Its external and internal finishes were in dilapidated condition. Some fixed furniture in the report room and kitchen area were in poor condition; also sanitary fitments and some doors were in poor condition. Most of the building services had been removed.

The architectural drawings of the Former Lau Fau Shan Police Station, which include site plan, floor plans, elevations and sections are attached at **Appendix V**. These architectural drawings were produced based on rough site measurement and require further verification.

Photos showing the site and the Former Lau Fau Shan Police Station are attached at **Appendix VI**.

4.2 Historic Grading

The Former Lau Fau Shan Police Station was confirmed as Grade 3 historic buildings by the Antiquities Advisory Board on 4 March 2014. “Grade 3 historic building” is defined as a “buildings of some merit, preservation in some form would be desirable and alternative means could be considered if preservation is not practicable”.

Grading Boundary Plan is shown at **Appendix II (B)**.

4.3 Schedule of Accommodation

The approximate Net Operational Floor Area (NOFA) and Construction Floor Area (CFA) of the Former Lau Fau Shan Police Station provided in this section are indicative only. Applicants shall verify such information on their own before adopting this information in their proposals.

Total Construction Floor Area is approximately 927 sq. metres. Schedule of area is listed as follows:-

Floor Level	Accommodation		Approximate Construction Floor Area (sq. m)	Approximate Net Operational Floor Area / Net Floor Area (sq. m)
LG/F	Main Building	Workman Room	151	6
		Laundry Room		13
		Support Office		9
		Store Room		8
		Generator Room		8
		Document Store Room		8
		Covered Parking Space		31
		Corridor		35
		Equipment Room		1

Floor Level	Accommodation		Approximate Construction Floor Area (sq. m)	Approximate Net Operational Floor Area / Net Floor Area (sq. m)
G/F	Main Building	Sub-Unit Commander Office	414	14
		ADVC Office		20
		Interview Room		8
		Report Room		43
		Cell Room		11
		Armoury		9
		Lobby 1		11
		Lobby 2		4
		Lobby 3		5
		Lobby 4		5
		Store Room		9
		Pantry		5
		Female Toilet 1		1
		Female Toilet 2		3
		Male Toilet 1		1
		Male Toilet 2		6
		Toilet 1		6
		Toilet 2		6
		Room 1		11
		Bed Room		11
		SDVC Office		15
		Computer Equipment Room		5
		Interpreter Office		6
Female Barrack Room	6			
Utility Platform	2			

Floor Level	Accommodation		Approximate Construction Floor Area (sq. m)	Approximate Net Operational Floor Area / Net Floor Area (sq. m)
		Kitchen		18
G/F	Main Building	General Office	As previous	15
		Mess Room and Recreation Room		73
1/F	Main Building	Balcony	331	33
		Police Radio Station		33
		Instrument Hut Room		4
		Corridor		12
		Auxiliary Officer Office and Night Duty Room		14
		PABX Room		9
		Male and Bathroom & Toilet		24
		NCO Changing Room and Night Duty Room		29
		Night Duty Room		28
Rest Room/ Briefing, Operation Room and Conference Room	52			

Floor Level	Accommodation		Approximate Construction Floor Area (sq. m)	Approximate Net Operational Floor Area / Net Floor Area (sq. m)
		JPO Changing Room and Night Duty Room		52
R/F	Main Building	Room	14	8
		Scout Tower 1		3
		Scout Tower 2		3
LG/F	Storage Shelter No.1	Gas Fuel Storage	9	9
G/F	Storage Shelter No. 2	Dangerous Good Store	8	8

4.4 Materials of Construction

4.4.1 The Main Building

Materials	Roof	Reinforced concrete with concrete tile finishes
	Wall	Reinforced concrete
	Floor	Reinforced concrete
	Staircase	Reinforced concrete
	Windows	Aluminium framed windows
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster and ceramic tiles <u>Floor finishes:</u> Ceramic tiles <u>Ceiling finishes:</u> Painted plaster

4.4.2 The Storage Shelter No.1

Materials	Roof	Corrugated steel panel
	Wall	Brick
	Floor	Concrete
	Windows	None
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster <u>Floor finishes:</u> Cement sand screeding <u>Ceiling finishes:</u> Painted plaster

4.4.3 The Storage Shelter No.2

Materials	Roof	Reinforced concrete
	Wall	Reinforced concrete
	Floor	Concrete
	Windows	Iron framed casement windows
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster <u>Floor finishes:</u> Cement sand screeding <u>Ceiling finishes:</u> Painted plaster

4.5 Circulation

4.5.1 General Description

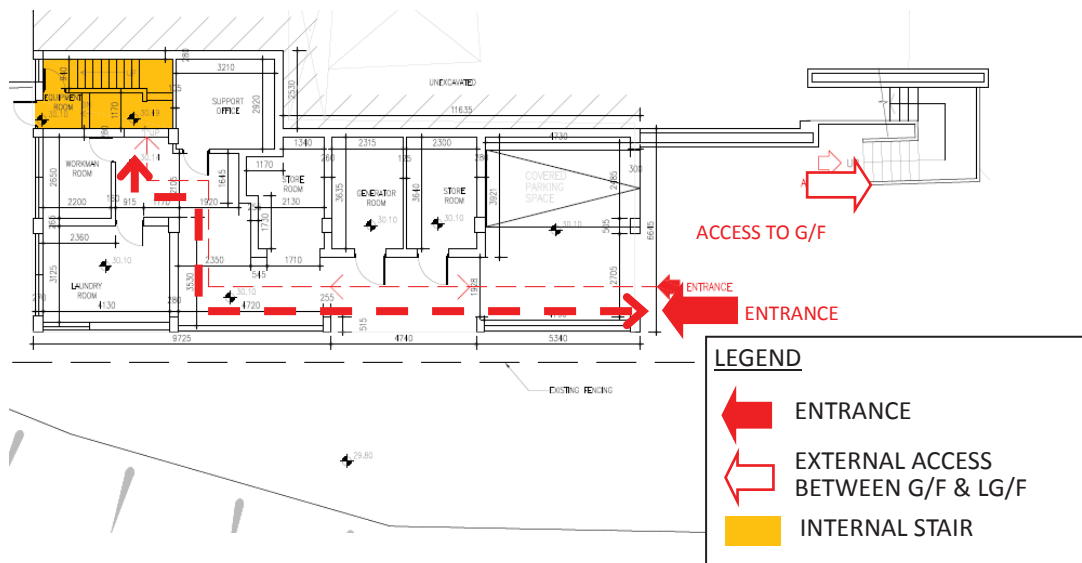
There are 3 nos. of entrances for the Main Building. One is located at the covered parking space on the LG/F facing the front yard. Two other entrances

face the open space on G/F. There are one internal staircase and one external staircase. The internal staircase connects LG/F, G/F and 1/F. The external staircase at open space links LG/F and G/F (see below circulation plans). The circulation plans are shown below and attached in **Appendix V**.

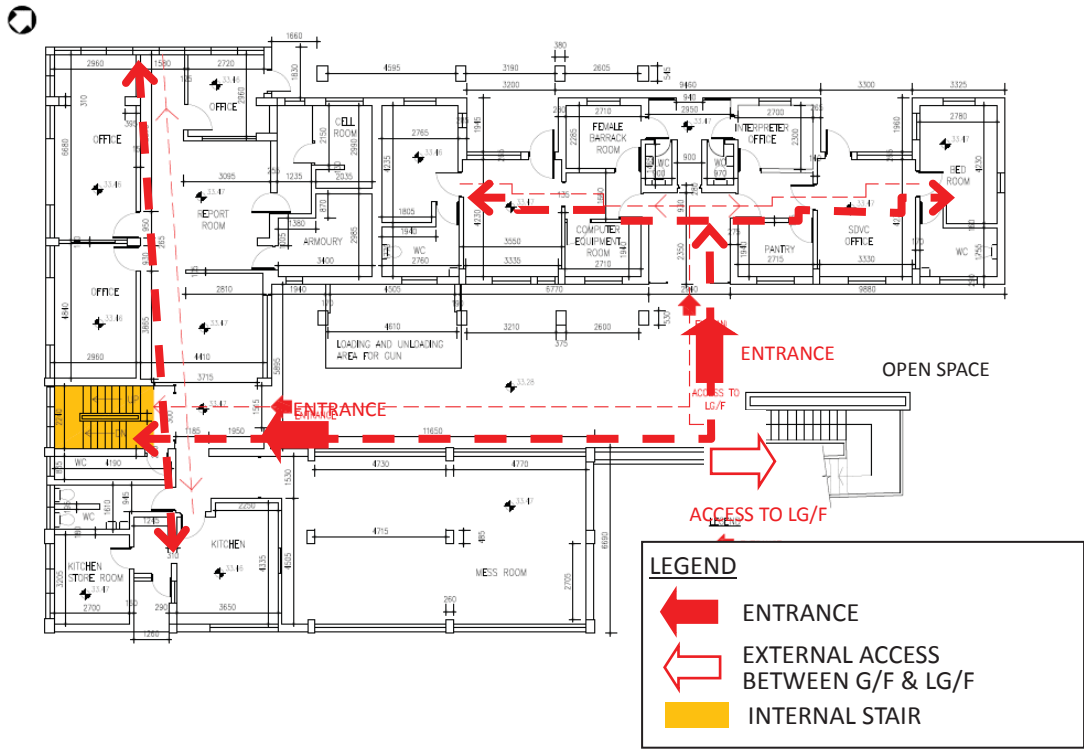
There is no direct internal access between the staff quarters area and remaining sections of the Main Building.

In addition to the 3 nos. of entrances, there is a rear exit at LG/F leading to the back yard of Main Building. The back yard is surrounding by wire mesh security fencing and only be accessible from the rear exit. The Storage Shelter No. 1 is located within the back yard.

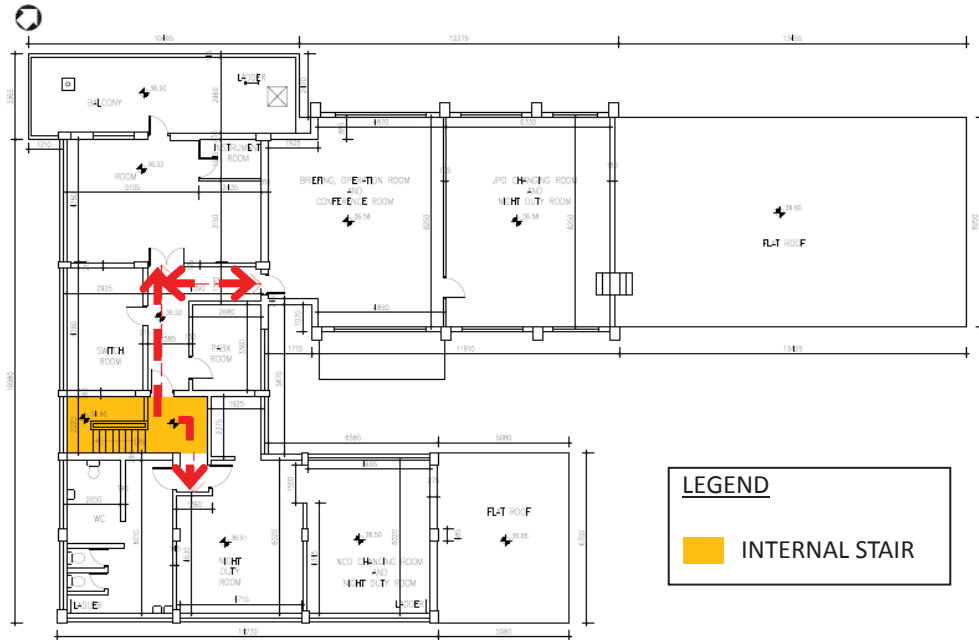
The Storage Shelter No.2 is situated at external area and situated apart from the Main Building.



Circulation Plan /Entrance Location of Main Building on Lower Ground Floor



Circulation Plan /Entrance Location of Main Building on Ground Floor



Circulation Plan of Main Building on First Floor

4.5.2 Barrier Free Access

No barrier free access, which complies with current standard “Design Manual: Barrier Free Access 2008”, is provided for the Main Building, the Storage Shelter No. 1 and No.2 . In general, there is no ramp provision overcome the level difference between internal and the adjoining external spaces of those buildings. There is no provision of lift facilities between LG/F and 1/F of Main Building.

4.6 Major Alterations and Additions

The Flat Roof at the area enclosed by the Grid Lines 5 to 9 and A to C as shown in drawing no. A005 at **Appendix V** is an additional structure built after the completion of the original building of the Main Building. Two scout towers on the rooftop of Main Building are also later-built structures.

4.7 Preliminary Structural Appraisal

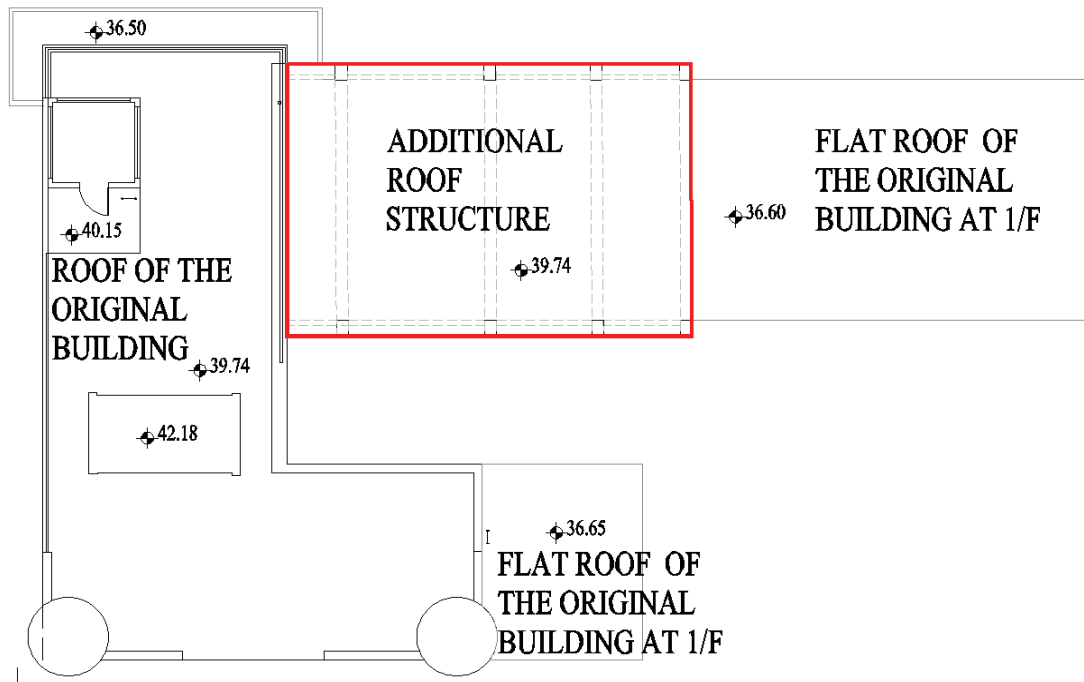
This appraisal is only for the Main Building. There are structural record drawings for framing plans, foundation plans, and reinforced concrete (R.C.) details for slabs, beams columns, stairs, water tanks, foundations, retaining walls, control tower and turret kept by Architectural Services Department.

4.7.1 Description

(a) General

The Main Building is a three storey building situated on a slopping site. It is in split levels, straddling a vertical cut slope of about 3.4 metres high.

It was first constructed in 1960s and later on, an additional roof structure was constructed to provide an extension to the original building of the Main Building. This additional roof structure is constructed of R.C. roof slabs supported by a series of R.C. column-beam frames straddling a section of the northern part of the original building as shown in the following Location Plan of Additional Roof Structure: -



Location Plan of Additional Roof Structure

(b) Structural System

The following information of the structural system of the Main Building is mainly based on visual inspection on site and examination of available structural record drawing.

The structure of this three storey building is built of R.C. It is supported by a series of columns which are in turn supported by shallow R.C. footings. The structural system of each floor is as follows: -

(i) Roof and First Floor:-

The roof and first floor are built of beam and slab floor system in which floor slabs are supported on beams.

(ii) Ground Floor:-

The areas marked as Zone C and Zone B3 in the Ground Floor Zoning Plan included in section 4.7.3 are built of beam and slab system. The area marked as Zone B1 and B2 in the same plan is built of on-grade slabs.

Although no reinforcement details for the on grade slabs can be found in the structural record drawings, it is estimated that these slabs are constructed of reinforced concrete.

(iii) Lower Ground Floor(LG/F):-

The LG/F is built of on-grade slabs. Although no reinforcement details for the on grade slabs can be found in the structural record drawings, it is estimated that these slabs are constructed of reinforced concrete.

(c) Load Path

i) Vertical load:-

The vertical loads, which consist of dead loads, live loads and/or vertical wind loads, acting on the roof and floors, are taken by their slabs and then all these loads, except those acting on the on grade slabs, are transferred through the supporting roof/floor beams to columns. The vertical loads from the columns/walls are eventually transferred to ground through their footings. The vertical loads acting on the on-grade slabs are transferred to ground through these slabs.

ii) Lateral load:-

The lateral loads, which mainly consist of lateral wind loads, are largely resisted by the rigid frame action of beam-column frames. The loads are eventually transferred to the ground through the footings.

4.7.2 Preliminary Appraisal

During the site inspection, the structural condition of the building appeared to be satisfactory. No serious structural cracks or deformation on the critical structural elements and significant differential settlements of foundations were observed.

Spalled/cracked concretes were observed on some columns on the LG/F area (See photos on pages 45 of **Appendix VI**). A number of localised water stains and spalled concretes with rusty bars exposed (See photos on pages 46 of **Appendix VI**) and also sign of fire incident at 1/F corridor (See photos on

pages 47 of **Appendix VI**) and Police Radio Station, were observed (no serious damage to the structural concrete in these affected areas could be seen).

4.7.3 Loading Assessment

There are no design imposed loads specified in the record structural drawings for both the original building and the additional roof structure.

In view of the structural drawings for the original building and the additional roof structure were prepared in 1962 and 1989 respectively, it is estimated that Building Ordinance 1955, Building (Construction) Regulation 1956, and the London County Council By-laws 1952 (LCC 1952) were adopted for the structural design of the original building and Building (Construction) Regulation 1976 (metric version) (BCR 1976) and Code of Practice for the Structural Use of Concrete 1987 were adopted for the structural design of the additional roof structure.

In considering the age of the building, the possible imposed loading capacity is prudently estimated at about 80% of the design imposed loading capacity.

The estimated imposed loading capacities of floor areas of the Main Building are listed as follows:-

Location (see the zoning plans below)		Original Use	Minimum Design Imposed Load (kPa)	Estimated Imposed Load Capacity (kPa)
LG/F	Zone A	Plant Rooms/ Garage	3.83 [#]	3.0
G/F	Zone B1 and Zone B3	Office	2.39 ^{##}	1.9
	Zone B2	Staff quarters	1.92 ^{###}	1.5
	Zone C	Staff Kitchen/ Mess and Recreation	1.92 ^{###}	1.5
1/F	Zone D	Office	2.39 ^{##}	1.9
	Zone E	Flat Roof	0.72 ^{####}	0.6
	Zone F	Flat Roof	0.72 ^{####}	0.6

Location (see the zoning plans below)		Original Use	Minimum Design Imposed Load (kPa)	Estimated Imposed Load Capacity (kPa)
Roof	Zone G	Flat Roof	0.72####	0.6
	Zone H (Additional roof structure)	Flat Roof	0.75**	0.6

Note: # Refer to LCC1952 Table 1: Class No. 5 - floors of garages for vehicles not exceeding 2.5 tons gross weight.

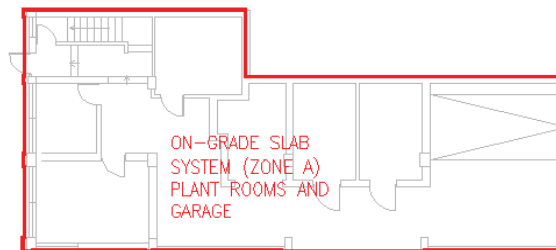
Refer to LCC1952 Table 1: Class No. 3 - Office floors above the entrance floor

Refer to LCC1952 Table 1: Class No. 2 – Floors in Dormitories

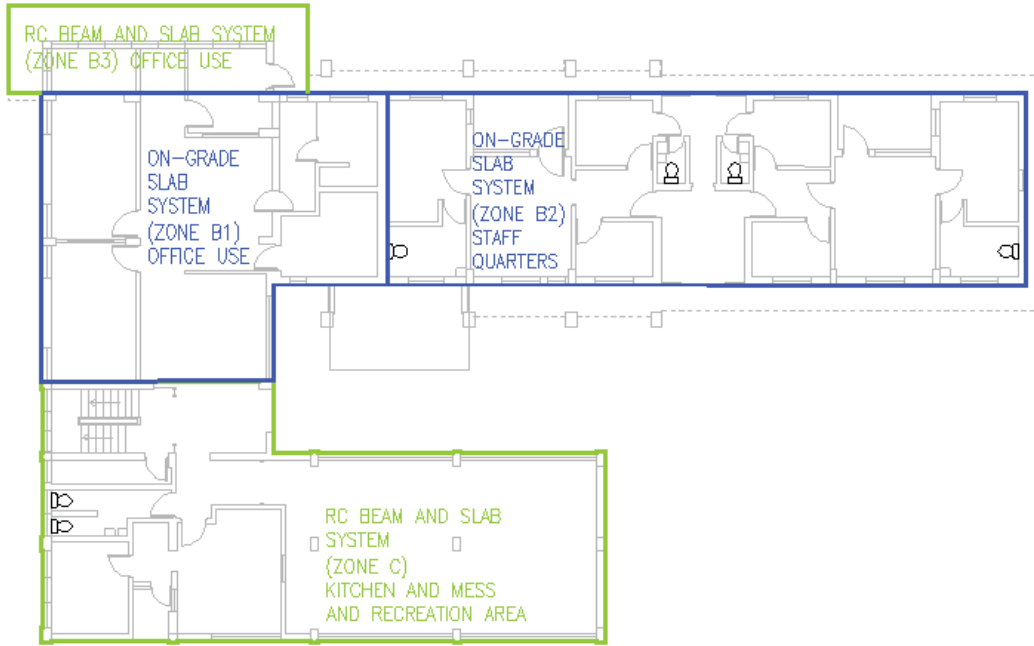
Refer to LCC1952 Table 1: Class No. 9 – Flat roofs where no access is provided to the roof (other than such access as may be necessary for cleaning and repair works)

** Refer to BCR 1976 Table VII: Class No. 8 - Flat roofs where no access is provided to the roof (other than such access as may be necessary for cleaning and repair works)

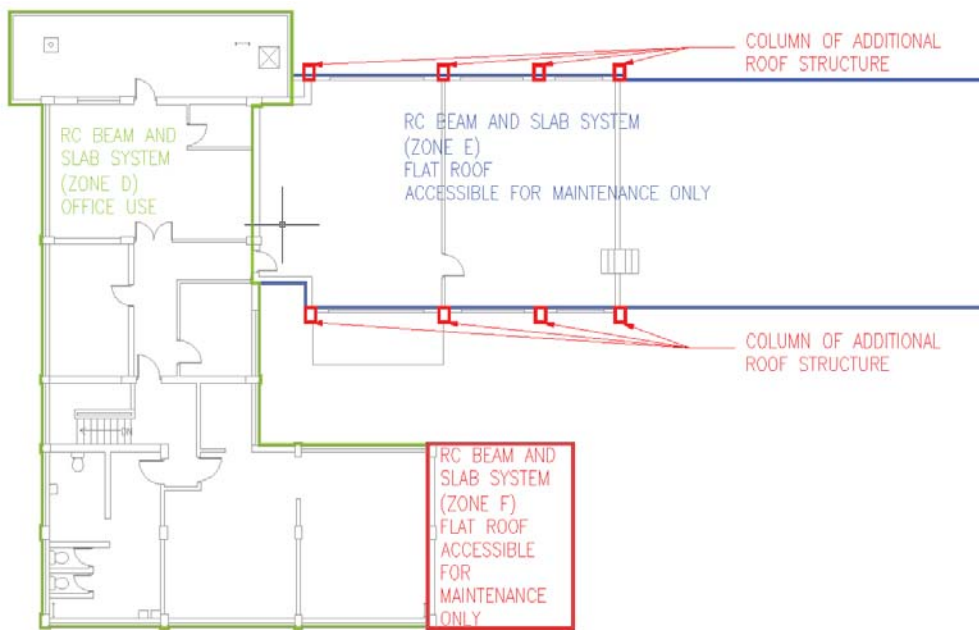
The zoning plans of the Main Building are shown as follows : -



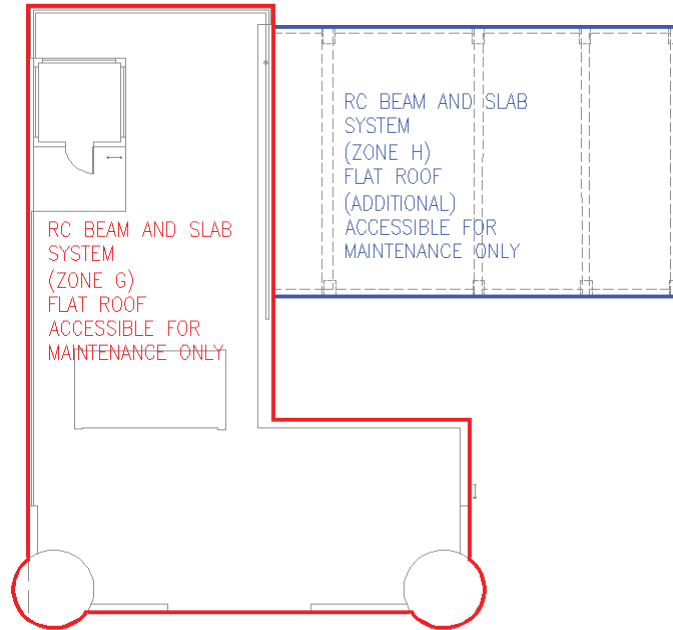
Lower Ground Floor Zoning Plan



Ground Floor Zoning Plan



First Floor Zoning Plan



Roof Zoning Plan

The above estimated imposed loading capacities shall be further investigated and justified by sufficient tests on the construction materials and comprehensive structural assessment.

Finally, the floors usages and minimum imposed load as stipulated in Code of Practiced for Dead and Imposed Load 2011 issued by the Buildings Department sufficient for covering most of common usages are extracted below for easy reference.

Table 3.2
Minimum Imposed Loads

Class	Use	Examples of Specific Use	q_k (kPa)	Q_k (kN)
1	Floors for domestic use and residential activities	Domestic uses	2.0	2.0
		Dormitories	2.0	2.0
		Private sitting rooms, bedrooms and toilet rooms in hotels, motels and guesthouses	2.0	2.0
		Wards, bedrooms and toilet rooms in hospitals, nursing homes and residential care homes for elderly persons	2.0	2.0
		Bathrooms (load from Jacuzzi in bathrooms shall be assessed separately and on individual basis) ¹	2.0	2.0
		Pantries ¹	2.0	2.0
		Kitchens ¹	2.0	2.0
2	Floors for offices and other non-industrial work places	Medical consulting or treatment rooms	2.5	3.0
		Hospital operating theatres and X-ray rooms	2.5	3.0
		Laboratories	3.0	4.5
		Light workrooms with neither central power-driven machines nor storage	3.0	4.5
		Offices for general use	3.0	4.5
		Rooms for lightweight electrical and electronic installations	3.0	4.5
		Rooms for meters and not for storage ¹	3.0	4.5
		Pantries ¹	3.0	4.5
		Banking halls	4.0	4.5
		Kitchens and laundries not in domestic buildings	4.0	4.5
	Projection rooms ¹	5.0	4.5	

Table 3.2 (continued)

Class	Use	Examples of Specific Use	q_k (kPa)	Q_k (kN)
3	Floors where people may congregate	<i>3A: Floors with tables</i>		
		Childcare centers and kindergartens	2.5	3.0
		Classrooms, lecture rooms, tutorial rooms, computer rooms	3.0	4.5
		Internet computer services centres ¹	3.0	4.5
		Leisure, recreational and amusement areas that cannot be used for assembly purposes (e.g. private clubs with cubicles and restricted number of patrons)	3.0	4.5
		Massage rooms ¹ , sauna rooms ¹ , bath houses (load from water pools and fountains, if any, to be assessed separately) ¹	3.0	4.5
		Reading rooms without book storage	3.0	4.5
		Cafes ¹ , mahjong parlours ¹ , amusement games centres ¹	4.0	4.5
		Restaurants, night-clubs, lounges, bars, canteens, fast food shops and dining rooms not in domestic premises.	4.0	4.5
		<i>3B: Floors with fixed seating (seating is regarded as fixed if the removal of the seating and the use of the relevant space for other purposes are unlikely to occur)</i>		
		Assembly areas with fixed seating	4.0	4.5
		Chapels, churches and places of worship with fixed seating	4.0	4.5
		Concert halls ¹	5.0	4.5
		Conference rooms ¹ , waiting rooms ¹	5.0	4.5
		Grandstands (refer to clause 3.8.2 for additional loads)	5.0	4.5
		Public halls, theatres, cinemas	5.0	4.5
		<i>3C: Floors without obstacles for moving people</i>		
		Columbaria (areas other than for niches) ¹	4.0	4.5
		Art galleries and museums	5.0	4.5
		Assembly areas without fixed seating, refuge floors	5.0	4.5
		Footbridges between buildings, footpaths, terraces, plazas, areas used for pedestrian traffic	5.0	4.5
		Open areas in gardens (including short grass turf suitable for foot traffic) ¹	5.0	4.5

Table 3.2 (continued)

Class	Use	Examples of Specific Use	q_k (kPa)	Q_k (kN)
3	Floors where people may congregate	<i>3D: Floors with possible physical activities</i>		
		Billiard rooms and bowling alleys	3.0	4.5
		Dance practice rooms	3.0	4.5
		Dance halls, karaoke establishments, discotheques, gymnasia	5.0	4.5
		Ice rinks (weight of ice shall be assessed separately) ¹ , ball courts ¹ , golf driving ranges ¹	5.0	4.5
		Stages, television studios used as stages	7.5	9.0
4	Floors for shopping purposes	Department stores, supermarkets, markets, shops for display and sale of merchandise ²	5.0	4.5
5	Floors for storage, equipment, plant and industrial uses ³	Library rooms with book storage (excluding library stack rooms)	5.0	4.5
		Offices for storage and normal filing purposes	5.0	4.5
		Refuse storage ¹	2.5 for each metre of storage height ³	To be determined according to the weight of storage material, but not less than 9.0
		Stack rooms in book stores and libraries	3.5 for each metre of storage height ³ but not less than 10.0	To be determined according to the weight of storage material, but not less than 9.0
		Cold storage	5.0 for each metre of storage height ³ but not less than 15.0	To be determined according to the weight of storage material, but not less than 9.0
		Paper storage in printing plants	8.0 for each metre of storage height ³	To be determined according to the weight of storage material, but not less than 9.0

Table 3.2 (continued)

Class	Use	Examples of Specific Use	q_k (kPa)	Q_k (kN)
5	Floors for storage, equipment, plant and industrial uses	Battery rooms and uninterruptible power supply rooms	10.0 for each metre of storage height ³	To be determined according to the weight of storage material, but not less than 9.0
		General storage other than those specified in this class, including storage in warehouses	2.5 for each metre of storage height ³	To be determined according to the weight of storage material, but not less than 9.0
		Plant rooms, boiler rooms, fan rooms, motor rooms and the like	7.5	9.0
		Workshops, factories and other buildings or parts of buildings of similar category for industrial use –		
		(a) for light weight loads	5.0	9.0
(b) for medium weight loads	7.5	9.0		
(c) for heavy weight loads	10.0	9.0		
(d) for printing plants	12.5	9.0		

- Notes:
- 1 Specific uses that are not specified in the Building (Construction) Regulations.
 - 2 For stacking or storage area, reference shall be made to the appropriate example of specific use and the corresponding imposed load given in Class 5.
 - 3 Storage height in Class 5 shall be the height of the space between the following: the floor, and a physical constraint to the height of storage formed by a ceiling, soffit of a floor, roof or other obstruction.

4.7.4 Recommendations

Comprehensive structural appraisal with detailed site investigation and appropriate in-situ and laboratory test shall be carried out by the selected applicant to verify and confirm the details and conditions of the structural members and structural performance of the building for the design of their proposed adaptive re-use of the building. Particular attention should be paid to checking the conditions of the structural elements in the areas affected by the fire incident mentioned in section 4.7.2.

4.7.5 Conclusion

This preliminary structural appraisal shall not be treated as a comprehensive and complete evaluation of building performance.

The estimated imposed loading capacities made in Section 4.7.3 are summarised as follows:-

Location (see the zoning plans in Section 4.7.3)		Estimated Imposed Loading Capacity (kPa)
LG/F	Zone A	3.0
G/F	Zone B1 and Zone B3	1.9
	Zone B2	1.5
	Zone C	1.5
1/F	Zone D	1.9
	Zone E	0.6
	Zone F	0.6
Roof Floor	Zone G	0.6
	Zone H	0.6

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the Former Lau Fau Shan Police Station is as follows:-

Building Services and Utilities	Existing Provisions
MVAC Installation	<ul style="list-style-type: none">• There are 2 nos. of window type A/C units at the switch room on 1/F.• 6 Nos. of abandoned exhaust fans are found at toilets.• Except the above no other MVAC installation is found within the site.

Building Services and Utilities	Existing Provisions
Fire Service Installation	<ul style="list-style-type: none"> • No water based Fire Protection System (i.e. Fire Hydrant (F.H.) / Hose Reel (H.R.) & sprinkler system) is found in the building. • No manual fire alarm (MFA), visual fire alarm and automatic fire alarm system (AFA) is found in the building. • No exit sign / emergency light is found. • No portable type fire extinguisher is found in the premise. • 1 nos. of street fire hydrant (SFH) is found just outside the site entrance. • No water check meter position is found within the premise. • Fire services water supply may be obtained from Shan Tung Street connecting to the site. A 150mm diameter connection valve is found at main entrance of the premise. Record plan of Water Supplies Department is attached in Appendix XV(A).
Electricity Supply	<ul style="list-style-type: none"> • Existing electricity supply to the premise has been disconnected. • Most of switches and electrical accessories, lightings and wirings have been disconnected or removed. • CLP main power supply cables to the Former Lau Fau Shan Police Station are provided from two locations. One is laid under the Deep Bay Road though Shan Tung Street and the other one is overhead post distribution from the village at the bottom of hill to the rear part of premise.

Building Services and Utilities	Existing Provisions
	<p>Record plan of CLP is attached in Appendix XV(B).</p> <ul style="list-style-type: none"> • New power supply may be obtained via laying new power cables under Deep Bay Road through Shan Tung Street connecting to the site or via laying new power cables to a new H.V. transformer hang on a post at the rear corner of the site.
Lift and Escalator	<ul style="list-style-type: none"> • Existing building is not provided with any lift or escalator.
Plumbing Installation	<ul style="list-style-type: none"> • All potable water supply pipes are disconnected. • No flushing, cleansing, irrigation water supplies are connected to the site. • No water check meter position is found within the premise. • A 150mm diameter connection valve is found at main entrance of the premise. • Water supply, including potable, flushing, cleansing, irrigation water may be obtained from the Deep Bay Road through Shan Tung Street to the site. Record plan of Water Supplies Department is attached in Appendix XV(A).
Drainage Installation	<ul style="list-style-type: none"> • Waste and soil water from the Main Building is discharged via underground drainage pipe to a septic tank, and then further discharged to the public sewage system. • Rainwater collected from the roof is discharged via 100mm diameter down pipes. • The rainwater at south west of the site is collected by means of surface channels and then

Building Services and Utilities	Existing Provisions
	<p>discharged to existing wastewater manhole. while, the rainwater of other area is collected by surface channels and discharged to stormwater surface channels of the adjoining slope to Shan Tung Street as showing in Underground Utility Survey Plan attached in Appendix XV(U).</p> <ul style="list-style-type: none"> • No record plan can be retrieved from Drainage Services Department. Underground Utility Survey Plan showing the layout of identified drains is attached in Appendix XV(C).
Gas Installation	<ul style="list-style-type: none"> • No gas connection is found in the existing building and no record plan can be retrieved from China Gas Company Ltd. (HKCGC). Reply letter from HKCGC is attached in Appendix XV(D) for reference.
Fixed Telecommunication Network (FTNS)	<ul style="list-style-type: none"> • An abandoned services point owned by Hong Kong Telecommunications (HKT) Limited is found on site. No other FTNS services connection is found in the existing building. • HKT service may be available for connection. Record plan of HKT is attached in Appendix XV(E). • Most of FTNS providers have no record of providing their services installation on site. The replies from FTNS providers up to 18 Aug 2016 can be found in Appendix XV

In addition, an enquiry of record plan has been made to Electrical & Mechanical Services Department, Highways Department Lighting Division, Transport Department and Mass Transit Railway (MTR) Corporation Limited. Their replies are attached in **Appendix XV(K)**, **Appendix XV(L)**, **Appendix XV(M)** and **Appendix XV(N)** respectively.

V. Vicinity and Access

5.1 Immediate Surrounding

The Former Lau Fau Shan Police Station is located on the top of small hill in Lau Fau Shan, Yuen Long, which is surrounded by coastal protection area. North-west of the bottom of the hill are oyster farms in Deep Bay (Shenzhen Bay). South of Former Lau Fau Shan Police Station is local villages and the east is open storage area.

The Plan Showing Immediate Surroundings is at **AppendixVII**.

5.2 Access

Access to the site is shown in the Access Plan at **Appendix VIII**.

5.2.1 Vehicular Access

Vehicular access is only available from Shan Tung Street with width of approximately 3.3m, which is not wide enough for a large vehicle or fire appliance.

5.2.2 Emergency Vehicular Access (EVA)

The existing EVA do not comply with the requirements stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 (FS Code 2011). Applicants may consider providing an EVA inside the site to connect Shan Tung Street and the historic buildings.

5.2.3 Loading and Unloading Area

There is no specific loading and unloading area provided within the site. Applicants may consider providing loading/unloading area at the open space within the site for the purpose of adaptive re-use. Site formation to the surrounding ground with new retaining wall may be required to form a new loading and unloading area.

5.2.4 Parking

A parking space within the covered area of LG/F of Former Lau Fau Shan Police Station is found. Applicants may consider providing more parking spaces at the open space within the site for the purpose of adaptive re-use (refer to Drawing No.A002 of **Appendix V** for location of existing car park).

5.2.5 Pedestrian Access

Pedestrian access to the Former Lau Fau Shan Police Station is available from Shan Tung Street. It takes about 5 minute to walk from the site to the nearest bus stop (operated by Mass Transit Railway) at the roundabout of Deep Bay Road at the south of Former Lau Fau Shan Police Station.

5.2.6 Barrier Free Access (Site)

Barrier free access to the Former Lau Fau Shan Police Station by means of vehicle is available from Deep Bay Road, through Shan Tung Street to the site entrance. Turning point for any small vehicles is currently available at site entrance; however, its space is not enough for any vehicle longer than 5 metres.

5.2.7 Refuse Collection Point

No refuse collection point is located within the site. Applicants may provide a suitable refuse collection facilities for the purpose of adaptive re-use.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regards to the latest editions of Charter of Venice (ICOMOS), the Burra Charter (Australia ICOMOS) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the conservation works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic building and complying with the current statutory requirements under the Buildings Ordinance (Cap 123). On this issue, we would advise:

- (a) when undergoing major alteration works and change of use, the historic building should be properly upgraded to meet the same level of safety in respect of the new use as in the case of new buildings. The need for preserving the significant architectural features (**Appendix IX** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the building; and
- (b) every effort should be made to preserve the façades of the historic building except unauthorized building structures, if any. Addition and alteration works, if necessary, should be undertaken at the sides or other less visually prominent location of the building concerned. The original façades of the building should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to design and colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the exterior of the building and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

¹ *“Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.*

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the selected applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. require the prior approval of the AMO.
b) Fire Resisting Construction to Floors, Doors and Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
c) Emergency Vehicular Access (EVA)	EVA should blend in with the surroundings to preserve the historical character of the building(s).
d) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by the AMO.
e) Barrier Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its/ their surrounding, in particular the external elevation(s) of the building(s).
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning, fire services and plumbing installations should ensure that no “non-reversible” works are carried out to the historic building(s).

Possible Building Works	Conservation Guidelines
h) Plumbing and Sanitary Fitments	If “historic fitment(s)” is/ are identified, it/ they should be preserved, while modern fittings of compatible design to the existing may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorized waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 As the renovation works will inevitably cause impact on the historic building, the successful applicant should submit a Heritage Impact Assessment (HIA) to the AMO for agreement before the commencement of the works. Consultation with the Antiquities Advisory Board for the agreement may be necessary.

6.1.6 The selected applicant should engage a building contractor, for the renovation works, who is included in the Development Bureau’s “List of Approved Contractors for Public Works – Buildings category” of appropriate group according to the estimated value of the works contract (http://www.devb.gov.hk/en/construction_sector_matters/contractors/index.html for the list) and a Registered General Building Contractors of Buildings Department (<https://mwerdr.bd.gov.hk/REGISTER/RegistrationSearch.do?method=PageRegistration®Type=GBC> for the list). If the contractor to be appointed for the renovation works is not itself an approved specialist contractor included in the “List of Approved Suppliers of Materials and Specialist Contractors for Public Works – Repair and Restoration of Historic Buildings category” (RRHB specialist contractor), the appointed contractor must engage a RRHB specialist contractor from the Approved List as

its specialist sub-contractor for carrying out the repair and restoration works of the “Architectural Features to be Preserved” to the historic building. All other specialist sub-contractors for the renovation works should also be engaged from the relevant categories/groups in the Development Bureau’s “List of Approved Suppliers of Materials and Specialist Contractors for Public Works” (http://www.devb.gov.hk/en/construction_sector_matters/contractors/supplier/index.html for the list).

6.2 Specific Conservation Requirements

6.2.1 Former Lau Fau Shan Police Station is a typical Modern Utilitarian building built in 1960s. It is strategically located up on the hill at the north-west border of Hong Kong, functioning for decades as an outpost and the operation base of the police force to keep a watch on illegal immigration. Having a prominent location and with the two scout towers projecting out the skyline, the police station becomes a landmark of the district which is well-known within the local community.

6.2.2 The exterior of the building gives one example of civil architecture of the period with simple and functional design to suit its use. Therefore, the façades should be generally kept intact. The façade treatment in the adaptive re-use scheme should respect its original architectural design intention and should not overwhelm the simple and functional appearance of the building.

6.2.3 Apart from the outstanding scout towers which facilitate observation works for illegal activities at the border or in town, internally, the building also features with report room, cell room, armoury etc. which showcases the operation of a typical police station constructed at that period. To conclude, the building carries historical, geographical and architectural values which associated to its function of a border police station. Although the building carries little decoration details and more flexible conservation requirements could be imposed on the interior of the buildings, the setting of the site, the building configuration with special features and rooms which revealing the function of the police station should be preserved and be interpreted to the public.

6.2.4 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix IX**. Their corresponding required and recommended conservation treatments are listed at **Appendix X**

and **XI** respectively.

6.2.5 Every effort should be made to carry out all “required treatments” set out under **Appendix X** of the Conservation Guidelines. If compliance with the “required treatments” cannot be achieved, justifications should be given to the AMO for their consideration. **Appendix XI** of the Conservation Guidelines set out the “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The site falls within the “Government, Institution or Community” (“G/IC”) zone on the approved Lau Fau Shan & Tsim Bei Tsui (OZP) No. S/YL-LFS/7. The full set of OZP including the Plan, Amendments, Notes, Schedule of Uses and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extracts of the OZP and the Notes for the “G/IC” zone are shown at **Appendix XII**.

The planning intention of the “G/IC” zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

In addition, the selected applicant is required to pay attention that the access road and adjacent areas outside the site falls within the “Coastal Protection Area” (“CPA”) zone of the outline zoning plan.

The zoning is intended to conserve, protect and retain the natural coastlines and the sensitive costal natural environment, including attractive geotechnical features, physical landform or area of high landscape, scenic or ecological value, with a minimum of built development. It may also cover area which serves as natural protection area sheltering nearby development against the effects of coastal erosion.

Applicant’s attention is also drawn to the Notes for “G/IC” zone which set out the uses that are always permitted (Column 1 uses), and those uses requiring permission from TPB (Column 2 uses). The application for Column 2 uses should be made to the TPB under section 16 of Town Planning Ordinance. If the use proposed by an applicant is not under Column 1 or Column 2, an application for amendment of the zoning on the OZP under Section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from the Tuen Mun and Yuen Long West District Planning Office of the Planning Department at 14th floor, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, Hong Kong (Tel: 2158 6301).

All applications for permission under Section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified in writing of the TPB's decision after confirmation of the minutes of the meeting at which the decision is made .

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site rests on Government land and is currently vacant. The Site Boundary Plan is shown at **Appendix II(A)**.

8.2 Tree Issues

Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Service Department (LCSD) is not present within the site.

Trees surveyed within the site and are tagged with Tree Number T1 – T26 and trees surveyed outside the site (along both side the leading road and the site boundary surround) are tagged with Tree Number T27 – T74. A tree identification plan, tree photos and tree identification schedule, depicting the conditions and value of trees, are shown at **Appendix XIII (B)**.

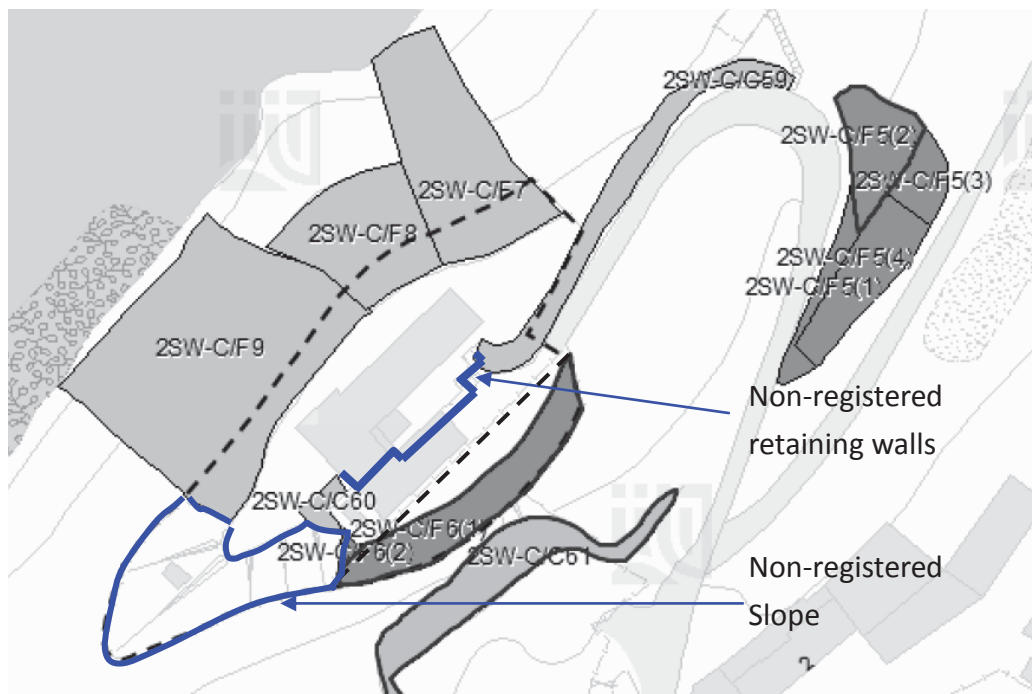
In general, no tree growing on the site or adjacent thereto shall be interfered without the prior written consent of the District Lands Officer and the AMO or the appropriate authorities/departments, including but not limited to Town Planning Board, Development Bureau, Lands Department, Buildings Department, Highways Department, Transport Department etc., who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as appropriate.

The selected applicant shall be responsible for the horticultural maintenance of vegetation and maintenance of trees within the site.

IX. Slope Maintenance

In accordance with the Slope Maintenance Responsibility Information System (SMRIS) of the Lands Department, the slope features within or in the vicinity of the site are as listed and shown in **Appendix XVI**.

There are a slope and some retaining walls which are not included in SMRIS within the site boundary (These slope and retaining walls are indicated on the map below and hereafter called as “non-registered slope” and “non-registered retaining walls” respectively).



The selected applicant should be responsible at their own cost for any necessary upgrading, repair and maintenance of these non-registered slope and retaining walls within the site.

The selected applicant shall carry out geotechnical assessment of the adequacy of the site for their proposed use.

If there is any slope affected by the revitalization works, the selected applicant should conduct geotechnical assessment and carry out upgrading works for the affected slope(s) as required by the Building Authority and other government

departments. The selected applicant shall be responsible at their own cost for the repair and maintenance of the slope affected by the revitalization works.

Any slope upgrading works should not alter the existing external appearance of the Former Lau Fau Shan Police Station or cause adverse impact on the stability of any slopes and structures within or in the vicinity of the site.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly Be Considered

Possible adaptive re-use of the Former Lau Fau Shan Police Station includes:-

- (a) Eating Place (Canteen and Cooked Food Centre);
- (b) Education Institution;
- (c) Exhibition or Convention Hall;
- (d) Field Study/Education/Visitor Centre.

Other possible uses (Column 2 in OZP):

- (e) Hotel;
- (f) Eating Place.

Applicants can come up with suggestions on possible uses that they consider the most suitable for the site. Applicant should make reference to the “Definition of Terms” under the Town Planning Board’s web site to ascertain if a particular use is permitted. Applicants are required to ascertain the technical feasibility, including the structural adequacy and conservation requirements, of their proposed uses.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

Requirements	Remarks
Means of Escape	The main building is served by single staircase connecting lower ground floor (LG/F) to the First Floor (1/F). Installation of new staircase(s) should be required. The staircase(s) should be provided in accordance with the Code of Practice for Fire Safety in Buildings 2011. Some modification to the existing arrangement may be required to suit the new use and layout.

Requirements	Remarks
Fire Resisting Construction	Further investigation will be required to demonstrate adequacy of fire resisting construction of the existing building elements. Some upgrading works may be required to suit the new use and layout in accordance with the Code of Practice for Fire Safety in Buildings 2011.
Means of Access for Firefighting and Rescue	Buildings within site shall be provided with means of access thereto from a street and emergency vehicular access in accordance with Building (Planning) Regulations. Where the emergency vehicular access provided cannot comply with the prevailing requirements, an application for exemption from Building (Planning) Regulations may be favourably considered by Buildings Department and Fire Services Department subject to the provision of fire safety assessment report and enhanced fire safety measures. The selected applicant is required to liaise with relevant government departments for exemption at detailed design stage.
Barrier Free Access and Facilities	Various provisions for barrier free access, such as ramps, passenger lift, lifting platform, accessible toilets, accessible car parking space, etc. may be required in accordance with Design Manual: Barrier Free Access 2008. Handrails may need to be provided on both sides of the preserved staircases according to Design Manual.
Protection against Falling from Height	Protective barrier such as balustrade or parapet at the edge of existing roofs, balconies and similar areas shall be provided in accordance with Building (Construction) Regulations unless the roof is restricted for maintenance purpose only.
Structural Adequacy	Comprehensive structural appraisal for the building is required to verify and ensure the structural adequacy of all building structural elements. Strengthening works may be required depending on the findings of the structural appraisal and the proposed use.
Geotechnical assessment of the site	The selected applicant shall carry out geotechnical assessment of the adequacy of the site for their proposed use.

Requirements	Remarks
Fire Services Installation Requirements	The fire service installations should follow the “Code of Practice for Minimum Fire Service Installations and Equipment” and “Code of Practice for Inspection, Testing and Maintenance of Installations and Equipment” which include, inter alia, a hose reel system, an automatic sprinkler system, fire alarms, a fire detection system, emergency generator and emergency lighting, etc. Fire engineering study with additional compensatory fire safety improvement works may be adopted as an alternative approach to comply with current fire safety requirements.
Natural Lighting and Ventilation	The natural lighting and ventilation for office, kitchen, rooms for habitation and rooms containing soil and waste fitments should be provided in accordance with Building (Planning) Regulations. Alternative approach may be adopted in accordance with PNAP ADM-2 and PNAP APP-130.
Provision of Sanitary Fitments	The selected applicant shall require to provide sufficient sanitary facilities to comply with Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations.
Drainage Provision	Proper drainage provision should be provided for separate disposal of foul water and surface water in accordance with Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations. Subject to the use of the buildings, additional drainage facilities may be required. If restaurant is provided in Former Lau Fau Shan Police Station, grease tank shall be required according to Food and Environmental Hygiene Department.
Development Potential	The permitted site coverage and plot ratio for a building to be erected on a site is determined according to the class of the site, which in turn depends on the number of specified streets not less than 4.5m wide that the site abuts. As the site does not abut on any specified street, hence the building height, maximum site coverage and plot ratio permitted for any proposed new building or extension shall be determined under the Building (Planning) Regulation 19(3) upon formal building plan submission.

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals. They may make reference to guidelines stated in PNAP APP-69 and Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2016 Edition).

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants is listed below:

(a) Heritage Conservation

Applicant shall follow the Conservation Guidelines listed in Section VI of the Resource Kit when resolving technical issues.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as field study, education, visitor centre and exhibition hall are under Column 1 of the Notes to the OZP in which uses are always permitted. The use of Eating Place (except Canteen and Cooked Food Centre which are Column 1 uses) and Hotel are under Column 2, in which case approval from the TPB is required.

(c) Emergency Vehicular Access

The provision of EVA should fully comply with the requirements stipulated in Part D of Code of Practice for Fire Safety in Buildings 2011. If there are genuine site constraints in the provision of a proper EVA, fire safety assessment report and enhanced fire safety measures such as fast response

type sprinkler heads and direct line connected to Fire Services Communication Centre may be required subject to future liaison with Fire Service Department.

(d) Fire Service Requirement

The provision of fire service installations should fully comply with the requirements stipulated in Code of Practice for Minimum Fire Services Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment April 2012 or its most updated revisions and the Fire Service Department’s approval based on the site condition and all modification to the standard requirements. These standard requirements include but are not limited to:-

Possible Use(s)(2)	Eating Place/ Library/ Education Institution / Field Study/ Education/ Visitor Centre/ Hotel	Exhibition or Convention Hall
Automatic Sprinkler System	Required	Required
Sprinkler Hazard Class	OH-1	OH-4
Sprinkler Tank Capacity (m3)		
Full Holding	55	160
If direct FS link provided	37	107
If double end feed supply available	25	100
FS Inlet	Required	Required
Fire Hydrant	Required	Required
Hose Reel	Required	Required
Fire Service Tank Capacity (m3)	18	18
FS & Sprinkler Pump Room	Required	Required
Sprinkler Inlet	Required	Required
Sprinkler Control Valve	Required	Required
FS Control Centre	Not Required for commercial low rise	Not Required for commercial low rise
Automatic Fire Alarm (including BFA requirement)	Required	Required

Possible Use(s)(2)	Eating Place/ Library/ Education Institution / Field Study/ Education/ Visitor Centre/ Hotel	Exhibition or Convention Hall
Street Fire Hydrant	Not Required An existing street fire hydrant is located just outside sit entrance	Not Required An existing street fire hydrant is located just outside sit entrance

(e) Licensing

- (i) If the Former Lau Fau Shan Police Station is to be used as an Eating Place, the selected applicant shall make an application to Food and Environmental Hygiene Department (FEHD) if he intends to carry out any food business which involves, generally, the sale of meals or unbottled non-alcoholic drinks other than Chinese herb tea for consumption on the Site. Relevant information on application procedures and forms can be downloaded from the website of FEHD (<http://www.fehd.gov.hk/english/licensing/index.html>).
- (ii) If the Former Lau Fau Shan Police Station is to be used as an Education purpose, the selected applicant is required to check whether the proposed mode of operation falls within the definition of a ‘school’ under the Education Ordinance (Cap. 279). If affirmative, the selected applicant shall make an application for registration of a school to the Permanent Secretary for Education under the Education Bureau (EDB). Relevant information on registration procedures and forms can be downloaded from the website of EDB (<http://www.edb.gov.hk>).
- (iii) If the Former Lau Fau Shan Police Station is to be used as an Exhibition, the selected applicant should obtain a license from Food and Environmental Hygiene Department (FEHD) if he intends to carry out:
- any exhibition of any one or more of the followings, namely pictures, photographs, books, manuscripts or other documents or other things;
 - a sporting exhibition

- a cinematograph or laser projection display

For details on the application of places of public entertainment license for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD (<http://www.fehd.gov.hk/licensing/index.html>).

- (iv) If the building is to be used as a hotel, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a “hotel” or “guesthouse” under the Hotel and Guesthouse Accommodation Ordinance (Cap.349). If affirmative, the successful applicant shall be required to obtain a license from the Office of the Licensing Authority under the Home Affairs Department. Relevant information on application procedures and forms can be downloaded from the website of HAD (http://www.had.gov.hk/en/public_services/licensing/hotels.htm).

(f) Structural Loading Requirement

The required imposed loading capacities for the possible uses are listed in the table below. For required imposed loading capacities of other specific uses of possible adaptive re-use not mentioned in this table, reference should be made to the Building (Construction) Regulations (B(C)R).

Possible Adaptive re-use	Required Imposed Loading Capacities (kPa)	(B(C) R) Class No.	Usage stated (B(C) R)
Eating Place	4.0	3	- Restaurants, canteens and fast food shops
Education Institution;	3.0	3	- Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage

Possible Adaptive re-use	Required Imposed Loading Capacities (kPa)	(B(C) R) Class No.	Usage stated (B(C) R)
Exhibition or Convention Hall;	5.0	3	<ul style="list-style-type: none"> - Art galleries and museums; - Grandstands; - Public halls;
Field Study/Education/ Visitor Centre.	3.0	3	<ul style="list-style-type: none"> - Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage.
Hotel	2.0	1	<ul style="list-style-type: none"> - Private sitting rooms, bedrooms and toilet rooms in hotels, motels and guesthouses

10.4 Recurrent Expenditure

To facilitate the applicants in forecasting their operating expenses, the estimates of respective expenditures on some common recurrent items including electricity fee, water and sewage charge, and rates and rent regarding the historic buildings are at **Appendix XIV** for reference. Please note that the estimated expenditures have been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

XI. Special Requirements of the Project

Applicants are required to take these special requirements into account in formulating their proposals and explain in their applications how these special requirements have been incorporated in their proposals.

11.1 Building Services and Utilities

Since the existing provision of utilities and services to the site such as gas supply, public drainage for rainwater and sewage are not available, opening up of the access road leading to the site for design and investigation of provision or re-provision of essential building services by utility companies and authorities may be required. Applicant is encouraged to coordinate with adjacent operators on the design of building services and underground utilities routing when preparing their revitalisation proposal. However, the access road is within the coastal protection area, Applicant shall draw attention to this issue.

11.2 Environmental Protection Area (Coastal Protection Area)

The Site of Former Lau Fau Shan Police Station is completely surrounded by coastal protection area close to Mai Po Ramsar Site (refer to **Appendix XVIV**). Mai Po Ramsar Site is a conservation site under the intergovernmental treaty signed on 2 February 1971 in the Iranian city of Ramsar. The treaty entered into force in 1975. The treaty is regarding a convention provides the framework for national action and international cooperation for the conservation and wise use of wetlands and its resources.

Prior to commencement of any construction works in the protection area such as installation of new utility services connection to Former Lau Fau Shan Police Station, the applicant shall submit a project profile that complies with the technical memorandum and an environmental impact assessment to Environmental Protection Department for approval. The environmental impact assessment shall be included but not limited to below:-

- (a) the Convention on International Trade in Endangered Species of Wild Fauna and Flora that aims to protect endangered species from over-exploitation by regulating international trade;
- (b) the Convention on Wetlands of International Importance, Especially as Waterfowl Habitat (i.e. the Ramsar Convention) that provides for the conservation and wise use of wetlands. We have listed the Mai Po and Inner Deep Bay as a Ramar Site under the Convention since 1995; and
- (c) the Convention on the Conservation of Migratory Species of Wild Animals that provides for the protection of migratory species by conserving and restoring their habitats.

No works shall be commenced upon receiving the environmental permit from Director of Environmental Protection Department.

Applicant's attention is also drawn to the site are surrounded by an area zoned "Coastal Protection Area" under the Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/7 (Refer to **Appendix XII**). The Notes for which set out the uses that are always permitted (Column 1 uses), and those uses requiring permission from Town Planning Board (TPB) (Column 2 uses). The application for Column 2 uses should be made to the TPB under section 16 of Town Planning Ordinance. Installation of Public Utility or Utility for Private Project is in Column 2, therefore, the application for installation of public utility should be made to the TPB under section 16 of Town Planning Ordinance.

The planning intention of Coastal Protection Area is to conserve and protect the features of special scientific interest such as rare or particular species of fauna and flora and their habitats, corals, woodlands, marshes or areas of geological, ecological or botanical/biological interest which are designated as Site of Special Scientific Interest (SSSI). It intends to deter human activities or developments within the SSSI.

There is a general presumption against development in this zone. No developments are permitted unless they are needed to support the conservation of the features of special scientific interest in the SSSI, to maintain and protect the existing character of the SSSI, or for educational and research purposes.

11.3 Suitable Entry and Exit Access

For the improvement of entry and exit access of the Former Lau Fau Shan Police Station the selected applicant shall provide suitable proposals fulfilling relevant barrier free access and fire safety requirements.

11.4 Traffic and Parking

The Town Planning Board and the general public may concern about the possible traffic impacts brought about by the project on the road network in the vicinity of the Site. The selected applicant should ensure that their revitalisation proposals will not unduly affect the existing traffic conditions of the road network in the vicinity and should proactively adopt appropriate control and management measures to minimise any adverse traffic impact, including both vehicular and pedestrian traffic, during the construction and operation of the project.

The selected applicant should be bound by the maximum limit of the volume of traffic generated by/attracted to the project as stated in the preliminary traffic assessment above, and will be required to conduct a comprehensive traffic impact assessment and implement corresponding traffic management measures to the satisfaction of the Transport Department, after the application has been selected by the Government.

Applicants should maximise the use of the site for car parking and loading/unloading purpose where applicable. The provision of car parking space should comply with the requirements stipulated in Table 11 of Chapter 8 of Hong Kong Planning and Standard Guideline (HKPSG) or the most updated revisions of the HKPSG and Design Manual: Barrier Free Access 2008. The following car parking requirements are for reference only and applicants should verify upon detailed design stage:-

Possible Use(s)(1)	Required No. of Car Parking Space (Nos.)	Required No. of Loading/ Unloading Bays (No(s))	Required No. of Accessible Car Parking Spaces (No(s))
Eating Place	19 to 23	1	1

Possible Use(s)(1)	Required No. of Car Parking Space (Nos.)	Required No. of Loading/ Unloading Bays (No(s))	Required No. of Accessible Car Parking Spaces (No(s))
Education Institution	No Standards should apply	1	1
Exhibition or Convention Hall	No Standards should apply	1	1
Field Study/ Education/ Visitor Centre	No Standards should apply	1	1
Hotel	2	1	1

Applicant should be aware of insufficient car parking spaces within and in the vicinity of the Site. If the above requirement cannot comply owing to site constraint, the selected applicant may have to provide vehicle transportation such as mini-bus between closest MTR station or carpark to the site to minimise the need of parking space and traffic volume generated by visitor of the site. The selected applicant shall employ traffic consultant to evaluate the demand of interlink transportation and provide sufficient transportation facilities.

11.5 New Structure(s) within the Site

Applicants may consider providing major plant rooms, such as fire services tank and pump room within the site. The exterior of such plant rooms shall be compatible with and visually unobstructive to the surrounding environment and approved by Antiquities and Monuments Office and Development Bureau. In particular, all new plant rooms shall be accessible for maintenance and their roofs of the exposed plant rooms should be landscaped.

The existing building height of the Former Lau Fau Shan Police Station should be maintained. Structures for accommodating building services facilities at the main roof level of the Former Lau Fau Shan Police Station may be allowed. However, the height of such new structures should be kept to the minimum to avoid causing adverse visual impact on the Former Lau Fau Shan Police Station.

In taking forward the proposals for the provision of lift(s), plant rooms and any other structures as necessary, the selected applicant should be responsible for obtaining all necessary approvals from the relevant authorities and utility undertakings, including but not limited to Town Planning Board, Development Bureau, Lands Department, Buildings Department, Highways Department, Transport Department etc. The proposals should also comply with all relevant Ordinances, including but are not limited to the Buildings Ordinance (Cap. 123), the Town Planning Ordinance (Cap. 131) and the Roads (Works, Use and Compensation) Ordinance (Cap. 370).

11.6 Existing Weather Station of Hong Kong Observatory

The Hong Kong Observatory (HKO) has set up a weather station at the Former Lau Fau Shan Police Station and occupied the spaces for its equipments on the lawn, the roof (R/F and above) and the “auxiliary officer office and night duty room” on 1/F (see **Appendix V**) of the Main Building. HKO will continue to operate these equipments at their present location within the site. Nevertheless, relocation of the HKO’s equipments on 1/F to the Storage Shelter No. 2 is considered acceptable. If some pieces of the equipments of weather station need to be relocated within the site temporarily or permanently, the selected applicant is required to coordinate with HKO in respect of HKO’s design, relocation support (including access and temporary storage, etc), construction and subsequent reinstatement.

The selected applicant is required to ensure that both HKO’s operation and their equipments would not be disturbed and provide safety round the clock access for the HKO personnel to access the weather station during construction and operation stage of this revitalisation scheme.

Applicants are required to obtain a permission from HKO before entering their occupied spaces in any time. After the construction stage, Storage Shelter No. 2, its surrounding area (see **Appendix XIX**) and the roof of Main Building (R/F and above) would become restricted areas for access. No personnel will be permitted to enter such restricted areas without prior approval of HKO and Commissioner for Heritage's Office of Development Bureau.

There is an area restricted for artificial heat sources within the site (see **Appendix XIX**), any devices or facilities which may generate heat artificially (for example: air conditioning units, cooking facilities or air exhausts of machinery and kitchen, etc.) are not permitted to be located within or adjoining to such area.

The selected applicant is responsible for repairing and maintaining the built area and general building services occupied by HKO (except the HKO's equipments and plants in the area hatched in green in **Appendix XIX**), and cooperate with HKO to carry out their regular maintenance, emergency repair, replacement of their equipments or any necessary improvement works for the weather station when it is required.

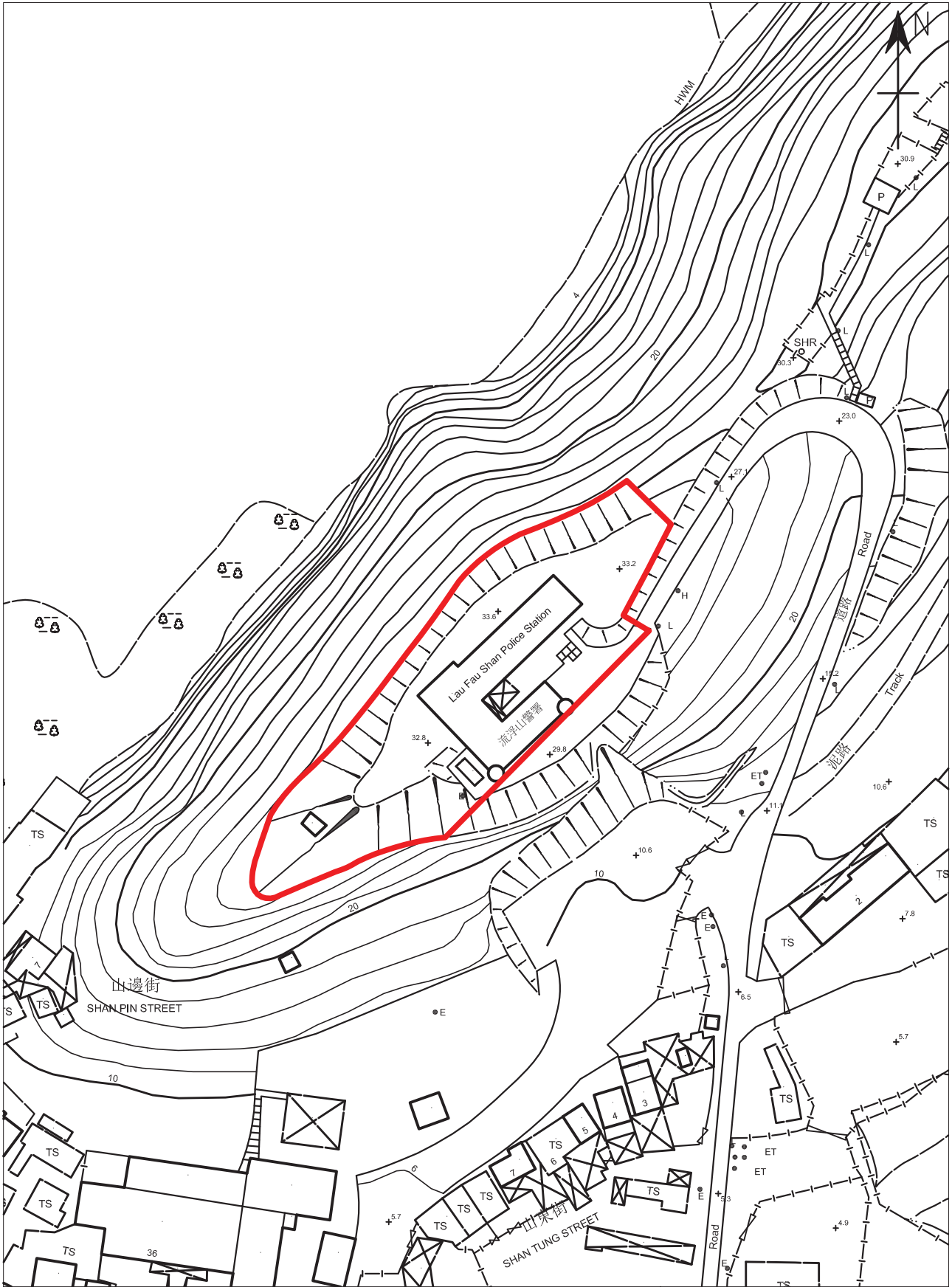
The selected applicant is also required to provide sufficient spaces and access for HKO to maintain its existing separate meters for electricity, other utilities and their associated building services for the weather station or to facilitate HKO's new meter installation in other locations if required.

11.7 Existing Underground Drainage System

The existing waste and soil water from the Main Building is discharged via underground drainage pipes to the adjoining privately owned land, applicants should be aware of the current discharging arrangement that may not be acceptable according to the current statutory requirements. The selected applicant may consider to connect the new drains to existing public sewage system or design and to provide an appropriate sewage treatment system which shall satisfy the requirements of relevant authorities including Architectural Services Department, Buildings Department, Drainage Services Department and Environmental Protection Department.

Appendix I

Location Plan



THE SITE

EXTRACT PLAN
 BASED ON SURVEY
 SHEET No. 02-SW-21B
 02-SW-21D

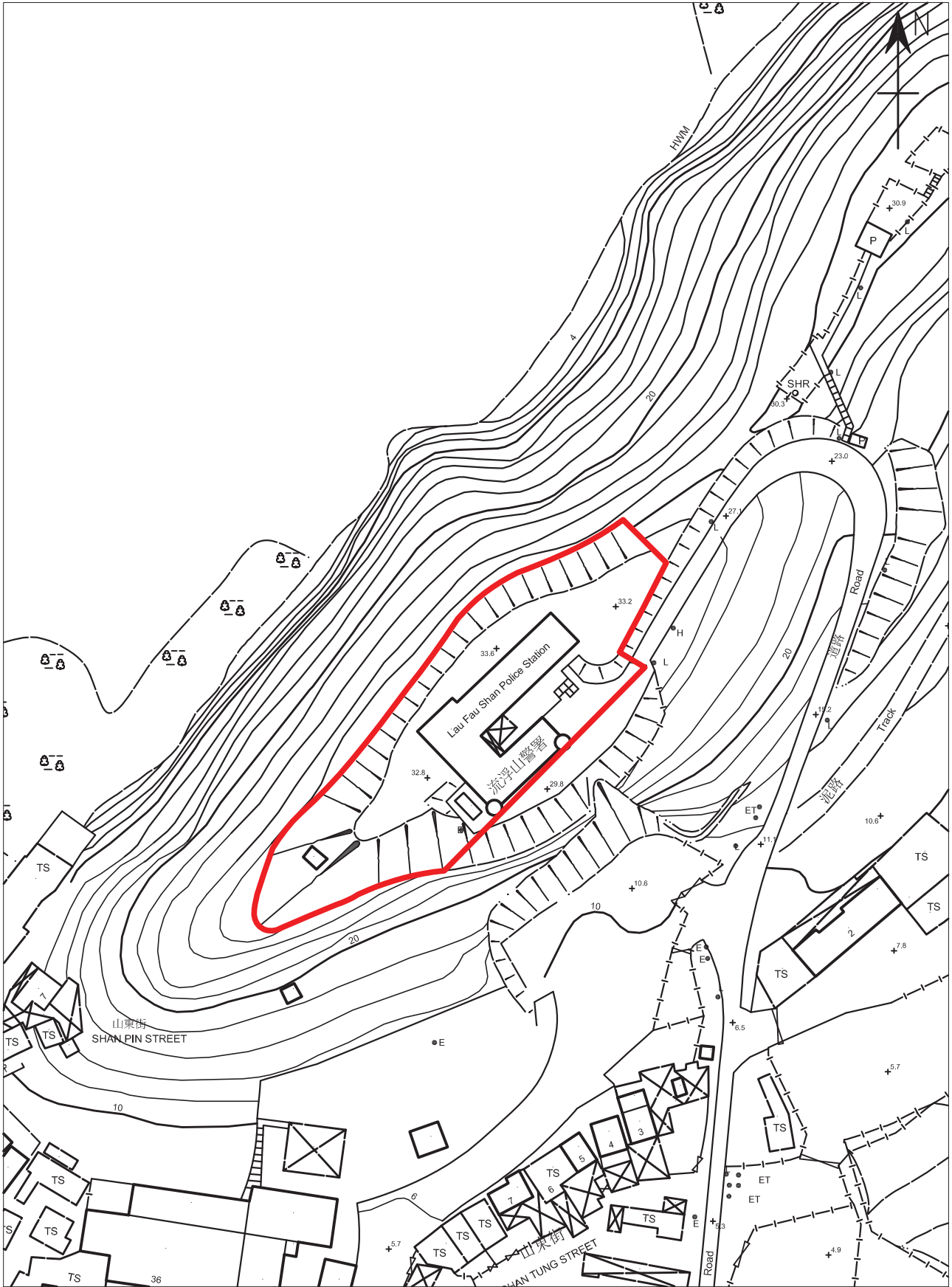
FORMER LAU FAU SHAN
 POLICE STATION
 No.1, Shan Tung Street,
 Yuen Long, N.T.

DRAWING NO.:

APPENDIX I
 LOCATION PLAN
 1:1000

Appendix II(A)

Site Boundary Plan



 SITE BOUNDARY

EXTRACT PLAN
 BASED ON SURVEY
 SHEET No. 02-SW-21B
 02-SW-21D

**FORMER LAU FAU SHAN
 POLICE STATION**
 No.1, Shan Tung Street,
 Yuen Long, N.T.

DRAWING NO.:

APPENDIX II A
 SITE BOUNDARY PLAN
 1:1000

Appendix II (B)

Grading Boundary Plan



THIS DRAWING IS FOR INDICATION AND REFERENCE ONLY

 GRADING BOUNDARY

Extract Plan Based on Map on The Geographical Information System on Hong Kong Heritage

FORMER LAU FAU SHAN POLICE STATION
No. 1, Shan Tung Street,
Yuen Long, N.T.

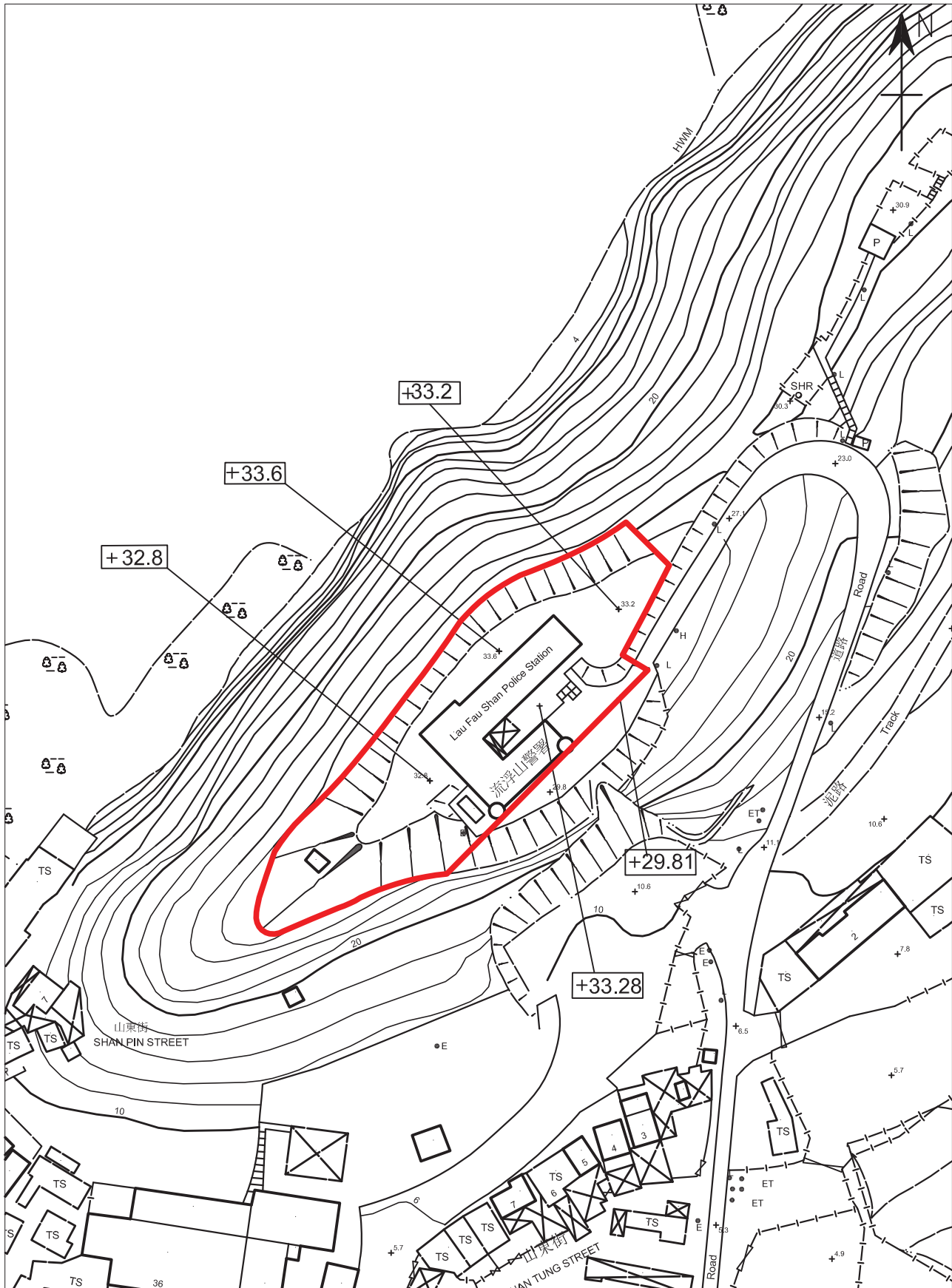
DRAWING NO.:

APPENDIX II(B)
GRADING BOUNDARY PLAN
1:1000



Appendix III

Datum Levels Plan



SITE BOUNDARY

EXTRACT PLAN
 BASED ON SURVEY
 SHEET No. 02-SW-21B
 02-SW-21D

**FORMER LAU FAU SHAN
 POLICE STATION**
 No1, Shan Tung Street,
 Yuen Long, N.T.

DRAWING NO.:

APPENDIX III
 DATUM LEVELS PLAN
 1:1000

Appendix IV

Summary of Site and Buildings Information

Summary of Site information is listed below:

Building Name	Former Lau Fau Shan Police Station
Address	No. 1, Shan Tung Street, Yuen Long, N.T., Hong Kong
Site Area	Approximately 2500 sq. metres
Major Datum Level	From approximately +29.81 mPD to +33.60mPD
Zoning	Government, Institution or Community” ("G/IC")

Summary of the Mansion information is listed below:

Number of Blocks	Three	
Number of Storey	Main Block : Three Storage Shelter : One	
Year of Completion	Main Block : 1962 Storage Shelters : unknown	
Construction Floor Area	927 m ²	
Historic Grading	Grade 3	
Original Use	Police Station	
Current Use	Vacant	
Existing Schedule of Accommodation	N/A	
The Main Building		
Materials	Roof	Reinforced concrete with concrete tile finishes
	Wall	Reinforced concrete
	Floor	Reinforced concrete
	Staircase	Reinforced concrete
	Windows	Aluminium framed windows
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster and ceramic tiles <u>Floor finishes:</u> Ceramic tiles <u>Ceiling finishes:</u> Painted plaster
The Storage Shelter No.1		
Materials	Roof	Corrugate steel panel

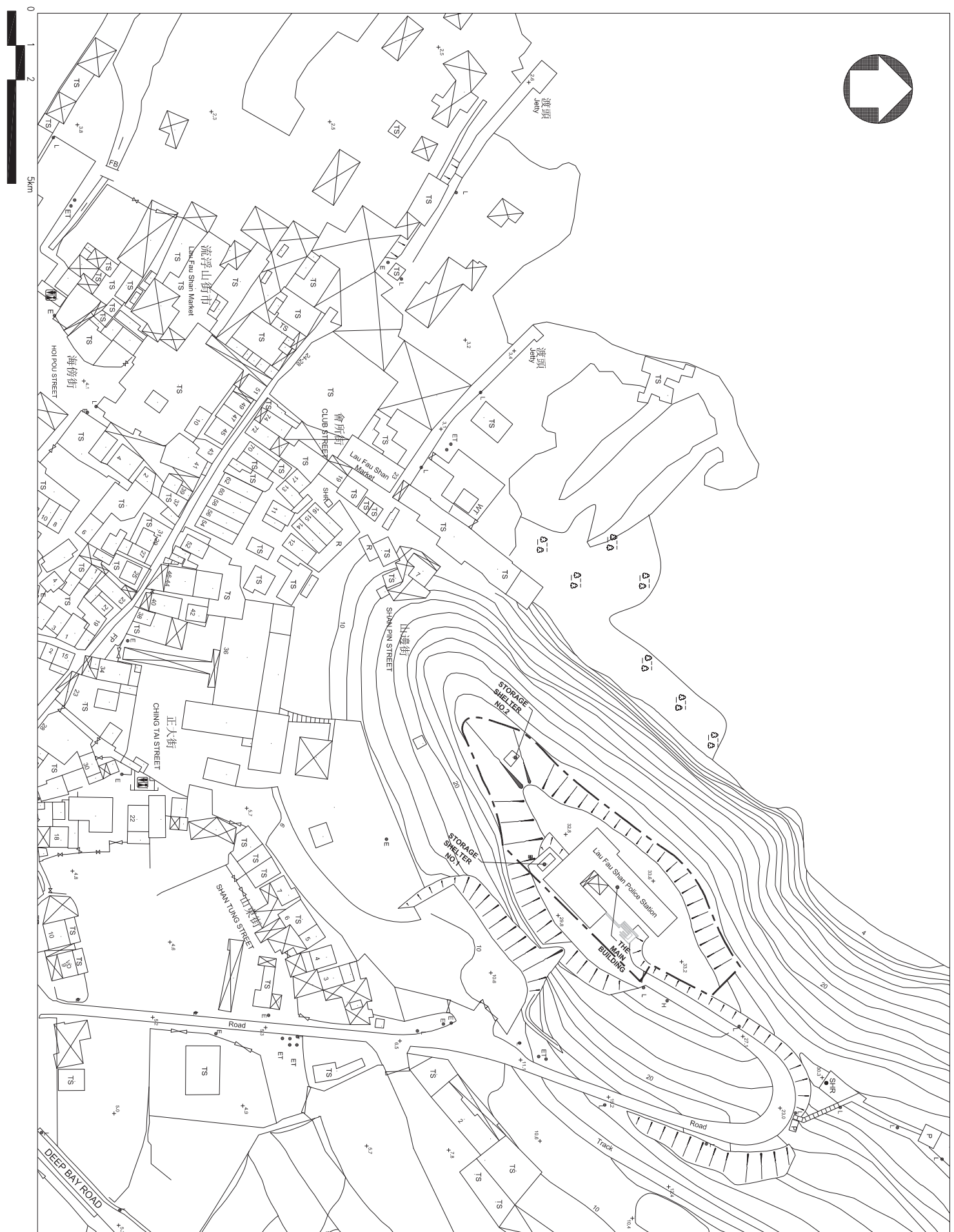
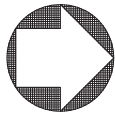
	Wall	Brick
	Floor	Concrete
	Windows	None
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster <u>Floor finishes:</u> Cement sand screeding <u>Ceiling finishes:</u> Painted plaster
The Storage Shelter No.2		
Materials	Roof	Reinforced concrete
	Wall	Reinforced concrete
	Floor	Concrete
	Windows	Iron framed casement windows
Finishes	Exterior	Painted render
	Interior	<u>Wall finishes:</u> Painted plaster <u>Floor finishes:</u> Cement sand screeding <u>Ceiling finishes:</u> Painted plaster


Appendix V

Architectural Drawings

Drawing List

Drawing No.	Drawing Title
A001	Site Plan
A002	Lower Ground Floor Plan
A003	Ground Floor Plan
A004	First Floor Plan
A005	Roof Floor Plan
A006	Elevation S1
A007	Elevation N1
A008	Elevation N2
A009	Elevation E2
A010	Elevation E3
A011	Elevation S2
A012	Elevation E1
A013	Elevation W1
A014	Section A-A
A015	Section B-B
A016	Section C-C
SK01	Circulation Plan (LG/F)
SK02	Circulation Plan (G/F)
SK03	Circulation Plan (1/F)



CONSULTANT:

 ARCHITECTURAL SERVICES DEPARTMENT

PROJECT NAME:
 ERUDENTIAL SURVEYORS (IND) LTD
 TEL. 25078333 FAX. 25985976

FORMER LAU FAU SHAN POLICE STATION, LAU FAU SHAN, YUEN LONG

DRAWING TITLE:
 SITE PLAN

DATE	DRAWN (DESIGNED)	CHECKED	SCALE
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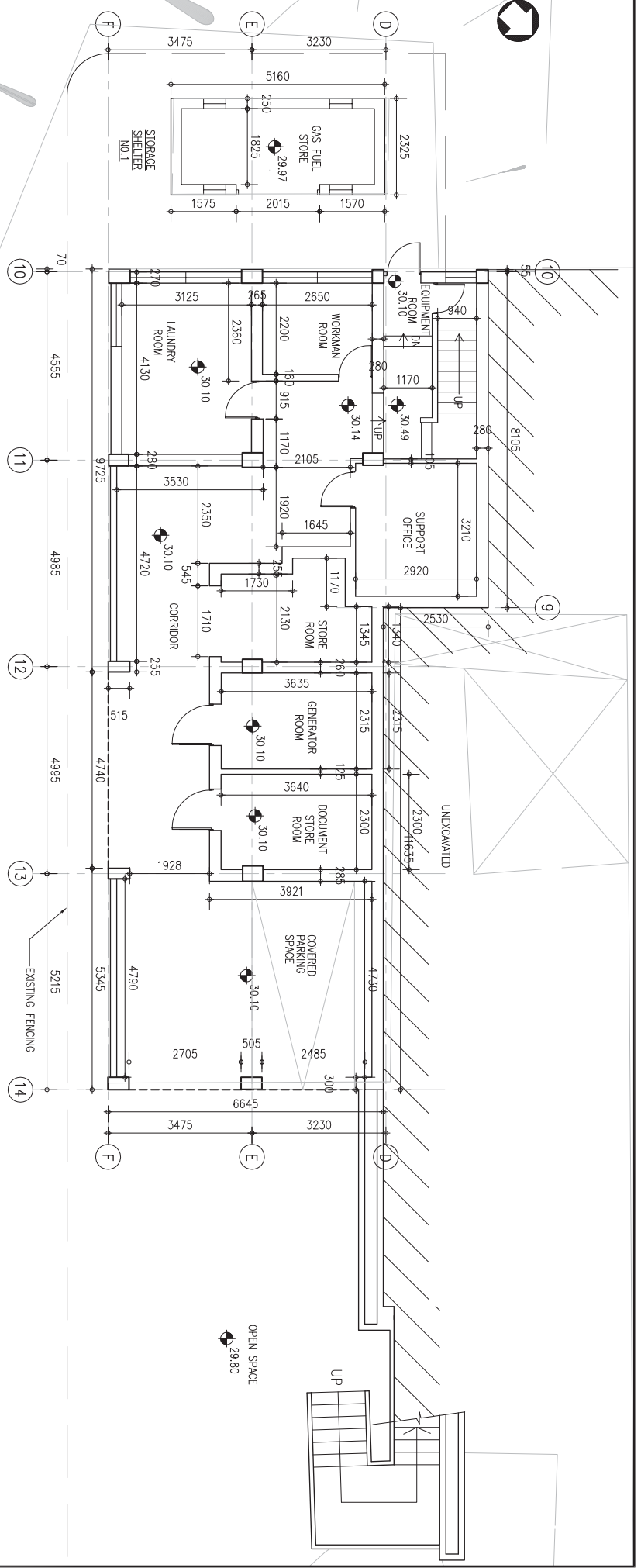
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STATUS: N/A0311 Former Lau Fau Shan Police Station (2016-16)

LEGEND:
 — SITE BOUNDARY



LOWER GROUND FLOOR PLAN



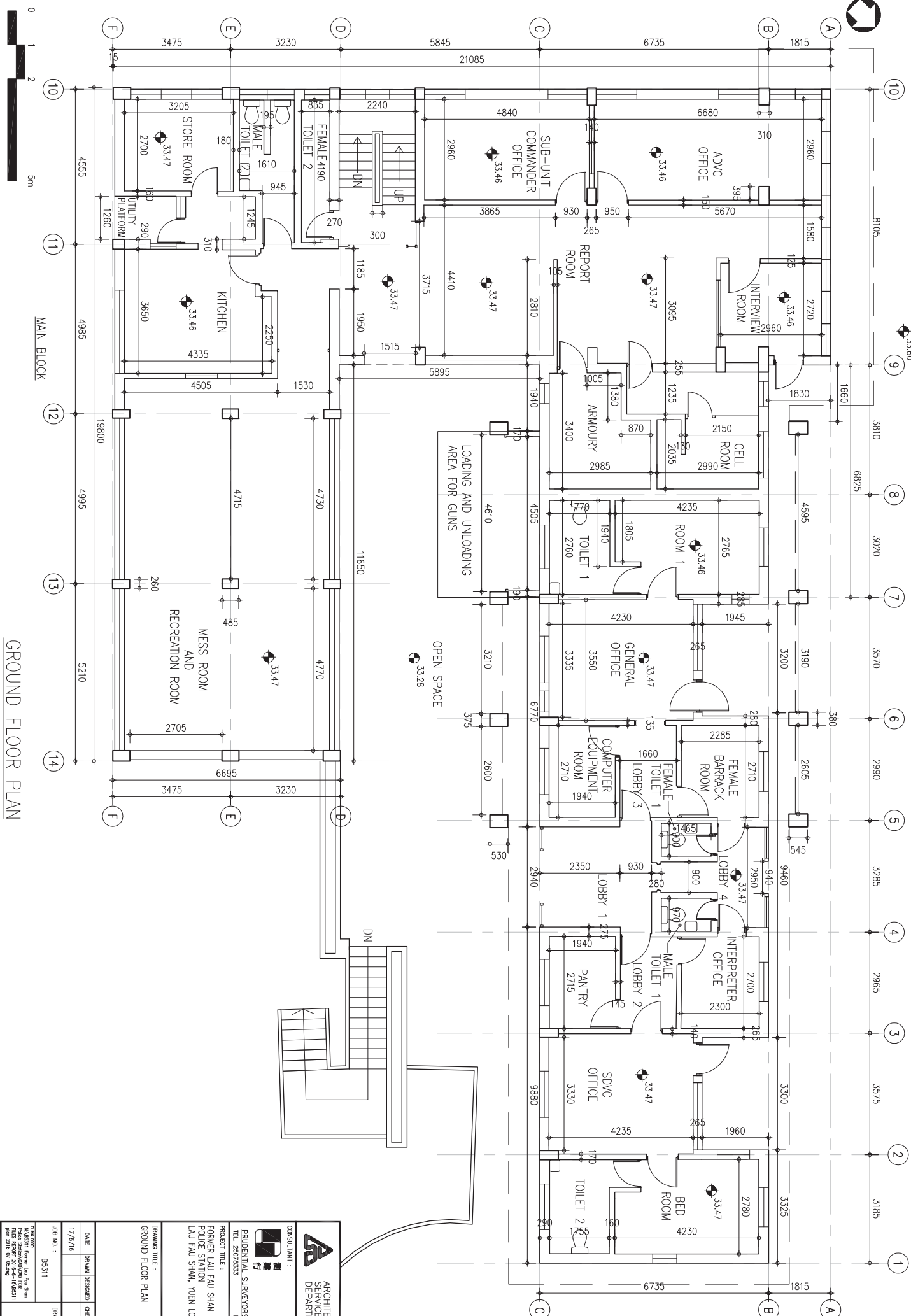
MAIN BLOCK

UNEXCAVATED



COVERED PARKING SPACE

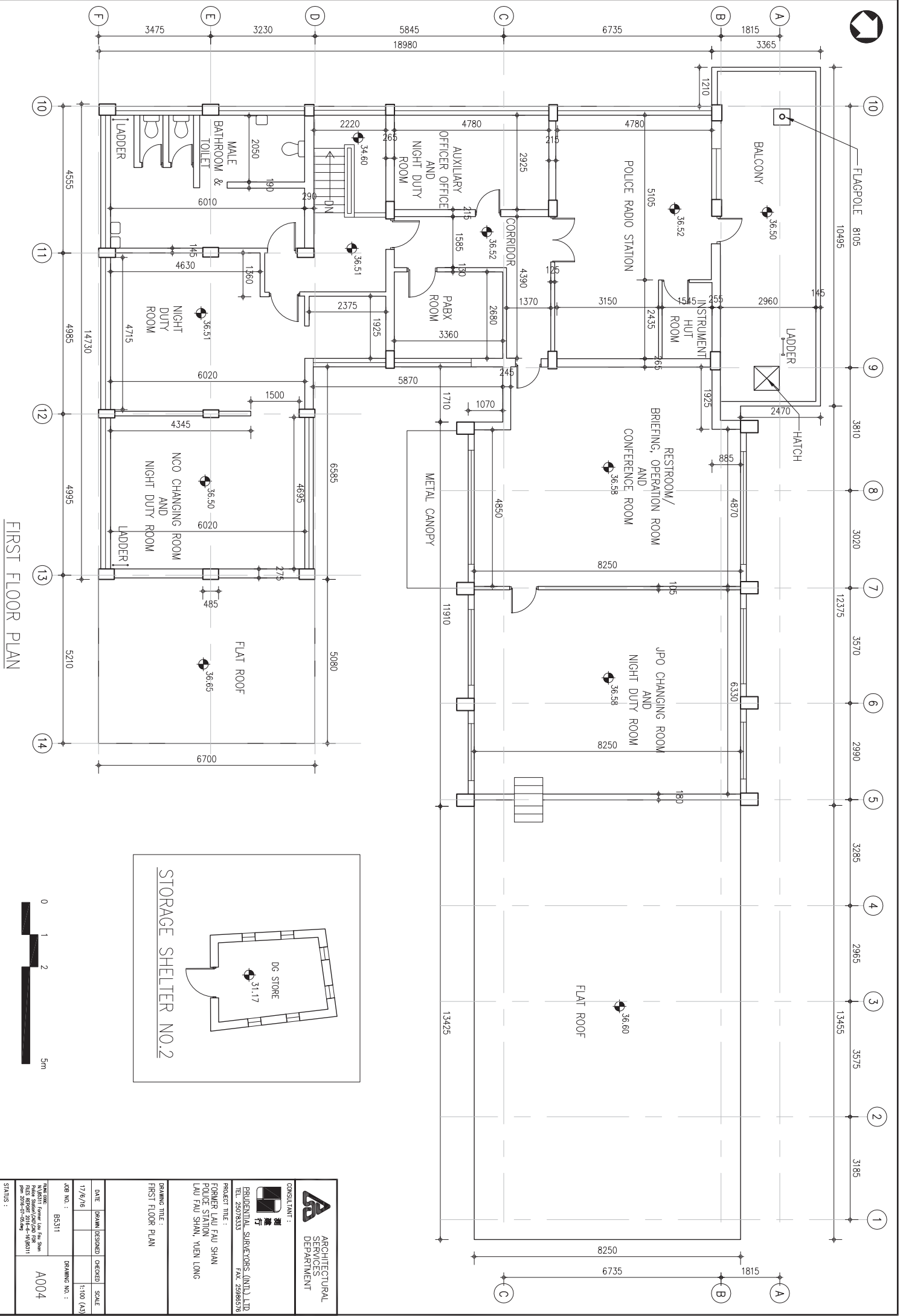
OPEN SPACE

<p>ARCHITECTURAL SERVICES DEPARTMENT</p>		<p>CONSULTANT :</p> <p> 滙豐行</p> <p>PRUDENTIAL SURETYOPS (INTL) LTD TEL: 25787533 FAX: 25965776</p>	
<p>PROJECT TITLE :</p> <p>FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, VIEN LONG</p>		<p>DRAWING TITLE :</p> <p>LOWER GROUND FLOOR PLAN</p>	
<p>DATE</p> <p>17/6/16</p>	<p>DESIGNED</p>	<p>CHECKED</p>	<p>SCALE</p> <p>1:100 (A3)</p>
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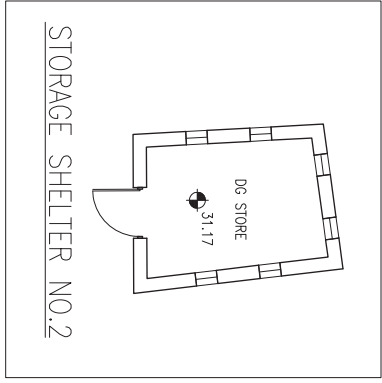




GROUND FLOOR PLAN

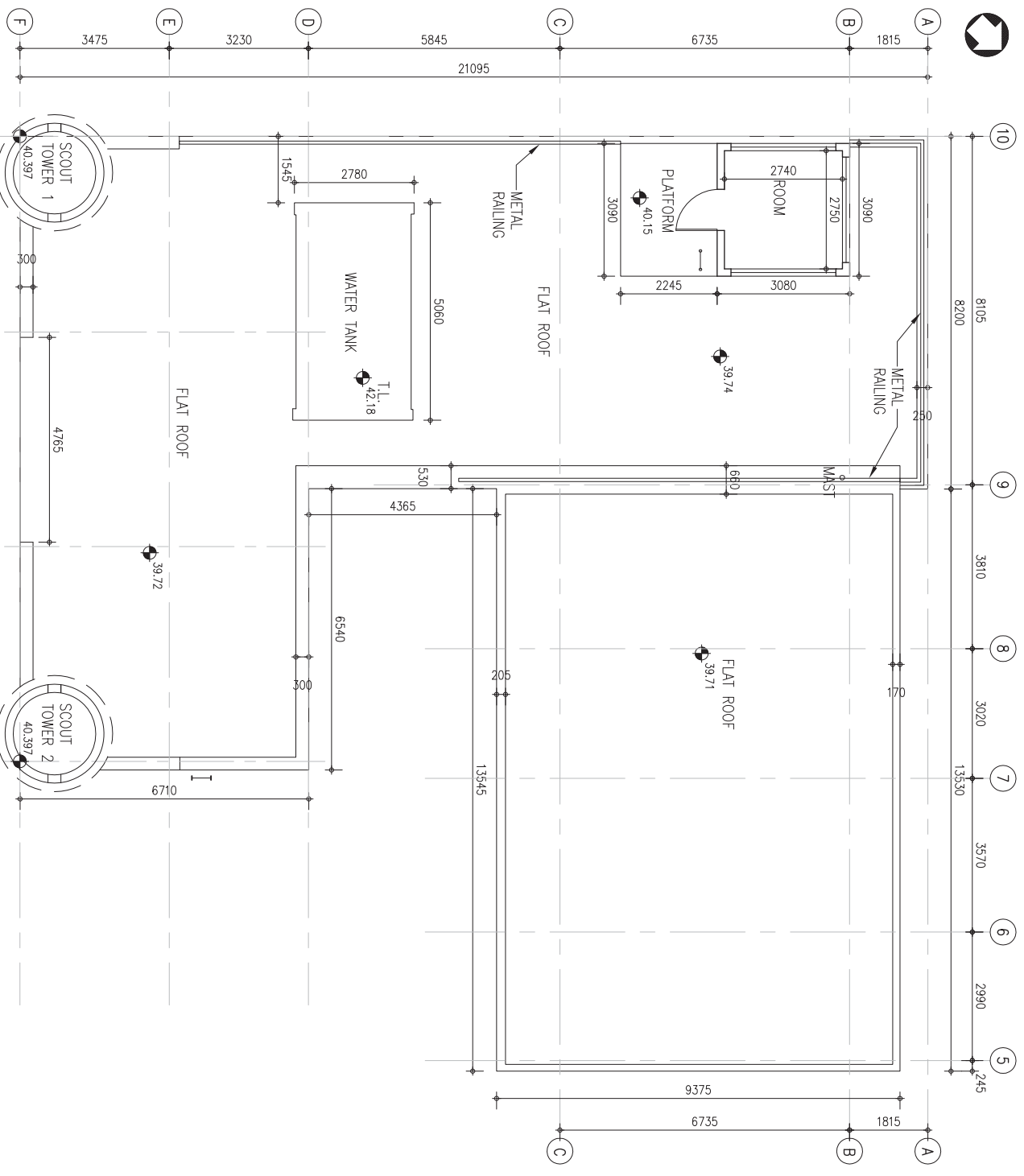
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STATUS :	





FIRST FLOOR PLAN

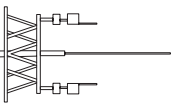


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CONSULTANT :  RURIDENTIAL SURBEXOPS (INT'L) LTD TEL: 25787533 FAX: 25965776	
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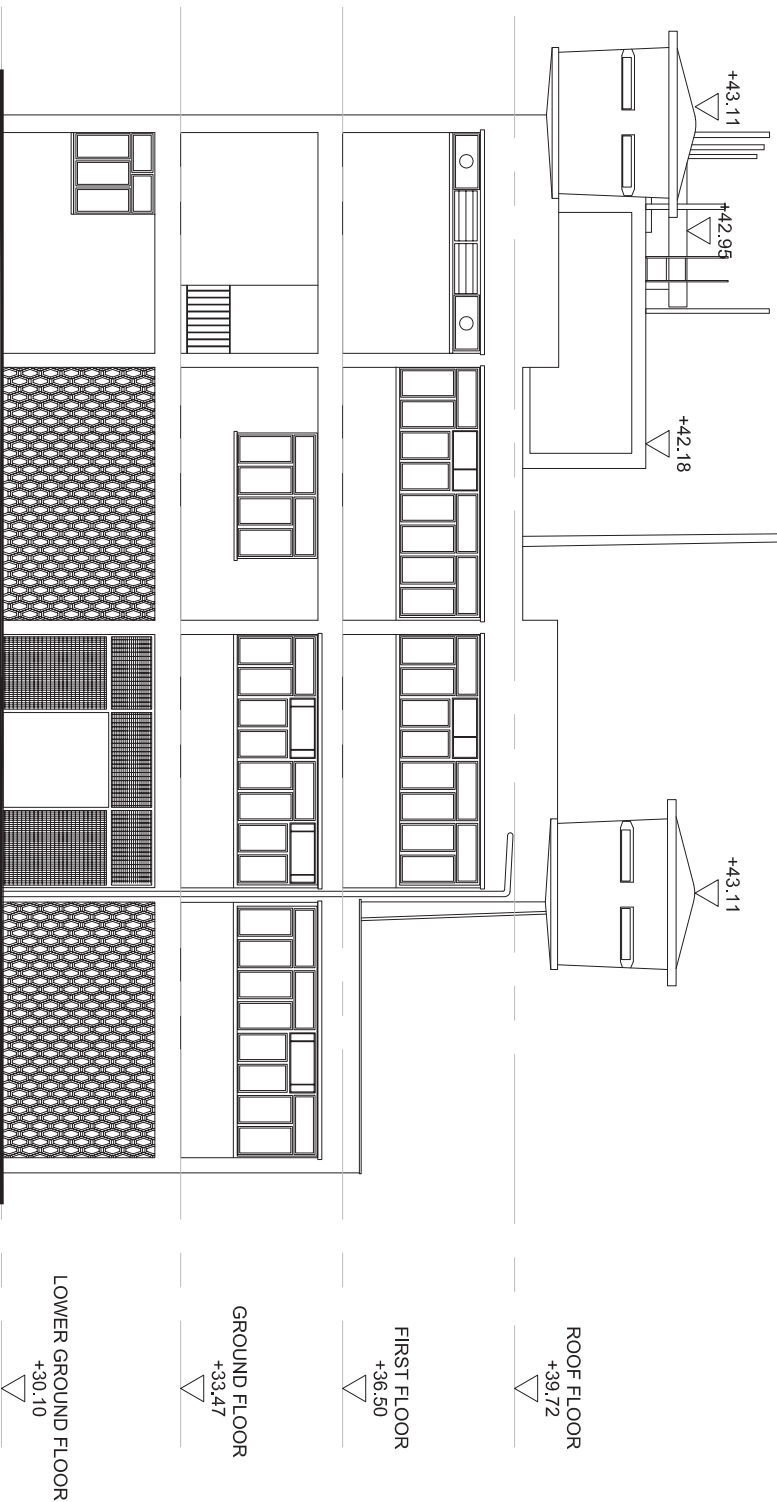


ROOF FLOOR PLAN

 ARCHITECTURAL SERVICES DEPARTMENT		CONSULTANT :  潤達行 RIPUDENTIAL SURVECOOPS (INTL) LTD TEL: 25787533 FAX: 25966576
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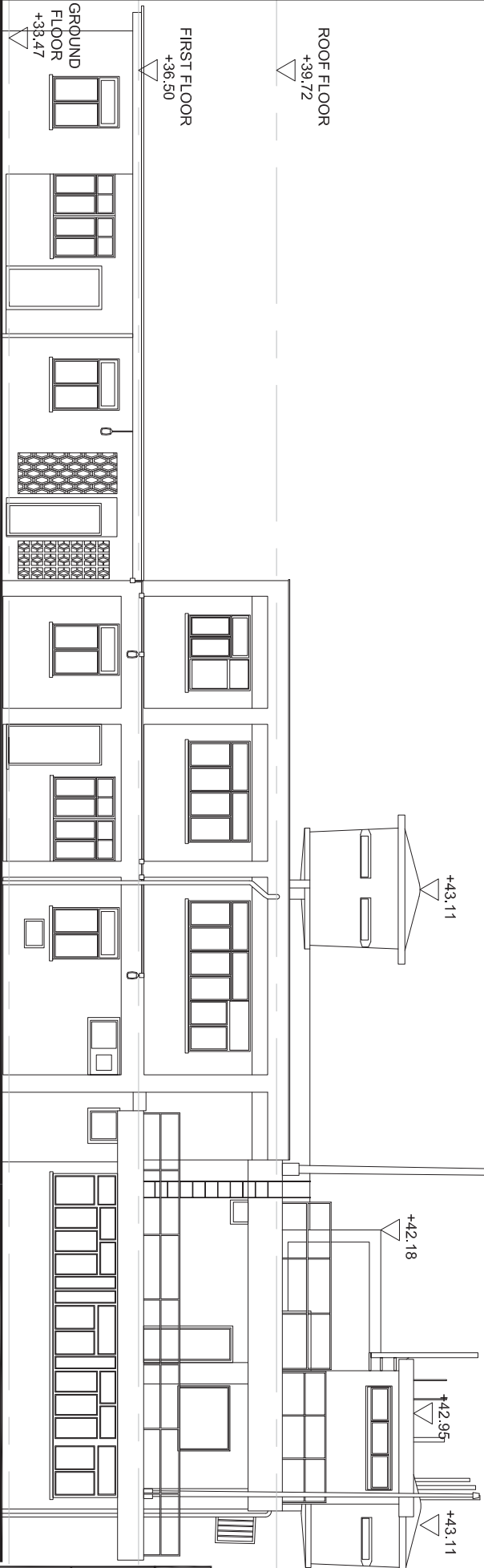
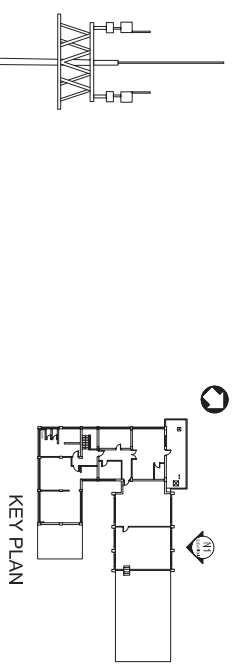
KEY PLAN



ELEVATION S1



 ARCHITECTURAL SERVICES DEPARTMENT		CONSULTANT :  REIDENTIAL SURVEYORS (INTL) LTD TEL. 25975533 FAX. 25985278	
PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, YUEN LONG			
DRAWING TITLE : ELEVATION S1			
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TYPING : Prepared by: Lau Fau Shan Checked by: Lau Fau Shan Drawing Date: 17/6/16 Drawing No.: A006			
STATUS :			



ELEVATION N1



ARCHITECTURAL SERVICES DEPARTMENT

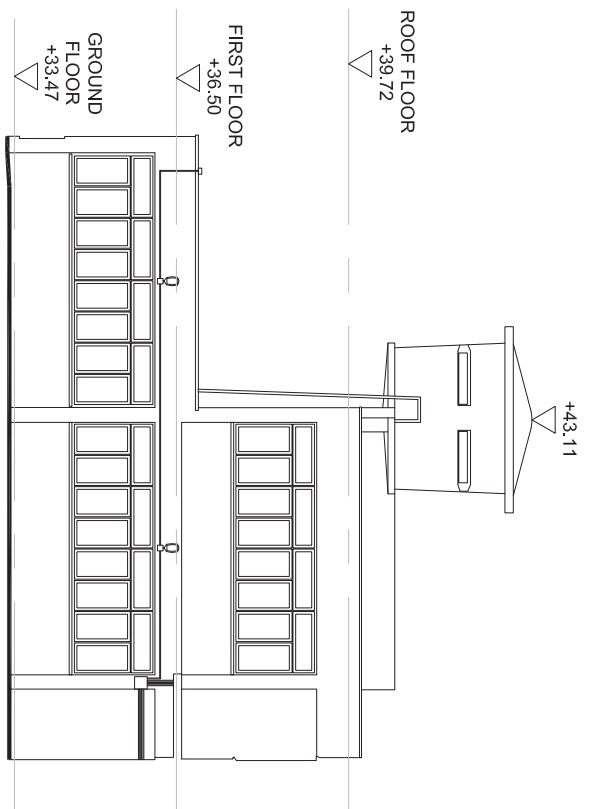
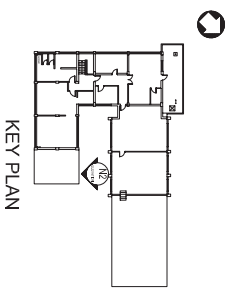
CONSULTANT :
 滙豐銀行
 PRUDENTIAL SUREPICKS (LIMITED)
 TEL: 25728333 FAX: 25985576
 PROJECT TITLE :
 FORMER LAU FAU SHAN
 POLICE STATION
 LAU FAU SHAN, VIEN LONG

DRAWING TITLE :
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JOB NO. : BS311	DRAWING NO. : A007
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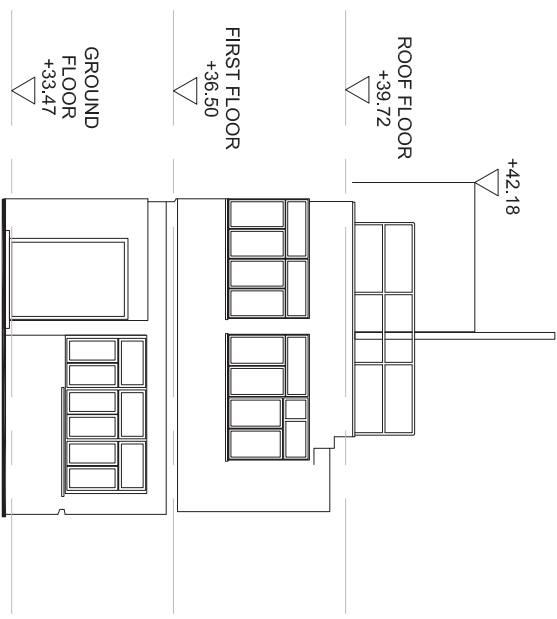
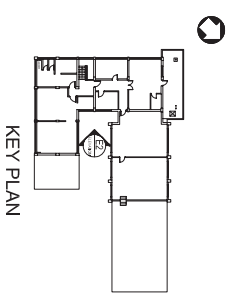
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ELEVATION N2



 ARCHITECTURAL SERVICES DEPARTMENT			
CONSULTANT :  EMINENT SURVEYORS (INT'L) LTD TEL. 23978333 FAX. 23983718			
PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, XUYEN LONG			
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BS311	A008		
NAME CODE : Former Lau Fau Shan Police Station (1:100 (A3)) (1:500 (A2)) (1:500 (A1))			STATUS :



ELEVATION E2



ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT :

 ARCHITECTURAL SERVICES DEPARTMENT
 TEL. 23892333 FAX. 23895718

PROJECT TITLE :
 FORMER LAU FAU SHAN POLICE STATION
 LAU FAU SHAN, XIEN LONG

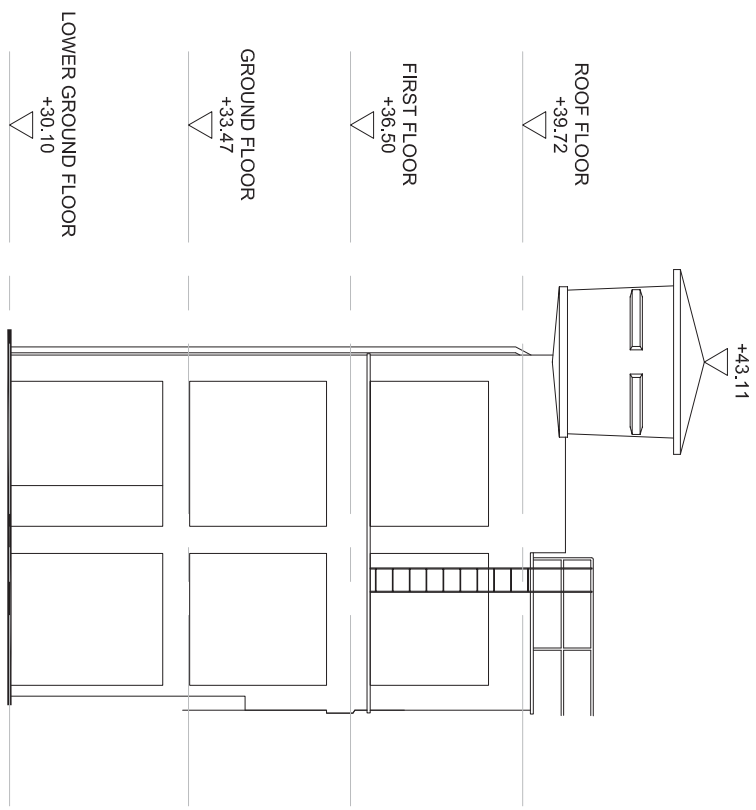
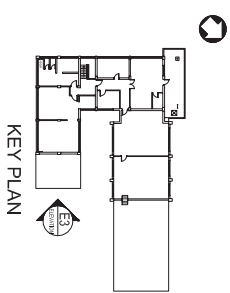
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DATE CODE :
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STATUS :
 A009



ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT :

ARCHITECTURAL SERVICES DEPARTMENT

PROJECT TITLE :
 ERUDENTIAL SURVEYORS (LIMITED), LTD.
 TEL. 25978533 FAX. 25965718

FORMER LAU FAU SHAN POLICE STATION
 LAU FAU SHAN, VIEN LONG

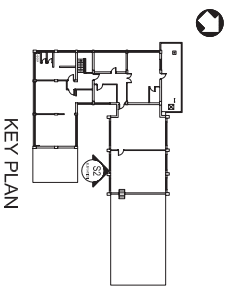
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JOB NO. : 95311

DRAWING NO. : A010

STANDS :



ELEVATION S2



ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT : 測 量 行
 ERUDENTIAL SURVEYORS (INT'L) LTD
 TEL. 25978333 FAX. 25985718

PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION
 LAU FAU SHAN, XUYEN LONG

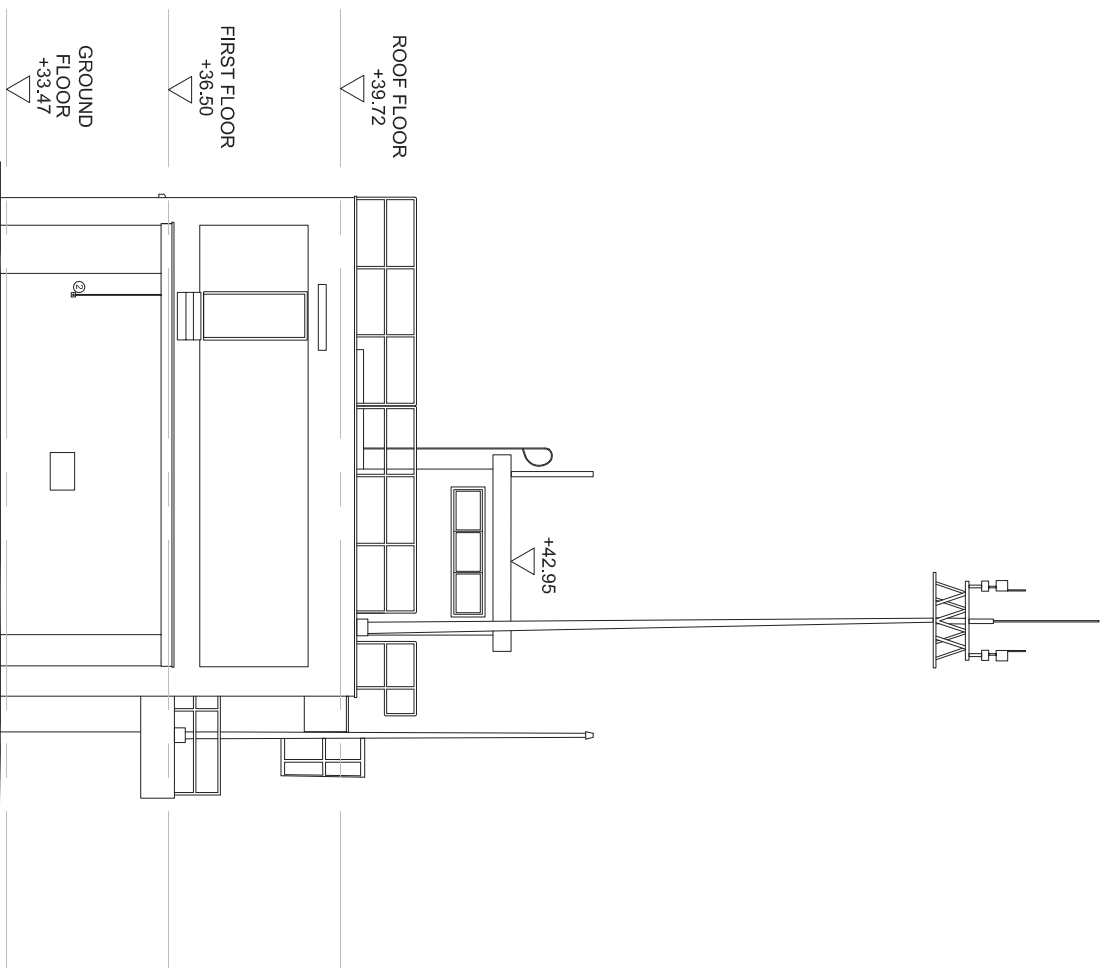
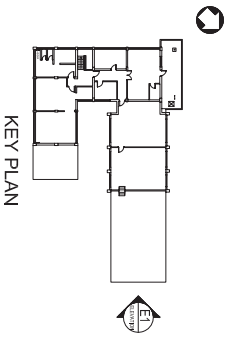
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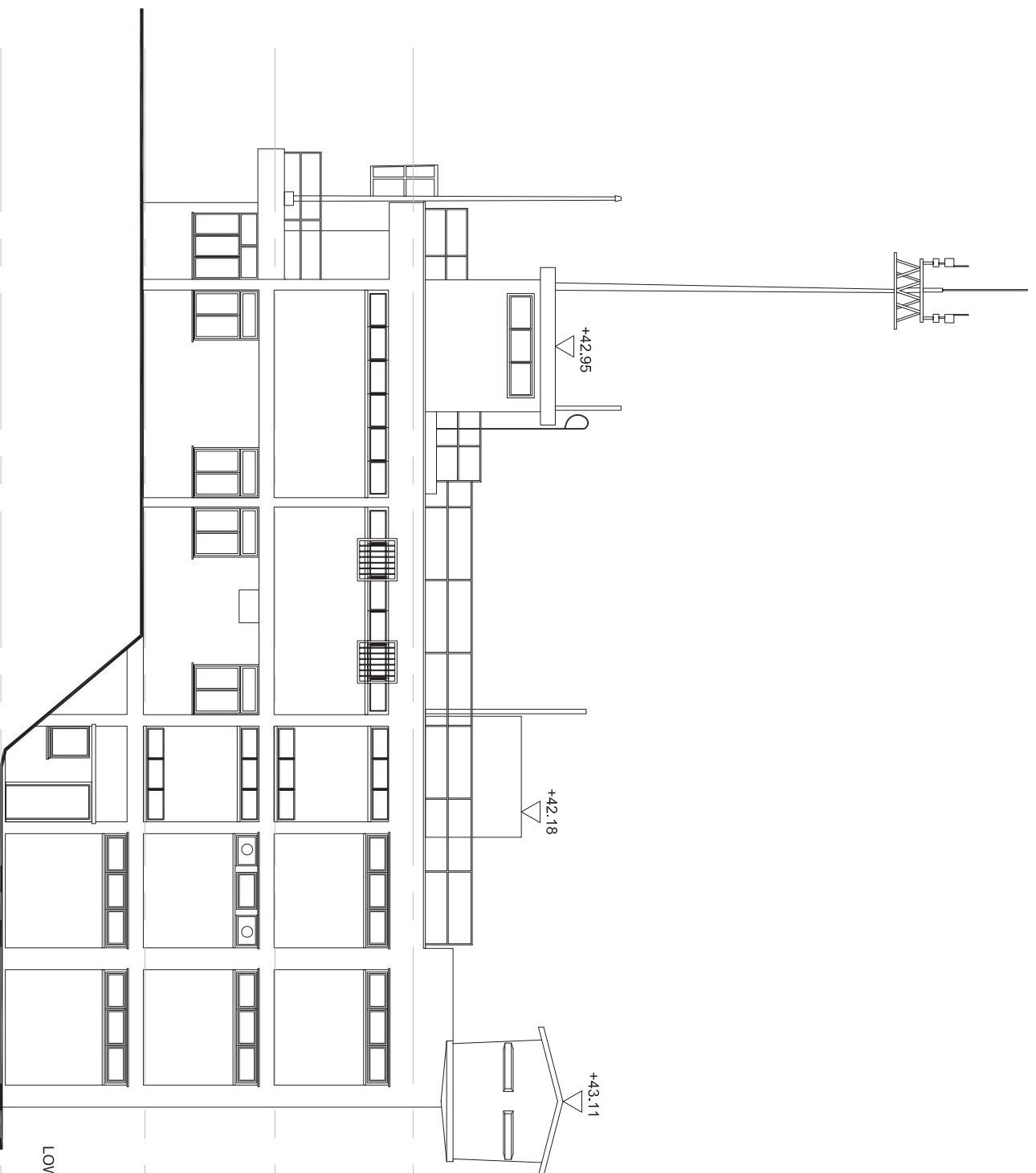
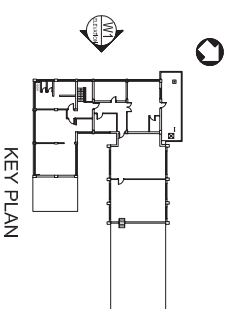
STANDS :



ELEVATION E1




 ARCHITECTURAL SERVICES DEPARTMENT			
CONSULTANT :  PRUDENTIAL SUREPORKS (INTL) LTD TEL. 25725333 FAX. 25965776			
PROJECT TITLE : FORIER LAU FAU SHAN POLICE STATION LAU FAU SHAN, XIEN LONG			
DRAWING TITLE : ELEVATION E1			
DATE	DRAWN	CHECKED	SCALE
17/6/16			1:100 (A3)
JOB NO. : B5311		DRAWING NO. : A012	
TITLE CODE : N50311 Former Lau Fau Shan Police Station/Former Police Station E1-20160206-1016030311			
STATUS :			



ELEVATION W1



ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:

 ARCHITECTURAL SERVICES DEPARTMENT
 EXHIBITIONAL SURVEYORS (LIMITED), LTD.
 TEL. 25978533 FAX. 25985718

PROJECT TITLE:
 FORMER LAU FAU SHAN POLICE STATION
 LAU FAU SHAN, XUYEN LONG

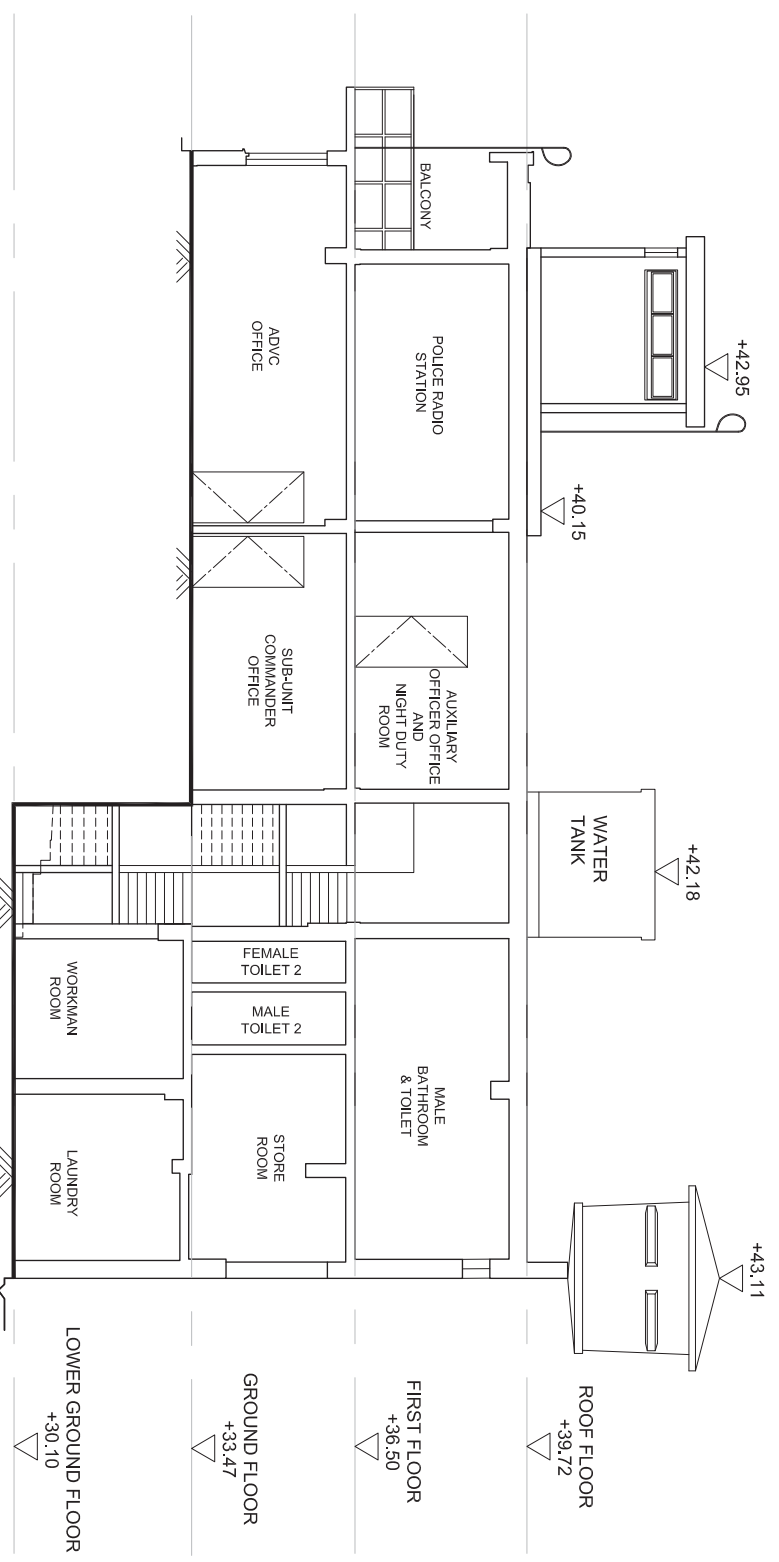
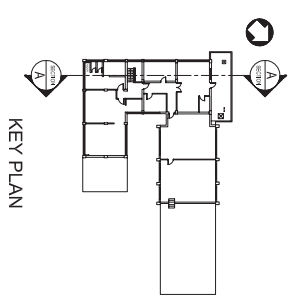
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 ELEVATION W1

DATE	DRAWN (DESIGNED)	CHECKED	SCALE
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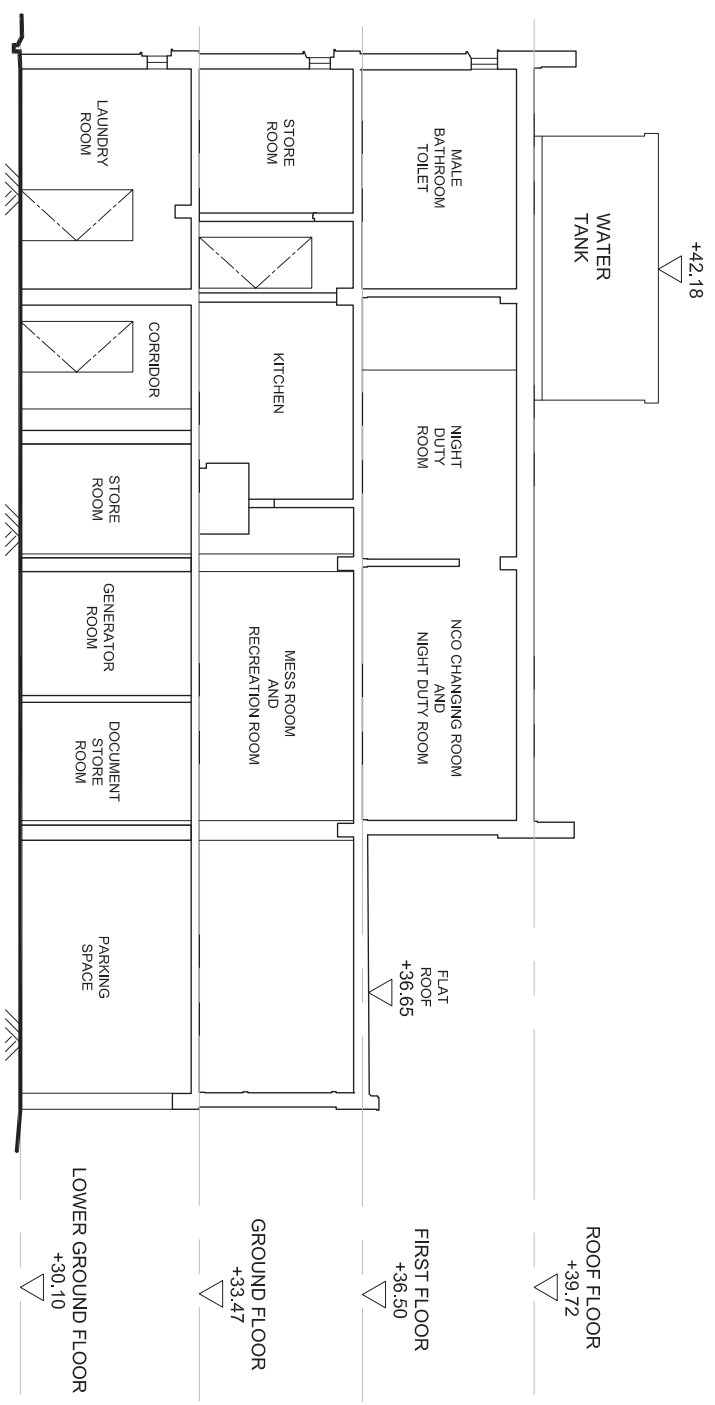
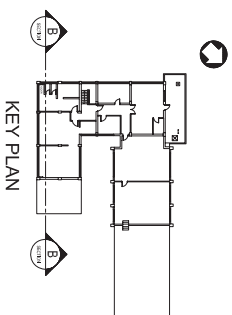
JOB NO.: 95311
 DRAWING NO.:

NAME OF PROJECT:
 Former Lau Fau Shan Police Station
 The Exhibition Surveys (Limited) Ltd.
 The Exhibition Surveys (Limited) Ltd.
 The Exhibition Surveys (Limited) Ltd.

STANDS : A013





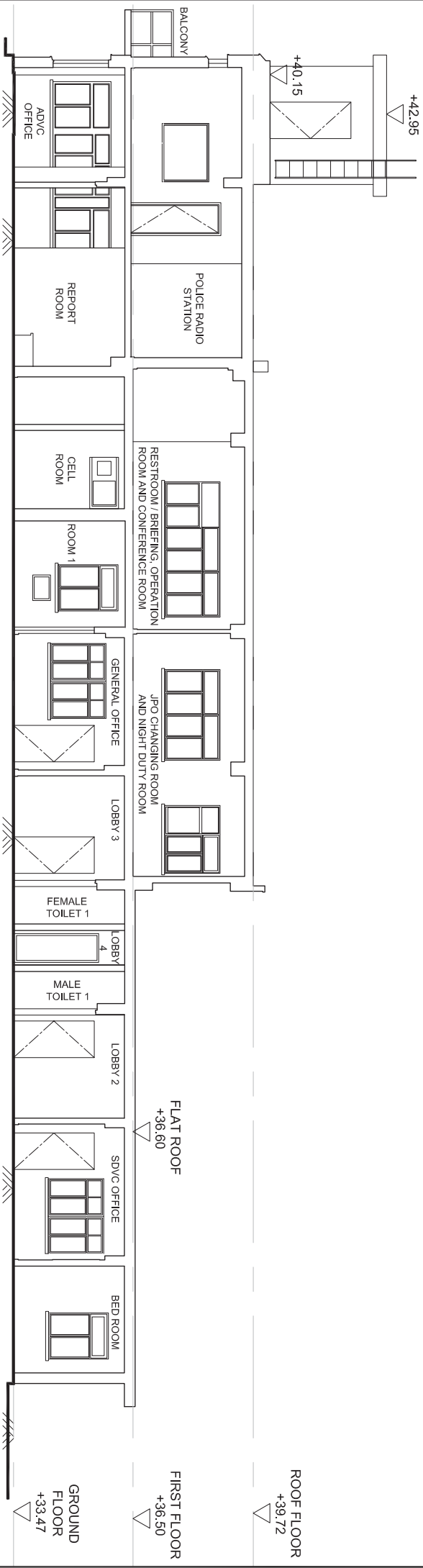
<p>ARCHITECTURAL SERVICES DEPARTMENT</p>		<p>CONSULTANT :</p> <p> PRUDENTIAL SURECOORS (INTL) LTD TEL: 29729233 FAX: 2586576</p>		
<p>PROJECT TITLE :</p> <p>FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, VOEN LONG</p>		<p>DRAWING TITLE :</p> <p>SECTION A-A</p>		
DATE	DRAWN	DESIGNED	CHECKED	SCALE
17/6/16				1:100 (A3)
JOB NO. :	BS311		DRAWING NO. :	
<p>DATE REVISION</p> <p>NO.0011 Formed Lau Fau Shan Police Station (16/06/2016)</p>			A014	
STATUS :				



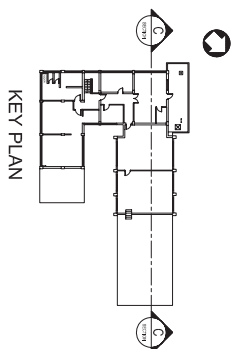
SECTION B-B





 ARCHITECTURAL SERVICES DEPARTMENT		CONSULTANT :  PRUDENTIAL SURETYORS (INTL) LTD TEL: 29728333 FAX: 2586576		
PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, YUEN LONG		DRAWING TITLE : SECTION B-B		
DATE	DRAWN	DESIGNED	CHECKED	SCALE
17/6/76				1:100 (A3)
JOB NO. :	BS311		DRAWING NO. :	
DRAWING NO. : A015		STATUS :		



SECTION C-C



 ARCHITECTURAL SERVICES DEPARTMENT		CONSULTANT :  PRUDENTIAL SURETYORS (INTL) LTD TEL: 29292333 FAX: 2986576		
PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, YUEN LONG		DRAWING TITLE : SECTION C-C		
DATE	DRAWN	DESIGNED	CHECKED	SCALE
17/6/16				1:100 (A3)
JOB NO. :	BS311		DRAWING NO. :	
DRAWING NO. : A016		STATUS :		



CIRCULATION PLAN (LG/F)

DRAWING TITLE :		CIRCULATION PLAN (LG/F)	
DATE	IPRAN/DESIGNED	CHECKED	SCALE
17/6/16			1:100 (A3)
JOB NO. :		DRAWING NO. :	
BS311		SK-01	
<small> FIRM CODE: W180311 Former Lau Fau Shan Police Station (2004-2014) FIRM TELS: SK-01 - SK-03 (2016-07-22-24h) STATUS : </small>			

CONSULTANT :

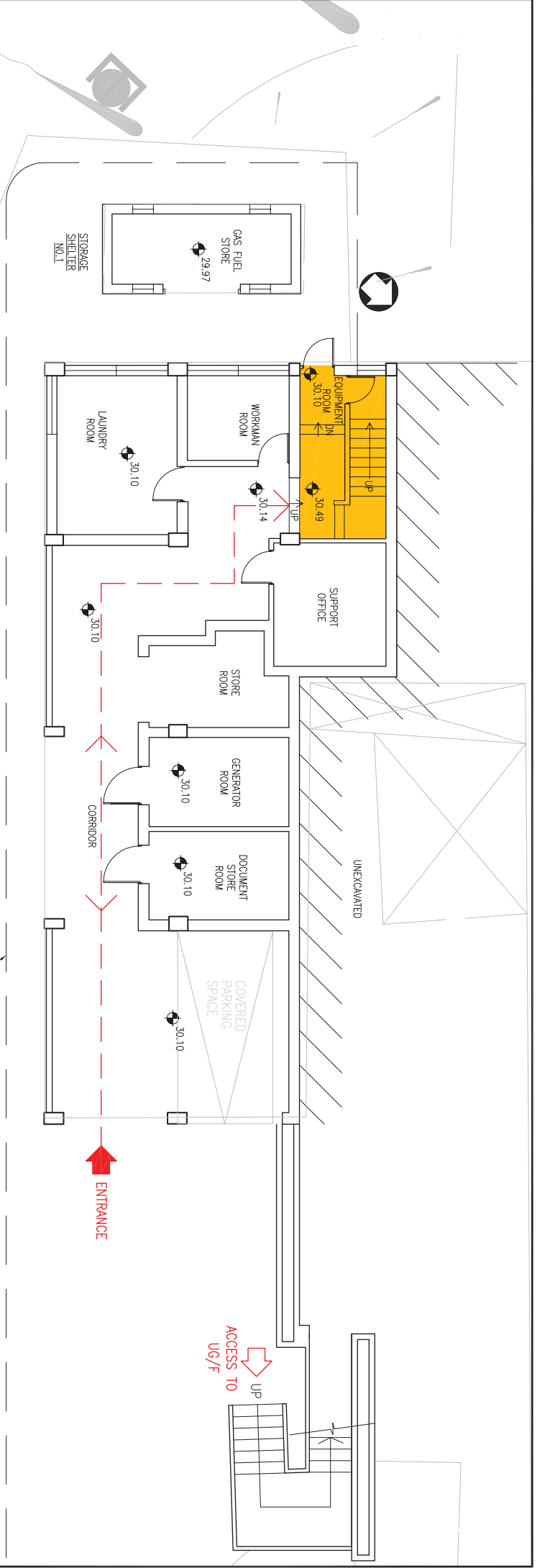
ARCHITECTURAL SERVICES DEPARTMENT

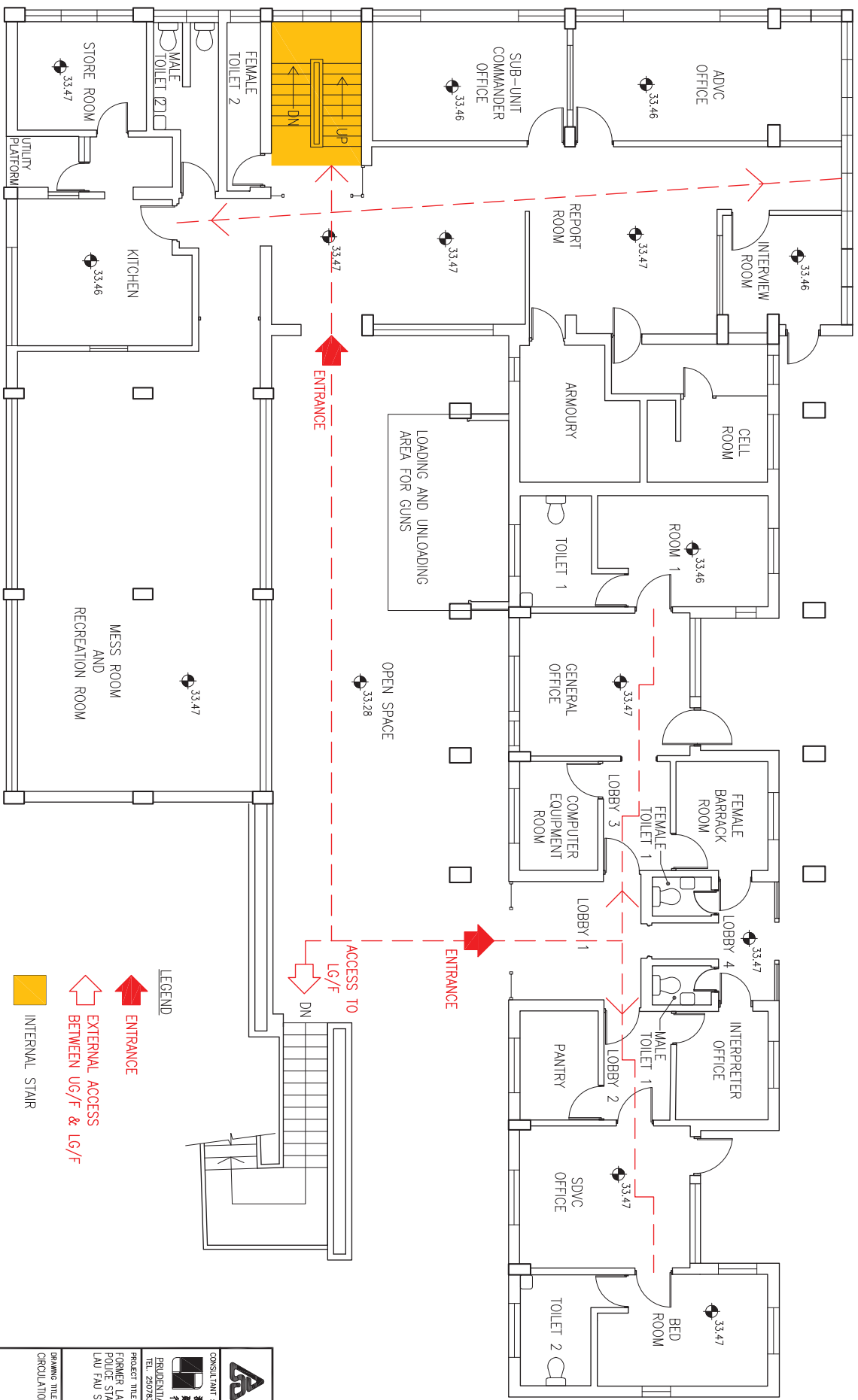
PROJECT TITLE :

ERIDUNAL SURVEYORS (INTL) LTD
 TEL: 25707533 FAX: 25966576



FORMER LAU FAU SHAN POLICE STATION
 LAU FAU SHAN, VIEN LONG

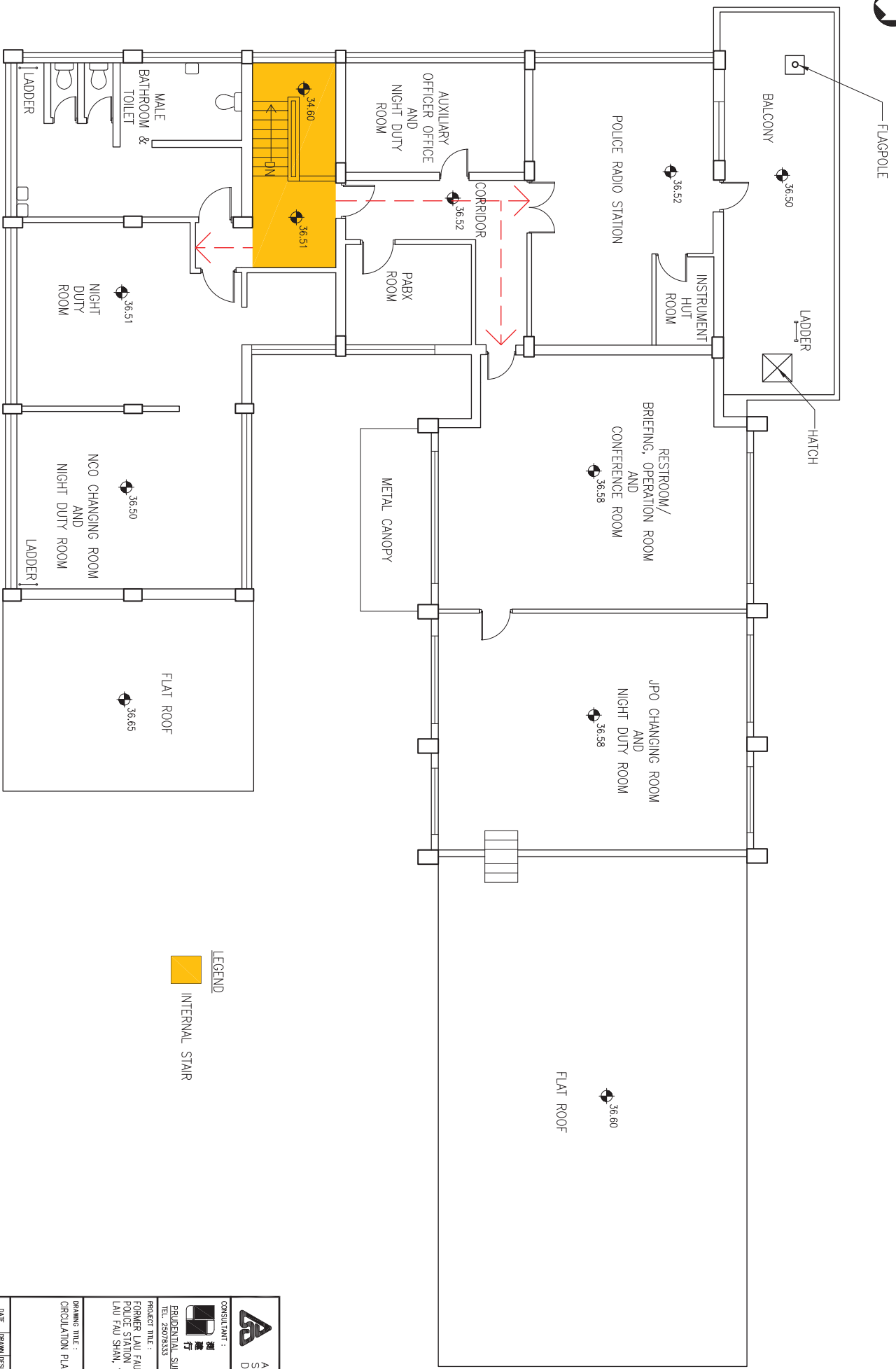
- LEGEND**
- ENTRANCE
 - EXTERNAL ACCESS BETWEEN UG/F & LG/F
 - INTERNAL STAIR





CIRCULATION PLAN (G/F)

 ARCHITECTURAL SERVICES DEPARTMENT		CONSULTANT :  禮達行 RIPIDENTAL SURTECOS (INTL) LTD TEL: 25787533 FAX: 25965776
PROJECT TITLE : FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, VIEN LONG		DRAWING TITLE : CIRCULATION PLAN (G/F)
DATE : 17/6/16	DRAWN (DESIGNED) :	CHECKED :
JOB NO. : BS311	DRAWING NO. :	SCALE : 1:100 (A3)
STATUS :		SK-02



LEGEND



CIRCULATION PLAN (1/F)

<p>ARCHITECTURAL SERVICES DEPARTMENT</p>		<p>CONSULTANT :</p> <p> 潤達行</p> <p>RIPUDENTIAL SURBROOKS (INTL) LTD TEL: 25787533 FAX: 25965776</p>	
<p>PROJECT TITLE :</p> <p>FORMER LAU FAU SHAN POLICE STATION LAU FAU SHAN, YUEN LONG</p>		<p>DRAWING TITLE :</p> <p>CIRCULATION PLAN (1/F)</p>	
DATE	DRAWN (DESIGNED)	CHECKED	SCALE
17/6/16			1:100 (A3)
JOB NO. : BS311		DRAWING NO. : SK-03	
<p>NAME OFSEAL</p> <p>WIKSITT Former Lau Fau Shan Police Station (Yuen Long) RISS SK-01 - SK-03 2016-07-22 AM</p>		STATUS :	

Appendix VI

Photo of the site and Buildings



An access road connecting the Site to Lau Fau Shan Roundabout



An access road connecting the Site to Lau Fau Shan Roundabout



An access road connecting the Site to Lau Fau Shan Roundabout



General View of Main Entrance



Front elevation of Main Block



Front elevation of Main Block



Side elevation of Main Block



Side elevation of Main Block



Side elevation of Main Block



Side elevation of Main Block



Side elevation of Main Block



Rear elevation of Main Block



Rear elevation of Main Block



Elevation at yard of Main Block



General view of Store Shelter No.1



General view of Store Shelter No.2



General view of the Upper Roof



General view of the roof of Water Tank and Scout Towers



General view of the Main Roof



General view of the Main Roof



General view of the Main Roof



General view of the Flat Roof at 1/F of Main Block



General view of the Flat Roof at 1/F of Main Block



General view of space outside of Main Block



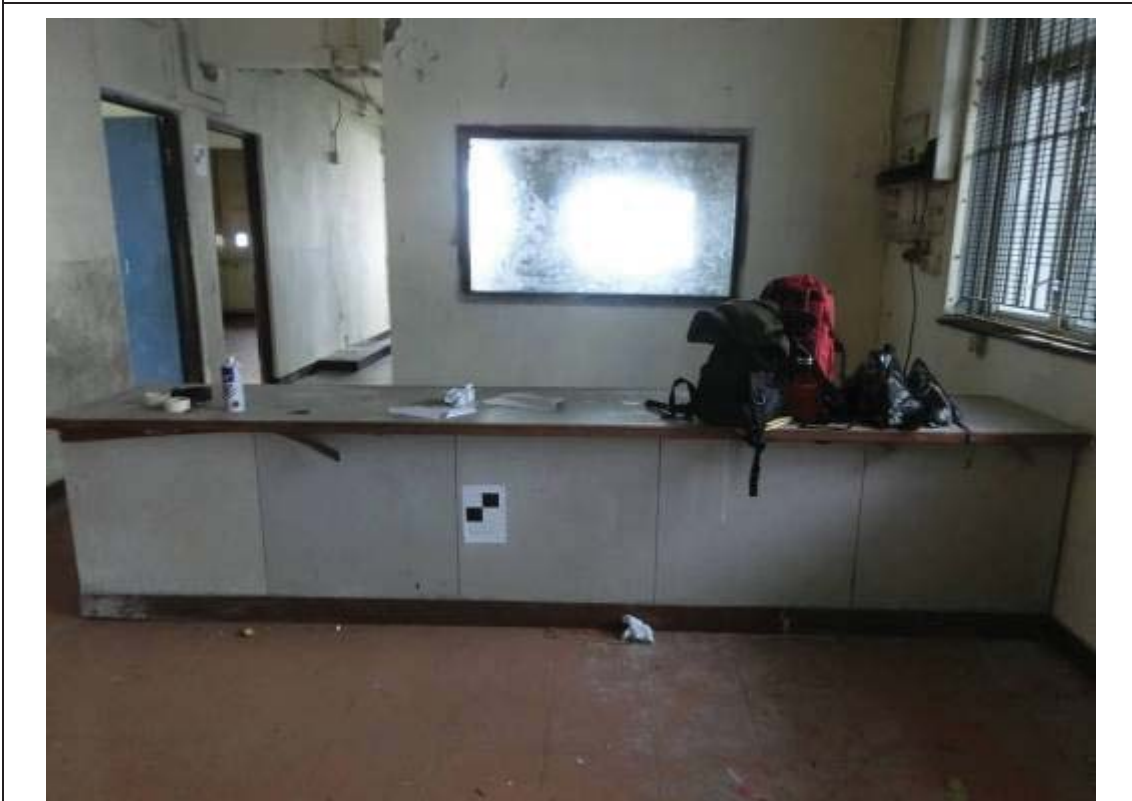
General view of landscape area of site



General view of landscape area of site



General view of the Report Room



General view of the Report Room



General view of the Report Room



General view of the Sub-unit Commander Office



General view of the Sub-unit Commander Office



General view of the ADVC Office



General view of the corridor



General view of the Interview Room



General view of the Cell Room



General view of the Cell Room



General view of the Cell Room



General view of the toilet in the Cell Room



General view of the Armoury



General view of the Armoury



General view of the Armoury



General view of the Armoury



General view of the Mess Room and Recreation Room



General view of the cupboard and serving area
at the Mess Room and Recreation Room



General view of the Mess Room and Recreation Room



General view of the Kitchen



General view of the Kitchen



General view of the Store Room



General view of the Store Room



General view of the Male Toilet 2



General view of the Female Toilet 2



General view of the cupboard in Room 1



General view of the Room 1



General view of the General Office



General view of the General Office



General view of the General Office



General view of the General Office



General view of the Female Barrack Room



General view of Lobby 1



General view of the lobby 4



General view of the Lobby of the police staff quarters



General view of the SDVC Office



General view of the SDVC Office



General view of the SDVC Office



General view of the SDVC Office



General view of the SDVC Office



General view of the Toilet 2



General view of the Pantry



General view of the Open Area



General view of the Female Barrack Room main door



General view of the Male Toilet 1



General view of the Female Toilet 1



General view of the staircase between G/F and LG/F



General view of the LG/F



General view of the staircase at LG/F



General view of the Equipment Room



General view of the Workman Room



General view of the Laundry Room



General view of the area outside Support Office



General view of the corridor at LG/F



General view of Covered Parking Space at LG/F



General View of staircase at 1/F



General View of Rest Room / Briefing, Operation Room and Conference Room at 1/F



General View of JPO Changing Room and Night Duty Room at 1/F



General View of NCO Changing Room and Night Duty Room at 1/F



General View of Male Bathroom and Toilet at 1/F



Example of Spalled / Cracked concrete on column in Report Room on G/F



Example of Spalled / Cracked concrete on column in Report Room on G/F



Example of Spalled / Cracked concrete on ceiling in Report Room on G/F



Example of Spalled / Cracked concrete on ceiling in Report Room on G/F



Sign of fire incident in the corridor



Sign of fire incident in the corridor



Existing HKO's data acquisition and transmission equipment on 1/F



Existing HKO's Equipment (weather camera) on Building Elevation facing North



Existing HKO's instruments (anemometers (wind sensors) and its mast) on Roof



Base of the anemometer mast with guy wires



General view of the Main Roof and location of HKO's raingauge



External weather monitoring instrument (HKO's Stevenson Screen for temperature and humidity measurement) and Storage Shelter No.2



Existing HKO's instrument (lightning sensor) on Roof

Appendix VII

Plan Showing Immediate Surroundings

Deep Bay
(Shenzhen Wan)

Former Lau Fau Shan Police Station



Bus Stop



SITE BOUNDARY

FORMER LAU FAU SHAN
POLICE STATION
NO.1, SHAN TUNG STREET,
YUEN LONG, N.T.

DRAWING NO.:

APPENDIX VII
PLAN SHOWING IMMEDIATE
SURROUNDINGS

(NOT TO SCALE)

Appendix VIII

Access Plan



SITE BOUNDARY



BUS STOP



VEHICULAR ACCESS/PEDESTRIAN ACCESS



INGRESS/EGRESS

FORMER LAU FAU SHAN
POLICE STATION
NO.1, SHAN TUNG STREET,
YUEN LONG, N.T.

DRAWING NO.:

APPENDIX VIII
ACCESS PLAN

(NOT TO SCALE)

Appendix IX
List of
Architectural Features
to be Preserved

Former Lau Fau Shan Police Station
List of Architectural Features to be Preserved

1. MAIN BUILDING – EXTERIOR

Item	Architectural Feature
1.1	<p data-bbox="284 421 512 454"><u>Building Facades</u></p> <p data-bbox="284 454 1374 533">All external building facades with expressed reinforced concrete columns and beams highlighted by different paint colour and bands of window openings.</p> <div data-bbox="304 562 1465 1482"><p>The photographs illustrate the building's facade features: 1) A view of a corner with a cylindrical water tank on the roof and a stone wall. 2) A view of the building's side with multiple windows and concrete columns. 3) A view of a courtyard between two building wings. 4) A view of the building from a distance with a sign in the foreground that reads '寶來海鮮酒家' (Bao Lai Seafood Restaurant).</p></div>

Item

Architectural Feature

1.2

Grille Block Screen Wall

The grille block screen walls at the Lower Ground Floor of south-east façade and Ground Floor of north-west facade for ventilation.



Item**Architectural Feature**

1.3

Balcony

The fair-sized balcony at First Floor of the northwest side of building overlooking Shenzhen and the Deep Bay of China with green mosaic tiled floor finishes.



Item

Architectural Feature

1.4

Flag Pole

Metal flag pole at the balcony facing the border of China



Item**Architectural Feature**

1.5

Scout Towers

Two scout towers with long and slender horizontal viewing slits on all sides, with the supporting parapet walls around the east and south corners of the building and internal cat ladders.



Item

Architectural Feature

1.6

Roofs

All flat roofs at different levels of buildings



Item**Architectural Feature**


1.7

Steel Mast

Steel mast (now installed with the anemometers (wind sensors) of the automatic weather station) erected at roof



2. MAIN BUILDING – INTERIOR

Item	Architectural Feature
2.1	<p data-bbox="284 255 528 288"><u>Building Structure</u></p> <p data-bbox="284 293 1262 327">All structural elements including columns, beams, floor and roof slabs, etc..</p>  A photograph of an empty interior room in a building. The room features a central white column supporting the ceiling. The ceiling has several rectangular fluorescent light fixtures. The walls are off-white with a dark baseboard. There are large windows with black frames and metal grilles. The floor is a reddish-brown color. The room appears to be a common area or a hallway.

Item

Architectural Feature

2.2

Cell Room

The cell room with its original layout including the wooden door with small wired glass panel, two no. of metal gates, concrete bench, fanlights with metal grilles and mesh, partitioned with water closet, red quarry tiled floor finishes, mosaic tiled wall finishes up to dado height with stencilled signage in both Chinese and English characters on walls

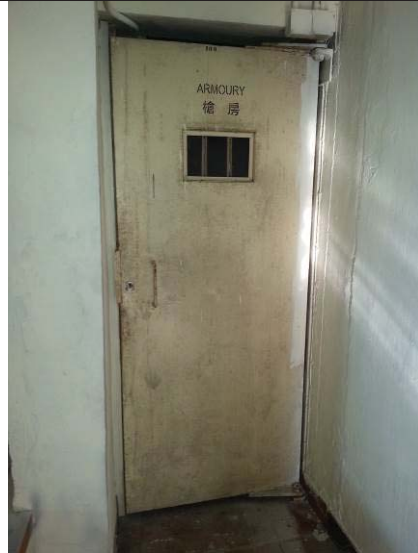


Item**Architectural Feature**

2.3

Armoury

The Armoury with its original setting including the steel door with security barred small glazed panel, gun storage cabinets, emergency equipment display board, window opening with security bars



Item

Architectural Feature

2.4

Defensive window shutters and window frames

All defensive steel window shutters with door viewers and the steel window frames installed at the internal side of windows



Item

Architectural Feature

2.5

Window openings

All window openings including the wooden window sills, the metal grilles, and the insect screen installed at the internal side of the aluminum windows



Item

Architectural Feature

2.6

Steel doors

All steel doors with door viewers

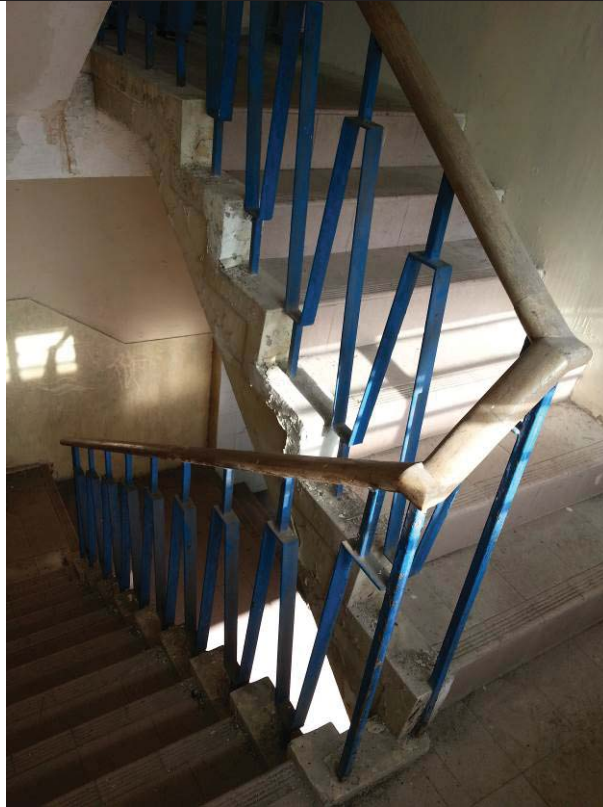


Item**Architectural Feature**

2.7

Stairwell and Main Staircase with Ornamental Balustrades

The main staircase with ornamental metal balustrades of geometric pattern and wooden handrail and the stairwell with the horizontal bands of window openings and groove line at dado wall



Item

Architectural Feature

2.8

Food Hatch

The food hatch at Mess and Recreation Room



Item	Architectural Feature
2.9	<p><u>Wall openings at high level</u> Wall openings at high level of partition walls for ventilations at plant rooms on the Lower Ground Floor</p>
 <p>The photograph shows the interior of a generator room. The walls are painted a light yellow color. At the top of the walls, there are several rectangular openings, which are high-level ventilations. The ceiling is white and has some visible cracks. There are blue doors in the room; one door in the foreground has a sign that reads "GENERATOR ROOM" and "發電機房". There are also some pipes and conduits running along the ceiling and walls.</p>	

Item

Architectural Feature


2.10

Original mosaic tiled flooring and skirting

All original mosaic tiled flooring and skirting within the building



3. EXTERNAL AREA AND SURROUNDING

Item	Architectural Feature
3.1	<u>Open Space at Site Entrance</u> The front yard at the site entrance
 An aerial photograph showing an open space at a site entrance. The area is characterized by a curved stone wall on the left side, which encloses a paved area. A set of concrete stairs with black metal railings leads down from the paved area. To the right, there is a paved road or driveway. The surrounding area is lush with green trees and vegetation, including a large tree with bright green leaves on the left and a large bush with pink flowers on the right. In the background, a residential area with houses and a hillside are visible under a clear sky.	

Item

Architectural Feature

3.2

Granite Blockworks and External Staircase with Ornamental Metal Balustrades

The granite block works and the external staircase and ornamental metal balustrades with geometric pattern



Item

Architectural Feature

3.3

Loading and Unloading Area

Loading and unloading Area including the wooden backstop, floor mattress, metal canopy, the location plan for station defense and sign outside the Armory.



Item

Architectural Feature

3.4

Guarding Posts Numbers on Walls

Guarding Posts Numbers painted in black and white on walls of both exterior and interior.



Item

Architectural Feature

3.5

Lawn at the north-west and south-west side of the building facing the Deep Bay
The lawn at the north-west and south-west side of the building facing the Deep Bay.



Item

Architectural Feature

3.6

Vista from the Police Station to the surroundings

The vista from the Police Station to the surroundings including the Deep Bay and Shenzhen of China and to Ping Shan and Lau Fau Shan




Appendix X

**List of Required Treatments to
Architectural Features**

Former Lau Fau Shan Police Station Required Treatments to Architectural Features

1. MAIN BUILDING – EXTERIOR


Item	Architectural Feature	Required Treatments
1.1	<u>Building Facades</u>	<ul style="list-style-type: none"> a. The elevations with expressed reinforced concrete columns and beams should be generally kept intact. b. The building facades of the Building especially the elevations which could be viewed from the Lau Fau Shan Roundabout, the Deep Bay of China and the site entrance are important and should be maintained. c. No new structures, awning, additional shading fins, equipment etc. should be installed on the building facades. d. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to AMO for approval. e. No alteration to the existing opening or formation of new opening should be made unless approved by AMO. f. Repair the rendered wall as necessary and repaint with reversible painting system and colour approved by AMO.
		


Item	Architectural Feature	Required Treatments
1.2	<u>Grille Block Screen Wall</u>	<ul style="list-style-type: none"> a. The grille block screen walls should be preserved in-situ. b. Repair and repaint defective grille block screen wall to match with existing pattern and profile c. If asbestos containing material is found, asbestos abatement works is necessary. The design of the replacement works should be approved by AMO



Item	Architectural Feature	Required Treatments
1.3	<u>Balcony</u>	<ul style="list-style-type: none"> a. The balcony on 1/F should be kept intact with the open ambiance maintained. b. No enclosure of the balcony, wholly or partially, is permitted. c. No objection to replace existing balustrades to meet the statutory requirements provided that the design is distinguishable from but compatible with existing building fabrics and is approved by AMO. d. Carry out tests with assessment of structural engineer to assess the waterproofing and structural performance of the balcony as necessary. e. Preserve in-situ the mosaic tile flooring, clean and repair the defective mosaic tile flooring as necessary to match existing.

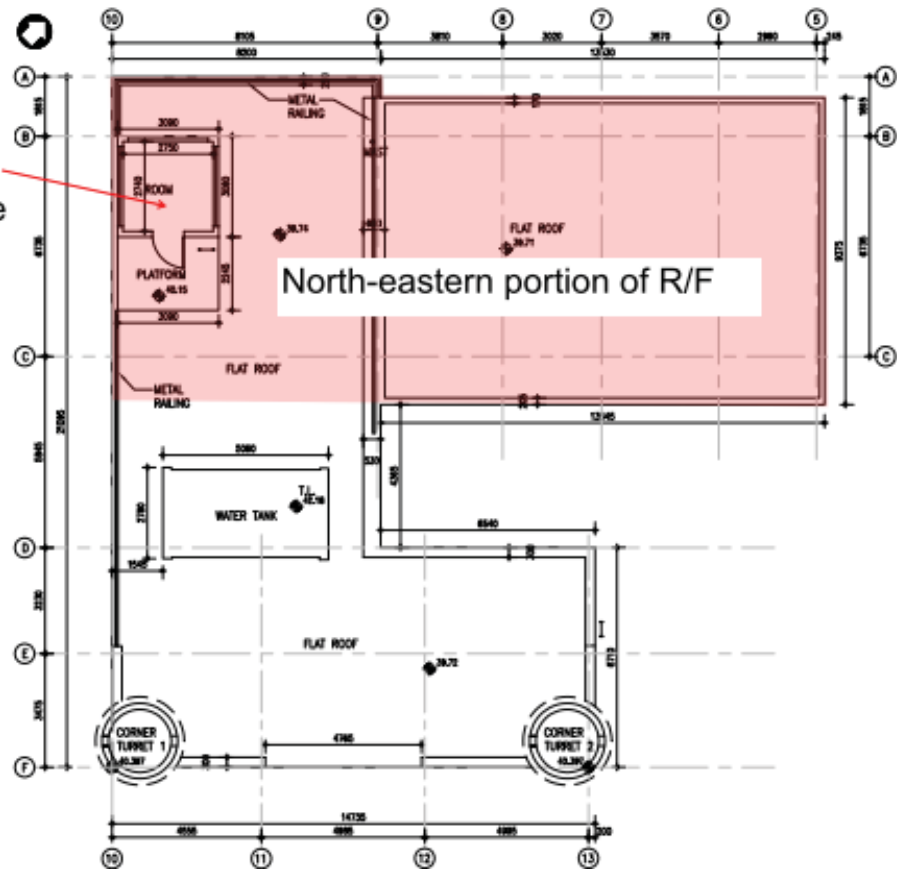


Item	Architectural Feature	Required Treatments
1.4	<u>Flag Pole</u>	a. The flagpole at the balcony should be preserved in-situ. b. Clean, rust-remove, repair and repaint.
		

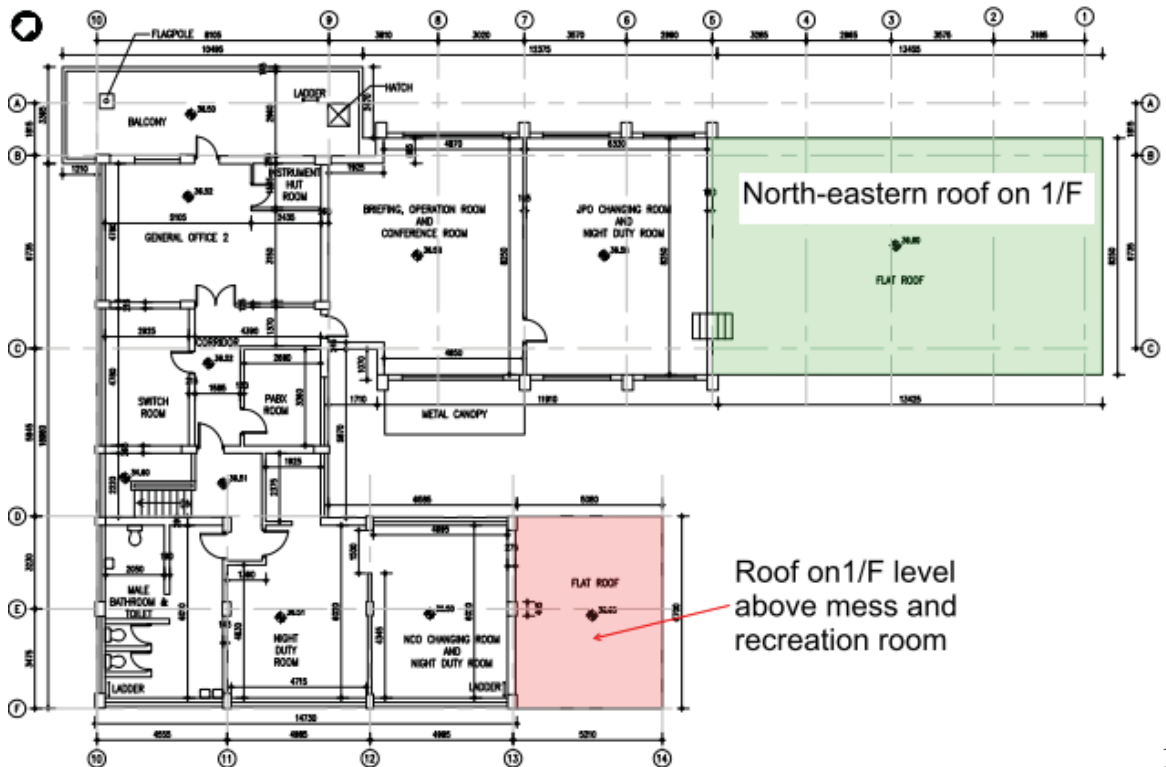
Item	Architectural Feature	Required Treatments
1.5	<u>Scout Towers</u>	<ul style="list-style-type: none"> a. The two scout towers including its long and slender viewing slits, the supporting parapet walls and the internal cat ladders should be preserved in-situ. b. Repair and repaint with reversible painting system and colour to match existing.
		

Item	Architectural Feature	Required Treatments
1.6	<u>Roofs</u>	<ul style="list-style-type: none"> a. The form of flat roof should not be altered. b. Repair the defective roofing membranes at roof. c. No additional storey, structures and equipment at roof on 1/F level above mess and recreation room and at the north-eastern portion of R/F (areas highlighted in red below) are permitted. d. Construction of new balustrades and new access facilities at the north-eastern roof on 1/F (area highlighted in green below) to facilitate new use and to meet statutory requirements may be considered. The design of the balustrades and new access should not overwhelm the existing building elevations, should be distinguishable from and compatible with existing building fabrics, with ultimate height lower than the existing R/F slab level; New structures should be constructed in light-weight materials and setback from the facades, such that the essence of the existing elevation design is still readable. e. Installation of building services equipment, ductwork, pipe works, etc. on R/F except the areas highlighted in red below may be considered, provided that their visual impact to the Building is minimal. These new installations should be setback from the facades and placed as far away from the scout towers as possible and would not further obstruct the sightline from the scout towers. Height of the installations should not be higher than the existing square structure at the western corner on R/F. f. All new structures and installations on roofs of 1/F and R/F should be subject to the advice from a Registered Structural Engineer and AMO's approval. g. Any structural strengthening works at the lower floors due to change of use or additional structure or installations at roofs should bring minimal visual and physical impact to the Building and subject to AMO's approval.

Existing Square Structure




R/F Plan




Roof on 1/F level above mess and recreation room

Plan


Item	Architectural Feature	Required Treatments
1.7	<u>Steel Mast</u>	<p>a. Conduct a research study on the metal mast to confirm if it is the original typhoon signal mast. The study should be based on archival research and investigations, supplemented with photos, drawings, etc., for AMO's record.</p> <p>b. Preserve the metal mast in-situ, repair and repaint as necessary.</p>
		

2. MAIN BUILDING – INTERIOR

Item	Architectural Feature	Required Treatments	
2.1	<u>Building Structure</u>	<ul style="list-style-type: none">a. All structural elements including columns, beams, floor and roof slabs, etc. should be kept intact as far as practicable.b. Improvement of barrier free access, means of escape, running of services and circulation as required by design and statutory requirements that are constructed in a reversible manner may be considered. The design for coring or forming of new openings on the structure is subject to AMO's approval.c. Strengthening or recasting of any part of the structure to meet statutory requirements may be considered, subject to a Registered Structural Engineer's advice and AMO's approval.d. Repair all spalled concrete and other defects as necessary.	
			

Item	Architectural Feature	Required Treatments
2.2	<u>Cell Room</u>	<ul style="list-style-type: none"> a. Cell Unit can be re-used but its original layout should be retained unaltered for interpretation purposes. b. Clean, repair, repaint or refinish the defective building fabrics including furniture, fixtures, wall finishes and flooring to match existing. c. Restore the original characters on the wooden door which is hidden under the existing paint coat.



Item	Architectural Feature	Required Treatments
2.3	<u>Armoury</u>	<ul style="list-style-type: none"> a. Armoury can be re-used but its original layout should be retained unaltered for interpretation purposes. b. Clean, repair, repaint or refinish the defective building fabrics including furniture, fixtures, wall finishes and flooring to match existing.
 <p>The table contains four photographs illustrating the current state of the armoury. The top-left photo shows a door with the word 'ARMOURY' and its Chinese equivalent '槍房' (Qiangfang) written on it. The top-right photo shows a window with metal bars and significant peeling and discoloration of the yellow wall paint. The bottom-left photo shows blue metal shelving units in a room with a tiled floor, dated 23/02/2011. The bottom-right photo shows a dark blue cabinet or door with the words 'EMERGENCY EQUIPMENT' written on it, also dated 23/02/2011.</p>		


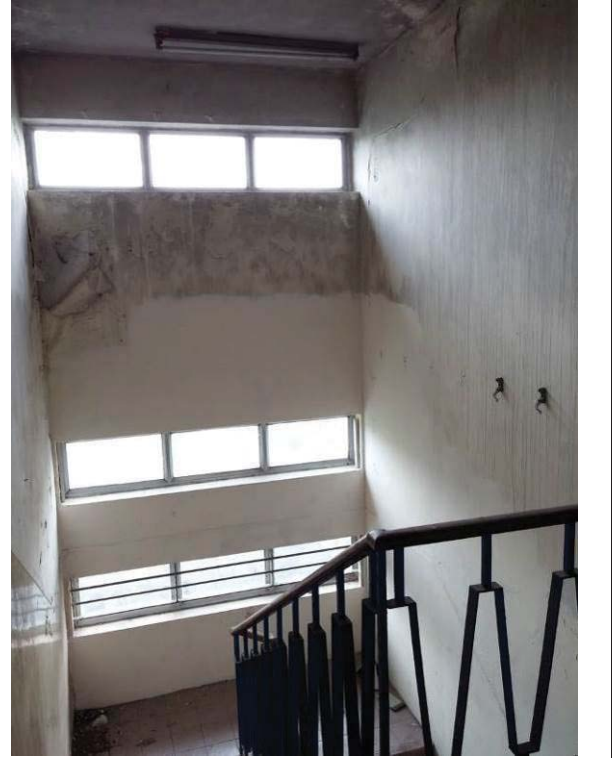
Item	Architectural Feature	Required Treatments
2.4	<u>Defensive window shutters and window frames</u>	<ul style="list-style-type: none"> a. All defensive window shutters and the steel window frames should be preserved in-situ. b. Clean, rust-removed, repair to operable condition and repaint the window shutters and window frames to match existing. c. Research on the type of window shutters originally installed at the southwest side of the room, install new window shutters with design based on the research to the existing steel window frames.





Item	Architectural Feature	Required Treatments
2.5	<u>Window Openings</u>	<ul style="list-style-type: none"> a. All existing window openings should not be altered unless approved by AMO. b. All wooden window sills at the interior should be preserved in-situ, repaired and repainted. c. Metal grilles should be preserved in-situ, repaired, re-instated and repainted as far as practicable. d. The wooden framed insect window screens still exist should be repaired, salvaged and re-used as necessary. No objection to remove the wooden window frames of the insect screen if the insect screen were already removed.




Item	Architectural Feature	Required Treatments
2.6	<u>Steel Doors</u>	a. The steel doors with door viewers should be preserved in-situ, repaired and repainted.
		


Item	Architectural Feature	Required Treatments
2.7	<u>Stairwell and Main Staircase with Ornamental Balustrades</u>	<ul style="list-style-type: none"> a. The main staircase and the stairwell with the horizontal bands of window openings should be kept intact. Avoid blocking the window openings with any wall or panel to maintain the sunlight penetration to the stairwell. b. Repair works, additional protective barriers or upgrading works to existing metal balustrades and handrails as required by statutory requirements that are installed in a reversible manner may be considered. The design should be distinguishable from and compatible with the existing balustrades and is subject to AMO's approval. c. Repaint the staircase wall with the groove line at dado wall.
		


Item	Architectural Feature	Required Treatments
2.8	<u>Food Hatch</u>	a. The food hatch at Mess and Recreation Room should be preserved as far as practicable. b. Blockage of the opening with fixed light in a reversible manner may be considered to meet statutory requirement, and is subject to AMO's approval.
		

Item	Architectural Feature	Required Treatments
2.9	<u>Wall openings at high level</u>	a. The wall openings at high level of partition walls at G/F should be preserved as far as practicable. b. Blockage of the openings in a reversible manner may be considered to meet statutory requirement, and is subject to AMO's approval.
		

Item	Architectural Feature	Required Treatments
2.10	<u>Mosaic tiled flooring and skirting</u>	<ul style="list-style-type: none"> a. The design of green mosaic tiled flooring and skirting should be preserved unless approved by AMO. b. Clean and repair the defective mosaic tiled flooring and skirting as necessary. c. The mosaic tiled flooring at the 1/F balcony should be repaired for public appreciation. d. Covering the mosaic tiled flooring at other areas of interior in a reversible manner may be considered, and is subject to AMO's approval
		

3. EXTERNAL AREA AND SURROUNDING

Item	Architectural Feature	Required Treatments
3.1	<u>Open Space at Site Entrance on LG/F</u>	<p>a. If site formation for landslip prevention, widening of access or repaving is necessary on the open space at site entrance on LG/F, the design and materials of works should be submitted to AMO for approval.</p> <p>b. Erection of above-ground new structures or installation of building services equipment at this open space should be avoided.</p>
		 An aerial photograph showing an open space at a site entrance on the ground floor. The area is bounded by a concrete retaining wall on the left and a paved driveway on the right. There are several trees and bushes, including a large tree with yellow-green leaves on the left and a tree with purple flowers on the right. The background shows a residential area with houses and hills.

Item	Architectural Feature	Required Treatments
3.2	<u>Granite block works, External staircase and ornamental metal balustrades</u>	<ul style="list-style-type: none"> a. Investigate the conditions of structural elements, metal works, retaining wall, drainage thoroughly. Repair proposal should subject to AMO's approval. b. The granite block works should be preserved in-situ. Clean and repoint the defective joints of granite wall as necessary. If slope repair works is necessary, the granite block works should be reinstated after the repair works. c. Additional protective barriers or upgrading works to existing metal balustrades and handrails as required by statutory requirements that are installed in a reversible manner may be considered. The design should be distinguishable from and compatible with the existing balustrades and is subject to AMO's approval.
		

Item	Architectural Feature	Required Treatments
3.3	<u>Loading and Unloading Area</u>	a. The loading and unloading area including the setting, the location plan for station defense, and the sign should be preserved in-situ for interpretation purposes. b. Repair defective wooden backstop, floor mattress and repaint the metal structure to match existing design as necessary. c. Investigate the conditions of metal works and the structure. Remedial works should submit for AMO's approval d. Clean and repair the location plan for station defense and the sign as necessary.






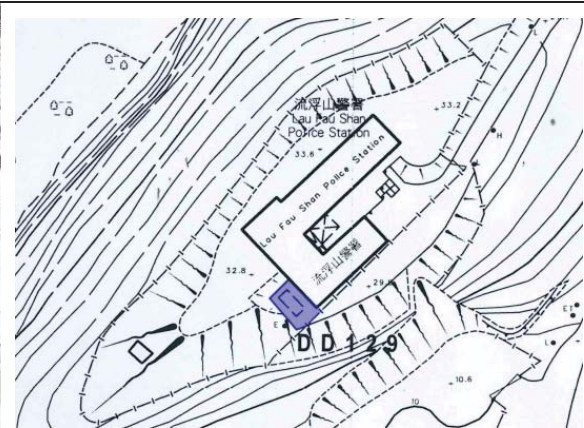
Item	Architectural Feature	Required Treatments
3.4	<u>Guarding Posts</u> <u>Numbers on Walls</u>	a. All numerical marks painted on walls should be preserved in-situ as far as practicable for interpretation purposes. b. Repaint the numbers in same colour and calligraphy to match existing as necessary




Item	Architectural Feature	Required Treatments
3.5	<u>Lawn at the North-west and South-west side of the Building facing the Deep Bay on G/F</u>	<ul style="list-style-type: none"> a. The lawn at the north-west and south-west side of the Building facing the Deep Bay which is highlighted in green below should be remained as open as possible and maintain as a lawn. b. Erection of above-ground new structures or installation of building services equipment at the lawn should be avoided except for the equipment of Hong Kong Observatory (HKO). If site formation and building works is necessary, the design and material of works should submit for AMO's approval. Visual impact should be minimal. c. Any underground new structures or equipment should not adversely affect the structure of the Building and slopes. d. Demolish the steel structure outside the northwest elevation of the building. e. Repair and reuse the outbuilding at the south-west corner of the lawn for the equipment of HKO.



The outbuilding at the south-west corner of the lawn

Item	Architectural Feature	Required Treatments
3.6	<u>Lawn at the North-east side of the Building on G/F</u>	<ul style="list-style-type: none"> a. The lawn at the north-east side of the Building which is highlighted in yellow below should be remained as open as possible. b. Construction of new structure(s) at this area for ancillary use to the Building such as staircase for means of escape and building services facilities (“Proposed Works”) to meet statutory requirements may be considered at this area, and is subject to AMO’s approval. c. The Proposed Works should be compatible and distinguishable from the Building. d. The Proposed Works should not adversely affect the structure of Building. e. The Proposed Works should be independent and set as far away from the Building as practicable to minimize the visual impact on the Building. f. Unless prior agreement with AMO, the ultimate height of the Proposed Works should be lower than the existing 1/F slab level of Building.
		

Item	Architectural Feature	Required Treatments
3.7	<u>Open Space at the South-west side of building on LG/F</u>	a. New structure from LG/F to G/F constructed at this open space which is highlighted in blue below could be considered provided that the visual impact to the South-west elevation of the building is minimal; in particular the existing views to the South-west elevation from the Lau Fau Shan Roundabout should be kept, and is subject to AMO's approval. b. The new structure should be independent and not adversely affect the structure of the building. c. The new structure should not block the window openings of the stairwell. d. No objection to demolish the later-constructed outbuilding at the open space.
		


Item	Architectural Feature	Required Treatments
3.8	<u>Vista from the Police Station to the surroundings</u>	a. Any new structure or installation should not block the vista from the police station to the surroundings including the Deep Bay and Shenzhen of China and to Ping Shan and Lau Fau Shan.
		
		
		

Appendix XI

**List of Recommended Treatments to
Architectural Features**

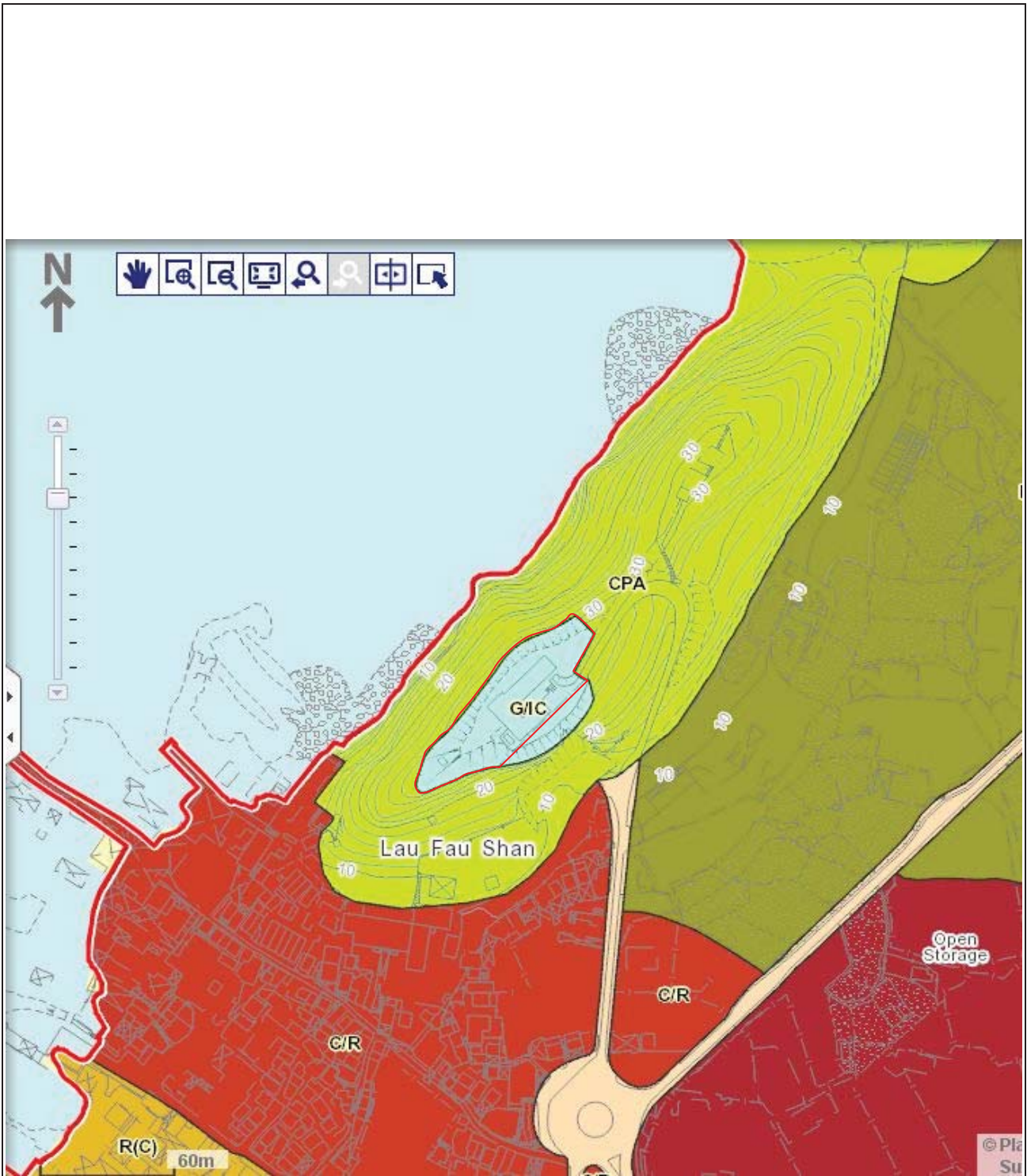
Former Lau Fau Shan Police Station
Recommended Treatments to Architectural Features

1. MAIN BUILDING - INTERIOR

Item	Architectural Feature	Recommended Treatments
1.1	<u>Wooden parquet flooring and skirting</u>	a. The wooden parquet flooring and the skirting within the building is recommended to be preserved and reused.
		

Appendix XII

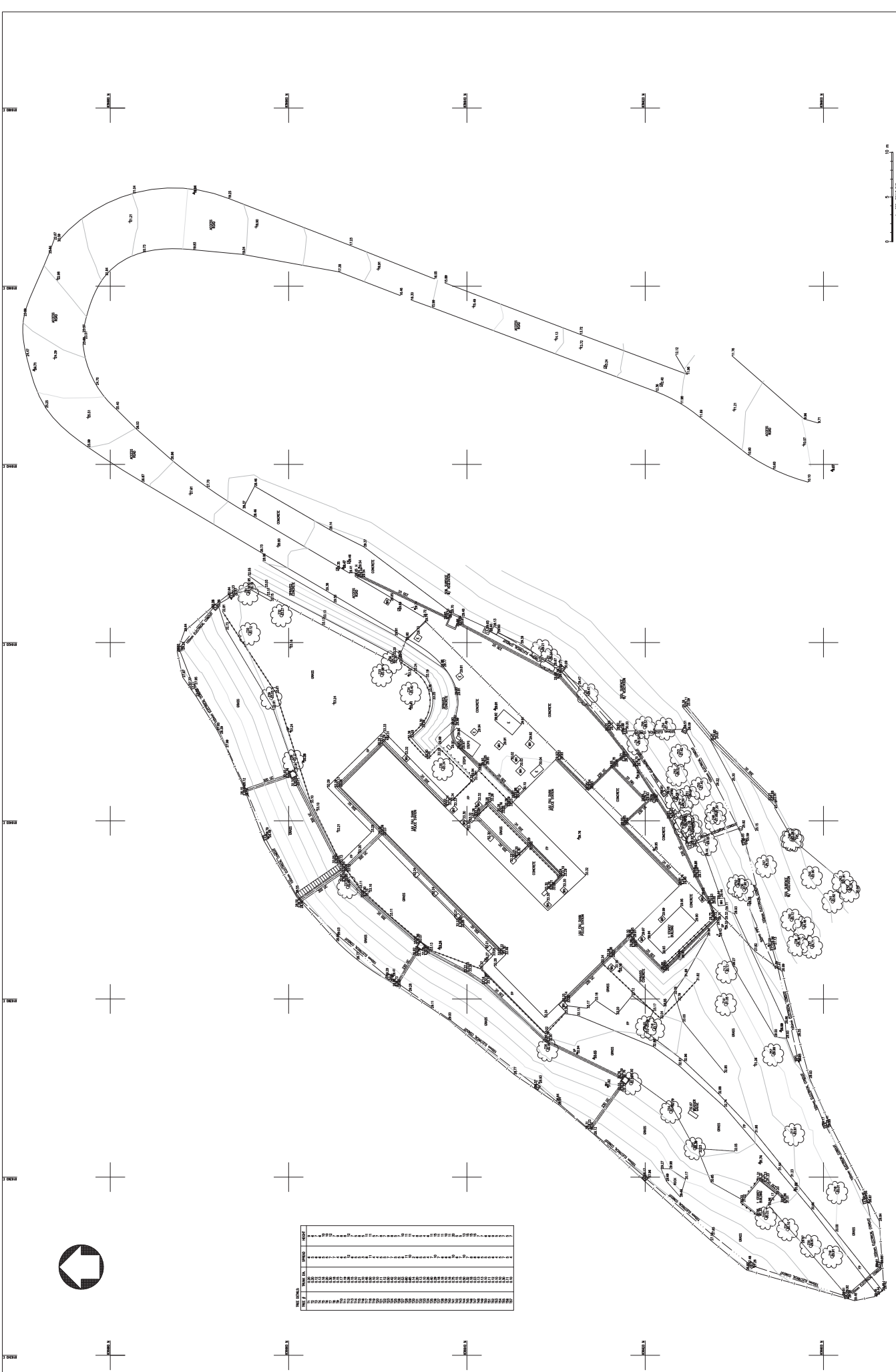
Outline Zoning Plan



<p> SITE BOUNDARY</p> <p>EXTRACT PLAN BASED ON OUTLINE ZONING PLAN NO. S/YL-LFS/7 DATE: 1/2/2005</p>	<p>FORMER LAU FAU SHAN POLICE STATION NO.1, SHAN TUNG STREET, YUEN LONG, N.T.</p>	<p>DRAWING NO.:</p> <p><u>APPENDIX XII</u> OUTLINE ZONING PLAN (NOT TO SCALE)</p>
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Appendix XIII(A)

Topographic Survey



Legend for Utility Symbols

Symbol	Description
(Symbol)	1. FENCE
(Symbol)	2. CONTOUR
(Symbol)	3. DRIVE
(Symbol)	4. PAVEMENT
(Symbol)	5. ASPHALT
(Symbol)	6. CONCRETE
(Symbol)	7. BRICK
(Symbol)	8. MASONRY
(Symbol)	9. METAL
(Symbol)	10. CORRUGATED
(Symbol)	11. ROOFING
(Symbol)	12. GRANITE
(Symbol)	13. MARBLE
(Symbol)	14. GYPSUM
(Symbol)	15. STONE
(Symbol)	16. GLASS
(Symbol)	17. CERAMIC
(Symbol)	18. TILE
(Symbol)	19. PLASTER
(Symbol)	20. STUCCO
(Symbol)	21. SAND
(Symbol)	22. GRAVEL
(Symbol)	23. ASPHALT
(Symbol)	24. CONCRETE
(Symbol)	25. BRICK
(Symbol)	26. MASONRY
(Symbol)	27. METAL
(Symbol)	28. CORRUGATED
(Symbol)	29. ROOFING
(Symbol)	30. GRANITE
(Symbol)	31. MARBLE
(Symbol)	32. GYPSUM
(Symbol)	33. STONE
(Symbol)	34. GLASS
(Symbol)	35. CERAMIC
(Symbol)	36. TILE
(Symbol)	37. PLASTER
(Symbol)	38. STUCCO
(Symbol)	39. SAND
(Symbol)	40. GRAVEL

THE LAU FAN SHAW POLICE STATION
 YEN LONG
 TONKINIC SURVEY

PROJECT INFORMATION:

Client: LAU FAN SHAW POLICE STATION

Site: YEN LONG, TONKINIC SURVEY

Scale: 1:200

Survey Number: JBS-UTS-001-N

Sheet: 0

DATE: 19 APRIL 2016

Sheet No.: 1 OF 1

Checked by: [Signature]

Drawn by: [Signature]

Surveyed by: [Signature]

Client: John Gerrard & Associates Ltd.
 37 St. Johns Lane, Industrial Building,
 2nd Fl., No. 12,
 14, BANGALORE ROAD,
 SINGAPORE 239482

LEGEND:

- FENCE OF GRADE
- - - - FENCE
- - - - CONTOUR
- - - - BEARING WALL
- - - - BUILDING
- - - - CHANNEL
- - - - DRIVE
- - - - ASPHALT
- - - - CONCRETE
- - - - BRICK
- - - - MASONRY
- - - - METAL
- - - - CORRUGATED
- - - - ROOFING
- - - - GRANITE
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- - - - PLASTER
- - - - STUCCO
- - - - SAND
- - - - GRAVEL

SYMBOLS:

- (Symbol) 1. GUY WIRE
- (Symbol) 2. TELECOM PIT
- (Symbol) 3. ELECTRICAL DOWNPIST
- (Symbol) 4. CABLE TV PIT
- (Symbol) 5. LAMP POST
- (Symbol) 6. ELECTRICITY PILE
- (Symbol) 7. TELECOM PALE
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Appendix XIII(B)

Tree Survey Plan and Tree Survey Schedule

TREE SURVEY SCHEDULE

Project: Resource Kit for Former Lau Fau Shan Police Station
 Prepared by: Ma Po San, ISA Certified Arborist (HK-0771A)
 Field Survey was conducted on: 02 April 2016
 To be read in conjunction with drawing no.: LFSPS/TIP/01

Tree Tag No.	Species		Tree Size			Health Condition (Healthy, Fair, Withering, Dead, Imminent Danger)	Tree Form (Good, Medium, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T1	<i>Michelia x alba</i>	白蘭	365	9.0	6.5	Fair	Medium	Low	Medium	N
T2	<i>Juniperus chinensis 'Kaizuka'</i>	龍柏	245	5.5	4.0	Fair	Medium	Low	Low	N
T3	<i>Syzygium levinii</i>	李萬蒲桃	125	3.5	3.0	Fair	Poor	Low	Low	N
T4	<i>Dimocarpus longan</i>	龍眼	275	4.0	3.5	Fair	Medium	Low	Low	N
T5	<i>Juniperus chinensis 'Kaizuka'</i>	龍柏	315	6.5	3.0	Fair	Poor	Low	Low	N
T6	<i>Syzygium jambos</i>	蒲桃	545	7.5	6.5	Fair	Poor	Low	Low	N
T7	<i>Syzygium jambos</i>	蒲桃	200	3.5	1.5	Dead	Poor	Low	Low	N
T8	<i>Bombax ceiba</i>	木棉	570	8.0	12.0	Withering	Poor	Low	Low	N
T9	<i>Araucaria heterophylla</i>	異葉南洋杉	600	7.0	4.5	Withering	Poor	Low	Low	N
T10	<i>Araucaria heterophylla</i>	異葉南洋杉	345	6.0	3.0	Withering	Poor	Low	Low	N
T11	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	180	4.5	3.0	Fair	Medium	Low	Low	N
T12	<i>Phoenix roebelenii</i>	日本葵	95	3.0	2.0	Fair	Medium	Low	Low	N
T13	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	160	4.5	3.5	Fair	Medium	Low	Low	N
T14	<i>Bombax ceiba</i>	木棉	420	7.0	4.5	Withering	Poor	Low	Low	N
T15	<i>Bridelia tomentosa</i>	土蜜樹	100	3.5	3.0	Fair	Poor	Low	Low	N
T16	<i>Bridelia tomentosa</i>	土蜜樹	120	3.5	2.0	Fair	Poor	Low	Low	N
T17	<i>Araucaria heterophylla</i>	異葉南洋杉	450	7.0	5.0	Fair	Poor	Low	Low	N
T18	<i>Bauhinia variegata</i>	宮粉羊蹄甲	110	6.5	4.0	Fair	Poor	Low	Low	N
T19	<i>Bauhinia variegata</i>	宮粉羊蹄甲	105	5.5	4.0	Fair	Poor	Low	Low	N
T20	<i>Bauhinia variegata</i>	宮粉羊蹄甲	105	6.5	3.0	Fair	Poor	Low	Low	N
T21	<i>Bauhinia variegata</i>	宮粉羊蹄甲	110	5.5	3.0	Fair	Poor	Low	Low	N
T22	<i>Lophostemon confertus</i>	紅膠木	410	8.5	7.0	Fair	Medium	Low	Medium	N
T23	<i>Araucaria heterophylla</i>	異葉南洋杉	435	8.5	11.5	Fair	Poor	Low	Low	N
T24	<i>Morus alba</i>	桑	175	3.5	5.0	Fair	Poor	Low	Low	N
T25	<i>Macaranga tanarius</i>	血桐	100	4.0	5.5	Fair	Medium	Low	Low	N
T26	<i>Machilus breviflora</i>	短序潤楠	95	6.0	3.0	Fair	Medium	Low	Low	N
T27	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	325	9.0	8.0	Fair	Medium	Low	Low	N
T28	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	220	9.0	7.0	Fair	Medium	Low	Low	N
T29	<i>Macaranga tanarius</i>	血桐	210	6.5	5.5	Fair	Poor	Low	Low	N
T30	<i>Macaranga tanarius</i>	血桐	105	6.0	5.0	Fair	Poor	Low	Low	N
T31	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	105	6.0	4.0	Fair	Poor	Low	Low	N
T32	<i>Macaranga tanarius</i>	血桐	190	6.0	6.0	Fair	Poor	Low	Low	N
T33	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	270	6.5	6.0	Fair	Poor	Low	Low	N
T34	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	105	5.0	4.0	Fair	Poor	Low	Low	N

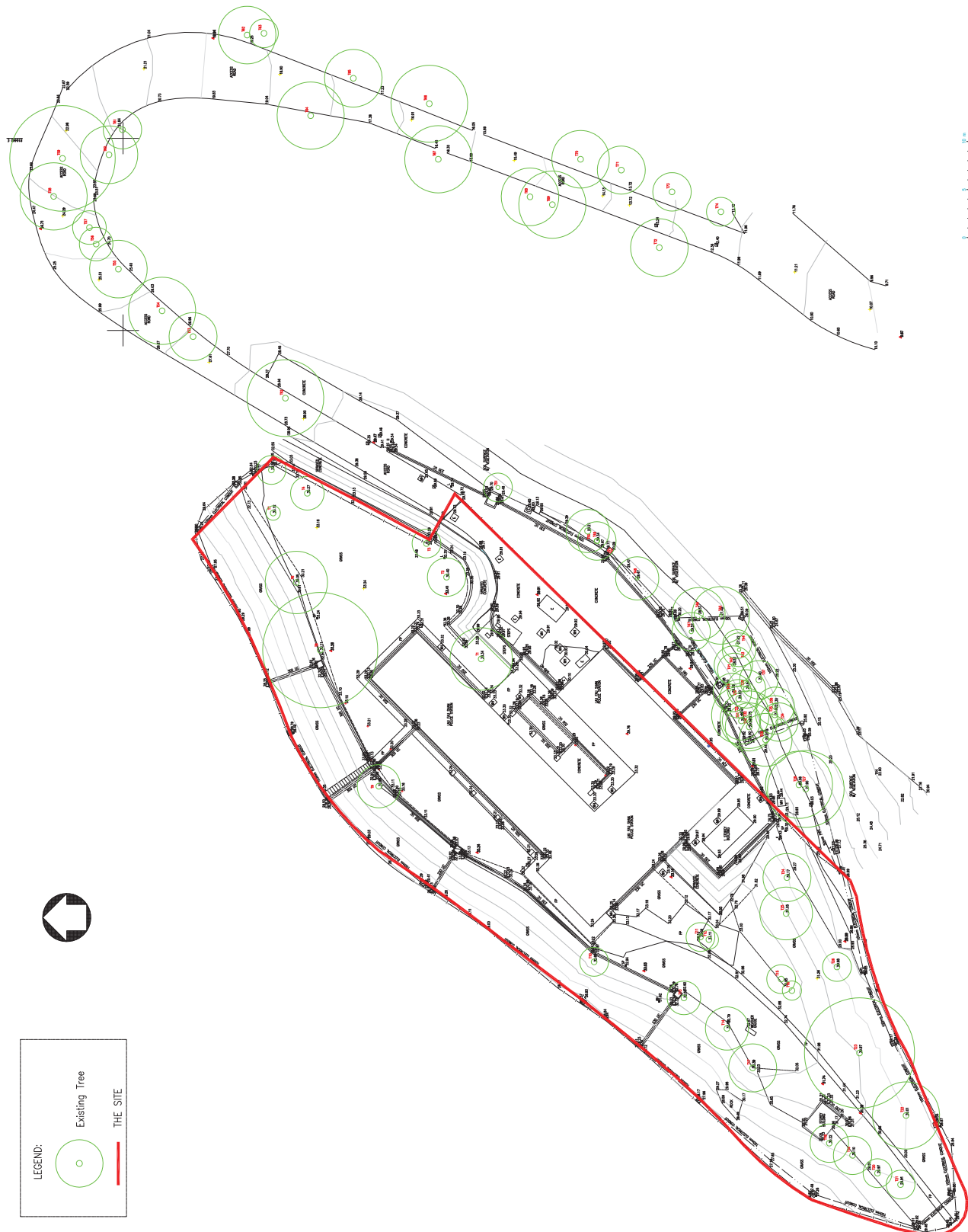
Tree Tag No.	Species		Tree Size			Health Condition (Healthy, Fair, Withering, Dead, Imminent Danger)	Tree Form (Good, Medium, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T35	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	135	5.0	4.0	Fair	Medium	Low	Low	N
T36	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	140	4.5	4.0	Fair	Medium	Low	Low	N
T37	<i>Macaranga tanarius</i>	血桐	95	4.5	4.0	Fair	Medium	Low	Low	N
T38	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	95	4.0	4.0	Fair	Medium	Low	Low	N
T39	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	175	6.5	4.0	Fair	Medium	Low	Low	N
T40	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	155	6.5	4.0	Fair	Medium	Low	Low	N
T41	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	175	4.0	3.5	Fair	Poor	Low	Low	N
T42	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	120	6.0	4.0	Fair	Medium	Low	Low	N
T43	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	110	6.5	3.5	Fair	Poor	Low	Low	N
T44	<i>Macaranga tanarius</i>	血桐	95	4.5	3.0	Fair	Medium	Low	Low	N
T45	<i>Macaranga tanarius</i>	血桐	95	5.0	6.0	Fair	Medium	Low	Low	N
T46	Dead Tree	死樹	300	7.0	5.5	Dead	Poor	Low	Low	N
T47	<i>Psidium guajava</i>	番石榴	130	5.0	4.0	Fair	Poor	Low	Low	N
T48	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	105	6.5	4.5	Fair	Poor	Low	Low	N
T49	<i>Cratoxylum cochinchinense</i>	黃牛木	170	5.0	4.0	Fair	Medium	Low	Low	N
T50	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	205	6.5	4.5	Fair	Medium	Low	Low	N
T51	<i>Bauhinia variegata var. candida</i>	白花羊蹄甲	130	6.5	3.0	Fair	Medium	Low	Low	N
T52	<i>Macaranga tanarius</i>	血桐	295	6.0	8.0	Fair	Medium	Low	Low	N
T53	<i>Macaranga tanarius</i>	血桐	140	5.0	5.0	Fair	Medium	Low	Low	N
T54	<i>Macaranga tanarius</i>	血桐	215	6.0	7.0	Fair	Medium	Low	Low	N
T55	<i>Macaranga tanarius</i>	血桐	250	5.5	6.0	Fair	Poor	Low	Low	N
T56	Dead Tree	死樹	120	5.0	3.5	Fair	Poor	Low	Low	N
T57	<i>Celtis sinensis</i>	朴樹	160	5.5	3.5	Fair	Poor	Low	Low	N
T58	<i>Macaranga tanarius</i>	血桐	255	6.5	7.0	Fair	Medium	Low	Low	N
T59	<i>Celtis sinensis</i>	朴樹	480	12.0	11.0	Fair	Medium	Low	Medium	N
T60	<i>Microcos paniculata</i>	破布葉	190	6.0	6.0	Fair	Medium	Low	Low	N
T61	<i>Microcos paniculata</i>	破布葉	120	4.5	4.0	Fair	Medium	Low	Low	N
T62	<i>Celtis sinensis</i>	朴樹	165	6.5	6.0	Fair	Medium	Low	Medium	N
T63	<i>Dimocarpus longan</i>	龍眼	125	5.5	3.0	Fair	Medium	Low	Low	N
T64	<i>Macaranga tanarius</i>	血桐	215	6.0	7.0	Fair	Medium	Low	Low	N
T65	<i>Litchi chinensis</i>	荔枝	230	9.0	6.0	Fair	Medium	Low	Low	N
T66	<i>Dimocarpus longan</i>	龍眼	430	8.0	8.0	Fair	Medium	Low	Medium	N
T67	<i>Macaranga tanarius</i>	血桐	245	8.5	7.0	Fair	Medium	Low	Low	N
T68	<i>Macaranga tanarius</i>	血桐	125	6.0	6.0	Fair	Medium	Low	Low	N
T69	<i>Macaranga tanarius</i>	血桐	205	6.5	7.0	Fair	Medium	Low	Low	N
T70	<i>Aporosa dioica</i>	銀柴	225	9.5	6.0	Fair	Medium	Low	Low	N
T71	<i>Microcos paniculata</i>	破布葉	185	6.5	5.0	Fair	Medium	Low	Low	N
T72	<i>Macaranga tanarius</i>	血桐	220	7.0	6.0	Fair	Medium	Low	Low	N

Tree Tag No.	Species		Tree Size			Health Condition (Healthy, Fair, Withering, Dead, Imminent Danger)	Tree Form (Good, Medium, Poor)	Survival of Transplantation (High, Medium, Low)	Amenity Value (High, Medium, Low)	Register as "Old & Valuable Tree" (Y/N)
	Scientific Name	Chinese Name	Trunk Dia. (mm)	Overall Height (m)	Average Crown Spread (m)					
T73	<i>Litsea glutinosa</i>	游榕樹	95	5.0	4.0	Fair	Medium	Low	Low	N
T74	<i>Microcos paniculata</i>	破布葉	115	4.0	3.0	Fair	Medium	Low	Low	N

LEGEND:

Existing Tree

THE SITE



PROJECT:
 RESOURCE KIT FOR FORMER
 LAU FAU SHAN POLICE STATION

DRAWING TITLE:
 TREE IDENTIFICATION PLAN

DRAWING NO:
 LFSPS/TIP/01

Appendix XIV

Recurrent Expenditure

(A) Electricity Fee

Possible Use(s) ⁽¹⁾	GFA (m2) (a)	Net Gross Ratio (b)	IFA (m2) (c) =(a)*(b)	Energy Consumption Indicator ⁽²⁾ (MJ/m2/annum) (d)	Energy Consumption per annum (kWh/annum) ⁽³⁾ (e) = (c)*(d)*0.2778	Estimated Electricity Fee(\$) ⁽⁴⁾ per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website ⁽²⁾
Eating Place	927	70.74%	655.76	5,729	1,043,652	1,312,954.20	Other Eating and Drinking Place
Education Institution				185	33,701	42,435.90	Post-secondary College
Exhibition or Convention Hall				2,302	419,356	527,589.90	Central Services for Shopping Arcade
Field Study / Education / Visitor Centre				630	114,767	144,416.90	Adult Education / Tutorial / Vocational Course
Hotel				898	163,589	205,835.00	Hotel

Notes:

(1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 10 hours for, Food and beverage services, Education or training facilities, Exhibition or convention hall, Field Study, Education or Visitor Centre.

(2) The respective "Energy Consumption Indicators" can be found at

http://ecib.emsd.gov.hk/en/indicator_cmc.htm

(3) 1MJ x 0.2778 = 1kWh

(4) Electricity fee of Hong Kong side is based on the tariff charged by CLP Hong Kong Limited (HEH).

HEH: @\$0.987 for first 5000 units, @\$0.979 for each unit over 5,000. Fuel clause adjustment charge is @\$0.279.

1 Unit = 1 kWh.

The estimated electricity fee is for cost projection in the application only.

The actual fee will be subject to the then tariff and actual demand and consumption.

(B) Water and Sewage Charge

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d)	Estimated Water & Sewage Charge(\$) ⁽²⁾ /annum (e) = (d) x 12
Eating Place	927	70.74%	655.76	(d) = (Refer to Note 2) 1,503.36	18,040.32
Education Institution				(d) = (c) x \$0.3 196.73	2,360.76
Exhibition or Convention Hall					
Field Study / Education / Visitor Centre					
Hotel	(d) = (Refer to Note 3) 52,617.60	631,411.20			

Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is = \$0.3 per m².

Based on the above estimate, it is assumed that the use of water per m² of :

Education or training facilities, Exhibition or convention hall, Field Study, Education or Visitor Centre = Offices.

- (2) The estimated water and sewage charge per month of food and beverage services =
[Nos. of sink x Operation Time (hours)] x Liter per second x Nos. of Seconds per hour x Estimated Water & Sewage Charge per m² x nos. of days the food and beverage services operates per months =

$$(i) \times (ii) \times 3600 \times (iii) \times (iv) = 12 \times 0.00016 \times 3600 \times 7.25 \times 30 = 1,503.36$$

(i) Say 2 nos. of sink operate in 6 hours in total per day = 12 hrs

(ii) The water tap of sink flows 0.16 l/s (According to Members of Intuition of Plumbing Engineers Guide), therefore The water tap of sink flows = 0.00016 m³/s

(iii) According to the standard accommodation rate issued by the Water Supplies Department, the estimated monthly water & sewage charges of Food and beverage services are \$4.58 per m³ and \$2.67 per m³.

Therefore, Estimated Water & Sewage Charge(\$) is \$7.25 per m³.

(iv) nos. of days the food and beverage services operates (say 30 days for month)

- (3) The estimated water and sewage charge per month of hotel =
 Nos. of sink x Operation Time (hours)] x Liter per second x Nos. of Seconds per hour x Estimated Water &
 Sewage Charge per m² x nos. of days the food and beverage services operates per months =
- (i) x (ii) x 3600 x (iii) x (iv) = 422 x 0.00016 x 3600 x 7.25 x 30 = \$52,617.60
- (i) Say 35 nos. of sink operate in 12 hours in total per day = 420 hrs
- (ii) The water tap of sink flows 0.16 l/s (According to Members of Intuition of Plumbing Engineers Guide),
 therefore The water tap of sink flows = 0.00016 m³/s
- (iii) According to the standard accommodation rate issued by the Water Supplies Department, the estimated
 monthly water & sewage charges of Food and beverage services are \$4.58 per m³ and \$2.67 per m³.
 Therefore, Estimated Water & Sewage Charge(\$) is \$7.25 per m³.
- (iv) nos. of days the food and beverage services operates (say 30 days for month)
- (4) The estimated water and sewage charge is for reference only. The applicants are free to make reference to
 other sources as appropriate. The actual water and sewage charge will be subjected to the demand pattern,
 actual consumption and tariff rate.

(C) Estimated Rates and Rent

Possible Use(s)	GFA (m ²)	Site Area (m ²)	Rateable Value ⁽¹⁾ (\$) (a)	Rates/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum (\$) (d) = (b) + (c)
Eating Place	927	2500	165,000	8,250	4,950	13,200
Education Institution						
Exhibition or Convention Hall						
Field Study / Education / Visitor Centre						
Hotel	927	2500	2,600,000	130,000	78,000	208,000

Notes:

(1) The above rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

Appendix XV

Summary of Retrieved Underground Utility Information

Lau Fau Shan Police Station

Item	Utility Company / Government Department	Enquiry Letter (Date)	Replied with plans (Date)	Replied stated no plans/UU (Date)	Remarks
1	Water Supplies Department	22 Mar 2016	★ 11 Apr 2016		Refer to Appendix. XV(A)
2	CLP Power Hong Kong Limited	22 Mar 2016	★ 5 Apr 2016		Refer to Appendix. XV(B)
3	Drainage Services Department	29 Mar 2016		★ 20 Apr 2016	Refer to Appendix. XV(C)
4	The Hong Kong and China Gas Co. Ltd.	23 Mar 2016		★ 31 Mar 2016	Refer to Appendix. XV(D)
5	PCCW-HKT Telephone Limited and Hong Kong Telecommunications (HKT) Limited	14 Apr 2016	★ 15 Apr 2016		Refer to Appendix. XV(E)
6	Hutchison Global Communications Limited	22 Mar 2016		★ 15 Apr 2016	Refer to Appendix. XV(F)
7	Wharf T&T Limited	22 Apr 2016		★ 25 Apr 2016	Refer to Appendix. XV(G)
8	Hong Kong Broadband Network Ltd.	31 Mar 2016		★ 5 Apr 2016	Refer to Appendix. XV(H)
9	TraxComm Limited	14 Apr 2016		★ 29 Apr 2016	Refer to Appendix. XV(I)
10	HKC Network Limited	14 Apr 2016		★ 22 Apr 2016	Refer to Appendix. XV(J)
11	Electrical & Mechanical Services Department	22 Mar 2016		★ 22 Mar 2016	Refer to Appendix. XV(K)
12	Highways Department Lighting Division	22 Mar 2016		★ 1 Apr 2016	Refer to Appendix. XV(L)
13	Transport Department	23 Mar 2016		★ 29 Mar 2016	Refer to Appendix. XV(M)
14	Mass Transit Railway Corporation Ltd.	22 Mar 2016		★ 30 Mar 2016	Refer to Appendix. XV(N)
15	Hong Kong Cable Television Limited	22 Apr 2016		★ 25 July 2016	Refer to Appendix. XV(O)
16	New World Telecommunications Limited	22 Apr 2016		No reply	
17	SmarTone Communications Limited	22 Apr 2016		No reply	
18	Telecommunications Fixed Network Limited	22 Apr 2016		No reply	
19	ComNet Telecom(HK) Limited	14 Apr 2016		No reply	
20	TVB Pay Vision Limited	22 Apr 2016		No reply	

Note: The information shown is for reference only.

Appendix XV(A)

**Reply Letter/Record Plan of
Water Supplies Department**



水務署
Water Supplies Department

Kowloon Sub-Office
128 Sai Yee Street
Mong Kok Kowloon

九龍分處
九龍旺角洗衣街
一二八號

Telephone 2399 3303
電話

Facsimile 2789 4680
圖文傳真

Reference (16) in WSD/NTW 1744/3/3/98 Pt.6 TJ(3)
檔號

Date
日期 11 April 2016

Your Reference: UC22032016OA-B5311

Prudential Surveyors International Limited
3/F, Tung Hip Commercial Building
244-252 Des Voeux Road, Central
Hong Kong
Attn: Mr. Obsert Tse

WSD 1744/3/3/98-165311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd	13 APR 2016
Project Manager	
DW	RC
RL	AR
RS	TL
WP	IC
CL	SW
CS	ETC
EL	EW
DN	PT
QW	HW
	OTV
File	Copy to
Action	

Dear Sir/Madam

Re: Resource Kit For Former Lau Fau Shan Police Station

We refer to your letter dated 22 March 2016 and return herewith a copy of plan(s) showing the existing water mains and waterworks installations in the vicinity. You are requested to note that the alignment of the water mains shown on the plan(s) returned is indicative only. Although it is our intention to provide you with the most up to date information, we cannot guarantee that the information returned to you is exhaustive. In particular, we cannot guarantee that all our water mains, especially those laid only recently, have been incorporated in our central records and hence on the plan(s) returned.

The exact lines and levels of the water mains as well as the materials that the water mains are made of should be established by hand dug trial holes on site if they are of significance to your works. You should instruct your consultants and/or contractors (as the case may be) to take all necessary measures during the design and/or construction stages (as the case may be) to avoid causing damage to the water mains and waterworks installations, for which you will be held responsible. A list of conditions for working in the vicinity of waterworks installations is also attached. Please also advise your Contractor/site staff to follow the procedures and practices described in the "Guidelines for Excavation near Water Mains" which is posted on WSD Internet Website www.wsd.gov.hk.

Your attention is particularly drawn to the fact that some of the existing water mains, are asbestos cement (AC), which are vulnerable to damage. You are advised to conduct thorough site investigations to ascertain whether there are any AC pipes affected by the project, and to make special provisions including monitoring measures as necessary to protect AC pipes identified on site. Should diversion/replacement of AC pipes be found necessary to be carried out in conjunction with your proposed works after detailed investigations or studies, you should instruct your consultants and/or contractors (as the case may be) to take all necessary measures during the design and/or construction stages (as the case may be) to comply with all prevailing statutory requirements for the safe handling, removal, transportation and disposal of AC pipes.

If you require further information or assistance, please contact my Inspector, Mr. Ip Wing Kwong at Tel. No. 23994277.

Yours faithfully,



(Chan Chi Wai)
for Chief Engineer/New Territories West
Water Supplies Department

Encl.

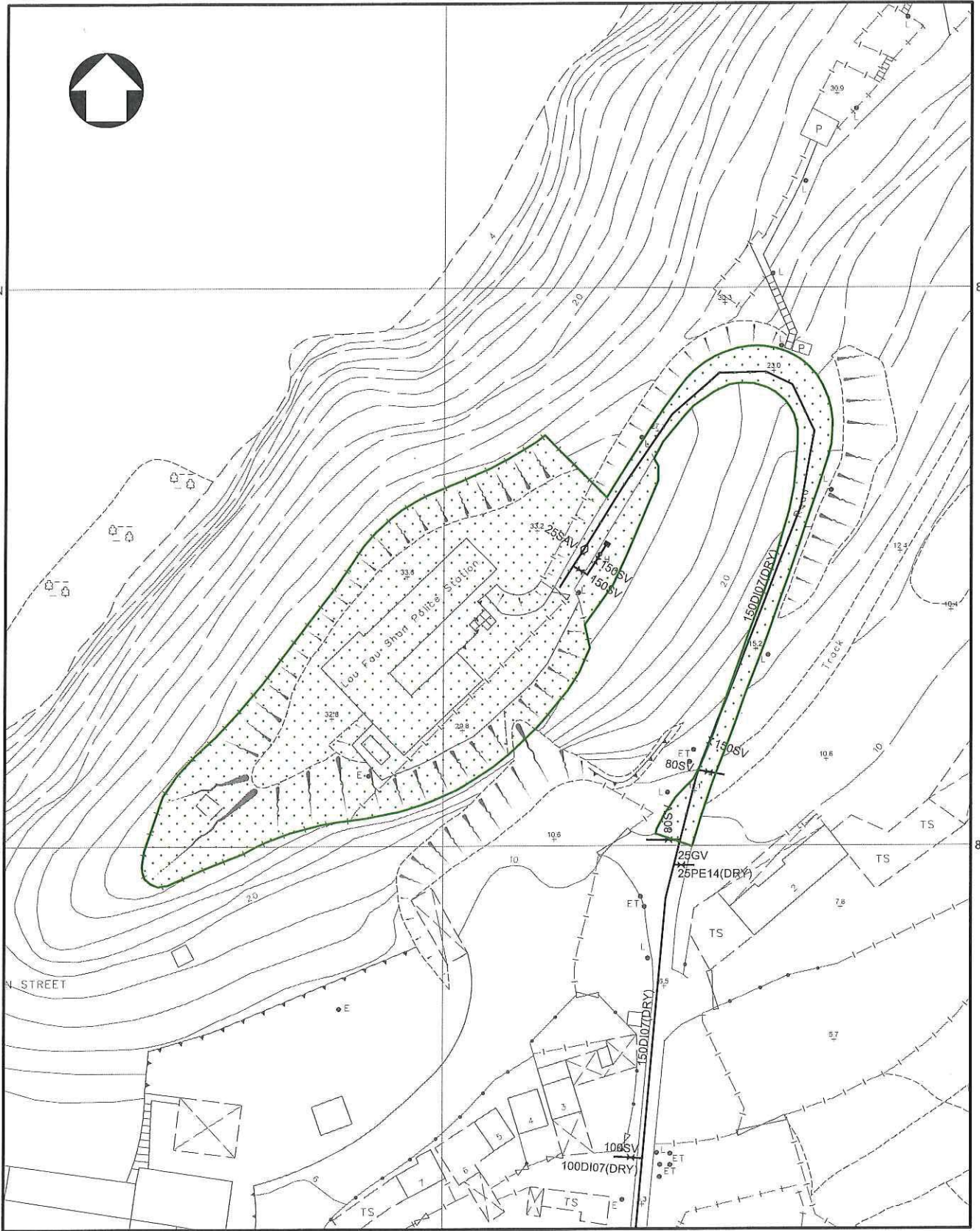
816400E

836700N

836700N

836600N

836600N



816400E

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM.
3. INFORMATION ON ALIGNMENT OF MAINS IS OF INDICATIVE VALUE ONLY. WHERE POSITIONAL ACCURACY MAY BE OF IMPORTANCE, DETAILS SHOULD BE SITE CHECKED.
4. FOR MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS SEE SKETCH NO. 3988.
5. NO EXISTING SALT WATER MAINS IN THE VICINITY OF THE SITE.
6. NO PROPOSED WATER MAINS IN THE VICINITY OF THE SITE.
7. NO EXISTING WSD CABLE IN THE VICINITY OF THE SITE.
8. NO PROPOSED WSD CABLE IN THE VICINITY OF THE SITE.
9. THE SITE IS NOT WITHIN WSD GATHERING GROUNDS.
10. NO WSD LAND ALLOCATION / WWR WITHIN THE SITE AREA.
11. NO WSD SLOPES ARE AFFECTED IN THE VICINITY OF THE SITE.

SUBJECT SITE



PART COPY OF FRESH WATER MAINS RECORD PLAN(S)

W67880/2-SW-21B & 21D

FILE REF: 15 IN WSD/NTW1744/3/3/98PT6TJ3

REF. CODE: 14W16M

SHEET 1 OF 1

SCALE 1:1000



水務署
Water Supplies Department

SIGN CONVENTIONS

MAINS

TYPE

FRESH/SALT WATER MAINS
 RAW/UNTREATED WATER MAINS/CONDUIT
 BEING LAID MAINS
 PROPOSED MAINS
 WASHOUT PIPE
 SLUDGE PIPE
 TREATED EFFLUENT MAINS
 WATER MAINS REQUIRE REGULAR FLUSHING
 PRIVATE MAINS (SEE NOTE 2)
 MAINS OF OTHER DEPARTMENTS (SEE NOTE 3)
 REPLACEMENT AND REHABILITATION MAINS
 PENDING HANDOVER TO WSD

FIRE SERVICES

PEDESTAL FIRE HYDRANT
 GROUND FIRE HYDRANT
 HEAVY DRAW-OFF FIRE HYDRANT
 SWAN NECK FIRE HYDRANT
 TWIN OUTLET SWAN NECK FIRE HYDRANT
 FIRE SERVICES CONNECTION

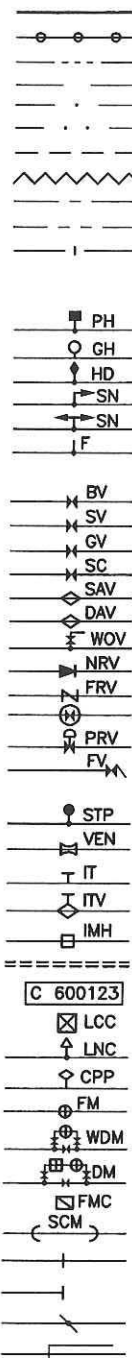
VALVES

BUTTERFLY VALVE
 SLUICE VALVE
 GATE VALVE
 STOP COCK
 SINGLE AIR VALVE
 DOUBLE AIR VALVE
 WASHOUT VALVE
 NON RETURN/REFLUX VALVE
 FLOW REGULATING VALVE
 NORMALLY CLOSED VALVE
 PRESSURE CONTROL/REDUCING/RELIEF VALVE
 FLAP VALVE

OTHERS

STANDPIPE
 VENTURI TUBE
 INSPECTION MANHOLE TEE
 AIR VALVE ON INSPECTION MANHOLE TEE
 INSPECTION MANHOLE
 WATER TUNNEL
 ESSENTIAL VALVE REFERENCE NUMBER
 LEAKAGE COLLECTION CHAMBER
 LEAK NOISE CORRELATION POINT
 CATHODIC PROTECTION POINT
 CHECK METER/FLOWMETER
 WASTE DETECTION METER
 DISTRICT METER WITH STRAINER
 FLOW MEASUREMENT CHAMBER FOR ULTRASONIC FLOW METER
 SHALLOW COVERED WATER MAINS
 CHANGE IN PIPE
 BLANK FLANGE/END CAP
 PIPES CONNECTED
 PIPES CROSS OVER

LEGEND



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NOTES:

- WSD MAINS INCLUDE:
 - MAINS LAID AND MAINTAINED BY WSD.
 - MAINS LAID BY OTHER DEPARTMENTS OR PRIVATE PARTIES BUT MAINTAINED BY WSD AT WSD'S COST.
- PRIVATE MAINS INCLUDE MAINS IN PRIVATE ROADS, PRIVATE HOUSING ESTATES, ETC. NOT MAINTAINED BY WSD.
- MAINS OF OTHER DEPARTMENTS INCLUDE MAINS LAID BY OTHER GOVERNMENT DEPARTMENTS NOT MAINTAINED BY WSD.

ABBREVIATIONS

PIPE MATERIALS

AC	ASBESTOS CEMENT
CI	CAST IRON
CONC	CONCRETE
COPP	COPPER ALLOY
DI	DUCTILE IRON
GI	GALVANIZED IRON
GIL	LINED GALVANIZED IRON
GRP	GLASS FIBRE REINFORCED PLASTIC
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PE	POLYETHYLENE
GMS	GALVANIZED MILD STEEL
MS	MILD STEEL
S	STEEL
UPVC	UNPLASTICISED POLYVINYL CHLORIDE

REHABILITATION METHODS

RA	CURED IN PLACE PIPE (CIPP)
RB	CLOSE FIT ("FOLD AND FORM" SYSTEM)
RC	PIPE BURSTING
RD	SLIP LINING/SLIP INSERTION
RE	CLOSE FIT ("SWAGELINING" SYSTEM)
RF	FIBRE REINFORCED PLASTIC (FRP) SYSTEM
RG	INTERNAL LINING REPAIRED
RH	EXTERNAL COATING REPAIRED
RJ	CATHODIC PROTECTION INSTALLED

DESIGNATIONS

'450D199' DESIGNATES 450mm DIAMETER DUCTILE IRON PIPE LAID IN 1999.
 '600S03(E)' DESIGNATES 600mm DIAMETER STEEL PIPE LAID IN 2003 (ENTRUSTMENT).
 '600D197(W10582/2B)' DESIGNATES 600mm DIAMETER DUCTILE IRON PIPE LAID IN 1997 WITH DRAWING REFERENCE (W10582/2B).
 '150D104W0, 150D104F, 150D104OF' DESIGNATES 150mm DIAMETER, DUCTILE IRON PIPE MATERIAL, LAID IN 2004, OF TYPE WASHOUT PIPE, FIRE SERVICE MAINS AND OVERFLOW PIPE RESPECTIVELY.
 '150CIRA04' DESIGNATES 150mm DIAMETER CAST IRON PIPE REHABILITATED IN 2004 BY CURED IN PLACE PIPE METHOD (SEE ABBREVIATIONS).
 '600S03(L), 600S03(DRY), 600S03(PC)' DESIGNATES 600mm DIAMETER, STEEL PIPE MATERIAL, LAID IN 2003 WITH LEAKAGE COLLECTION SYSTEM, DRY MAINS AND PENDING COMMISSION MAINS RESPECTIVELY.
 '80PE09(TM)' DESIGNATES 80mm DIAMETER, POLYETHYLENE PIPE MATERIAL, LAID IN 2009, TEMPORARY MAINS FOR FLUSHING.

B	11/02/11	GENERAL REVISION	
A	16/06/05	GENERAL REVISION	(Signed) K.T. CHAN SE/AM
編號 no.	日期 date	摘要 description	簽署 initial
修訂 REVISION			

圖則名稱 drawing title MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS	簽署 initial	日期 date	圖則編號 drawing no.	比例 scale
	繪製 drawn (Signed) C.M. CHAN	16/06/05	SK 3988B	NOT APPLICABLE
	核對 checked			
	加簽 endorsed			
	核准 approved (Signed) C.C. CHAN CE/RA	12/03/98	 水務署 Water Supplies Department	

PLOTTING SCALE 1 : 1

CAD REF: SK3988B.DWG

Appendix XV(B)

**Reply Letter/Record Plan of
CLP Power Hong Kong Limited**

05 Apr, 2016

Prudential Surveyors International Ltd
3/F, Tung Hip Commercial Building
244-252 Des Voeux Road Central
Hong Kong

Attention : Osbert Tse

Our ref.: N-2016-0439
Your ref.: UC22032016OA-B5311

CLP 11041624/B5311

PRUDENTIAL SURVEYORS INTL. LTD.	
Date Rec'd	11 APR 2016
Project Manager	
DW	RC
RL	AR
RS	TL
WV	LC
CL	SW
CS	EP
DL	EW
DON	ET
KW	HN
	OT ✓
File	Copy to
Action	

中華電力有限公司
CLP Power Hong Kong Limited

北區
North Region

香港新界上水嘉富坊16號
16 Ka Fu Close, Sheung Shui
New Territories, Hong Kong

電話 Tel (852) 2678 2156
傳真 Fax (852) 2678 2180
網址 Website www.clpgroup.com

Dear Sir/Madam,

Resource Kit for Former Lau Fau Shan Police Station

We refer to your letter dated 22 Mar, 2016 and enclose herewith our record sheet(s) showing the present location(s) of this Company's underground cables and / or overhead lines. The alignments of the cables and overhead lines could be altered in the future to meet the requirements of our power system.

You will find certain measurements, dimensions and distances marked on these record sheets. Although these figures are accurate to the best of our knowledge, information and belief, site conditions may have been altered since the measurements were taken. As such, CLP Power's record sheets are sent to you on the express condition that the locations of the underground cables and / or overhead lines and all measurements are our best approximation only, and should not be taken as accurate.

We request you, for the sake of safety, not to disturb any part of our equipment and not to construct manholes over and on top of our cable joints. No work or excavation shall be done in close proximity to any of our equipment without giving prior notice to us. We shall hold you responsible for any damage caused to our equipment.

You are advised to contact our Operations Engineer - Tuen Mun, CHAN WAI SING on telephone number 2678 3407 as soon as you are ready to commence work. To facilitate site co-ordination, please provide us with the name(s) of the responsible person(s), contact telephone number and tentative work commencement date.

2/.....



Cont. Page 2 of 2

Our ref. : N-2016-0439

Please be informed that the record of public lighting within your work site should be referred to Lighting Division of Highways Department on telephone number 2370 4830 for details.

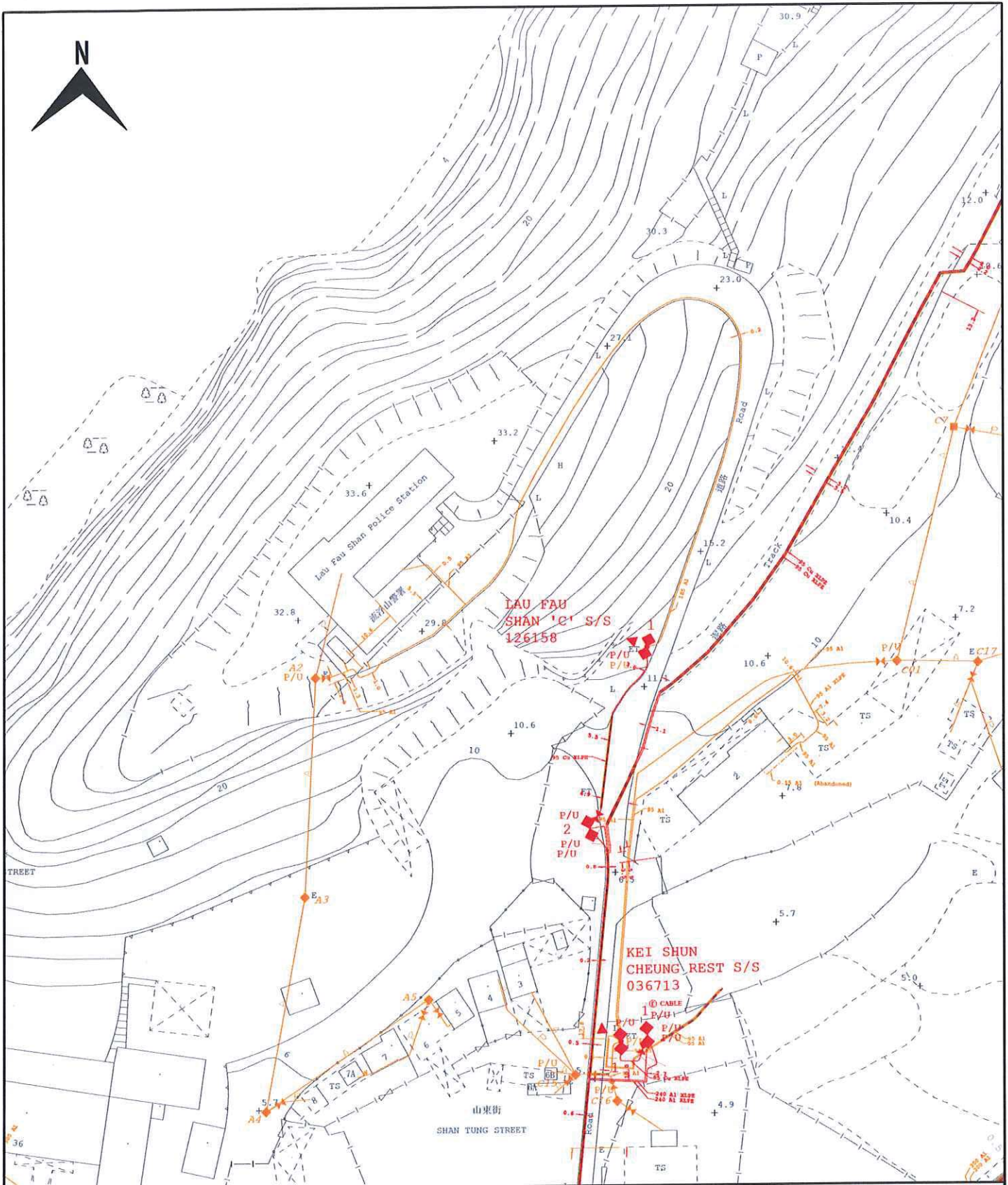
Yours faithfully,


HO YU LEUNG
for Senior Planning & Design Manager
North Region

cc.

- Encl.:1. Guidelines For Contractors Working In The Vicinity Of Electricity Cables And Overhead Lines
2. EMSD Reference Document No. NU/26/01
3. Drawing Reference No. : N-2016-0439-001

P.S. You are advised to note a Video For Contractors Working In The Vicinity Of Electricity Cables And Overhead Lines via a link of (<https://www.clp.com.hk/ourvalues/social/qualityandsafety/contractorsafety/Documents/EMSD.aspx>)



ALL LOCATIONS, MEASUREMENTS, DIMENSIONS AND DISTANCES ARE FOR CLP POWER INTERNAL USE ONLY. THEY SHOULD NOT BE SCALED AND ASSUMED ACCURATE. CLP POWER ACCEPTS NO RESPONSIBILITY IN THE EVENT OF ANY INACCURACY. EXTREME CARE MUST BE EXERCISED WHEN WORKING IN CLOSE PROXIMITY TO OUR EQUIPMENT. PLEASE CONTACT OUR REGIONAL OFFICE AS SOON AS YOU ARE READY TO COMMENCE WORK.

Legend

- | | |
|-------------------------------------|---------------------------------------|
| 400kV CABLE / SUBMARINE CABLE / OHL | LOW VOLTAGE CABLE |
| 400kV OVERHEAD LINE TOWER | LOW VOLTAGE OVERHEAD LINE (1 PHASE) |
| 132kV CABLE / SUBMARINE CABLE / OHL | LOW VOLTAGE OVERHEAD LINE (3 PHASE) |
| 132kV OVERHEAD LINE TOWER | LV OVERHEAD LINE (ABC / Wall Mounted) |
| 33kV CABLE | LOW VOLTAGE OVERHEAD LINE (PVC) |
| 33kV SUBMARINE CABLE | PILOT CABLE |
| 33kV OVERHEAD LINE | TEMPERATURE SENSING CABLE (DTS) |
| ABANDONED TRANSMISSION CABLE | FIBRE OPTIC CABLE |
| 11kV CABLE | AERIAL EARTH WIRE (AEW) |
| 11kV SUBMARINE CABLE | OVERHEAD LINE FIBRE OPTIC |
| 11kV OVERHEAD LINE | SHALLOW COVER INSTALLATION |
| | DUCT LINE |

MAP NO: CLP Facility Records Map

02SW21D

02SW22A

02SW22C

02SW21B

SCALE: 1:1000

PRINTED ON: 31-03-2016

Reference no. : N-2016-0439-001

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Appendix XV(C)

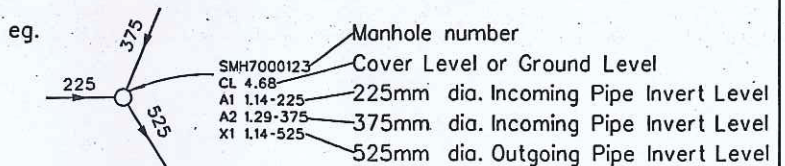
**Reply Letter/Record Plan of
Drainage Services Department.**

Legend for Drainage Record Plan

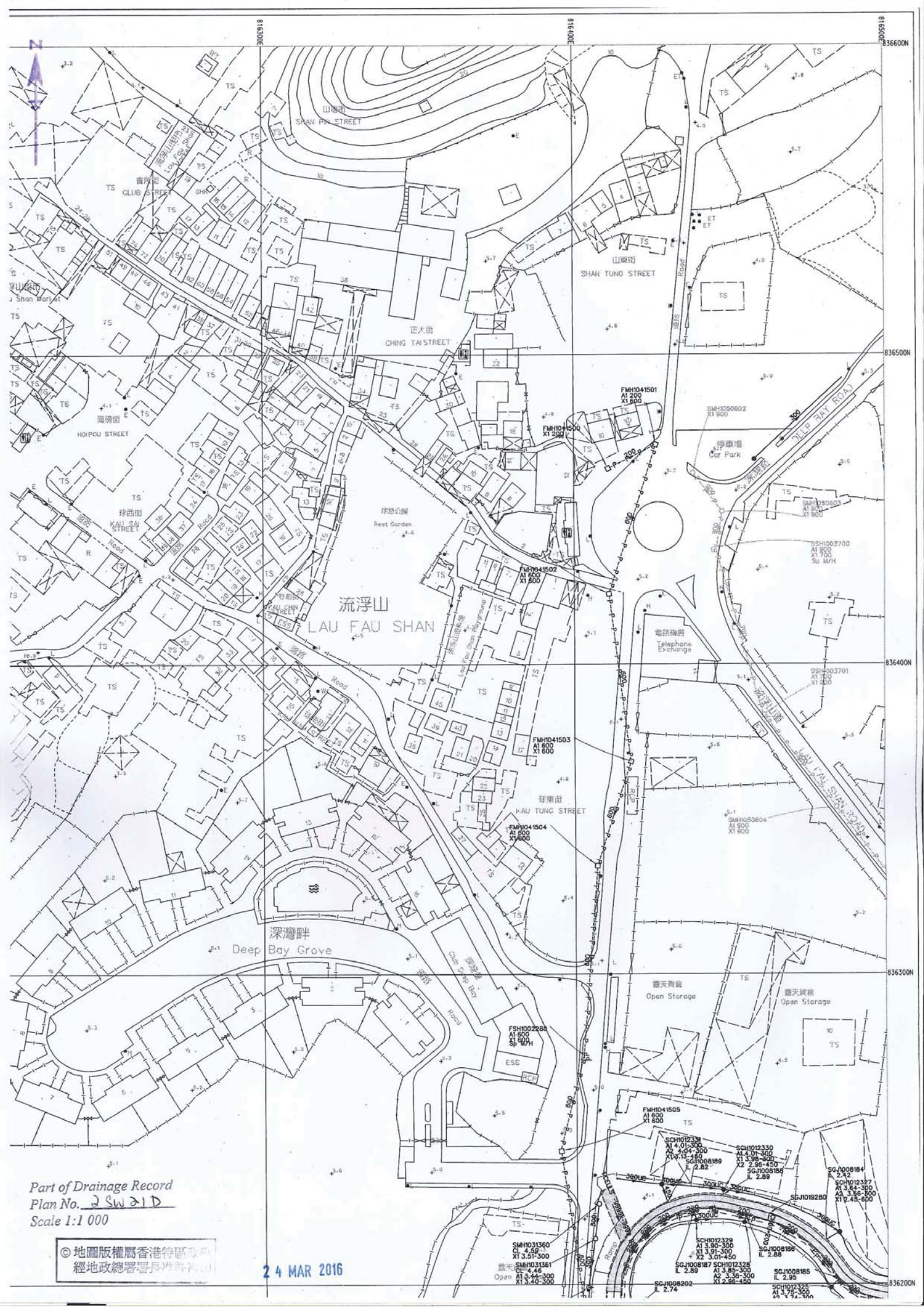
<p>○ Storm Water Manhole</p> <p>⊙ Storm Water Terminal Manhole</p> <p>□^{SSH} Storm Water Special Manhole</p> <p>□ Sewer Manhole</p> <p>⊠^{FSH} Sewer Terminal Manhole</p> <p>□ Sewer Special Manhole</p> <p>⊞ Combined Manhole</p> <p>● Catchpit</p> <p>⊗ Desilting Opening</p> <p>○^{ZIA} Inspection Opening</p> <p>□^{DWF Interceptor} Dry Weather Flow Interceptor</p> <p>▢ Sand Trap</p> <p>⌋ Inlet</p> <p>⌋ Outlet</p> <p>⊙/⊙ Gully Sump / Gully</p> <p>H/H Tapping Point (Storm/Sewer)</p> <p>⊙/⊙ Overflow (Sewer/Combined)</p> <p>⊠ Interface Valve Chamber</p> <p>▢ Oil / Petrol Interceptor</p> <p>⊗ Valve</p> <p>▢ Water Gauge</p> <p>+ / + Spot Level (Storm/Sewer)</p> <p>▢ / ▢ Tunnel / Box Culvert (Storm/Sewer)</p> <p>▢ Drainage Reserve</p> <p>▢ Tunnel Protection Zone</p> <p>SYJXXXXXX 450-LEFT</p> <p>FYJXXXXXX 450-LEFT</p> <p>CYJXXXXXX 450-LEFT</p>	<p>→ Existing Pipe (Storm/Sewer/Combined)</p> <p>-I-X-I Existing Pipe (Storm/Sewer/Combined) (Planning / Identifying to be Abandoned)</p> <p>-P-P- Proposed Pipe (Storm/Sewer)</p> <p>- - - Works In Progress Pipe (Storm/Sewer)</p> <p>-N-N- Not Yet Commissioned Pipe (Storm/Sewer)</p> <p>X-X-X-X Abandoned Pipe</p> <p>X-X-X-X-X-X Abandoned Pipe (Filled with Materials)</p> <p>UC / SC Existing U Channel / Stepped Channel (Storm)</p> <p>-P-UC-SC-P- Proposed U Channel / Stepped Channel (Storm)</p> <p>UC / SC Works In Progress U Channel / Stepped Channel (Storm)</p> <p>RM Rising Main</p> <p>VS Vacuum Sewer</p> <p>△ Slope Sign Board</p> <p>11SW-D/CR8888 Slope Number</p> <p>▢ Slope Boundary</p> <p>2100 SUBMARINE OUTFALL</p> <p>Existing Submarine Outfall with Diffuser</p> <p>2100 SUBMARINE OUTFALL</p> <p>-P-P-P-P-P-P- Proposed Submarine Outfall with Diffuser</p> <p>2100 SUBMARINE OUTFALL</p> <p>- - - Works In Progress Submarine Outfall with Diffuser</p> <p>SSDS(100) Harbour Area Treatment Scheme Sewage Tunnel Protection Area (100m width) <small>(Please note that all proposed works within the HATS Sewage Tunnel Protection Area have to be complied with the requirements in the Environment, Transport and Works Bureau Technical Circular (Works) No.28/2003 or the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers No. APP-62 issued by the Buildings Department)</small></p> <p>SSDS(200) Harbour Area Treatment Scheme Sewage Tunnel Outer Protection Area (200m width) <small>(Please note that all proposed works within the HATS Sewage Tunnel Protection Area have to be complied with the requirements in the Environment, Transport and Works Bureau Technical Circular (Works) No.28/2003 or the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers No. APP-62 issued by the Buildings Department)</small></p>
<p>Existing Y-Junction (Storm/Sewer/Combined)</p>	

Notes :

1. All levels are given in metres above principal datum.
2. All dimensions shown are in millimetres unless otherwise stated.
3. The information shown on the record drawings are subject to verification on site and no guarantee can be given that this is a complete record.
4. Abbreviations for Channels of width smaller or equal to 1200mm:
 900C = 900mm width Surface Channel
 900SC = 900mm width Stepped Channel
 900UC = 900mm width U Channel
 900DWF = 900mm width Dry Weather Flow Channel
5. The Incoming Pipes are marked A1, A2, A3, counting clockwise from the first Outgoing Pipe X1. Outgoing Pipes are marked X1, X2, X3 ... counting clockwise from North.



6. Piling foundations on culverts may be present but not shown for brevity. Please refer to the relevant as-built drawings on details of the pile foundation.
7. Drainage facilities maintained by other parties, if shown, are indicative only. It is no guarantee that these information are exact.



Part of Drainage Record
 Plan No. 2 SW 21 D
 Scale 1:1 000

©地圖版權屬香港特區政府
 經地政總署署長准許刊印

24 MAR 2016

SMH031360
 C1 4.50
 X1 3.51-300

SMH031361
 C1 4.45
 Open
 X1 3.45-300
 X1 3.45-300

SMH031360
 C1 4.50
 X1 3.51-300

SCH012330
 A1 4.01-300
 A2 3.01-300
 X1 3.95-300
 X2 2.96-450
 L 2.88

SCH012330
 A1 4.01-300
 A2 3.01-300
 X1 3.95-300
 X2 2.96-450
 L 2.88

SGJ008188
 A1 3.85-300
 A2 3.30-300
 X1 2.96-450
 L 2.74

SGJ008188
 A1 3.85-300
 A2 3.30-300
 X1 2.96-450
 L 2.74

SGJ008188
 A1 3.85-300
 A2 3.30-300
 X1 2.96-450
 L 2.74

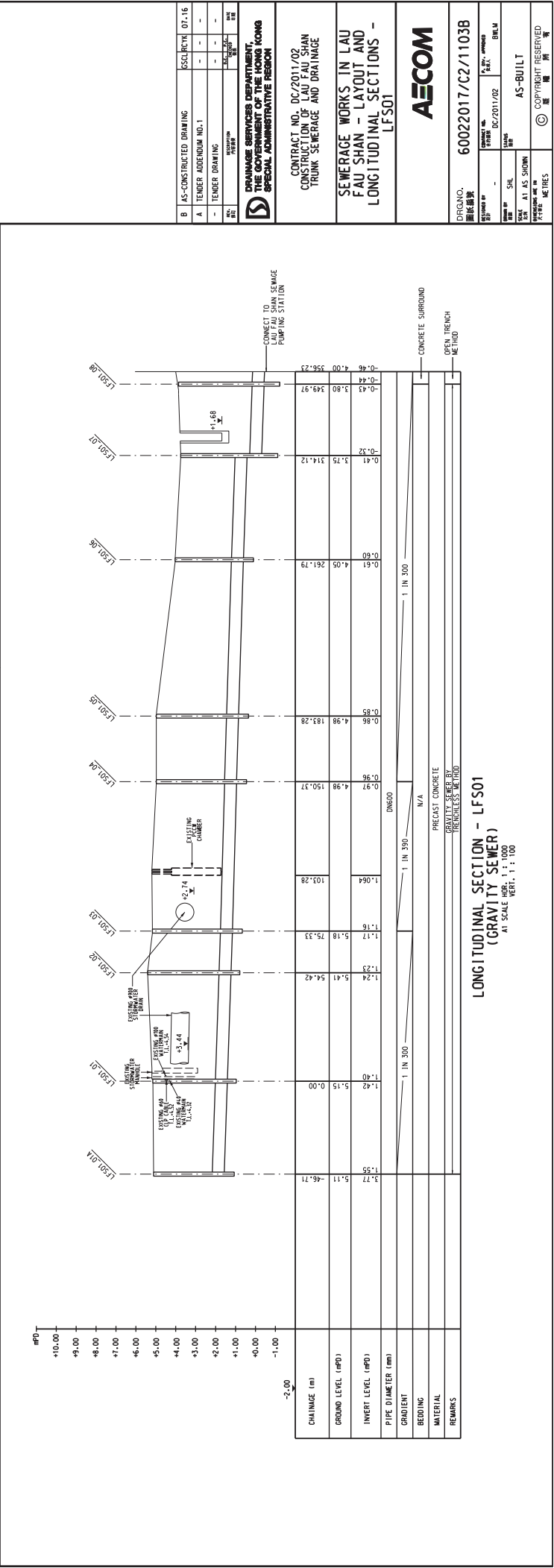
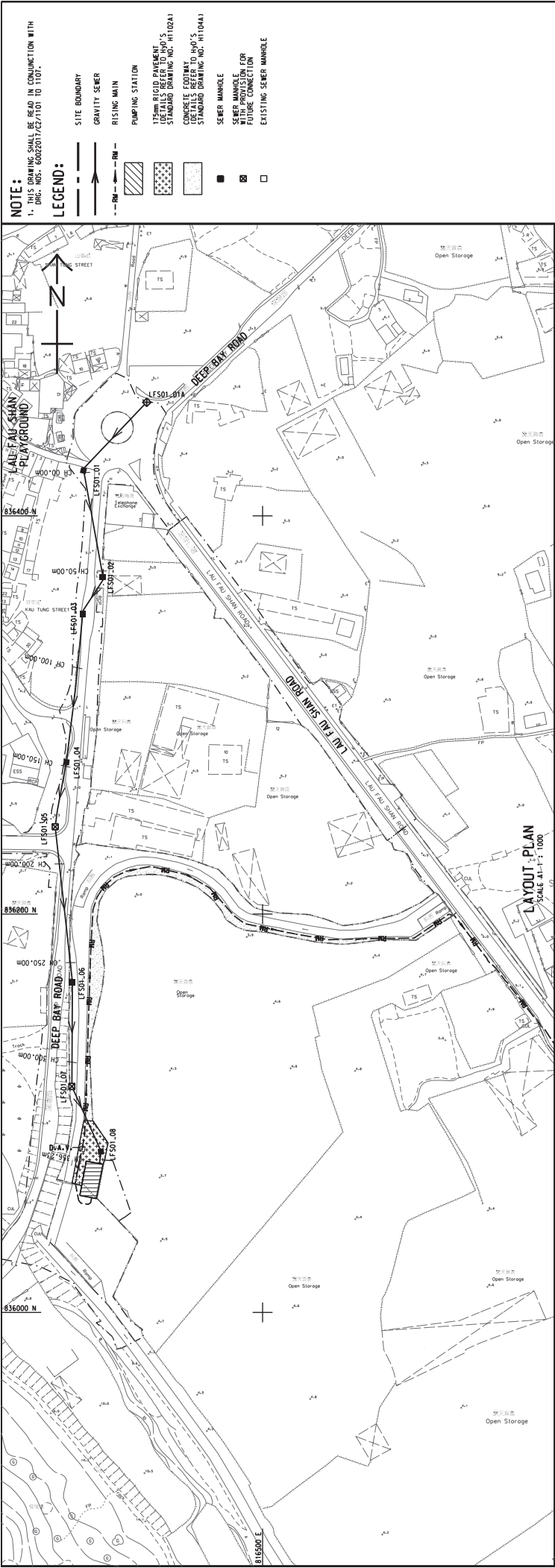
SGJ008188
 A1 3.85-300
 A2 3.30-300
 X1 2.96-450
 L 2.74

SGJ008184
 A1 3.84-300
 A2 3.36-300
 X1 2.45-600

SGJ019280

SGJ008185
 L 2.95

SGJ008185
 A1 3.75-300
 A2 3.75-300



DRAINAGE SERVICES DEPARTMENT
THE GOVERNMENT OF THE HONG KONG
SPECIAL ADMINISTRATIVE REGION

CONTRACT NO. DC/2017/02
CONSTRUCTION OF LAU FAU SHAN TRUNK SEWERAGE AND DRAINAGE

SEWERAGE WORKS IN LAU FAU SHAN - LAYOUT AND LONGITUDINAL SECTIONS - LFS01

AECOM

DRG. NO. 60022017/C2/1103B

CONTRACT NO. DC/2017/02

DATE: 02/01/2017

SCALE: 1:1000

VERT. SCALE: 1:100

PROJECT: SEWERAGE WORKS IN LAU FAU SHAN TRUNK SEWERAGE AND DRAINAGE

SECTION: LONGITUDINAL SECTIONS - LFS01

DESIGNED BY: [Name]

CHECKED BY: [Name]

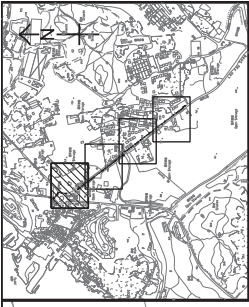
DATE: 02/01/2017

SCALE: 1:1000

VERT. SCALE: 1:100

PROJECT: SEWERAGE WORKS IN LAU FAU SHAN TRUNK SEWERAGE AND DRAINAGE

SECTION: LONGITUDINAL SECTIONS - LFS01



LOCATION PLAN
SCALE 1:2000

NOTES:

1. ALL GRIDS ARE HONG KONG GRID 1980.
2. ALL LEVELS ARE IN METRES AND REFERRED TO H.K.P.D.
3. ALL DIMENSIONS ARE IN MILLIMETRES.

LEGEND:

- PRECAST CONCRETE PIPE WITH DIMENSION AS SHOWN
- MH.11 MANHOLE
- MH.540 MANHOLE FOR FUTURE CONNECTION
- D-1. PIPE WITH DIMENSION AS SHOWN
- PRECAST GULLY WITH OVERFLOW METRES AND 150mm DIA. DRAIN PIPE
- IN-SITU GULLY WITH OVERFLOW METRES AND 150mm DIA. DRAIN PIPE
- CP.02 CATCHPIT
- U-CHANNEL
- UPVC PIPE

A	AS-CONSTRUCTED DRAWING	RSC/RC/MH	08.16
-	TENDER DRAWING	-	-
REV	NO.	DATE	BY

DRAINAGE SERVICES DEPARTMENT
THE GOVERNMENT OF THE HONG KONG
SPECIAL ADMINISTRATIVE REGION

CONTRACT NO.: DC/2011/02
CONSTRUCTION OF LAU FAU SHAN TRUNK SEWERAGE AND DRAINAGE

DRAINAGE WORKS AT LAU FAU SHAN ROAD - DRAINAGE LAYOUT
SHEET 1 OF 4

AECOM

DRGNO.: 60022017/C2/1132A

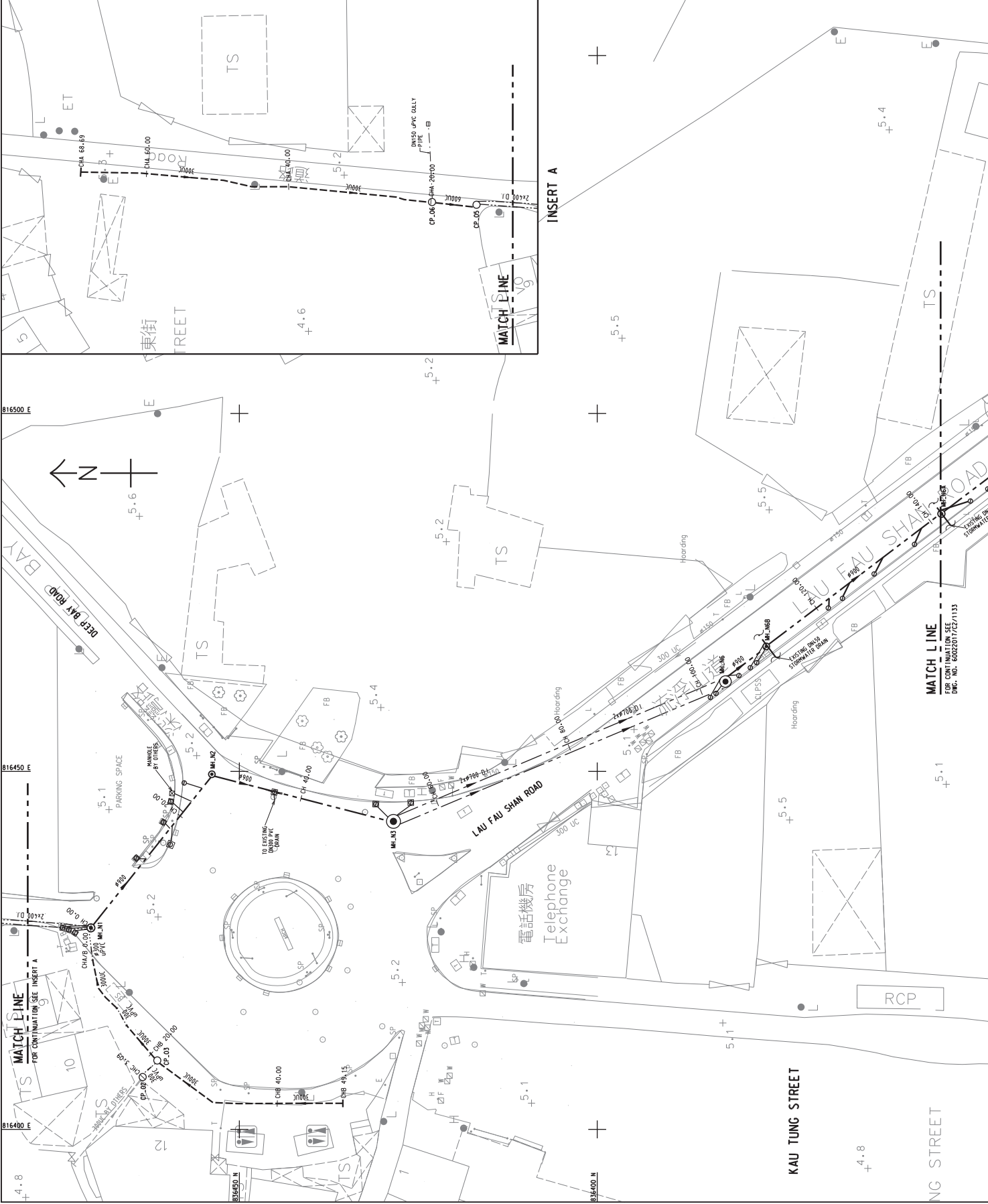
PROJECT NO.: DC/2011/02

DATE: 08/2011

SCALE: AT 1:250

AS-BUILT

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Appendix XV(D)

Reply Letter/Record Plan of

The Hong Kong and China Gas Co Ltd.

+852 3106 0527



香港中華煤氣有限公司
The Hong Kong and China Gas Company Limited

31 March 2016

Your Ref.: UC23032016OA-B5311
Our Ref.: UNE2016/00975/N

Prudential Surveyors International Ltd
3/F, Tung Hip Comm. Bldg.,
244-252 Des Voeux Road Central
Hong Kong

Attn.: Mr. Osbert Tse

HKCG 0104162105311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd	1 APR 2016
Project Manager	
DW	RC
DL	AM
KS	YL
WF	LC
TL	SW
CS	ZTC
EL	EW
CON	PT
DM	HN
	OTV
File	Copy to
Action	

Dear Sirs

Re: Resource Kit for Former Lau Fau Shan Police Station

We refer to your letter dated 23 March 2016 and write to advise that as far as our records show, there is no gas pipe within this site. However, there is the possibility that some gas pipes, particularly those laid long time ago or laid by other Registered Gas Contractors, may not appear in our records. In the case of some unknown pipes being exposed during your construction work or for the matters related to existing pipeline, you may contact Mr. K T Lai on telephone no. 2963 1851 or Mr Chan Yuen Lok on 2963 1811 to arrange for a joint site inspection regarding the pipe location.

If your work involves construction of new manholes or performing operation in existing manholes, we recommend sealing off all the duct openings in new/existing manholes, to avoid accumulation of hazardous gas in manholes, which might create a dangerous explosive environment.

Yours faithfully

Eric F Tsang
System Development Manager

ET/une

Encl Get All Safe Leaflet
~~Avoiding Danger from Underground Gas Pipes and Electricity Cables Leaflet~~

For enquiry of information on this letter or pipe location drawing, please contact Mr. Anthony Lo on 29631321.

Transmission Operation Department 20/F, 363 Java Road, North Point, Hong Kong Tel: 2963 1166 Fax: 3106 0527 E-mail: uno@lowngas.com

Appendix XV(E)

Reply Letter/Record Plan of

PCCW-HKT Telephone Limited and Hong Kong

Telecommunications (HKT) Limited

Prudential Surveyors International Ltd

3/F Tung Hip Commercial Building
244-252 Des Voeux Road Central
Hong Kong

Your ref : UC14042016OA-B5311

Our ref : HKT-20160415-0013-R-HKT

Our tel : 28885001

Our fax : 29530539

Date : 15-Apr-2016

HKT 2004162016B5311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd	20 APR 2016
Project Manager	
DW	RC
BL	AR
KS	TL
WF	LC
CL	SW
CS	ETC
DL	EW
DN	ET
HW	HN
	DT ✓
File	Copy to

WITHOUT PREJUDICE

Dear Mr Osbert Tse

Resource Kit for Former Lau Fau Shan Police Station

Thank you for your letter and enclosures of 14-Apr-2016

We enclose a set of plan(s) indicating the approximate position of our existing or proposed underground plant in the area of your proposed excavations. The information contained in the plan(s) can only be used in conjunction with the proposed work and must not be disclosed to other third parties.

For avoidance of doubt, the information in this letter or in any of its attachment shall not prejudice or compromise our right to sue you for any loss or damage caused to our plant(s), nor shall it alter your duty of care to exploit adequate measures to avoid damaging our plant(s).

Please be reminded that the information on the plan(s) could be significantly different from the actual situation in terms of both depth and alignment due to various reasons. You are expected to follow the attached Guidelines for Excavation and Related Work whenever your proposed work is conducted on the site. In particular, we expect utmost caution on your side when excavating in the area and, to that end, you should locate our plant(s) by hand excavation.

You are also hereby put on notice that any damage to our telecommunications cable could interrupt telephone services, mobile-phone services, internet services, data services, 999 or emergency help line services, international telephone services, TV services, stock market operation, medical services and banking services in many areas affecting many people. It is also a threat to public safety. In the event that we suffer any losses, costs or damages as a result of your operations, you will be held liable to indemnify us for all such losses, costs and damages arising from your actions.

In order to draw your workers' attention to the existence of our underground plant nearby, our Plant Protection Officer may post or otherwise display a warning poster of A4 size in the vicinity of your construction site. Please however note that your duty of care corresponding to our underground plant(s) is independent of whether the poster is displayed or seen.

Please convey all the information regarding our plant(s) to your workers, including your sub-contractors. Please complete the attached form to inform us of the details of your representative on the site on or before 29-Apr-2016. You are also advised to notify us of the actual date of commencement of work in your site with at least 3 days' notice in writing to NG CHI SHING. For general inquiries about plant protection, please contact our Mr NG CHI SHING (Fax No. 24412461) on 24410166 .

Yours sincerely,
Cheung Eric CH

Enc. HKT-20160415-0013-R-HKT-01.pdf

84160/122013 CCC918



HKT	
OUTSIDE PLANT SERVICES	
EXCH. AREA :	LFS
SURVEY MAP No.	02SW21B,02SW21D
UU REF. No.	UC140420160A-B5311
PREP. EMPC	SCALE 1:1000
CKD. Cheung Eric CH	DATE 15/04/2016
DWG. No.	HKT-20160415-0013-R-HKT

NOTES :

- EXCEPT FOR YOUR PROSPECTIVE CONTRACTORS/EMPLOYEES. THIS DRAWING MUST NOT BE RELEASED TO THIRD PARTY WITHOUT HK TELEPHONE'S WRITTEN APPROVAL.
- THIS INFORMATION IS ACCURATE AT THE DATE BELOW. BUT FURTHER ALTERATIONS/AUGMENTATION MAY TAKE PLACE IN THE FUTURE.
- THE POSITION OF PLANT INDICATED ON THIS DRAWING IS APPROXIMATELY ONLY. ACTUAL DEPTH AND POSITION OF PLANT MUST BE ESTABLISHED BEFORE COMMENCEMENT OF WORK BECAUSE VARIATIONS OF DEPTH AND LINE MAY OCCUR. EXTREME CARE MUST BE EXERCISED WHEN EXCAVATIONS ARE MADE IN PROXIMITY TO SUCH PLANT.
- REACH NETWORKS HONG KONG LIMITED'S PLANT INCLUDED.

KEY OF PLANT	EXISTING	PROPOSED
MANHOLE		
JOINT BOX		
DUCT		
CABLE		
POLE		
CABINET		
BURIED COUPLING		

Appendix XV(F)

Reply Letter/Record Plan of

Hutchison Global Crossing Ltd.

(Hutchison Global Communications Limited)

Date : 15 April 2016

Our Ref : RW/TSW/16/0333(N)
 Your Ref : UC22032016OA-B5311

Prudential Surveyors International Ltd.
 3/F., Tung Hip Commercial Building
 244-252 Des Voeux Road Central
 Hong Kong

Attn: Mr. Osbert Tse

Dear Mr. Tse,


RE: Resource Kit for Former Lau Fau Shan Police Station

Thank you for your letter and enclosure of 22 March 2016.

We would like to inform you that we do not have any underground plant in the vicinity of your proposed work at present.

For further information, please contact our Mr. Patrick Cheng on telephone no. 2128 3594 or fax no.2122 9403.

Yours sincerely,
 Hutchison Global Communications Limited


 April Chan
 Admin. Officer

AC/C/jn

c.c. Mr. Raymond Kwok - TEI

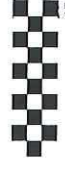
HGC 22041610705311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd	22 APR 2016
Project Manager	
DW	RC
RL	AN
RG	TL
WP	LC
OL	SW
CS	ETC
DL	EN
DN	ET
AV	NN
	DTV
File	Copy to
Action	

Appendix XV(G)

Reply Letter/Record Plan of

Wharf T&T Limited



Wharf T&T Limited
九倉電訊有限公司

Unit 825-876, 8th Floor
KITEC, 1 Trademart Drive
Kowloon Bay, Hong Kong
Tel (852) 2112 1121
Fax (852) 2112 1122
www.wharftt.com

21127757



25-Apr-2016

BY FAX & POST

Your Ref. : UC22042016OA-B5311
Our Ref. : WTT/MP16-00372

Our Fax. No.: 2112 7757

PRUDENTIAL SURVEYORS INTERNATIONAL LTD

Attn. : Mr. Osbert Lee

Dear Sir,

Lau Fau Shan Police Station

Thank you for your letter and enclosure of 22 Apr 2016.

We would advise you that we do not have any existing plant in the vicinity of your excavation at the present time.

Should you require any further updates or information, please feel free to contact our MR L W Lam on 2112 7970.

Yours Sincerely,
For and on behalf of
Wharf T&T Limited

Elvis Ho
Project Manager

WTTL 2504162A/B5311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd	25 APR 2016
Project Manager	
DW	RC
BL	AR
KG	TL
WP	LC
CL	SW
CS	ETC
DL	EW
DN	ET
RW	HN
	OT
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Section	



Appendix XV(H)

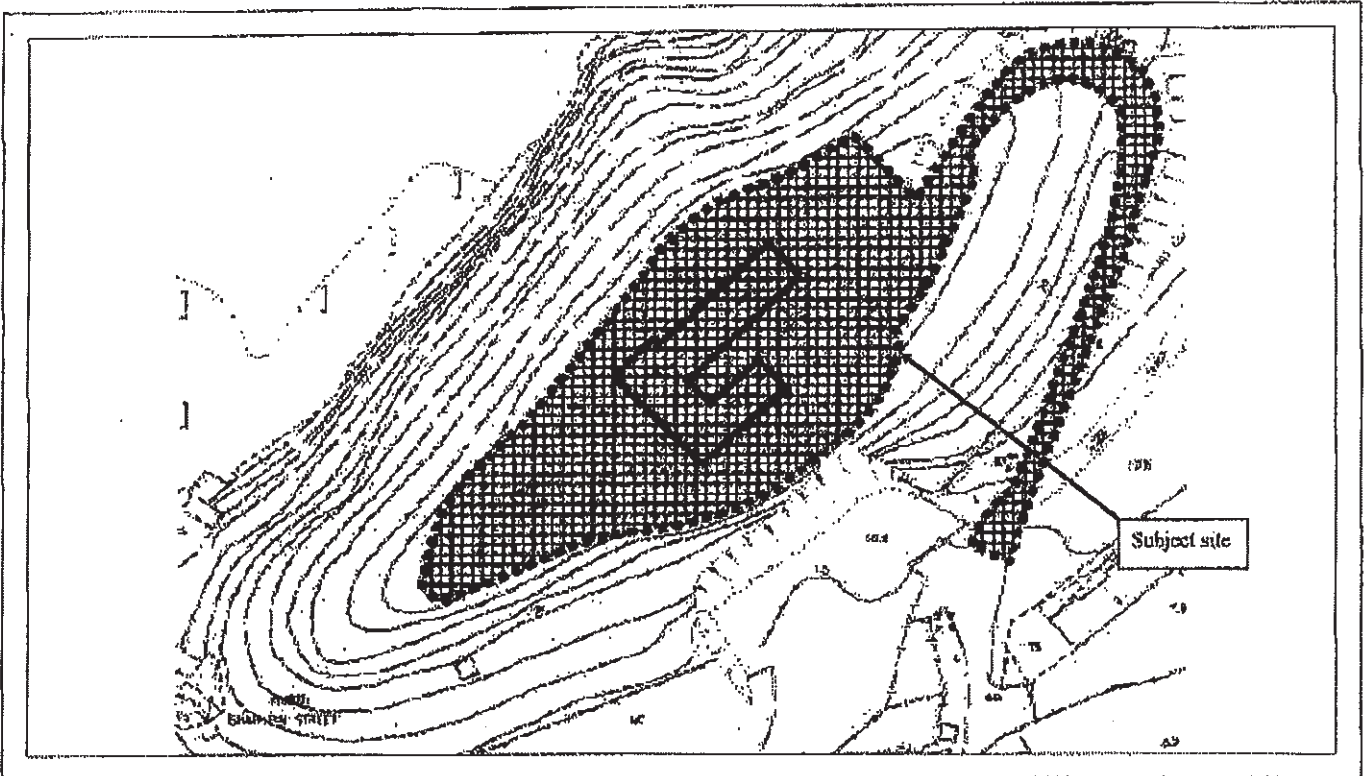
Reply Letter/Record Plan of

Hong Kong Broadband Network Ltd.

+ 852 3592 2271

No. 6146 P. 2

31. Mar. 2016 17:27



PRUDENTIAL SURVEYORS
INTERNATIONAL LTD.

Location
Plan: **Resource kit for Former Lau Fau Shan Police Station.**

No. 6146 P. 3

31. Mar. 2016 17:27

RECEIVED
NICON CITY

PRUDENTIAL
Surveyors International Ltd
滙豐有限公司

31 March 2016

Our Ref: UC310320160A-B5311

Distribution to:

Company/Department	Fax No.
CLP Power Hong Kong Limited	2678 6363
HKCT	2508 6814
Hong Kong Cable Television Ltd.	2112 7879
Hutchison Global Crossing Ltd.	2113 1675
New T & T Hong Kong Ltd.	2112 7757
New World Telephone Co. Ltd.	2133 2036
Rediffusion (HK) Ltd.	2112 7879
Electrical & Mechanical Services Department	2365 1396
Water Supplies Department	2811 8152
Wharf T&T Limited	3112 1122
Hong Kong Broadband Network Ltd.	3999 7000
Moss Transit Railway Corporation Ltd.	2795 9991
Highways Department Lighting Division	2714 5216

Dear Sir/Madam,

Re: Resource Kit for Former Lau Fau Shan Police Station

We are the consultant appointed by Architectural Services Department (ASD) of the captioned site to conduct a survey provide to record the existing underground utility services/installations in vicinity of the site as the boundary marked on the attached plan.

We should be grateful if you would return a marked up plan showing your existing apparatus and any installations in vicinity of site.

Should you have any queries, please do not hesitate to contact our Mr. Brad Hing at 2507 8320 or the undersigned at 2507 8374.

Thank you for your kind attention.

Yours faithfully,
For and on behalf of
PRUDENTIAL SURVEYORS INT'L LTD.

[Signature]
Osbert Tsui
Project Manager
TLOJ

Encl. 1
c.c. Ann: Kees Shun (strval2@arabed.gov.hk)

FAX ONLY

香港 香港
HONG KONG
STANDARD NETWORK

NO EXISTING PLANT

DATE: 05 APR 2016

NW5511 Former Lau Fau Shan Police Station
Subject Location as per Form UC310320160A_B5311.doc



1/F, Tung Wah Commercial Building
34-35, Des Voeux Road Central, H.K.
PRUDENTIAL SURVEYORS INTERNATIONAL LTD.
T : +852 2318 6228
F : +852 2318 6228
E : hsk@prudential.com.hk

Prudential

Appendix XV(I)

Reply Letter/Record Plan of

TraxComm Limited


TRAXcomm

Date: 29 Apr 2016

Our Ref: TRX/LTR/0227/2016

By Post & Fax (25986576)

Prudential Surveyors International Ltd
3/F, Tung Hip Commercial Building,
244-252 Des Voeux Road Central, H.K.

Attn: Osbert Tse

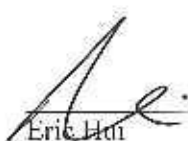
Dear Osbert Tse,

Request for underground information, Former Lau Fau Shan Police Station

Reference is made to your letter of Ref.: UC14042016OA-B5311 dated 15 Apr 2016.

Please be advised that at present we have no network facility within and adjacent to the captioned site.

Yours faithfully,



Eric Lam
Senior Engineer
For and on behalf of TraxComm Ltd.

Encl
KL/sl

T.C. 04051624/B5311

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd - 4 MAY 2016	
Project Manager	
DW	RC
TL	SH
KS	TL
VP	LE
SL	SW
S	CTC
L	AV
DN	ST
N	HW
	OT
to	Copy to
tion	

Appendix XV(J)

Reply Letter/Record Plan of

HKC Network Limited

Brad HUNG

From: "Andrew Hung" <andrewhung@hkcwv.hk>
Date: Friday, 22 April, 2016 12:05
To: <bradh@iconcity.com.hk>
Subject: Request for Utility Records - Resource Kit for Former Lau Fau Shan Police Station

Dear Mr. Brad Hung,

This is in response to your letter Ref: UC14042016OA-B5311 dated 14-April-2016. Please be informed that HKC Network Limited do not have any utilities installed in the captioned location. Thank you~!!

Thanks and Best Regards

Andrew Hung

HKC Network Limited
Tel: 852-28907866
Fax: 852-28951009
Mobile: 852-92228370
Email: andrewhung@hkcwv.hk

Appendix XV(K)

Reply Letter/Record Plan of

Electrical & Mechanical Services Department

+852 2365 1286

機電工程署 EMSD

香港特別行政區政府機電工程署
香港九龍啟成街3號
Electrical and Mechanical Services Department
Government of the Hong Kong Special Administrative Region
3 Kai Shing Street, Kowloon, Hong Kong
www.emsd.gov.hk

Our reference 本署檔號 : (29) in EMSD TSCS3/Joint/84/15 pt.297

Telephone 電話號碼 : 3155 4232

Your reference 來函檔號 : UC22032016OA-B5311

Facsimile 圖文傳真 : 2365 1286

22 March, 2016

By Fax: 2598 6576

PRUDENTIAL SURVEYORS INTERNATIONAL LTD.
3/F TUNG HIP COMMERCIAL BUILDING
244-252 DES VOEUX ROAD CENTRAL,
H.K.

Dear Sir,

Road Opening Notice

I refer to your letter ref.: UC22032016OA-B5311 dated 22-Mar-2016. Our apparatus including ducts and cables may be in the vicinity of your works. You are required to take all necessary precautions in your excavation work to ensure that our apparatus or cables will not be damaged or adversely affected in anyway. You are requested not to plan or construct any of your equipment at the locations occupied by our apparatus including cable ducting and cables.

The complete set of latest information showing the location of traffic signal and related equipment maintained by this department is located in TSCS3 sub-division, 3rd floor, Room 3010, 3 Kai Shing Street, Kowloon Bay. These information are available for your checking free of charge. We strongly suggest you to check our information and mark up the locations of our equipment, ducts and cables on your drawings or sketches so that you can effectively comply with our requirement mentioned in the above paragraph. Kindly call our Mr. W. S. WONG at telephone no. 3155 4245 and Mr. K. T. LEUNG at telephone no. 3155 4233 during normal office hours to make prior appointment to view the relevant information.

Thank you.

Yours faithfully

(PO Yuet-ming)
for Director of Electrical and Mechanical Services

EMSD 2203167A/B5311

PRUDENTIAL SURVEYORS INTL LTD.	
Date Rec'd	22 MAR 2016
Project Manager	
DW	RC
RL	AH
KS	YL
WJP	LC
GL	SW
OS	ETC
DL	EW
DN	G
HW	HN
	Copy to

Appendix XV(L)

**Reply Letter/Record Plan of
Highways Department Lighting Division**



HIGHWAYS DEPARTMENT
NEW TERRITORIES REGION
2nd floor Ho Man Tin Government Offices,
88, Chung Hau Street, Ho Mun Tin, Kowloon.
Web Site : <http://www.hyd.gov.hk>

By Fax
2598 6576

路政署
新界區
九龍何文田忠孝街 88 號
何文田政府合署二樓
網址 : <http://www.hyd.gov.hk>

{0X3H4}

本署編號 Our Ref.: (0X52L) in HyD NT/12-2/4/14-YL
來函編號 Your Ref.: UC22032016OA-B5311
電話 Tel. No.: 2762 4078
圖文傳真 Fax No.: 2714 5228

1 April 2016

Prudential Surveyors International Ltd

(Attn.: Osbert Tse)

Dear Sir / Madam,

Re: Resource Kit for Former Lau Fau Shan Police Station
Request for Utility Information

I refer to your above quoted letter dated 22.3.2016.

You can send a representative to this Office to inspect the drawings showing the details of our existing and proposed services/structures in the vicinity of your proposed works. Please contact our PTO – Mr. CHEUNG Wing-sum at 2762 3927 for necessary arrangement. For the alignment of lighting cables, please contact our Lighting Division direct.

Yours faithfully,

(Terry Y C SHIH)
for Chief Highway Engineer/NT West
Highways Department

Internal PTO(C)

HYD 06 04 16 24 (B5311)

PRUDENTIAL SURVEYORS INT'L LTD.	
Date Rec'd - 6 APR 2016	
Project Manager	
DW	RC
RL	AH
IKS	TL
MMP	LC
CL	SW
CS	ETC
RE	EW
CON	ET
EW	HN
	DT
Copy to	



Appendix XV(M)

**Reply Letter/Record Plan of
Transport Department**



運輸署 Transport Department

本署檔號 OUR REF : TDNR/157/161/YLDD126
 來函檔號 YOUR REF : UC23032016OA-B5311
 電話 TELEPHONE : 2399 2422
 圖文傳真 FACSMILE : 2381 3799

TDNR 0604 (67A) (B5311)

PRUDENTIAL SURVEYORS INTL LTD.

Date Rec'd - 6 APR 2016

Project Manager

DW		RC	
RL		RR	
KS		TL	
WF		LC	
CL		SW	
CS		ETC	
DL		EW	
DON		ET	
KW		HN	
		OTV	
File		Copy to	
Station			

29 March 2016
Fax: 2598 6576

Prudential Surveyors International Ltd
3/F, Tung Hip Commercial Building,
244-252 Des Voeux Road Central,
Hong Kong

(Attn: Osbert Tse)

Dear Mr. Tse,

Resource Kit for Former Lau Fau Shan Police Station

I refer to your above quoted letter dated 23 March 2016 on the captioned subject. Please note that TD does not have any records of existing underground utilities services/installations at the concerned area.

Yours faithfully,

(C C FUNG)
for Commissioner for Transport

c.c.
CHE/NTW, HyD

(Attn: Terry SHIH)

Fax no. 2714 5228

新界分區辦事處
 NT Regional Offices
 九龍聯運街三十號旺角政府合署七樓
 7/F., Mong Kok Government Offices, 30 Luen Wan Street, Kowloon

Appendix XV(N)

**Reply Letter/Record Plan of
Mass Transit Railway Corporation Ltd.**

Brad HUNG

From: "WONG WY Wing Yee (黃詠儀)" <WINGYEEW@mtr.com.hk>
Date: Wednesday, 30 March, 2016 10:06
To: "Brad HUNG" <bradhung@iconcity.com.hk>
Cc: "NG Roy Yui Hong (吳銳康)" <royng@mtr.com.hk>; "Osbert Tse" <osbertt@iconcity.com.hk>;
"WONG Jackson Wai Kay (黃偉基)" <WJACKSON@mtr.com.hk>
Attach: 0322-Old Victoria Barracks-B5313.pdf
Subject: RE: Existing underground utility services/installations at three site boundaries
Dear Mr. Hung,

Please be advised that there are no existing MTR utilities or equipment at the Lau Fau Shan Police Station & Golden Hard Camp locations.

For the Old Victoria Barracks location, please contact the responsible Railway Protection Engineer, Mr. Jackson Wong (2688 1445) and your submission has been forwarded to him for his review.

Thanks & regards,
Wing Wong
RPE
MTR Corporation Limited



caring for life's journeys

From: Brad HUNG [mailto:bradhung@iconcity.com.hk]
Sent: Tuesday, 29 March, 2016 15:32
To: WONG WY Wing Yee (黃詠儀)
Cc: NG Roy Yui Hong (吳銳康); Osbert Tse
Subject: Existing underground utility services/installations at three site boundaries

Dear Ms Wong,

As spoken on phone, please assist to find out regarding the services provided by MTR at 3 sites.

Many thanks and best regards,
Brad Hung
Prudential Surveyors International Limited

Information from ESET NOD32 Antivirus, version of virus signature database 13247
(20160329)

The message was checked by ESET NOD32 Antivirus.

Appendix XV(O)

**Reply Letter/Record Plan of
Hong Kong Cable Television Limited**

21123501



有線電視

CABLE TV

25-Jul-2016

Your Ref. : UC14042016OA-B5311
Our Ref. : HKC/MP16-00735

Our Fax No. 21123501

PRUDENTIAL SURVEYORS INTERNATIONAL LTD

Attn : OSBERT TSE

Dear Sir,

LAU FAU SHAN POLICE STATION

Thank you for your letter dated 14 Apr 2016.

Please be advised that we do not have any existing and proposed plant in the vicinity of your works area at the present time.

Should you require any further information, please feel free to contact our MR K M CHAN on 2112 3788.

Yours faithfully,
For and on behalf of
Hong Kong Cable Television Limited

Bruno Hui
Manager – Planning Section
Network Projects Department

(Signature is not required for this computer-generated letter)

HKCT 2507160818 5311

PRUDENTIAL SURVEYORS INT'L. LTD.	
Date Rec'd 25 JUL 2016	
Project Manager	
DW	RC
BL	AN
KG	CL
MP	ED
CL	GW
CS	HS
DL	HW
DON	HY
HOW	HN
	OT ✓
File	Copy to
Section	

Appendix XVI

Slope Features within or in the vicinity of Site Boundary

Slope Maintenance

The following slope features are located within or in the vicinity of the Site:

Slope Feature 1:

Slope No.:	2SW – C/C 59
Location:	Adjoining Access Rd to Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 2:

Slope No.:	2SW – C/C 60
Location:	Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 3:

Slope No.:	2SW – C/F 6
Sub-Division:	1
Location:	Within DD129 Lot3349RP & Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	DD129Lot3349RP
Current Maintenance Agent:	N/A
Slope No.:	2SW – C/F 6
Sub-Division:	2
Location:	Within DD129 Lot3349RP & Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 4:

Slope No.:	2SW – C/F 7
Location:	Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 5:

Slope No.:	2SW – C/F 8
Location:	Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 6:

Slope No.:	2SW – C/F 9
Location:	Adjoining Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Slope Feature 7:

Slope No.:	2SW – C/F 5
Sub-Division:	1
Location:	Within DD129 Lots3349RP, 2110,2112RP & Adjoining Access Rd to Lau Fau Shan Police Station
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD
Slope No.:	2SW – C/F 5
Sub-Division:	2
Location:	Within DD129 Lots3349RP, 2110,2112RP & Adjoining Access Rd to Lau Fau Shan Police Station
Current Responsible Lot/Part:	DD129 Lots3349RP
Current Maintenance Agent:	N/A
Slope No.:	2SW – C/F 5
Sub-Division:	3
Location:	Within DD129 Lots3349RP, 2110,2112RP & Adjoining Access Rd to Lau Fau Shan Police Station
Current Responsible Lot/Part:	DD129 Lots2110
Current Maintenance Agent:	N/A
Slope No.:	2SW – C/F 5
Sub-Division:	4
Location:	Within DD129 Lots3349RP, 2110,2112RP & Adjoining Access Rd to Lau Fau Shan Police Station
Current Responsible Lot/Part:	DD129 Lots2112RP
Current Maintenance Agent:	N/A

Slope Feature 8:

Slope No.:	2SW – C/C 61
Location:	Within DD129 Lot3349RP
Current Responsible Lot/Part:	DD129 Lot3349RP
Current Maintenance Agent:	N/A

Slope Feature 9:

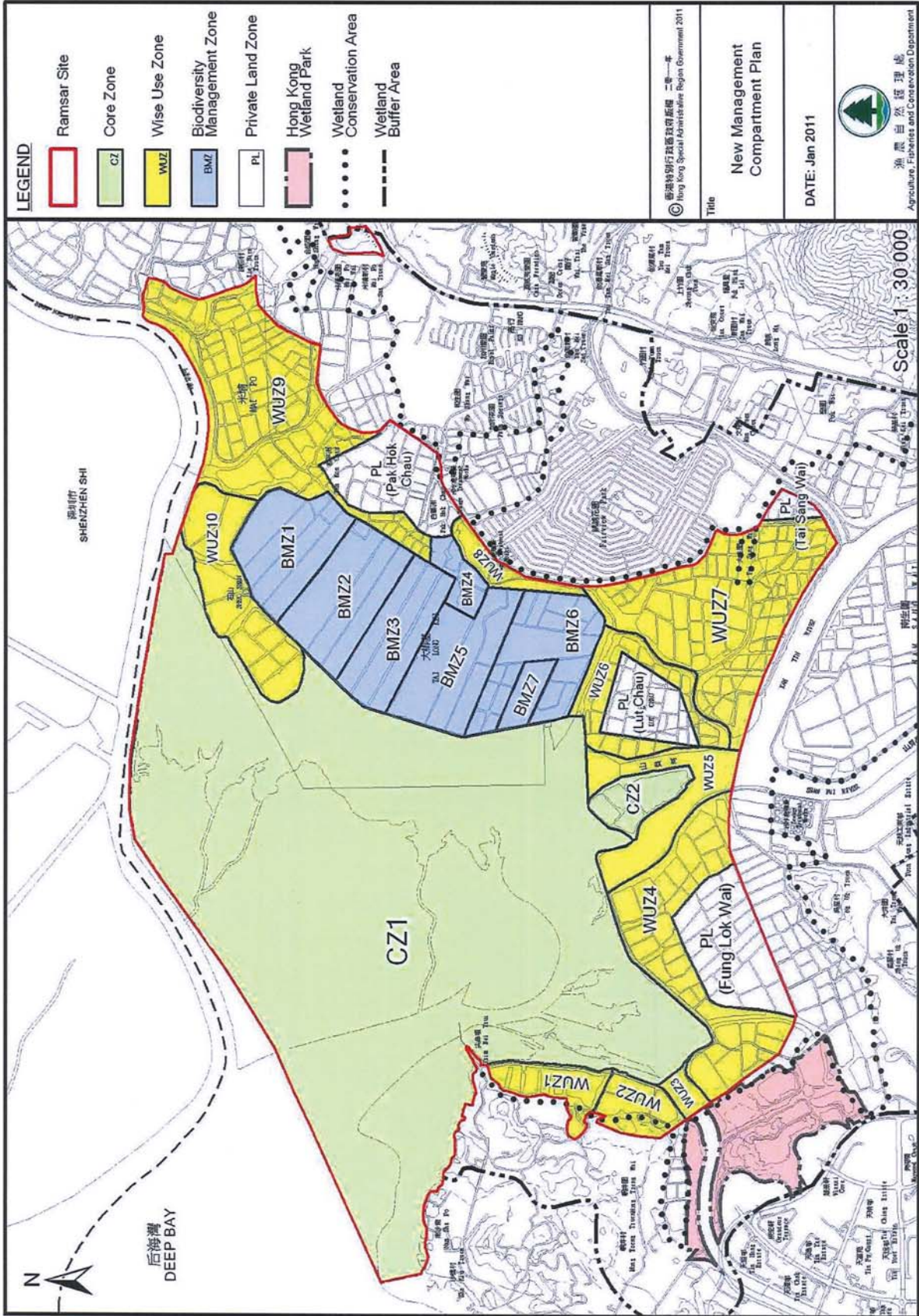
Slope No.:	2SW – C/C 62
Location:	Within GLA-TYL 14 & Adjoining GL
Current Responsible Lot/Part:	HKPF
Current Maintenance Agent:	Arch SD

Overview of slopes:



Appendix XVII

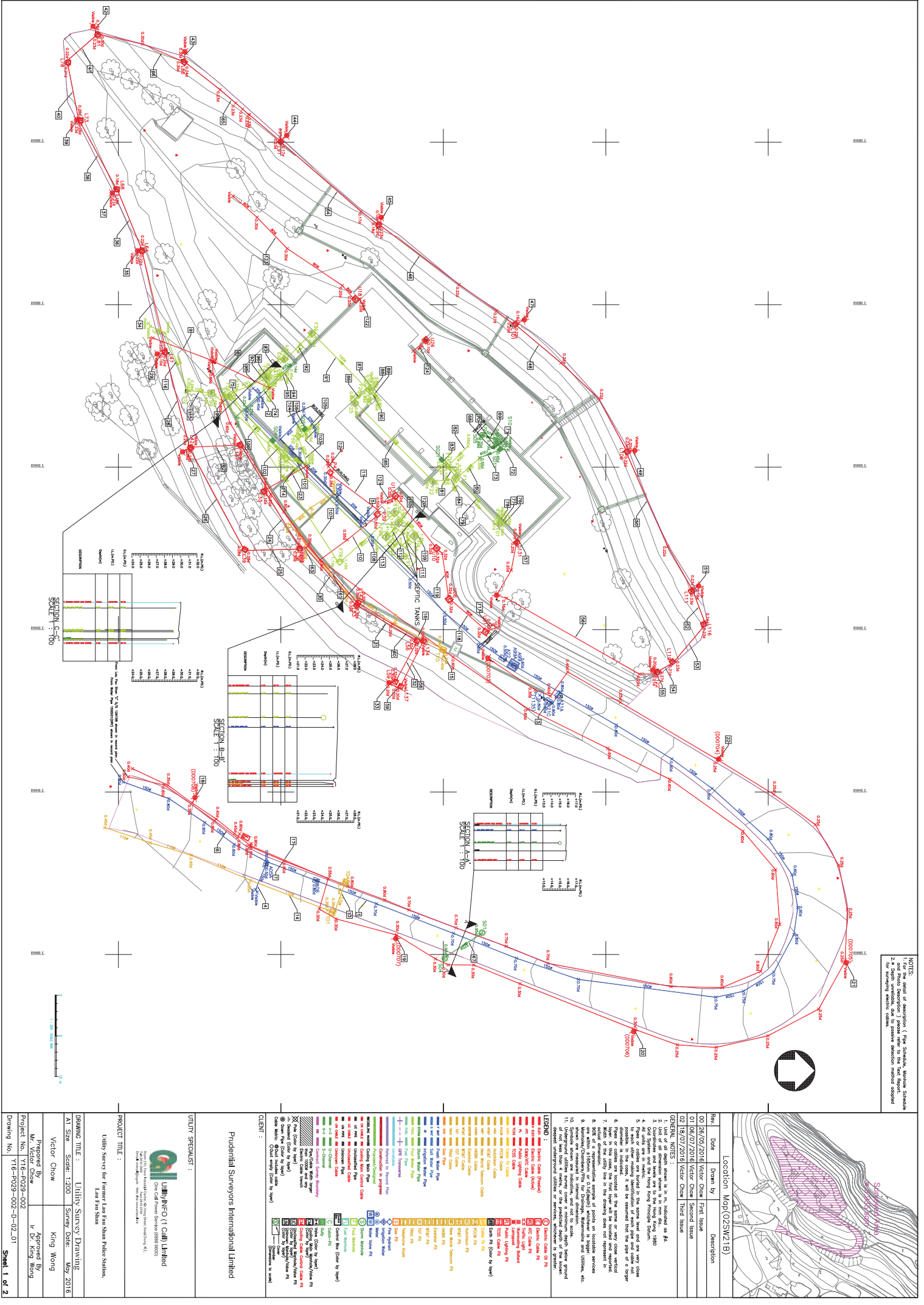
Location of Mai Po Ramsar Site



Appendix XVIII

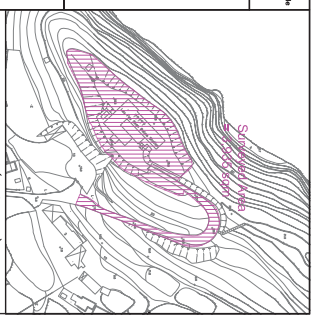
Underground Utility Survey Plan

(For reference only)



NOTES:

1. Detail of description (Pipe Schedule, Manhole Size and Photo description) please refer to the text Report.
2. All pipe connections, use to preserve detection method adopted.
3. Refer to the Utility Schedule for details.



Rev	Date	Drawn By	Description
01	18/05/2018	Victor Chow	First Issue
01	18/07/2018	Victor Chow	Second Issue
02	18/07/2018	Victor Chow	Third Issue

LEGEND:

- Water Main (Colour by Survey)
- Sanitary Sewer (Colour by Survey)
- Gas (Colour by Survey)
- Electric (Colour by Survey)
- ... [Detailed list of utility types and their corresponding colors/symbols]

CLIENT:

Prudential Surveyors International Limited

UTILITY SPECIALIST:

UTILITY/INFO (1 Call) Limited

One Call Power Service (8888 8000)

14200 Woodbine Avenue, Suite 200, Scarborough, Ontario M1S 5S8, Canada

PROJECT TITLE:

Utility Survey for Former Lan Fai San Police Station.

DRAWING TITLE: Utility Survey Drawing

AT Size Scale: 1:200 Survey Date: May 2018

Prepared By: Victor Chow **King Wong**

Approved By: Mr. Victor Chow **P. Dr. King Wong**

Project No.: Y16-FO29-002

Drawing No.: Y16-FO29-002-D-02_01

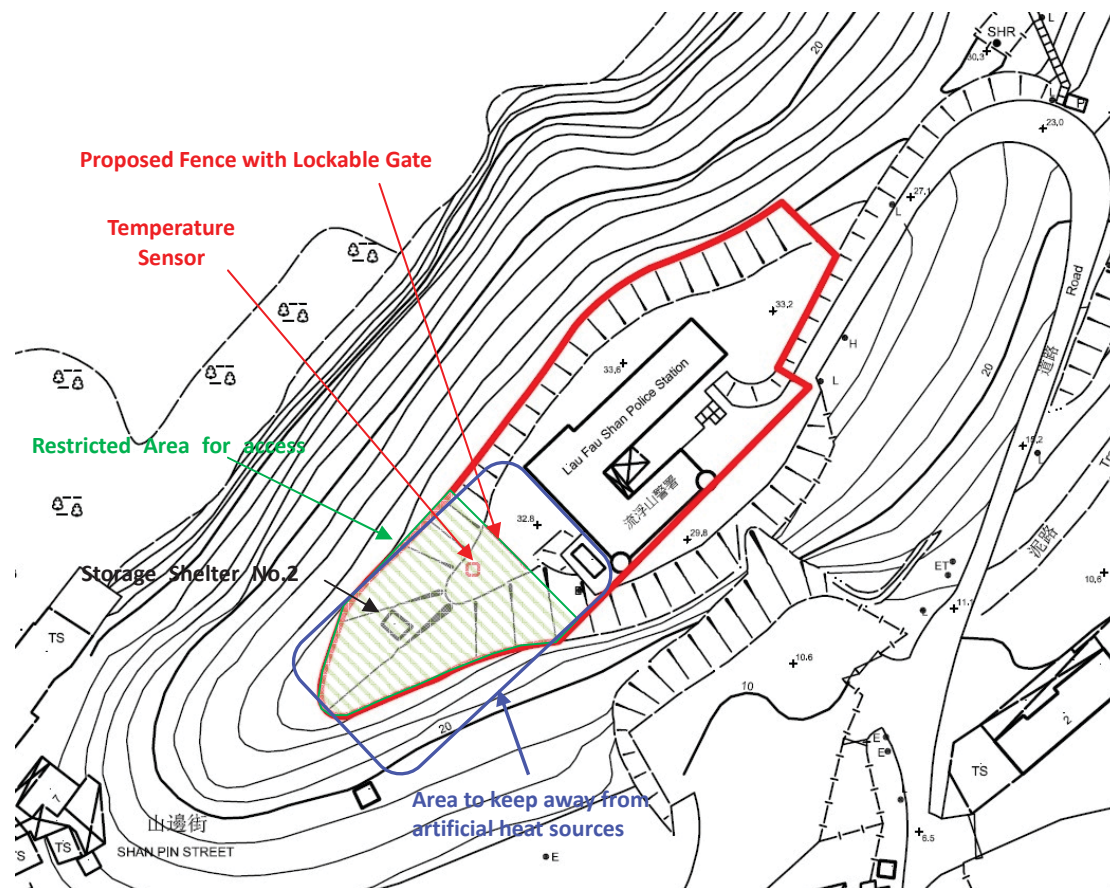
Sheet 1 of 2

Appendix XIX

Locations of HKO's Equipments and Area of Operation

The Operation Area of the Senors

The following are the location of the temperature sensor within the site and area to be restricted from artificial heat sources:-

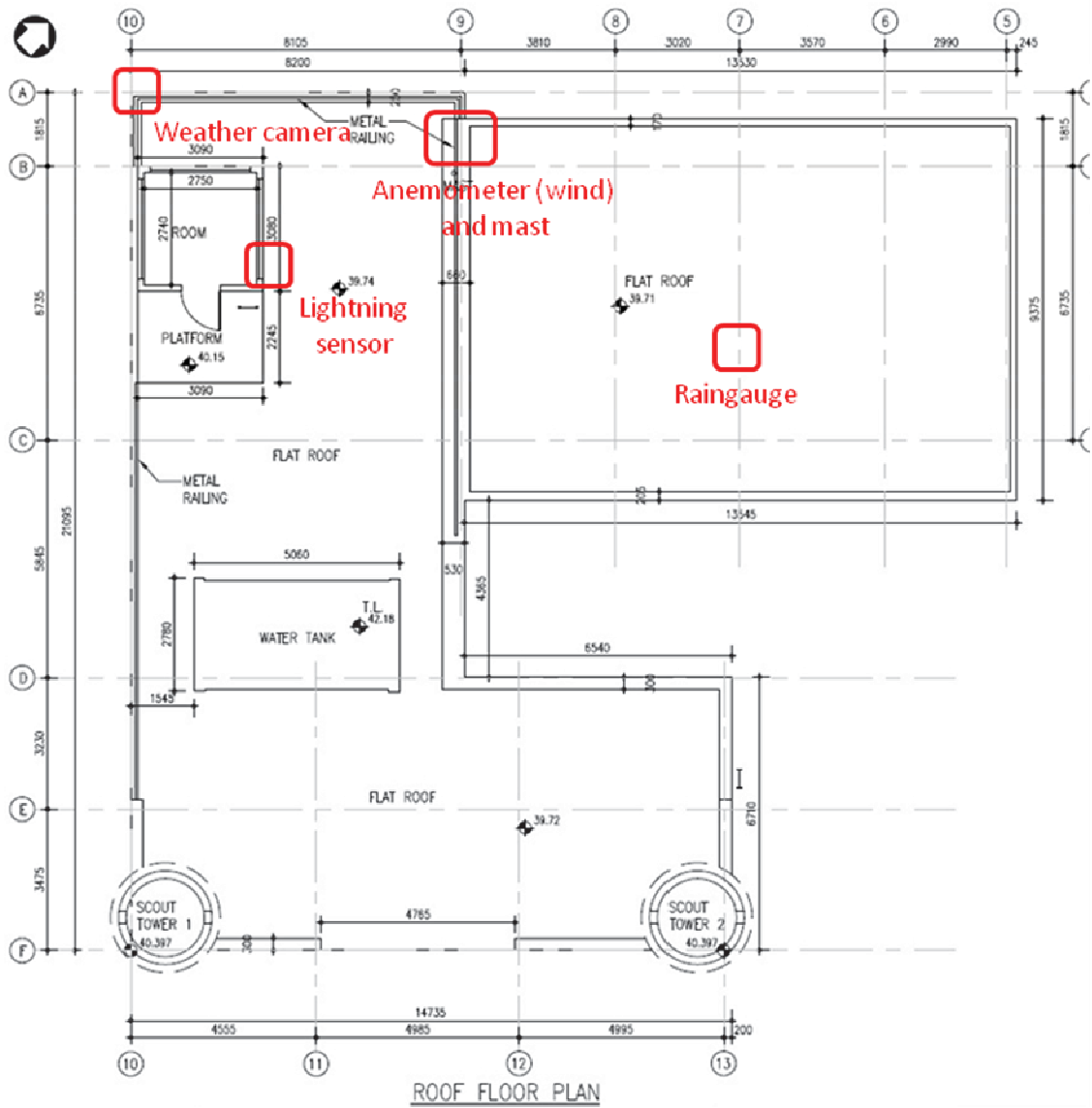


Note:

The area restricted for artificial heat sources within the site, any devices or facilities which may generate heat artificially (for example: air conditioning units, cooking facilities or air exhausts of machinery and kitchen, etc.) are not permitted to be installed within or adjoining to such area.

The proposed fence with lockable gate shall be installed by the selected applicant according to HKO's requirements. The keys of the gate should be kept in HKO and Commissioner for Heritage's Office of Development Bureau.

The selected applicants are required to obtain a permission from HKO before entering the Restricted Area in any time.



Location of existing instruments / equipments on the roof of Main Building



Existing HKO's equipment (temperature and humidity sensors) on the western lawn



General view of landscape area of site (with HKO's Stevenson Screen for housing temperature and humidity sensors)



General view of landscape area of site (with HKO's Stevenson Screen for housing temperature and humidity sensors)



General view of Storage Shelter No.2



General view of the Main Roof and location of HKO's raingauge



Existing HKO's instrument (lightning sensor) on Roof



Existing HKO's instruments (anemometers (wind sensors) and its mast) on Roof



Existing HKO's instrument (weather camera) on Building Elevation facing North