

# **Revitalising Historic Buildings**

## **Through Partnership Scheme**

### **Luen Wo Market, Fanling**

#### **Resource Kit**



[17 November 2016]

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## **I. Introduction**

1.1 The purpose of the Resource Kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

Section I	Introduction;
Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Technical Compliance for Possible Uses; and
Section X	Special Requirements of the Project.

1.2 In drawing up proposals, applicants should in particular endeavor to:

- (a) bring out the historical significance of the building;
- (b) follow the Conservation Guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the building and complying with current statutory building control requirements.

Item (c) of the above will be a complex task. The following suggestions are for the applicants' consideration:

- (i) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under Buildings Ordinance. The need for preserving the significant architectural features (Appendix IX refers), site constraints or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and
- (ii) every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.

1.3 For each historic building, there are a number of suggested uses which appear to be pursuable based on available information. However, the technical feasibility of such uses will need to be further examined.

1.4 The dimensions, areas and datum levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorized specialists to verify the dimensions, areas and datum levels before detailed design is to be carried out.

- 1.5 The information that has been assembled is to give a general understanding of the historic buildings and the site. Key parameters available at the time of preparation of the resources kit are for the applicants' convenience and may not be exhaustive. Because of the unique nature and requirements of each proposal, applicants are strongly advised to verify the provided data before finalising their proposals.
- 1.6 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address: Commissioner for Heritage's Office, Development Bureau,  
19/F, West Wing, Central Government Offices,  
2 Tim Mei Avenue, Tamar, Hong Kong  
Email: [rhb\\_enquiry@devb.gov.hk](mailto:rhb_enquiry@devb.gov.hk)  
Phone: 2848 6230  
Fax: 2127 4090

## **II. Historical Background and Architectural Merits**

### **2.1 Historical Background**

Luen Wo Market was built in 1951 by the Luen Wo Land Investment Company Limited. This investment company was formed in 1946 by a group of local leaders and merchants including Pang Lok-shang, Lee Chung-chong, Tang Fan-shan, Pang Fu-wah, Fung Kei-chek and Lau Wai-heung.

When Luen Wo Market was inaugurated in 1951, it was the largest market built in the New Territories at that time. People went there to buy daily necessities including vegetables and fish. It became a thriving and important market centre with a bazaar of open-air stalls behind it and shop-houses in the surrounding streets. Luen Wo Market and Shek Wu Hui of the Liu Clan were once two major markets and landmarks in Sheung Shui.

Until the 1980s, the large open space in front of the Market building maintained a “1-4-7 schedule” when hawkers or farmers would sell their goods and farm produce on particular days of each lunar month. The “1-4-7 schedule” was intentionally set in order to clash with that of the Shek Wu Market, so that people could choose which market to attend. Luen Wo Market lasted for 50 years until 2002, when all the stalls were relocated to the Luen Wo Hui Market and Cooked Food Centre. The building is now being used as a recyclable collection centre and green market.

### **2.2 Architectural Merits**

The architect was Mr. Mok Yeuk Chan who adopted an early Modernist style for this simple one-storey building. The building has a symmetrical E-shaped plan with brick and concrete columns supporting a reinforced concrete roof of beams and slabs. Two management offices, two toilets (now demolished) and rows of stalls situated on both sides of the aisles were provided. There are seven entrances altogether, including the central main entrance facing Luen Wo Road. The walls are rendered and painted. The flat roof, which has a portion of raised pitched roof with clearstory over the aisles, is concealed behind stepped parapet walls at entrances. Projecting canopies over the entrances and windows also run around the building.

### **III. Site Information**

#### **3.1 Location**

The address is Luen Wo Hui, Fanling, New Territories. The Location Plan is shown at **Appendix I**.

#### **3.2 Site Boundary**

The Site Boundary Plan of Luen Wo Market is shown at **Appendix II (A)**.

#### **3.3 Site Area**

The site area is approximately 1,290 sq. metre.

#### **3.4 Major Datum Levels**

The major datum level of the site is from +12.76mPD to +12.92mPD. Major datum levels around the site are shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.



#### **IV. Building Information**

##### **4.1 Building Description**

Luen Wo Market (the Market) was constructed in 1951. It is a single storey pitched roof E-shaped building with two outdoor courtyards and two open spaces. Three main entrances are facing Luen Wo Road, two entrances are at the rear of the building, and two side entrances are facing the open spaces. There is no proper access to the pitched roof. There are canopies in various projection length around the building and projected over street at the entrance of the building.

The Market has ceased to operate since 2002 and leased out for recyclable collection centre and venue for green market at year 2012. Two open spaces adjacent to the Market are now held by Lands Department.

The architectural drawings of the Market, which consist of block plan, floor plans, major elevations and sections, are attached at **Appendix V**.

The photos showing the general appearance and various details of the Market are attached at **Appendix VI (A)**.

##### **4.2 Historic Grading**

The Market was confirmed as a Grade 3 Historic Building by the Antiquities Advisory Board (AAB) on 22 January 2010.

“Grade 3 Historic Building” is defined as "Buildings of some merit, preservation in some form would be desirable and alternative means should be considered if preservation is not practicable."

The Grading Boundary Plan is shown at **Appendix II (B)**.

##### **4.3 Schedule of Accommodation**

The usages of the Market mentioned in this Schedule of Accommodation refer to the usages at the time when it was used as a market. The approximate Construction Floor Area of the Market in this section is indicative only. Applicants shall verify such information on their own before adopting this information in their proposals.

Total Construction Floor Area of the building is 613 sq.m approximately. Schedule of accommodation is listed as follows:- (Refer to **Appendix V** Drawing No. SS-2P-01)

	<b>Accommodation</b>	<b>Approx. Construction Floor Area (sq.m.) *</b>
G/F	Luen Wo Market	613
	Courtyards (2 Nos.)	89
	Open Spaces (2 Nos.)	525

\* The CFA above-mentioned are not exhaustive that some scattered areas within the site boundary, such as the space between the building and site boundary, etc., were not stipulated in the schedule.

#### 4.4 Materials of Construction

<b>Material</b>	Roof: Reinforced concrete Column & Wall: Reinforced concrete and bricks Ground Floor: On grade reinforced concrete slab* Canopy: Reinforced concrete		
<b>Finishes</b>	External:	Render with paint	
	Internal:	Ceiling: Plaster with paint Walls: Plaster with paint Floor: Screeding	
		Room1&2	Ceiling: Plaster with paint Walls: Plaster with paint Floor: Screeding
		Existing Tenant's Office	Ceiling: Acoustic tile false ceiling Walls: Plaster with emulsion paint Floor: Timber floor

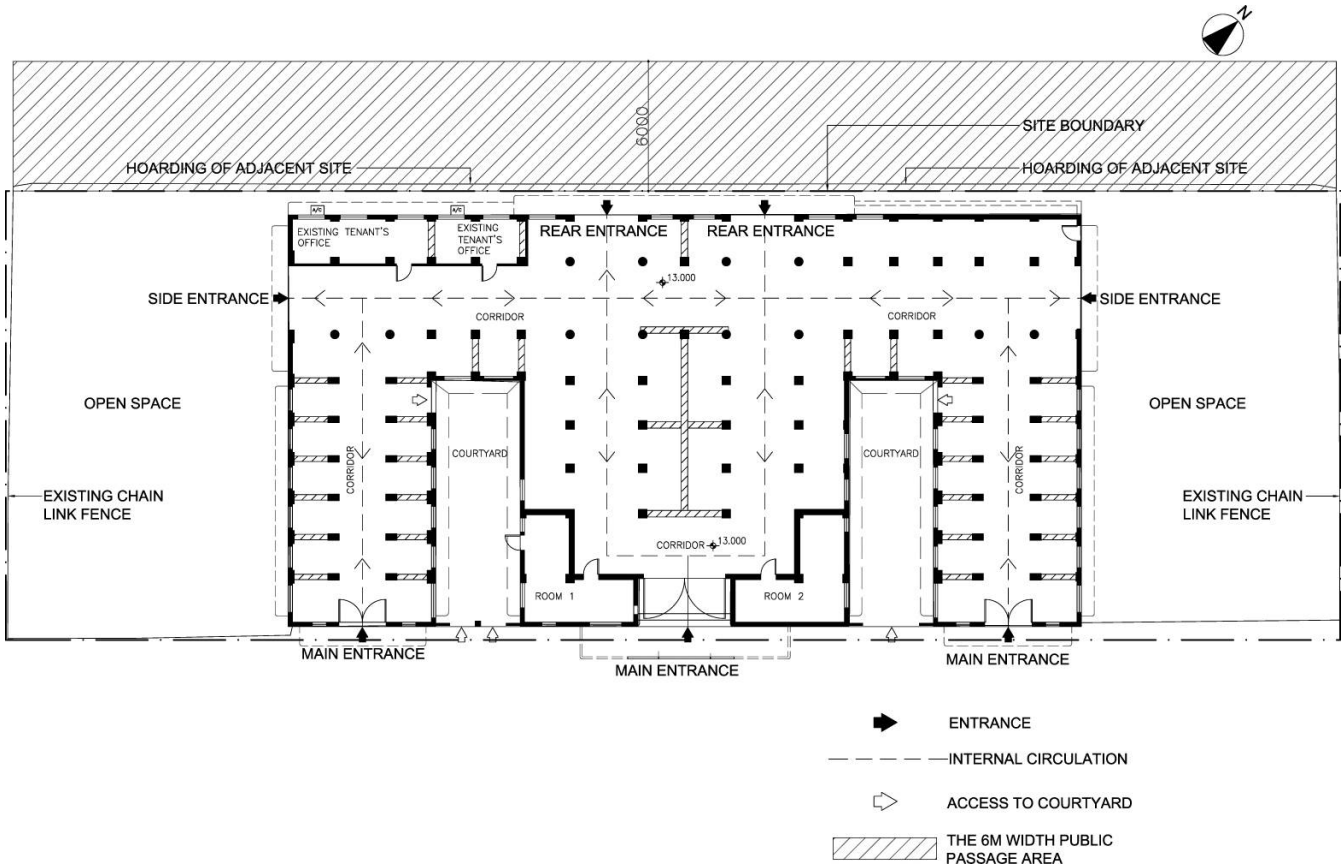
\*Note: Subject to detail survey during structural investigation.

There are canopies around the Market and at the entrance of the building. They are pure reinforced concrete cantilevered slab without beam. Therefore, structural investigation on such continuous cantilevered slab must be required and strengthening works are expected.

#### 4.5 Internal Circulation

##### 4.5.1 General Description

The main entrances of the Market are facing Luen Wo Road. These entrances lead to an internal corridor which connects throughout the Market. Two other entrances are at the rear of the Market and may be accessed through the Public Passage Area, which will be constructed and detail of the Public Passage Area can be referred to Paragraph 10.1. Two other side entrances can be accessed through the two open spaces, which are now fenced off with chain link fence, controlled by Lands Department. (See below Internal Circulation Plan)



**Internal Circulation Plan**

Both courtyards of the Market can be accessed either internally from the Market or externally from Luen Wo Road.

There is no proper access to the roof of the Market.

#### 4.5.2 Barrier Free Access

No barrier free access, which complied with Design Manual – Barrier Free Access 2008, is provided to get access to the Market.

#### 4.6 Major Alterations and Additions

Visual inspection indicates that some I-beam strengthening works have been installed for the canopy at the main entrance. Concrete spalling repairing works are observed at the soffit of the ceiling. New electricity conduits are installed for the daily operation of existing tenant.

## 4.7. Preliminary Structural Appraisal

### 4.7.1 Description

#### (a) General

The Market is a single storey building constructed in 1951, consisting of inaccessible pitch and flat roofs at different levels and a ground floor for wet market use. As no structural records can be retrieved from Buildings Department's central data bank and other government departments, the study of this resource kit is mainly based on the visual inspection carried out on site.

The major structural elements of the building mainly consist of reinforced concrete (RC) roof slabs, roof beams, and columns / walls which are believed to be supported on shallow concrete footings. The beams and columns together form a series of portal frames. There are a series of cantilevered RC slabs, in various projection lengths, surrounding the external walls of the building. They project from the external walls of the building, forming canopies above windows, doors and entrances. They are exposed to weathering and inaccessible for cleaning/maintenance.

#### (b) Structural System of Floor

##### (1) Roofs

The roofs are built of beam and slab floor system which floor slabs are supported by floor beams.

##### (2) Ground Floor

The ground floor is likely constructed of on grade RC slabs.

#### (c) Foundation

It is believed that the foundation design for this one storey building is likely shallow RC footing under columns/walls.

#### (d) Load Path

##### (1) Vertical load

Vertical loads, which consist of dead load, live load and vertical wind load, acting on the roofs, are taken by the roof slabs then transferred through the supporting roof beams to columns/walls. The vertical loads from the columns/walls are eventually transferred to ground through their footings. The vertical loads acting on the ground floor are transferred to ground through the on grade RC slabs.

##### (2) Lateral load

Lateral loads acting on the building, which mainly consist of lateral wind loads, are largely resisted by the rigid frame action of the portal frames. The loads are eventually transferred to the ground through the footing.

#### **4.7.2 Preliminary Appraisal**

This preliminary appraisal is mainly based on the visual site inspection. Opening-up, coring, laboratory tests and other destructive tests had not been carried out to the structure of the building.

During the site inspection, the overall building appeared to be in satisfactory structural conditions. No serious structural cracks on critical structural elements and no differential settlement of foundation, or large deformation at critical structural members were observed.

There were a few localized concrete spillings at the bottoms of some roof beams (See the photo 19 & 20 in **Appendix VI (A)** for reference). Signs of minor to moderate water seepage were observed in many locations throughout the roofs and external walls (See the photo 21 in **Appendix VI (A)** for reference).

The canopies mentioned in the above section 4.7.1(a) were found in a fair condition. There were some vegetation and a few slight cracks found on the canopies (See the photo 22 in **Appendix VI (A)** for reference). No serious deflection of these canopies was observed.

An additional steel portal frame was installed as strengthening work to support the largest canopy of about 1.5m span projecting over street above the main entrance at the middle of the front elevation of the building (See the photo 23 & 24 in **Appendix VI (A)** for reference). No serious crack was observed on canopy itself, and the steel frame appeared in a satisfactory condition.

#### **4.7.3 Loading Assessment**

No designed Imposed Load was known as there were no record structural plans available for inspection during the preparation of this resource kit.

With reference to Appendix II - List of Contemporary Design Standards in HK of Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2016 Edition) issued by the Buildings Department, the design standards for the minimum design imposed loads for buildings constructed in the period from 1935 to 1955 should refer to London County Council By-laws 1915 (LCC 1915). However, the minimum design Imposed Load for the use as wet market was not on the schedule of loading in LCC1915. It is estimated that the minimum design Imposed Load for the design of the ground floor of the building was same as that for the use as retail shops and was 112 lb/sq ft., equivalent to 5.36 kPa. In addition, it is estimated that the roofs, of which the planes incline upwards at an angle smaller than 20 degrees with the

horizontal, were designed with a minimum design Imposed Load of 56.0 lb/ sq. ft which is equivalent to 2.68kPa.

As the loading assessment is based on (i) visual inspection without any testing data on the structural elements, and (ii) in considering the age of the building, the possible imposed loading capacity is prudently estimated at about 60% of the design imposed loading capacity. Hence the estimated Imposed Load capacity for each area is listed as follows: -

<b>Area</b>	<b>Minimum Design Imposed Load as per LCC 1915 (KPa)</b>	<b>Estimated Imposed Loading Capacity (KPa)</b>
Ground Floor	5.36	3.0
Roofs (all inclinations <20°)	2.68	1.5

Particular attention should be drawn to that according to the timeline, a more updated design document, London County Council By-laws 1938, should be available at the design time of the Market and, moreover, the minimum design imposed loads for retail shops and flat roofs specified in this design standard are both smaller than those in LCC 1915. As such, the actual loading capacities of the structures shall be further investigated and verified by sufficient tests on the construction materials and comprehensive structural assessment.

As the Ground Floor was likely constructed by using simple on-grade R.C. slabs, in case that a higher load carrying capacity is required, it may only require upgrading of the on-grade slab.

Finally, the floors usages and minimum imposed load as stipulated in Code of Practiced for Dead and Imposed Loads 2011 issued by the Buildings Department sufficient for covering most of common usages are extracted below for easy reference.

**Table 3.2**  
**Minimum Imposed Loads**

Class	Use	Examples of Specific Use	$q_k$ (kPa)	$Q_k$ (kN)
1	Floors for domestic use and residential activities	Domestic uses	2.0	2.0
		Dormitories	2.0	2.0
		Private sitting rooms, bedrooms and toilet rooms in hotels, motels and guesthouses	2.0	2.0
		Wards, bedrooms and toilet rooms in hospitals, nursing homes and residential care homes for elderly persons	2.0	2.0
		Bathrooms (load from Jacuzzi in bathrooms shall be assessed separately and on individual basis) <sup>1</sup>	2.0	2.0
		Pantries <sup>1</sup>	2.0	2.0
		Kitchens <sup>1</sup>	2.0	2.0
2	Floors for offices and other non-industrial work places	Medical consulting or treatment rooms	2.5	3.0
		Hospital operating theatres and X-ray rooms	2.5	3.0
		Laboratories	3.0	4.5
		Light workrooms with neither central power-driven machines nor storage	3.0	4.5
		Offices for general use	3.0	4.5
		Rooms for lightweight electrical and electronic installations	3.0	4.5
		Rooms for meters and not for storage <sup>1</sup>	3.0	4.5
		Pantries <sup>1</sup>	3.0	4.5
		Banking halls	4.0	4.5
		Kitchens and laundries not in domestic buildings	4.0	4.5
		Projection rooms <sup>1</sup>	5.0	4.5

Table 3.2 (continued)

Class	Use	Examples of Specific Use	$q_k$ (kPa)	$Q_k$ (kN)
3	Floors where people may congregate	<i>3A: Floors with tables</i>		
		Childcare centers and kindergartens	2.5	3.0
		Classrooms, lecture rooms, tutorial rooms, computer rooms	3.0	4.5
		Internet computer services centers <sup>1</sup>	3.0	4.5
		Leisure, recreational and amusement areas that cannot be used for assembly purposes (e.g. private clubs with cubicles and restricted number of patrons)	3.0	4.5
		Massage rooms <sup>1</sup> , sauna rooms <sup>1</sup> , bath houses (load from water pools and fountains, if any, to be assessed separately) <sup>1</sup>	3.0	4.5
		Reading rooms without book storage	3.0	4.5
		Cafes <sup>1</sup> , mahjong parlours <sup>1</sup> , amusement games centers <sup>1</sup>	4.0	4.5
		Restaurants, night-clubs, lounges, bars, canteens, fast food shops and dining rooms not in domestic premises.	4.0	4.5
		<i>3B: Floors with fixed seating (seating is regarded as fixed if the removal of the seating and the use of the relevant space for other purposes are unlikely to occur)</i>		
		Assembly areas with fixed seating	4.0	4.5
		Chapels, churches and places of worship with fixed seating	4.0	4.5
		Concert halls <sup>1</sup>	5.0	4.5
		Conference rooms <sup>1</sup> , waiting rooms <sup>1</sup>	5.0	4.5
		Grandstands (refer to clause 3.8.2 for additional loads)	5.0	4.5
		Public halls, theatres, cinemas	5.0	4.5
		<i>3C: Floors without obstacles for moving people</i>		
		Columbaria (areas other than for niches) <sup>1</sup>	4.0	4.5
		Art galleries and museums	5.0	4.5
		Assembly areas without fixed seating, refuge floors	5.0	4.5
		Footbridges between buildings, footpaths, terraces, plazas, areas used for pedestrian traffic	5.0	4.5
		Open areas in gardens (including short grass turf suitable for foot traffic) <sup>1</sup>	5.0	4.5



Class	Use	Examples of Specific Use	$q_k$ (kPa)	$Q_k$ (kN)
3	Floors where people may congregate	<i>3D: Floors with possible physical activities</i>		
		Billiard rooms and bowling alleys	3.0	4.5
		Dance practice rooms	3.0	4.5
		Dance halls, karaoke establishments, discotheques, gymnasia	5.0	4.5
		Ice rinks (weight of ice shall be assessed separately) <sup>1</sup> , ball courts <sup>1</sup> , golf driving ranges <sup>1</sup>	5.0	4.5
4	Floors for shopping purposes	Department stores, supermarkets, markets, shops for display and sale of merchandise <sup>2</sup>	5.0	4.5
5	Floors for storage, equipment, plant and industrial uses <sup>3</sup>	Library rooms with book storage (excluding library stack rooms)	5.0	4.5
		Offices for storage and normal filing purposes	5.0	4.5
		Refuse storage <sup>1</sup>	2.5 for each metre of storage height <sup>3</sup>	To be determined according to the weight of storage material, but not less than 9.0
		Stack rooms in book stores and libraries	3.5 for each metre of storage height <sup>3</sup> but not less than 10.0	To be determined according to the weight of storage material, but not less than 9.0
		Cold storage	5.0 for each metre of storage height <sup>3</sup> but not less than 15.0	To be determined according to the weight of storage material, but not less than 9.0

	Paper storage in printing plants	8.0 for each metre of storage height <sup>3</sup>	To be determined according to the weight of storage material, but not less than 9.0
	Battery rooms and uninterruptible power supply rooms	10.0 for each metre of storage height <sup>3</sup>	To be determined according to the weight of storage material, but not less than 9.0
	General storage other than those specified in this class, including storage in warehouses	2.5 for each metre of storage height <sup>3</sup>	To be determined according to the weight of storage material, but not less than 9.0
	Plant rooms, boiler rooms, fan rooms, motor rooms and the like	7.5	9.0
	Workshops, factories and other buildings or parts of buildings of similar category for industrial use –		
	(a) for light weight loads	5.0	9.0
	(b) for medium weight loads	7.5	9.0
	(c) for heavy weight loads	10.0	9.0
	(d) for printing plants	12.5	9.0

#### 4.7.4 Recommendations

As no structural records are available and the structure has been constructed for several decades, detailed site investigation and appropriate in-situ and laboratory test shall be carried out by selected applicant to confirm and verify the details and conditions of the structural members and structural performance of the building for the design of their proposed adaptive reuse of the building.

With regard to the canopies, appropriate remedial / upgrading works in accordance with current guidelines issued by Buildings Department is needed.

#### 4.7.5 Conclusion

This preliminary structural appraisal shall not be treated as a comprehensive and complete evaluation of building performance as no laboratory tests or opening-up inspections were carried out when appraising the buildings. It can only be considered as a reference.

The estimated imposed loading capacities made in Section 4.7.3, are summarised as follows:

Area	Estimated Imposed Loading Capacity (KPa)
Ground Floor	3.0
Roofs	1.5

#### 4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the Luen Wo Market are as follows: (Record Photo of Building Services refer to **Appendix VI(B)**)

Building Services & Utilities	Existing Provisions
MVAC Installation	<ul style="list-style-type: none"> <li>- There is no landlord provided MVAC equipment in the site. All equipment mentioned below are supplied and installed by tenant.</li> <li>- Two identical 5.25kW window type air-conditioners are installed at gridline GL-4/5 and GL-4/6 in the tenant office. Please refer to drawing no. XMVAC-GF-L-01 in <b>Appendix V</b> for exact location of the air-conditioners.</li> <li>- Four identical wall-mounted swing type ventilation fans are installed at gridline GL-3-4/5, GL-1-2/7, GL-3/8 and GL-3/9 in the tenant office. Please refer to drawing no. XMVAC-GF-L-01 in <b>Appendix V</b> for exact location of the ventilation fans.</li> <li>- Tenant cannot provide equipment information, such as catalogue, model, brand, certificate etc. for the air-conditioner and ventilation fan. Please refer to record photo EM-01 and EM-02 for reference.</li> </ul>
Fire Service Equipment	<ul style="list-style-type: none"> <li>- No approved fire service installation is found in the site. Current installations were modified by</li> </ul>

	<p>existing tenant to suit the operational use.</p> <ul style="list-style-type: none"> <li>- No automatic sprinkler system in the site.</li> <li>- No fire hydrant / hose reel system in the site.</li> <li>- No automatic fire alarm system (AFA), manual fire alarm (MFA) and visual fire alarm (VFA) in the site.</li> <li>- Exit signs / directional signs are found in the site. They are supplied and installed by the tenant.</li> <li>- Twin spot type emergency light are found in the site. They are supplied and installed by the tenant.</li> <li>- Portable fire extinguishers are found in the site. They are supplied and installed by the tenant.</li> <li>- Please refer to drawing no. XFS-GF-L-01 in <b>Appendix V</b> for exact location of the tenant installed fire service equipment.</li> <li>- Tenant cannot provide equipment information, such as catalogue, model, brand, certificate etc. for the fire service equipment. Please refer to record photo EM-03, EM-4, EM-5 and EM-06 for reference.</li> <li>- According to WSD record plan no.: W67880/3-SW-7D in <b>Appendix XV(A)</b>, water supply for fire service can be obtained either from dia. 100mm main at Luen Shing Street or from dia. 200mm main at Luen Hing Street.</li> </ul>
Electricity Supply	<ul style="list-style-type: none"> <li>- Electrical supply and lighting installations are modified by existing tenant to suit the operational use.</li> <li>- No transformer room in the site.</li> <li>- No emergency generator and no essential power for the site.</li> <li>- No lightning protection system in the site.</li> <li>- The site is supplied by a CLP 300A TPN HRC fuse cutout but limited to 100A TPN with CLP KWH meter (meter no. CLP 3370173) at grid line GL-1/5 on drawing XEL-GF-L-01 in <b>Appendix V</b>.</li> <li>- Electrical installation downstream of the main cutout contains three submain MCB boards “A”, “B” and “C”. Drawing no. XEL-GF-S-01 in <b>Appendix V</b> indicates schematic diagram for the electrical supply system from the main cutout to final circuit connections.</li> <li>- General lighting with fluorescent lights, pendant lights and spot light, etc. are supplied and installed</li> </ul>

	<p>by tenant. Drawing no. XEL-GF-L-01 in <b>Appendix V</b> indicates the location, type and circuitry of the lighting installation.</p> <ul style="list-style-type: none"> <li>- Electrical supply system including MCB boards, socket outlets, switches, etc. are supplied and installed by tenant. Drawing no. XEL-GF-L-01 in <b>Appendix V</b> indicates the location, type and circuitry of the electrical supply system.</li> <li>- Tenant cannot provide equipment information, such as catalogue, model, brand, certificate etc. for the electrical supply equipment and light fitting. Please refer to record photo EM-07, EM-08 and EM-09 for reference.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>- Rainwater from pitch roof is collected by curbed concrete canopy and drained through vertical grating to rainwater down pipe.</li> <li>- Rainwater down pipes are discharging at low level of G/F to floor surface.</li> <li>- Please refer to drawing no. XPD-RF-L-01 and XPD-GF-L-01 in <b>Appendix V</b> for exact location of the rainwater drainage system.</li> <li>- Indoor foul water is gathered by open channel at ground level to two internal foul water manholes which connect to manholes located inside adjacent site. Please refer to utilities survey drawing in <b>Appendix XVI</b>. No toilet is provided within the site.</li> <li>- According to DSD's record plan in <b>Appendix XV(D)</b>, rainwater can be connected to storm water manhole either at Luen Hing Street (SMH1006299) or storm water manhole at Luen Shing Street (SMH1006343).</li> <li>- According to DSD's record plan, foul water can be connected to foul manhole (FMH1004399) at Luen Hing Street. There is another foul manhole at Luen Shing Street that shown in Utilities Survey Plan at <b>Appendix XVI</b> but not in DSD's record plan.</li> </ul>
Plumbing Installation	<ul style="list-style-type: none"> <li>- Plumbing installations are modified by existing tenant to suit the operational use.</li> <li>- Potable water supply directly feed from WSD water main with a dia. 15mm WSD meter (meter no. 14311250) is found in the site at grid line GL-1/6 on drawing XPD-GF-01 in <b>Appendix V</b>.</li> <li>- One water tap is connected to the water meter at grid line GL-1/6 and the water from the tap is</li> </ul>

	<p>discharged to floor surface. Please refer to drawing no. XPD-GF-L-01 and record photo EM-13 for exact location of the water meter and potable water supply system for reference.</p> <ul style="list-style-type: none"> <li>- No flushing water, non-potable water provision such as irrigation and cleansing water is found within the site.</li> <li>- No storage tank for either potable water or flushing water is found in the site.</li> <li>- According to WSD record plan no.: W67880/3-SW-7D in <b>Appendix XV(A)</b>, water supply for potable water can be obtained either from dia. 100mm main at Luen Shing Street or from dia. 200mm main at Luen Hing Street.</li> <li>- According to WSD record plan no.: W67880/3-SW-7D in <b>Appendix XV(A)</b> and utility survey findings, there is no salt water main in the vicinity of the site.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>- No town gas connection is found within the site.</li> <li>- According to HKCG's record in <b>Appendix XV(C)</b>, town gas can be obtained from dia. 180mm town gas main at Luen Wo Road.</li> </ul>
Lift & Escalator	<ul style="list-style-type: none"> <li>- No lift / escalator is provided within the site.</li> </ul>
Fixed Telecommunication Network	<ul style="list-style-type: none"> <li>- There is no landlord provided fixed telecommunication network in the site. All fixed telecommunication network mentioned below are supplied and installed by tenant.</li> <li>- There are tenant-owned PCCW telecommunication system network in the tenant office. Please refer to record photo EM-14 for reference.</li> <li>- According to utility survey findings, telecommunication system network from PCCW can be connected either at Luen Wo road or Luen Shing Street.</li> </ul>

## V. Vicinity and Access

### 5.1 Immediate Surrounding

The Market abuts Luen Wo Road, Luen Shing Street and Luen Hing Street. Immediate in front of the Market is a minibus and taxi lay by stop. A public toilet is located next to the lay by. Immediate back of the Market will be a large residential development with a 6m wide Public Passage Area. Such Public Passage Area is used as public pedestrian access under the lease condition of the Fanling Sheung Shui Town Lot No. 255 (**Appendix VIII**). Two sides of the site are mainly traditional composite building with commercial uses at the lower floors and residential towers on the upper floors. Fanling MTR Station is within a walking distance from the Market (**Appendix VII (B)**).

The Plan Showing Immediate Surroundings is at **Appendix VII (A)**.

### 5.2 Access

#### 5.2.1 Vehicular Access

The vehicular access road serving the site is Luen Shing Street and Luen Hing Street, which is a one-way drive leading from Sha Tau Kok Road via Luen On Street. The main entrance to the site is located at Luen Wo Road, which only allows entry of minibus or taxi. The Access Plan is shown at **Appendix VII (C)**.

#### 5.2.2 Emergency Vehicular Access (EVA)

Both Luen Shing Street and Luen Hing Street are public streets and could be served as EVA for the Market. However, the EVA provided cannot meet the standards as stipulated in Part D of the Code of Practice (COP) for Fire Safety in Buildings 2011 as the horizontal distance between the EVA and the major facade of the market exceeds 10m.

#### 5.2.3 Loading and Unloading Area

Loading/unloading area is not provided within the site. Applicants may consider providing loading/unloading area at the open spaces of the site for the purpose of adaptive re-use.

#### 5.2.4 Parking

No parking space is provided at the site currently. The two open spaces can be served as parking purposes subject to Transport Department's approval on the location of run in/out for the proposed carpark.

There is no meter parking space at Luen Hing Street and Luen Shing Street.

#### 5.2.5 Pedestrian Access

Pedestrian can access the site along the pavement of Luen Hing Street, Luen Shing Street and Luen Wo Road. The site is within a 15-minute walking distance from Fanling MTR Station. Taxi and minibus layby are in front of the entrance of the site at Luen Wo Road.

**5.2.6 Barrier Free Access (Site)**

Barrier Free Access to the Market by means of vehicle is available from Luen Wo Road, through the public pedestrian walkway to the entrance.

**5.2.7 Refuse Collection Point**

No refuse collection point is available within the site. However, according to Building (Refuse Storage and Material Recovery Chambers and Refuse Chutes) Regulations, as the usable floor space less than 3960 sq.m., such provision is not statutory required.



## **VI. Conservation Guidelines**

### **6.1 General Conservation Approach**

6.1.1 All applicants are advised to give due regards to the latest editions of Charter of Venice (ICOMOS), the Burra Charter (Australia ICOMOS) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic building and complying with the current statutory requirements under the Buildings Ordinance (Cap 123). On this issue, we would advise:

- (a) when undergoing major alteration works and change of use, the historic building should be properly upgraded to meet the same level of safety in respect of the new use as in the case of new buildings. The need for preserving the significant architectural features (**Appendix IX** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the building; and
- (b) every effort should be made to preserve the original façades of the historic building except unauthorized building structures, if any. Addition and alteration works, if necessary, should be undertaken at the sides or other less visually prominent location of the building concerned. The original façades of the building should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible<sup>1</sup>. Any fixed signage should match the age and character of the exterior of the building and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the selected applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

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<sup>1</sup> "Reversibility" is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. require the prior approval of the AMO.
b) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by the AMO.
c) Barrier Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its/ their surrounding, in particular the external elevation(s) of the building(s).
d) Fire Resisting Construction to Floors, Doors and Walls	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
e) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned.
f) Building Services	Any proposed upgrading of electrical supply, air conditioning, fire services and plumbing installations should ensure that no “non-reversible” works are carried out to the historic building(s).
g) Plumbing and Sanitary Fittings	If “historic fitting(s)” is/ are identified, it/ they should be preserved, while modern fittings may be re-used, replaced or increased in number as required.
h) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorized waste disposal methods should also be confirmed and upgraded as necessary.

- 6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO's approval should be sought.
- 6.1.5 As the renovation works will inevitably cause impact on the historic building, the selected applicant should submit a Heritage Impact Assessment (HIA) to the AMO for agreement before the commencement of the works. Consultation with the Antiquities Advisory Board for the agreement may be necessary.
- 6.1.6 The selected applicant should engage a building contractor, for the renovation works, who is included in the Development Bureau's "List of Approved Contractors for Public Works – Buildings category" of appropriate group according to the estimated value of the works contract (<http://www.devb.gov.hk/Contractor.aspx?section=80&lang=1> for the list) and a Registered General Building Contractors of Buildings Department (<https://mwerdr.bd.gov.hk/REGISTER/RegistrationSearch.do?method=PageRegistration&regType=GBC> for the list). If the contractor to be appointed for the renovation works is not itself an approved specialist contractor included in the "List of Approved Suppliers of Materials and Specialist Contractors for Public Works – Repair and Restoration of Historic Buildings category" (RRHB specialist contractor), the appointed contractor must engage a RRHB specialist contractor from the Approved List as its specialist sub-contractor for carrying out the repair and restoration works of the "Architectural Features to be Preserved" to the historic building. All other specialist sub-contractors for the renovation works should also be engaged from the relevant categories/groups in the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works" ([http://www.devb.gov.hk/en/construction\\_sector\\_matters/contractors/supplier/index.html](http://www.devb.gov.hk/en/construction_sector_matters/contractors/supplier/index.html) for the list).

## 6.2 Specific Conservation Requirements

- 6.2.1 Luen Wo Market is a single storey utilitarian building in an early Modernist style. As a civic building, it is functionally and economically built with a simple column and beam structural system and partition walls that can also be easily adapted for different uses, if so required. Entrances are clearly defined with building signs and flag poles, and large enough to facilitate busy traffic from shopping and delivery. The interior space is well-proportioned with a higher clearstory at central aisles to facilitate ample natural lighting and ventilation. Symmetrical building layout and low

partition walls between stalls allow visual connections among different corners of the market and give shoppers a clear orientation within the building. Luen Wo Market, being a single-storey building, is an atypical typology for public market building design in Hong Kong built after the war, and is becoming a rare example due to the rapid urban development in New Territories. Therefore, the façades should be generally kept intact. The façade treatment in the adaptive re-use scheme should respect its original architectural design intention and should not overwhelm the simple and functional appearance of the building.

- 6.2.2 Luen Wo Market was once the largest and the first indoor market built in New Territories. Various local social organizations, chamber of commerce, and Fanling District Rural Committee, etc., were gradually formed in the vicinity of Luen Wo Market since early 1950s. Its establishment marked a milestone in the social, town planning and economic development of Fanling. Luen Wo Market has also served the local community daily, with fresh meat, fish, vegetables, poultry and dry goods, for almost fifty years until 2002. The market and the vicinity areas were once a place for the local farmers selling their farm produce directly on particular schedule (墟期). This way of traditional trading was common in the New Territories in the past but was gone along with the urban development in New Territories which should be interpreted and presented to the public. Therefore, the Luen Wo Market's historical and social values associated with the local community are important to be interpreted and presented to the public.
- 6.2.3 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix IX**. Their corresponding required and recommended conservation treatments are listed at **Appendix X** and **XI** respectively.
- 6.2.4 Every effort should be made to carry out all “required treatments” set out under **Appendix X** of the Conservation Guidelines. If compliance with the “required treatments” cannot be achieved, justifications should be given to the AMO for their consideration. **Appendix XI** of the Conservation Guidelines set out the “recommended treatments” to the historic building, which should be carried out as far as practicable.

## **VII. Town Planning Issues**

Luen Wo Market, Fanling site is zoned “Commercial/Residential” (“C/R”) on the Fanling / Sheung Shui Outline Zoning Plan No. S/FSS/21. The full set of the Outline Zoning Plan (OZP) including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the “C/R” zone are shown at **Appendix XII**.

“C/R” zone is intended primarily for commercial and / or residential development. Commercial, residential and mixed commercial/residential uses are always permitted.

The Notes for the “C/R” zone (**Appendix XII**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2” uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance.

If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from Fanling, Sheung Shui & Yuen Long East District Planning Office at 13th floor, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin (Tel: 2158 6398 or Fax No.: 3105 0057).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

## VIII. Land and Tree Preservation Issues

### 8.1 Land Issues

The site currently rests on Government land. A Site Boundary Plan is shown at **Appendix II (A)**.

The site (except the two adjacent open spaces) is now leased out under Short Term Tenancy with the following terms:

<b>Term and Date of commencement:</b>	Three years certain commencing on 1 <sup>st</sup> day of November 2012 and thereafter quarterly until such time as this tenancy is determined
<b>Purposes for which the premises may be used: (Any one or more of the purposes set out to be operated on a non-profit-making basis)</b>	(1) Rural market cultural gallery for educational and exhibition purposes (2) Creative gallery for educational and exhibition purposes (3) Green market for sales of organic agricultural produce, health foods, art products and second hand household items (4) Collection point for recycling of household plastic and glass recyclables

### 8.2 Tree Issues

The topographic survey recorded a total of 6 numbers of existing trees with Diameter of Breast Height (DBH) at and over 95mm within the subject site. Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Services Department is not present at the site.

All these existing trees are not growing properly in planting space and they are in conflict with the building. Some of the damages of the building caused by the tree roots are noted. The existing trees found within the subject site are as follows:

- (1) Ficus rumphii 假菩提樹
- (2) Ficus microcarpa 細葉榕
- (3) Ficus benjamina 垂榕
- (4) Bombax ceiba 木棉
- (5) Celtis sinensis 朴樹

Details of the tree inventory data could be referred to the attached **Appendix XIII (B)** for reference.

The trees are generally of very common species and most of them are neither in good health, nor in good form. They are of low amenity value.

In general, no tree growing on the site or adjacent thereto shall be interfered without

the prior written consent of the District Lands Officer or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

The selected applicant should be responsible for the horticultural maintenance of vegetation and maintenance of trees within the site boundary of this revitalisation project.

**IX. Technical Compliance for Possible Uses**

**9.1 Uses That Can Possibly Be Considered**

Possible adaptive re-use of this building includes:

- (a) Eating Place
- (b) Educational Institution
- (c) Training Centre
- (d) Exhibition or Convention Hall
- (e) Shop and Services
- (f) Recyclable Collection Centre

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider are most suitable for the building.

**9.2 Technical Considerations**

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

<b>Requirements</b>	<b>Remarks</b>
Means of Escape	<p>The 6m width Public Passage Area of adjoining composite development may be considered as part of exit route of the Market, subject to the lease condition and further arrangement with the adjacent site. The premises should have own exit route that directly discharge to ultimate place of safety according to the Code of Practice for Fire Safety in Buildings 2011, no matter if the Public Passage Area could be considered as part of exit route of the Market.</p> <p>Some modifications to the existing exit arrangements may be required to suit for the new use and layout. For use of Place of Public Entertainment (PPE), it should follow Code of Practice for Fire Safety in Buildings 2011 which will determine the required number and width of thoroughfares.</p>



Fire Resisting Construction	Further investigation will be required to demonstrate adequacy of fire resisting construction of the existing building elements. Some upgrading works may be required to suit the new use and layout. These works, including but not limited to, the provision of the fire barriers to kitchen in an eating place and to unprotected openings made in the external wall to separate from the rest of the building and adjoining building as stipulated in Code of Practice for Fire Safety in Buildings 2011.
Means of Access for Firefighting and Rescue	Both Luen Shing Street and Luen Hing Street are public street and can be served as EVA for Luen Wo Market, however, the EVA provided cannot meet the standards as stipulated in the Code of Practice (COP) for Fire Safety in Buildings 2011 (i.e. The horizontal distance between the EVA and the major facade of the market exceeds 10m). Exemption from COP maybe favourably considered by Buildings Department and Fire Services Department subject to the provision of fire safety assessment report and enhanced fire safety measures. The selected applicant is required to liaise with relevant government department for exemption at detailed design stage.
Barrier Free Access and Facilities	Various provisions for barrier free access, such as ramps, accessible toilets etc. may be required in accordance with Design Manual: Barrier Free Access 2008.
Structural Adequacy	<p>Based on the preliminary structural appraisal made in 4.7, it is estimated that the ground floor has a capacity to support an imposed load up to 3.0kPa, and in case that a higher load carrying capacity is required, it may only require upgrading the on-grade slabs of the floor.</p> <p>A comprehensive structural appraisal for the building is required to verify and confirm the structural adequacy of all structural members of the building. Strengthening works may be required depending on the findings of the structural appraisal and the proposed use.</p>

Fire Services Installation Requirements	Major fire services installation and equipment such as sprinkler system, hose reel system, fire alarm system, fire detection system, emergency generator and emergency lighting will be required in accordance with the Fire Services Department (FSD)'s Code of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment for proper Classification of Premises. In case the Market to be used as Recyclable Collection Centre, sprinkler system and other FSI requirements will be depended on the type of material stored and the storage configurations, such as storage height and volume, etc. Such requirements will be subject to FSD's approval. Exemption for non-compliance will be generally difficult to be granted.
Natural Lighting and Ventilation	The natural lighting and ventilation for offices, kitchen and rooms containing soil and waste fitments should be provided in accordance with Building (Planning) Regulations.
Provision of Sanitary Fitments	Subject to the use of the buildings, new toilet facilities may be required to be installed within the site area to comply with current requirements.
Drainage Installation Requirements	Further investigation will be required for proper drainage provisions to suit different uses of revitalisation project. According to Drainage Services Department's record plan, foul water can be connected to foul water manhole (FMH1004399) at Luen Hing Street. Grease trap facilities may be required to comply with restaurant licensing requirements from Food and Environmental Hygiene Department.

- (b) Compliance with licensing requirements (for uses requiring issue of license for their operation);
- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals. They may make reference to guidelines stated in PNAP APP-69 and Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2016 Edition).

### **9.3 Further Information on Possible Uses**

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 9.1 above. Some information that can be useful to the applicants are listed below:

**(a) Heritage Conservation**

Applicant should follow the Conservation Guidelines listed in Section VI of the Resource Kit when resolving technical issues.

**(b) Planning**

With reference to the examples of uses in paragraph 9.1, uses as Eating Place, Educational Institution, Training Centre, Exhibition or Convention Hall, Shop and Services are under Column 1 of the Notes to the OZP in which uses are always permitted; use as Recyclable Collection Centre is under Column 2 of the Notes to the OZP in which application should be made to the TPB under section 16 of the Town Planning Ordinance.

**(c) Fire Service Requirements**

Possible Use(s)	Eating Place	Educational Institution	Training Centre	Exhibition or Convention Hall	Shop and Services	Recyclable Collection Centre <sup>(6)</sup>	Recyclable Collection Centre <sup>(6)</sup>	Recyclable Collection Centre <sup>(6)</sup>
<b>Automatic Sprinkler System</b>	Required	Required	Required	Required	Required	Required	Required	Required
<b>Sprinkler Hazard Class <sup>(1)</sup></b>	OH1	OH1	OH1	OH4	OH3	OH3	OH4	HH
<b>Sprinkler Tank Size</b>	55m <sup>3</sup> <sup>(2)</sup> 37m <sup>3</sup> <sup>(3)</sup> 25m <sup>3</sup> <sup>(4)</sup>	55m <sup>3</sup> <sup>(2)</sup> 37m <sup>3</sup> <sup>(3)</sup> 25m <sup>3</sup> <sup>(4)</sup>	55m <sup>3</sup> <sup>(2)</sup> 37m <sup>3</sup> <sup>(3)</sup> 25m <sup>3</sup> <sup>(4)</sup>	160m <sup>3</sup> <sup>(2)</sup> 107m <sup>3</sup> <sup>(3)</sup> 100m <sup>3</sup> <sup>(4)</sup>	135m <sup>3</sup> <sup>(2)</sup> 90m <sup>3</sup> <sup>(3)</sup> 75m <sup>3</sup> <sup>(4)</sup>	135m <sup>3</sup> <sup>(2)</sup> 90m <sup>3</sup> <sup>(3)</sup> 75m <sup>3</sup> <sup>(4)</sup>	160m <sup>3</sup> <sup>(2)</sup> 107m <sup>3</sup> <sup>(3)</sup> 100m <sup>3</sup> <sup>(4)</sup>	225-875m <sup>3</sup> <sup>(2)</sup> 150-584m <sup>3</sup> <sup>(4)</sup>
<b>Classification of Premises</b>	Low Rise Commercial Building	Low Rise Institutional Building	Low Rise Institutional Building	Low Rise Commercial Building	Low Rise Commercial Building	Low Rise Industrial Building	Low Rise Industrial Building	Low Rise Industrial Building
<b>Fire Hydrant &amp; Hose Reel System</b>	Required	Required	Required	Required	Required	Required	Required	Required
<b>FS Tank Size <sup>(5)</sup></b>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>	27m <sup>3</sup>
<b>FS Control Centre</b>	Not Required	Not Required	Not Required	Not Required	Not Required	Required	Required	Required
<b>Automatic Fire Alarm (including BFA)</b>	Required	Required	Required	Required	Required	Required	Required	Required

Note:

(1) According to Table A.2 (Annex A) of LPC Rules of Automatic Sprinkler Installations (incorporating BS EN 12458).

(2) Full capacity of sprinkler tank according to Table 9 of LPC Rules of Automatic Sprinkler Installations (incorporating BS EN 12458). For HH hazard, tank size depending on different design density according to Table 10 of LPC Rules of Automatic Sprinkler Installations (incorporating BS EN 12458).

(3) Tank size is reduced to 2/3 of the LPC Rules required capacity by assuming direct connection to Service Provider's Computerized Fire Alarm Transmission System is provided.

(4) Minimum capacity of sprinkler tank if adequate refill rate of water source can be achieved according to FSD circular letter No. 3/2006 List 2 Item 2.10.

(5) According to Clause 5.26 of the FSD CoP for Minimum Requirements 2012. Gross floor area over 460m<sup>2</sup> but not exceeding 920 m<sup>2</sup>.

(6) In case the Market to be used as Recyclable Collection Centre, sprinkler system and other FSI requirements will be depended on the type of material stored and the storage configurations, such as storage height and volume, etc. Such requirements will be subject to FSD's approval. Exemption for non-compliance will be generally difficult to be granted.

**(d) Licensing**

- (i) If the site is to be used as an Eating Place, the selected applicant shall obtain a licence from the Food and Environmental Hygiene Department (FEHD) if he intends to carry out any food business which involves, generally, the sale of meals or unbottled non-alcoholic drinks other than Chinese herb tea for consumption on the Site. For details on the application of restaurant licence and related matters, please visit the website of FEHD for details (<http://www.fehd.gov.hk/english/licensing/index.html>).
- (ii) If the site is to be used as an Educational Institution or Training Centre, the selected applicant is required to check whether the proposed mode of operation falls within definition of a 'school' under the Education Ordinance (Cap.279). If affirmative, the selected applicant shall make an application for registration of a school to the Education Bureau (EDB). Relevant information on registration procedures is available at the website of EDB (<http://www.edb.gov.hk>).
- (iii) If the site is to be used as an Exhibition or Convention Hall, the selected applicant should obtain a licence from Food and Environmental Hygiene Department (FEHD) if he intends to carry out:
  - (a) any exhibition of any one or more of the followings, namely pictures, photographs, books, manuscripts or other documents or other things;
  - (b) a sporting exhibition;
  - (c) a cinematograph or laser projection display

For details on the application of places of public entertainment licence for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD for details (<http://www.fehd.gov.hk/english/licensing/index.html>).

- (iv) If the site is to be used as a Recyclable Collection Centre, the selected applicant may need to obtain a licence from Environmental Protection Department (EPD) depends on the type of collection and recycling . For details on the application of the environmental permits / licences, the applicant can visit the website of EPD for details ([http://www.epd.gov.hk/epd/english/application\\_for\\_licences/application\\_maincontent.html](http://www.epd.gov.hk/epd/english/application_for_licences/application_maincontent.html)).

(e) **Structural Limitation**

The required minimum imposed loading capacities for the possible uses are as follows:

- |                                    |          |
|------------------------------------|----------|
| (i) Eating Place                   | 4.0 kPa  |
| (ii) Educational Institution       | 3.0 kPa  |
| (iii) Training Centre              | 3.0 kPa  |
| (iv) Exhibition or Convention Hall | 5.0 kPa  |
| (v) Shop and Services              | 5.0 kPa  |
| (vi) Recyclable Collection Centre* | 10.0 kPa |

Based on the preliminary structural appraisal assessment made in 4.7, it is estimated that the ground floor has a capacity to support an imposed load up to 3.0kPa, and in case that a higher load carrying capacity is required, it may only require upgrading the on-grade slabs of the floor. As such, it is very likely that there should be no difficulties to render the ground floor adequate for the above possible uses.

The selected applicant is required to carry out further structural investigation and assessment to investigate and confirm the loading capacity of each floor.

Note:

\*The approximate imposed load of Recyclable Collection Centre is made reference as below:

Use	Distributed load in kPa to be applied uniformly on plan	Concentrated load in kN to be applied on plan over any square with a 50 mm side (unless otherwise specified in this column), or line load in kN per metre length
Floors for Refuse storage	2.5 for each meter of storage height	to be determined according to the weight of storage material, but not less than 9.0

Storage height shall be the height of the space between the following: the floor, and a physical constraint to the height of storage formed by a ceiling, soffit of a floor, roof or other obstruction. The storage height of Luen Wo Market is less than 4 meter, and thus the imposed load for Recyclable Collection Centre is 10kPa.

The applicant should consider the imposed loading requirements according to their future operational need on material collection and recycle and subject to Building Department's approval.

#### **9.4 Recurrent Expenditure**

To facilitate the applicants in forecasting their operating expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditure on some common recurrent items, including electricity fee, water and sewage charge, rates and rent for the building at **Appendix XIV**. Please note that the estimated expenditure has been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.



## **X. Special Requirements of the Project**

Applicants are required to take these special requirements into account in formulating their revitalisation proposals and explain in their applications how these special requirements have been incorporated in their revitalisation proposals.

### **10.1 Adjacent Proposed Development**

Applicants should be aware of the adjacent development of residential building and its implication to the site. In particular, immediate back of the Market will be a 6m wide Public Passage Area which will be open for 24 hours as a public pedestrian access. Applicants should pay special attention to the alignment and levels of the Public Passage Area and may design proper pedestrian ingress/egress along the north boundary of the Site when preparing their revitalisation proposals.

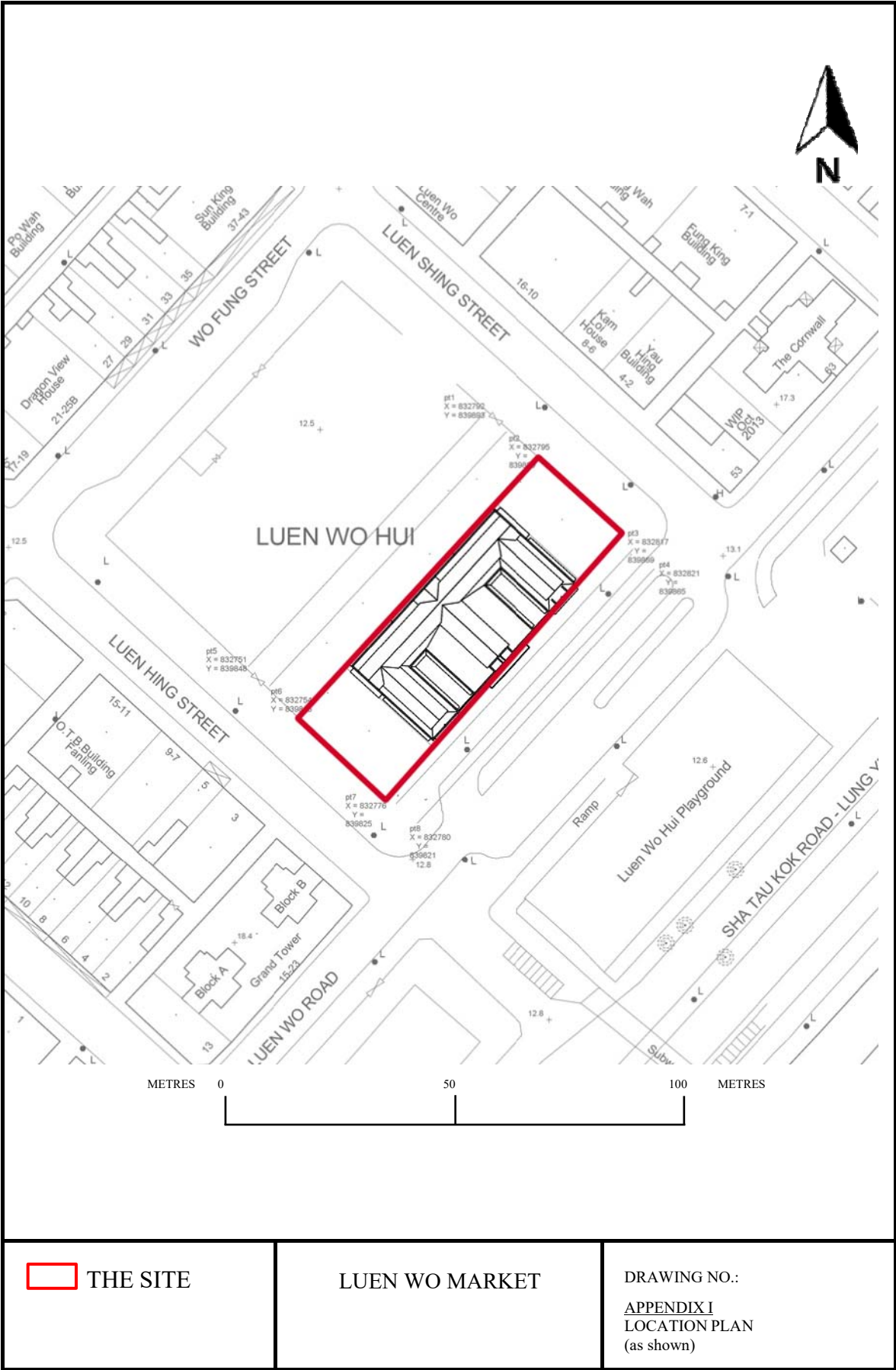
### **10.2 Traffic and Parking**

There are no meter parking spaces at Luen Hing Street and Luen Shing Street. The applicants may consider allowing parking spaces at the Open Spaces of the site. However, the applicants should ensure that their revitalisation proposals will not unduly affect the existing traffic conditions and should proactively adopt appropriate control and management measures to minimize any adverse traffic impact, including both vehicular and pedestrian traffic, during construction and operation of the project.

### **10.3 Overgrown Vegetation**

The applicant should pay attention to the overgrown vegetation closed to the building within the site. The effect of the roots of vegetation near building foundation and structure may need to be considered.

**Appendix I**  
**Location Plan**

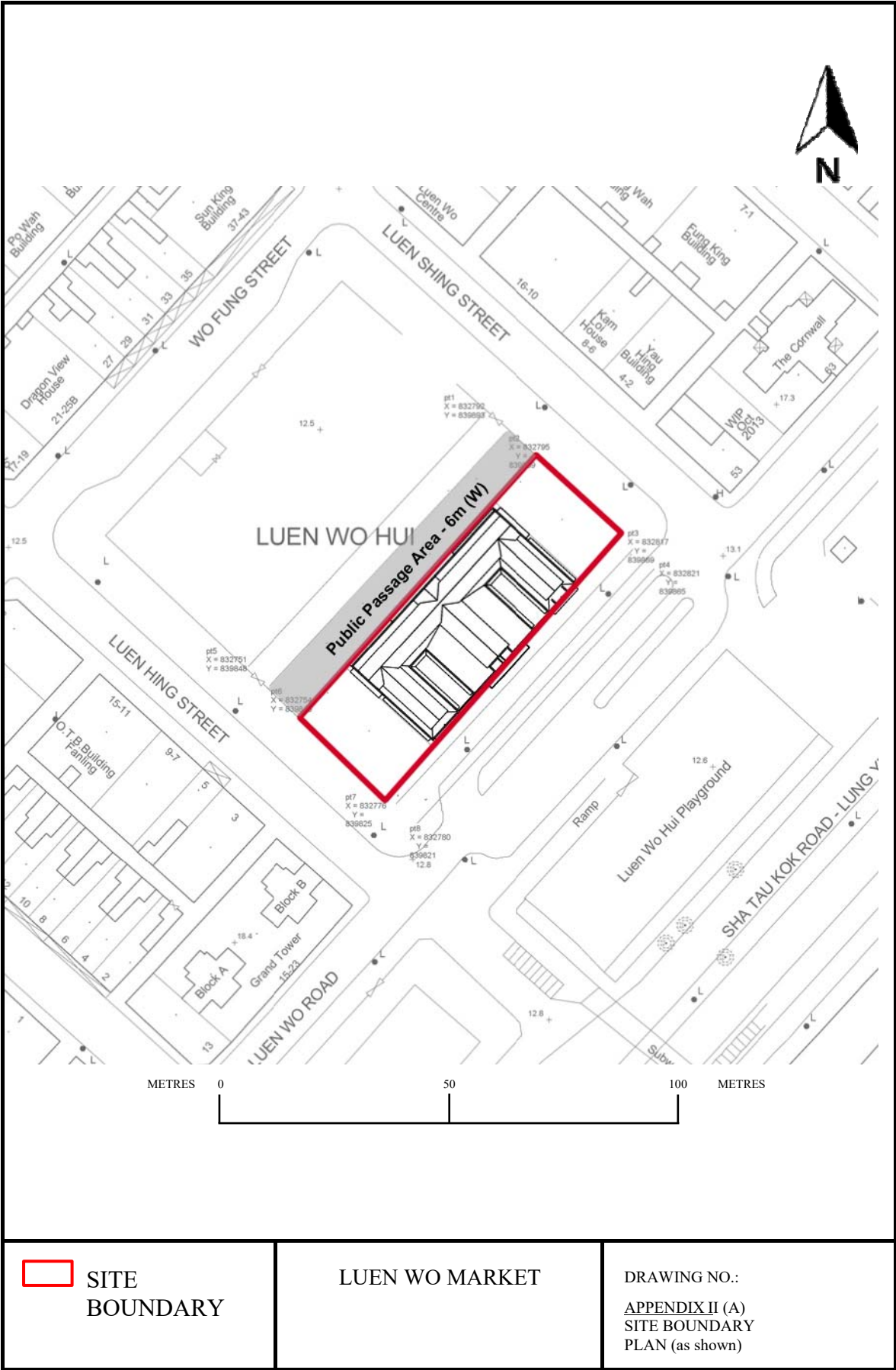


 THE SITE

LUEN WO MARKET

DRAWING NO.:  
APPENDIX I  
 LOCATION PLAN  
 (as shown)

**Appendix II(A)**  
**Site Boundary Plan**



 SITE BOUNDARY

LUEN WO MARKET

DRAWING NO.:  
 APPENDIX II (A)  
 SITE BOUNDARY  
 PLAN (as shown)

**Appendix II(B)**  
**Grading Boundary Plan**



METRES 0 50 100 METRES

Note: This drawing is for indication and reference only

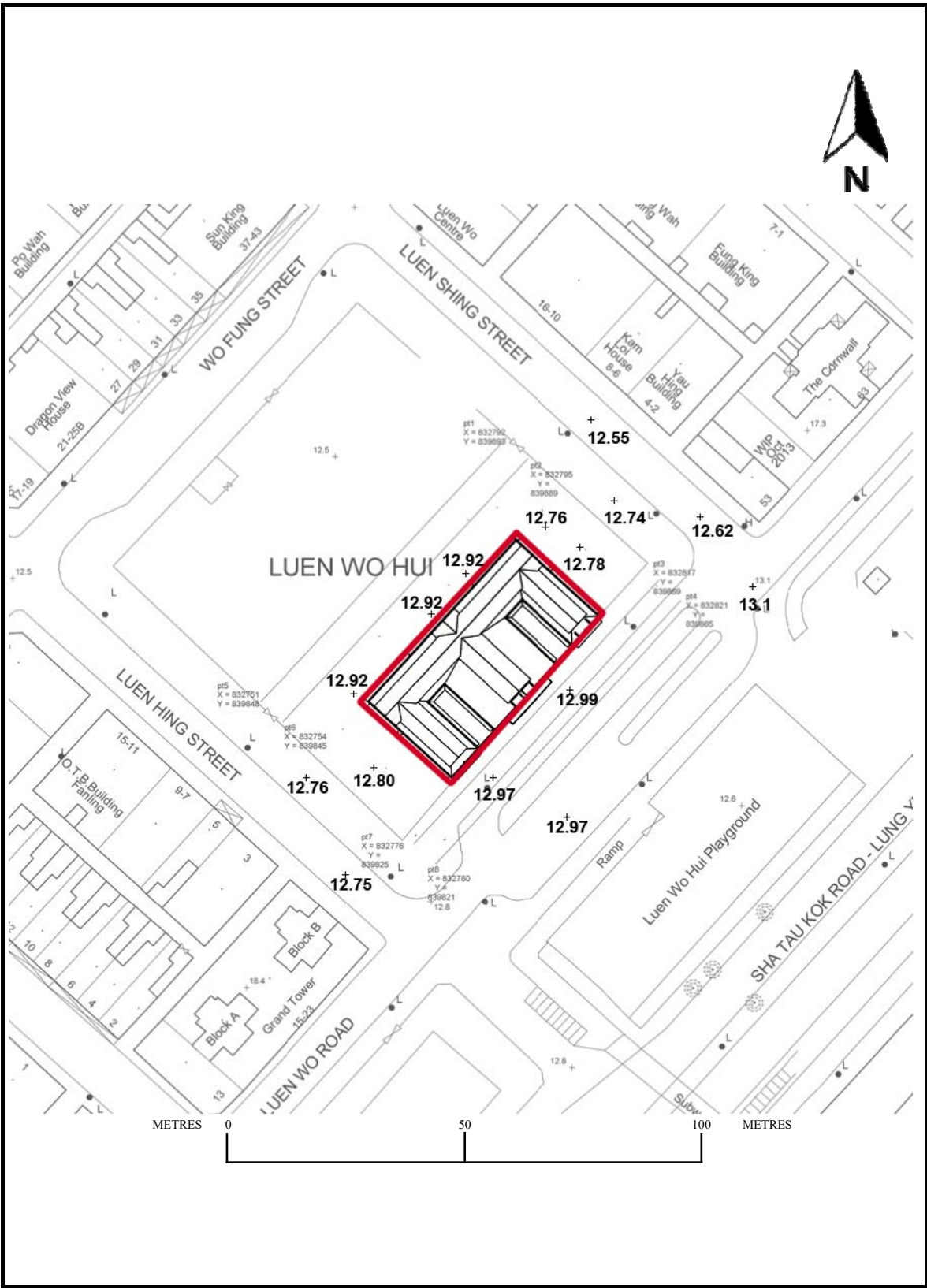
 GRADING  
BOUNDARY

LUEN WO MARKET

DRAWING NO.:  
APPENDIX II (B)  
GRADING BOUNDARY  
PLAN (as shown)

**Appendix III**  
**Datum Levels Plan**





 BUILDING

LUEN WO MARKET

DRAWING NO.:  
APPENDIX III  
 DATUM LEVELS  
 PLAN (as shown)

**Appendix IV**  
**Summary of Site and Building Information**

**Summary of site information is listed below:**

Building Name	Luen Wo Market
Address	Luen Wo Hui, Fanling, New Territories
Site Area	Approximately 1,290 sq. meter
Major Datum Level	Ranges from about +12.76mPD to +12.92mPD
Zoning	Commercial / Residential (C/R)

**Summary of building information is listed below:**

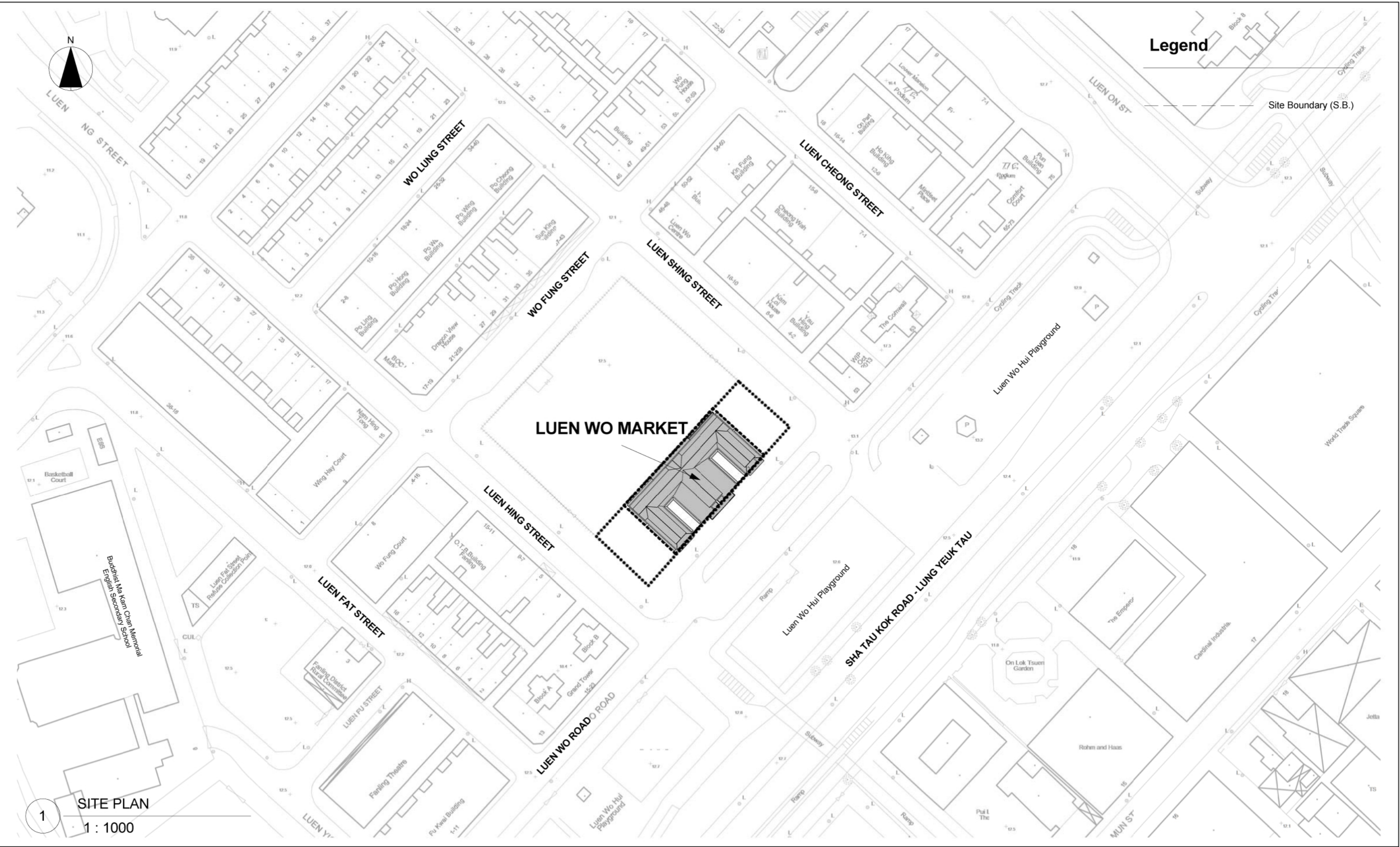
Name of Buildings	Luen Wo Market	
Year of Completion	1951	
Total Construction Floor Area (approximate)	Luen Wo Market	613 sq.m
	Courtyards (2 nos.)	89 sq.m
	Open Spaces (2 nos.)	525 sq.m
Historic Grading	Grade 3 historic building	
Original and Recent Uses	<p>Luen Wo Market has ceased to operate as Market since 2002. The buildings have been abandoned for near 10 years. It is now rent out for the following use since 2012:</p> <ol style="list-style-type: none"> <li>1. Rural market cultural gallery for educational and exhibition purposes</li> <li>2. Creative gallery for educational and exhibition purposes</li> <li>3. Green market for sales of organic agricultural produce, health foods, art products and second hand household items</li> <li>4. Collection point for recycling of household plastic and glass recyclables</li> </ol>	
Material	<p><u>Luen Wo Market</u>  Roof: Reinforced concrete  Column &amp; Wall: Reinforced concrete and bricks  Ground Floor: On grade reinforced concrete*  Canopy: Reinforced concrete</p>	
Finishes	External:	Render with paint
	Internal:	Ceiling: Plaster with paint Walls: Plaster with paint Floor: Screeding
	Room1&2	Ceiling: Plaster with paint Walls: Plaster with paint Floor: Screeding
	Existing Tenant's Office	Ceiling: Acoustic tile false ceiling Walls: Plaster with emulsion paint Floor: Timber floor

Internal Circulation	The three main entrances of the Market are facing Luen Wo Road. These entrances lead to an internal corridor which connects throughout the Market. Two other entrances are at the rear of the Market which may be accessed from an under constructed the Public Passage Area, detail of the Public Passage Area can be referred to Paragraph 10.1. Two other side entrances can be accessed through the two open spaces managed by lands department, which are now fenced off with chain link fence.
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\*Note: Subject to detail survey during structural investigation.

**Appendix V**  
**Architectural Drawings**

<b>Architectural Drawings</b>	
<b>Drawing No.</b>	<b>Title</b>
SS-2P-00	Site Plan
SS-2P-01	Master Layout Plan
SS-2P-02	Ground Floor Plan
SS-2P-03	Roof Plan
XPD-GF-L-01	G/F Plumbing and Drainage Installation Plan
XPD-RF-L-01	Roof Floor Plumbing and Drainage Installation Plan
XEL-GF-S-01	Schematic Diagram for Luen Wo Market
XEL-GF-L-01	G/F Layout Plan for Existing Electrical Installation
XFS-GF-L-01	G/F Layout Plan for Existing FS Installation
XMVAC-GF-L-01	G/F Layout Plan for Existing MVAC Installation
SS-3E -01	South Elevation & East Elevation
SS-3E -02	North Elevation & West Elevation
SS-3E -03	Elevation 1A, 1B, 1C & 1D
SS-4S-01	Section A & Section B
SS-4S-02	Section C & Section D
SS-6L-02-A	Window Location (Low Level +15.00)
SS-6L-02-B	Window Location (High Level +17.00)
SS-6L-02-C	Window Schedule
SS-6L-03-A	Door Location
SS-6L-03-B	Door Schedule
SS-7C-01	3D View Building 1
SS-7C-02	3D View Building 2
SS-7C-03	3D Perspective 1
SS-7C-04	3D Perspective 2
SS-7C-05	3D Perspective 3
SS-7C-06	3D Perspective 4



1  
SITE PLAN  
1 : 1000



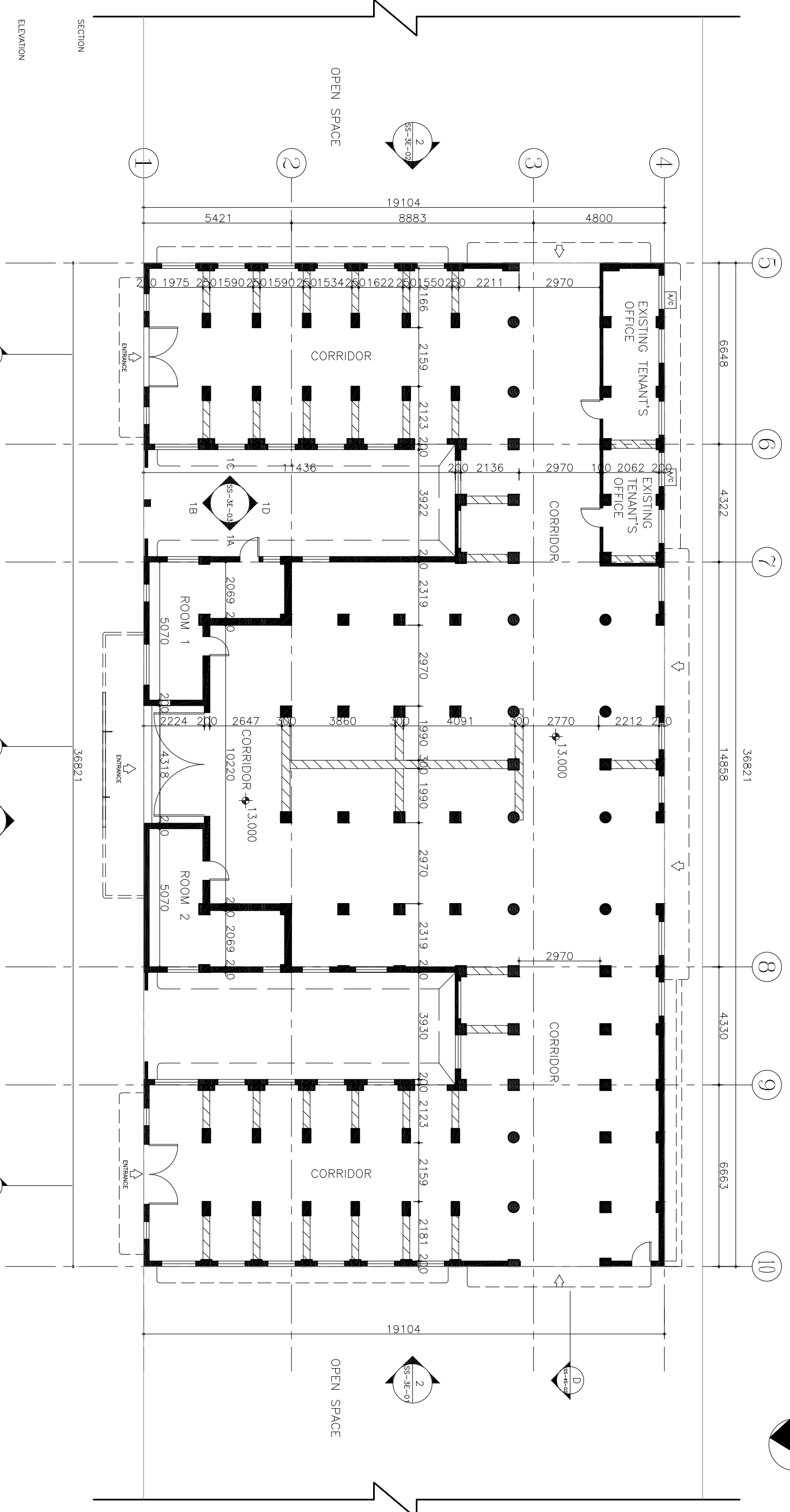
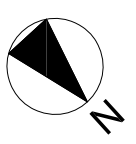
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PROPERTY SERVICES BRANCHES

No.	Description	Date

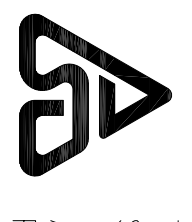
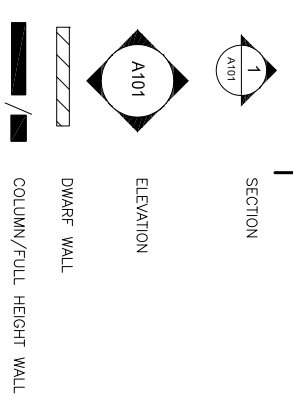
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QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name <b>SITE PLAN</b>		Sheet No. <b>SS-2P-00</b>
Date	Feb 1 2016	
Drawn by		Scale
Checked by		





# GROUND FLOOR PLAN



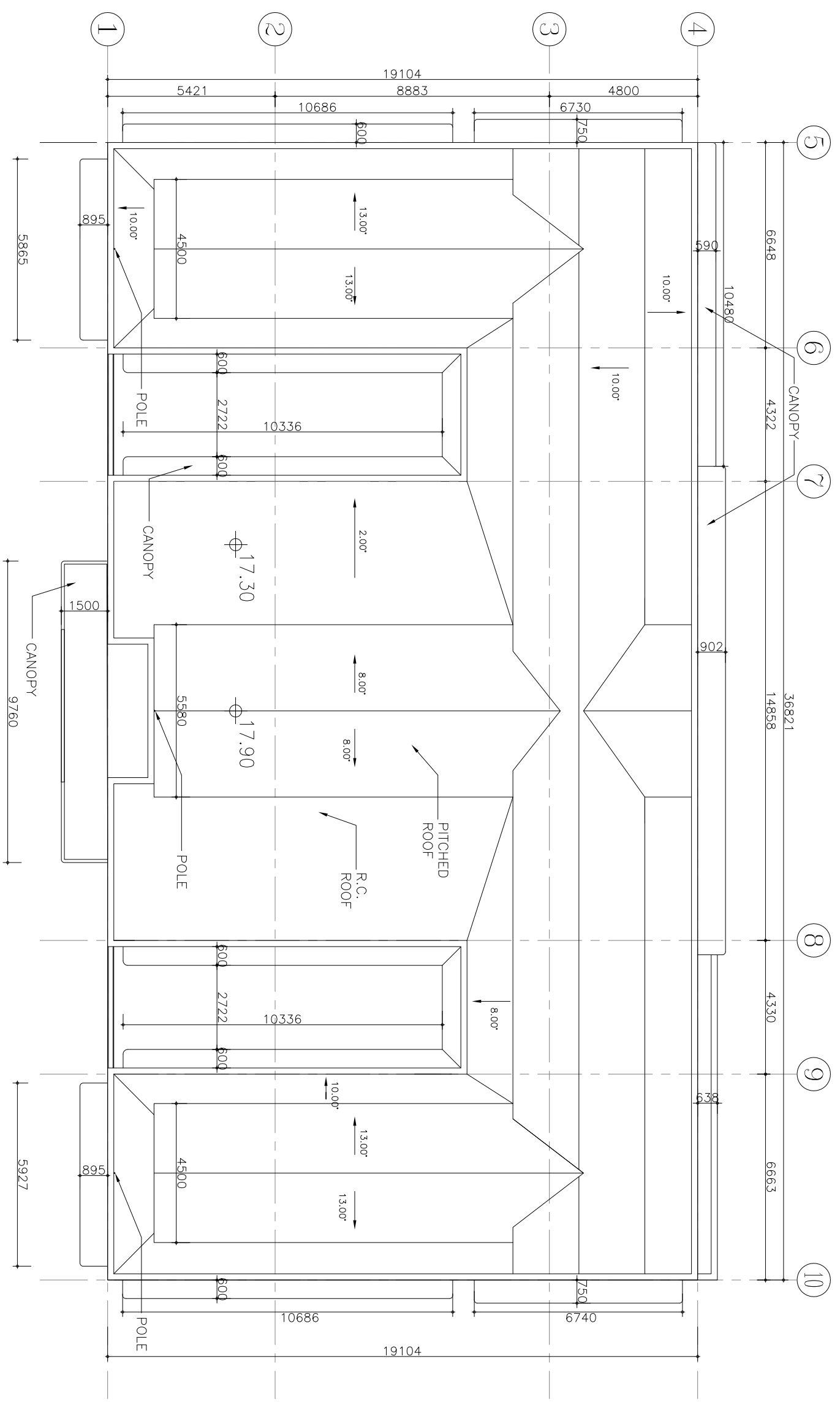
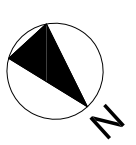
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No.	Description	Date

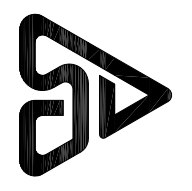
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

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Date	Feb12016	Scale: 1:150 @A3
Drawn by		
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# ROOF LAYOUT



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No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

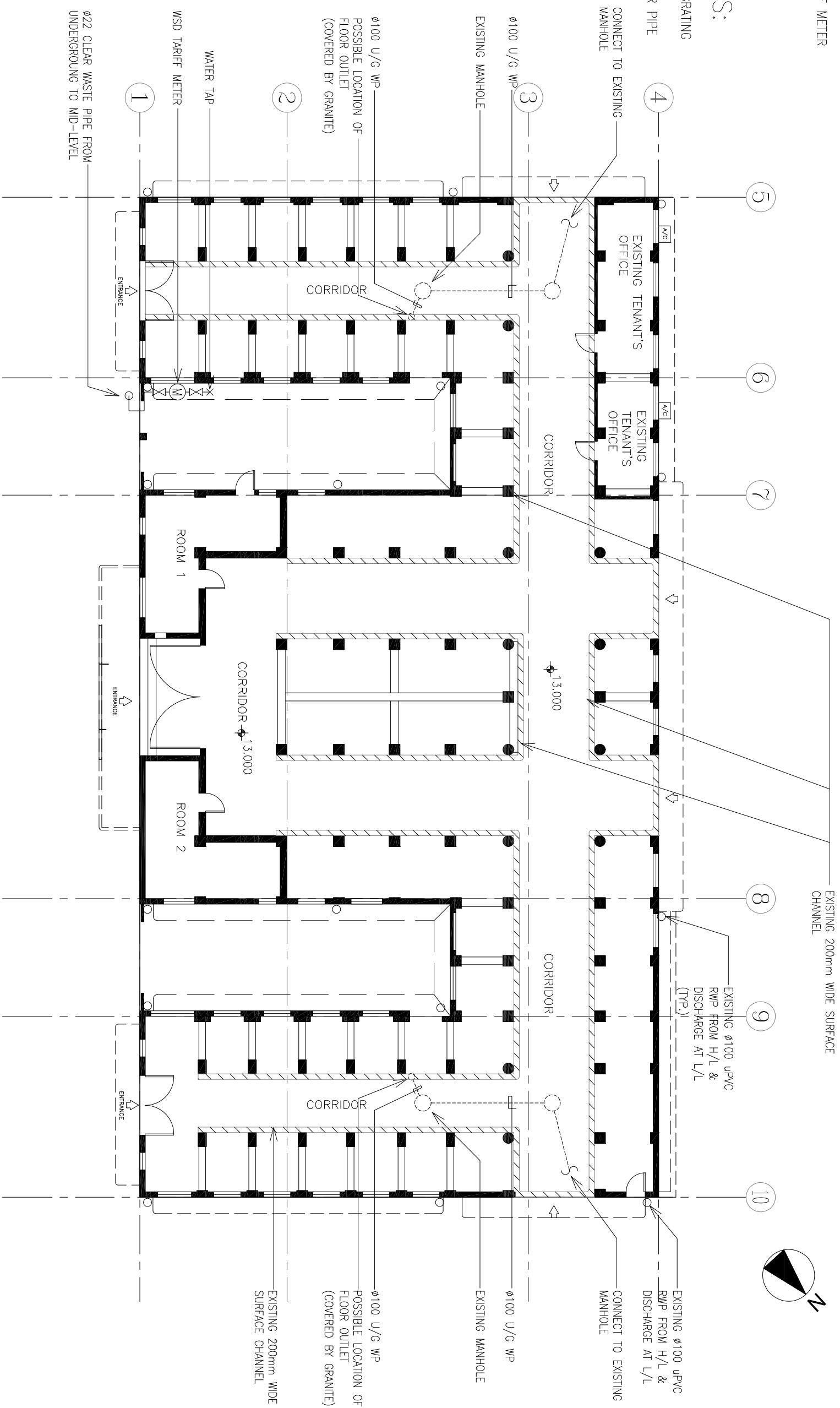
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Date	Feb12016	
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LEGEND:

-  GATE VALVE
-  WSD TARIFF METER

ABBREVIATIONS:

- V.G. VERTICAL GRATING
- RWP RAIN WATER PIPE



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No.	Description	Date

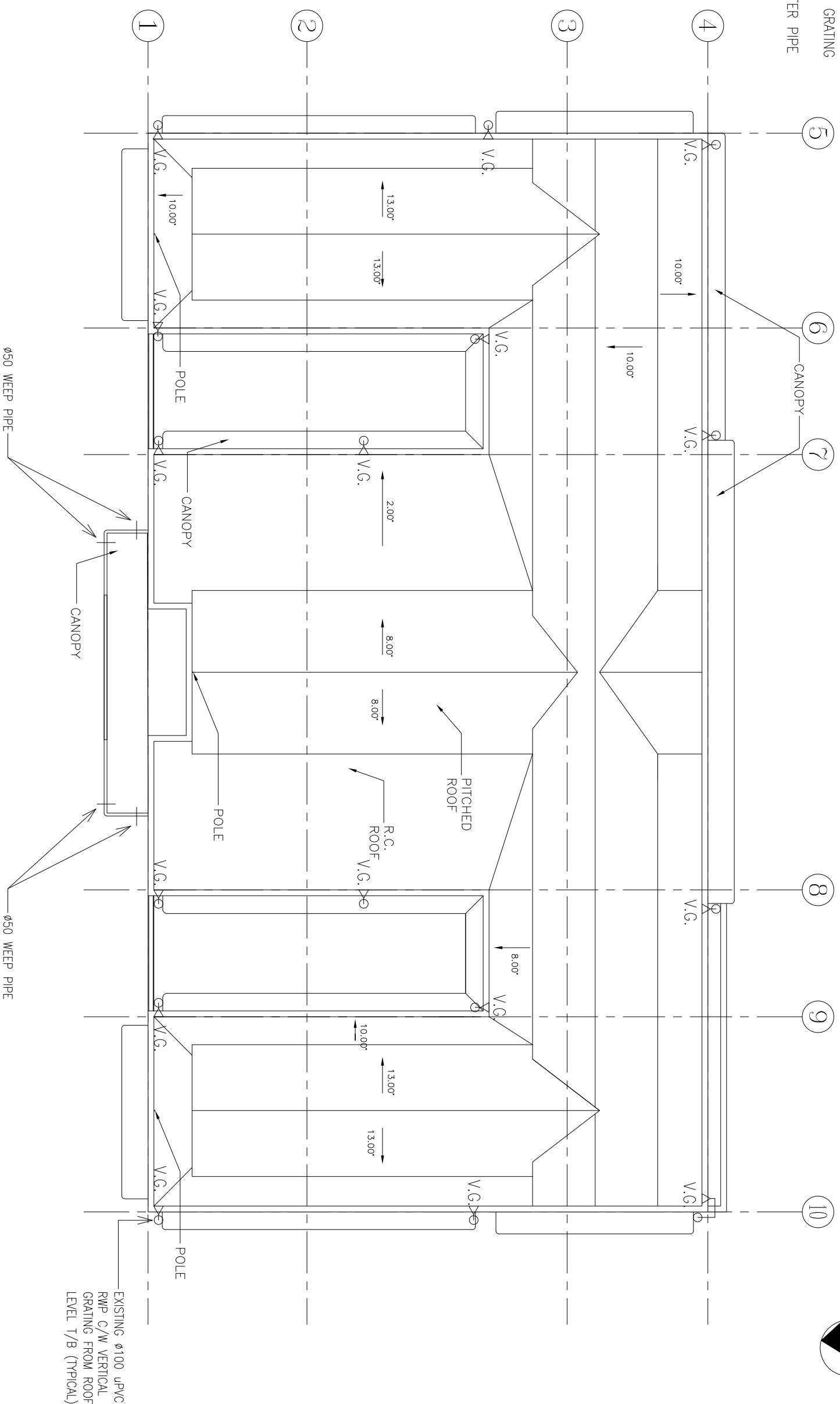
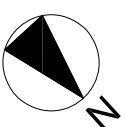
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

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Date	Feb 12 2016	
Drawn by		
Checked by		
Scale: 1:150 @A3		

LEGEND:

ABBREVIATIONS:

- V.G. VERTICAL GRATING
- RWP RAIN WATER PIPE



ROOF LAYOUT

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






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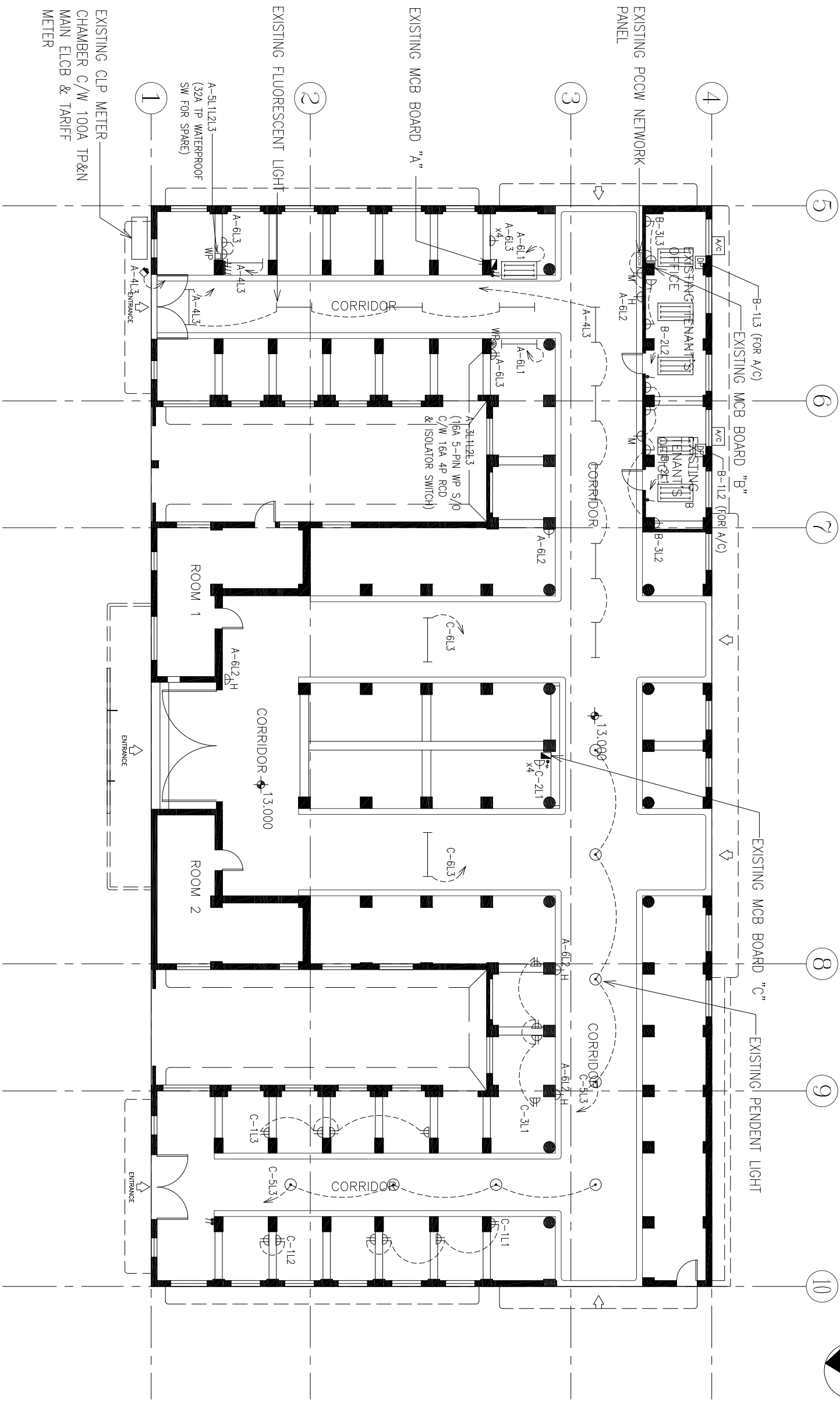
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-  EXISTING FLUORESCENT LIGHT
-  EXISTING 1200X600mm  
FLUORESCENT LIGHT FITTING C/W  
3X36W T8 FLUORESCENT TUBE
-  EXISTING SPOT LIGHT
-  EXISTING 1-WAY 1-GANG SP  
LIGHTING SWITCH
-  EXISTING 1-WAY 2-GANG SP  
LIGHTING SWITCH
-  EXISTING 20A DOUBLE POLE  
ON/OFF SWITCH C/W PILOT  
LAMP
-  EXISTING MCB BOARD
-  EXISTING 13A SINGLE SWITCHED  
SOCKET OUTLET
-  EXISTING 13A TWIN SWITCHED  
SOCKET OUTLET
-  EXISTING 16A 5-PIN SOCKET  
OUTLET
-  EXISTING ISOLATOR SWITCH  
(RATING SPECIFIED ON PLAN)

ABBREVIATIONS:

- B LIGHTING FITTING C/W 2 HRS  
BATTERY BACKUP
- WP WEATHERPROOF
- M AT MIDDLE LEVEL
- H AT HIGH LEVEL

ALL LIGHTING & ELECTRICAL  
INSTALLATIONS ARE SUPPLIED &  
INSTALLED BY TENANT



EXISTING CLP METER  
CHAMBER C/W 100A TP&N  
MAIN ELCB & TARIFF  
METER

1  
2  
3  
4  
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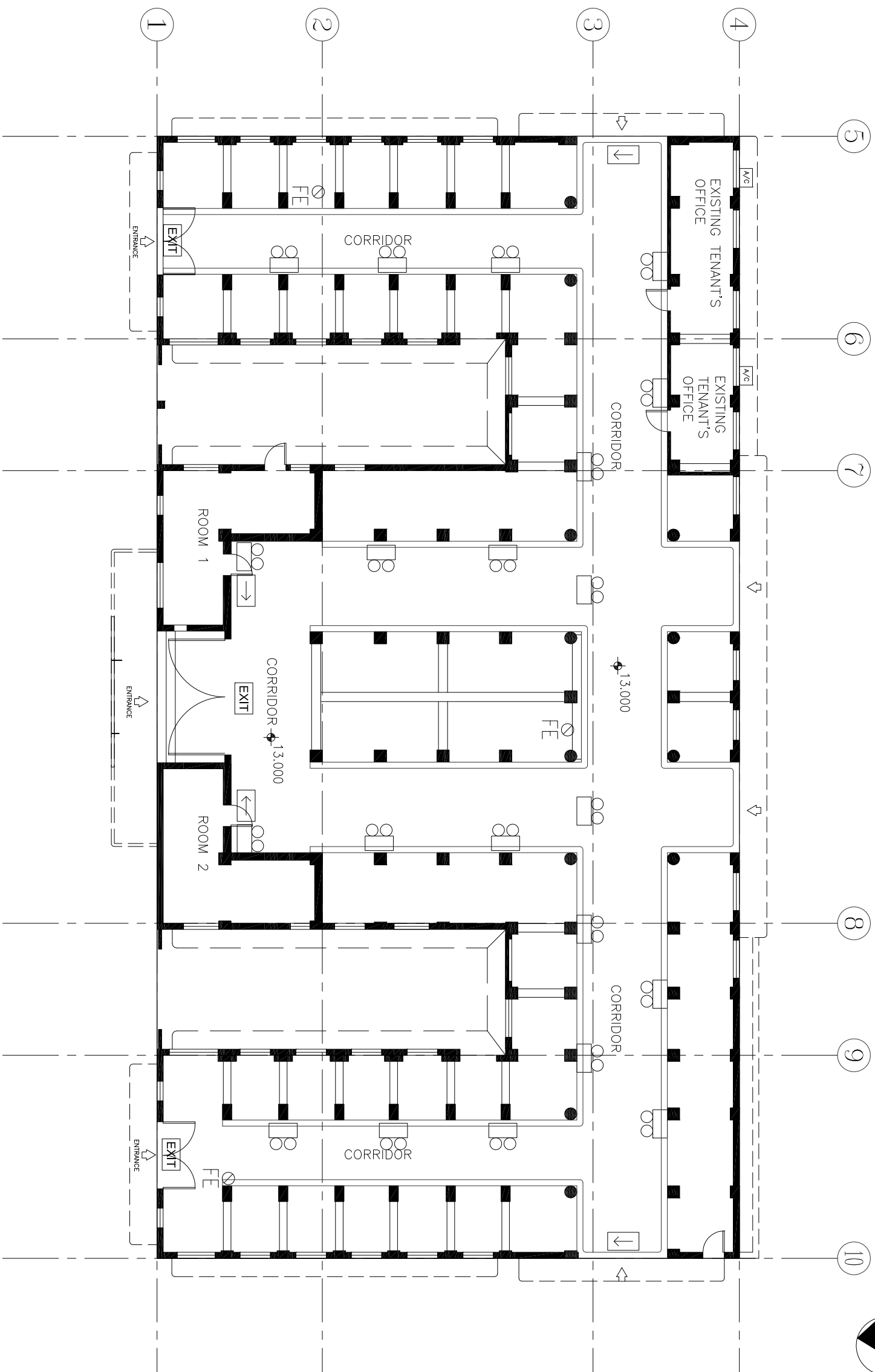
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PROJECT:  
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name	Sheet No.
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Date	Feb12016
Drawn by	
Checked by	
Scale:	1:1500@A3

LEGEND:

-  DIRECTIONAL SIGN
-  EMERGENCY LIGHT
-  EXIT SIGN



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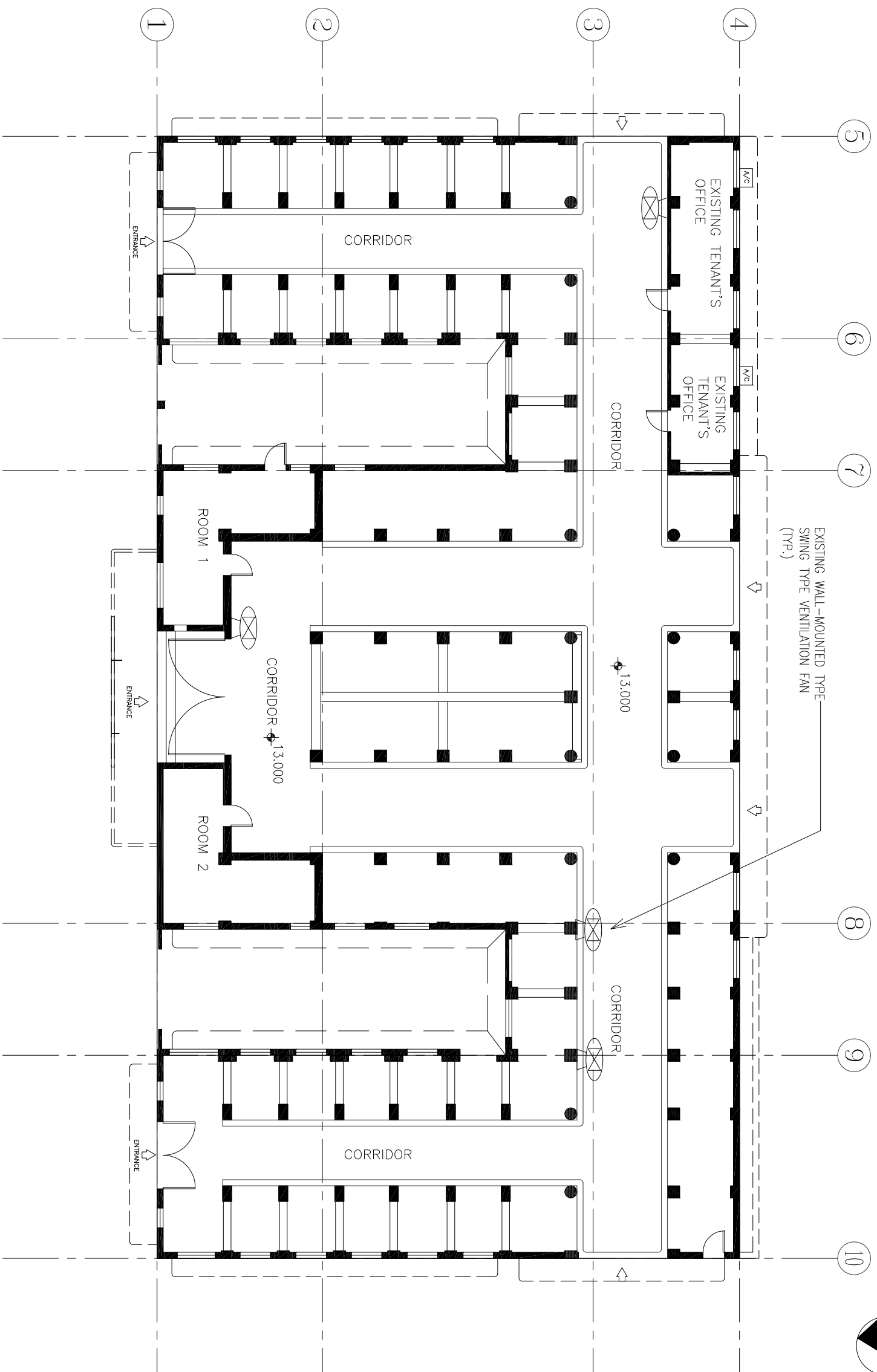
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

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Date Feb12016	Sheet No. XF-S-GF-L-01
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-  WINDOW TYPE CONDITIONER

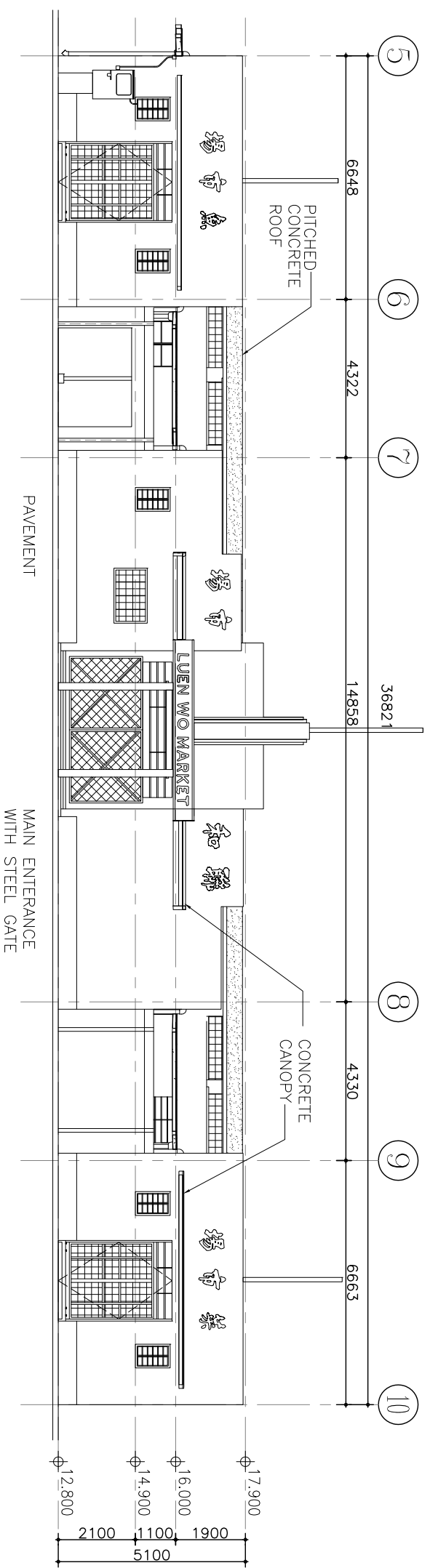


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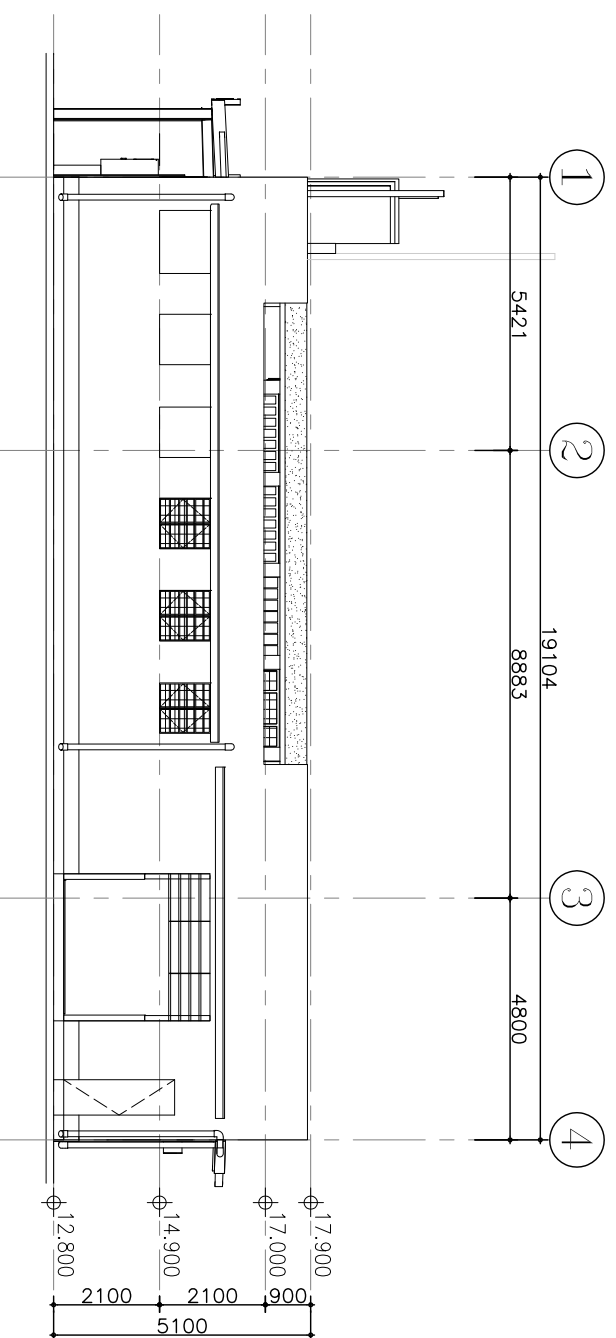
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

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Date	Feb12016	
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SOUTH  
1:150



EAST  
1:150



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No.	Description	Date

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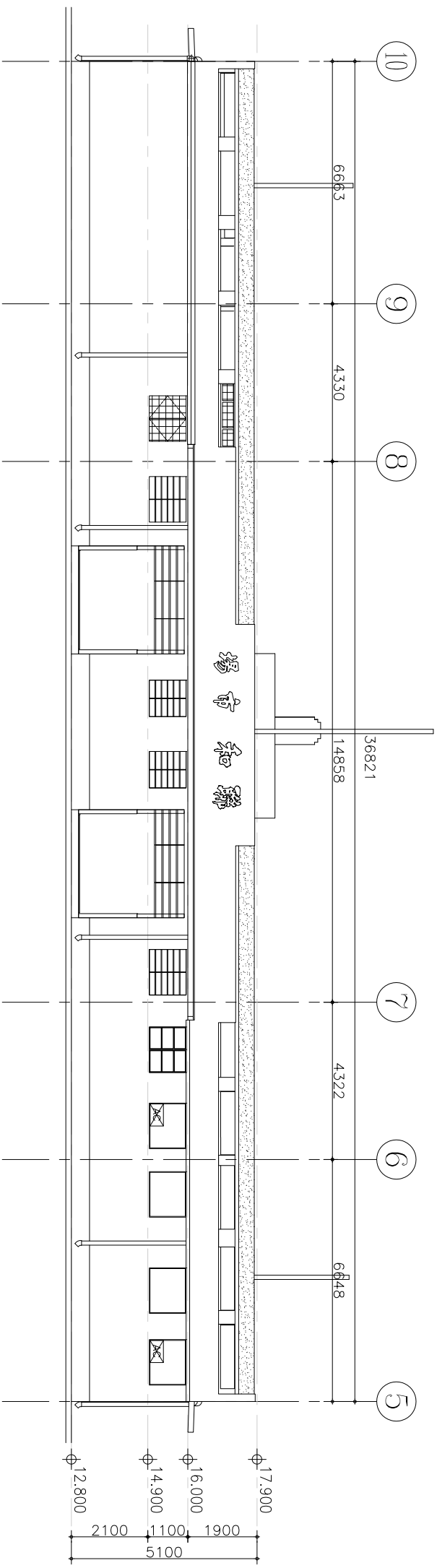
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Date  
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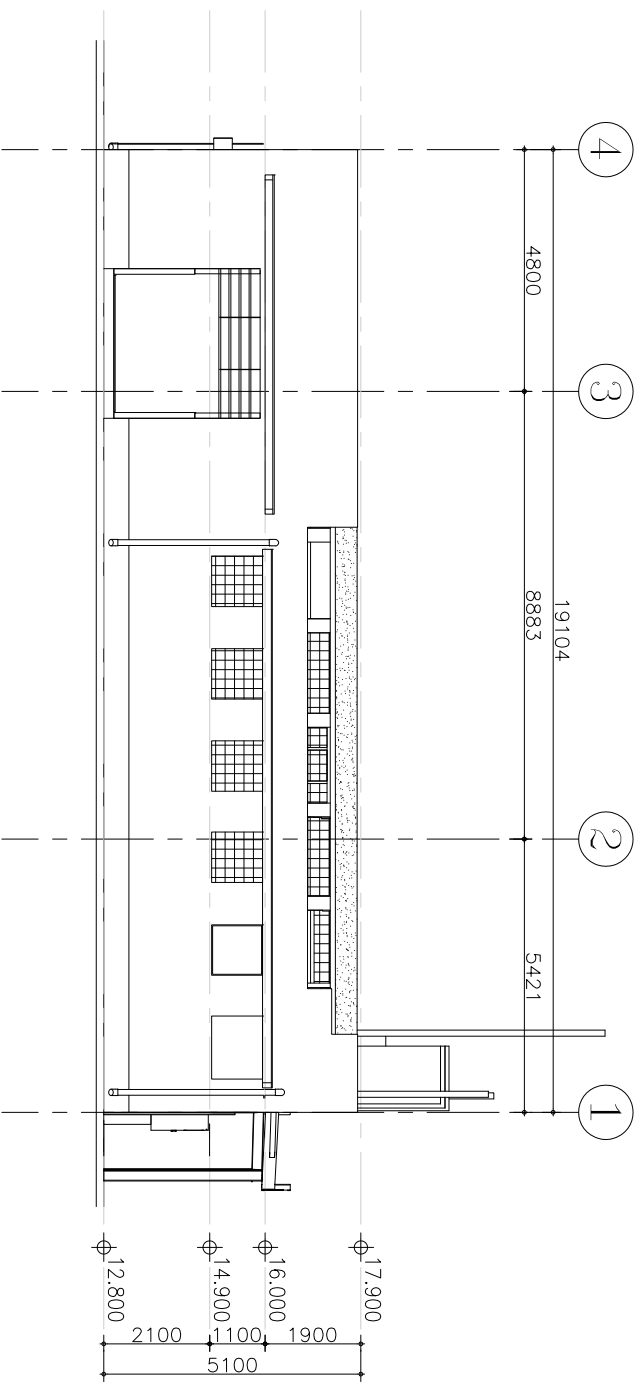
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NORTH  
1:150



WEST  
1:150



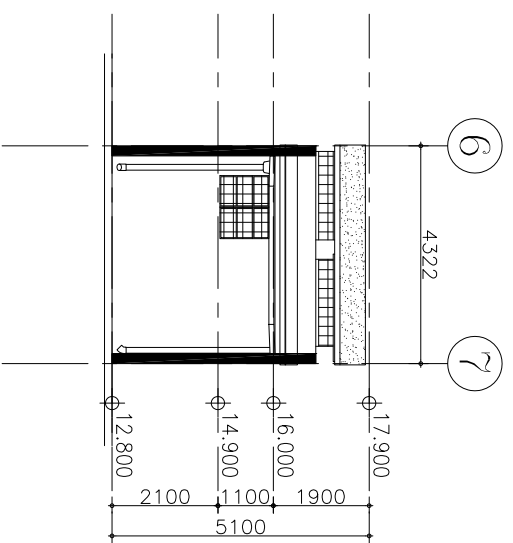
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ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

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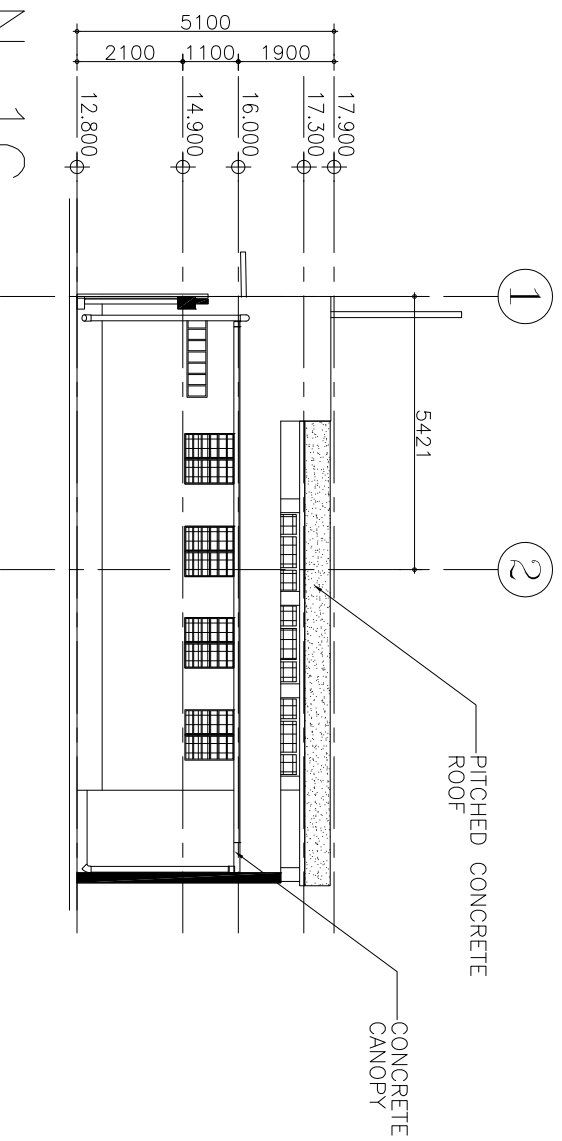
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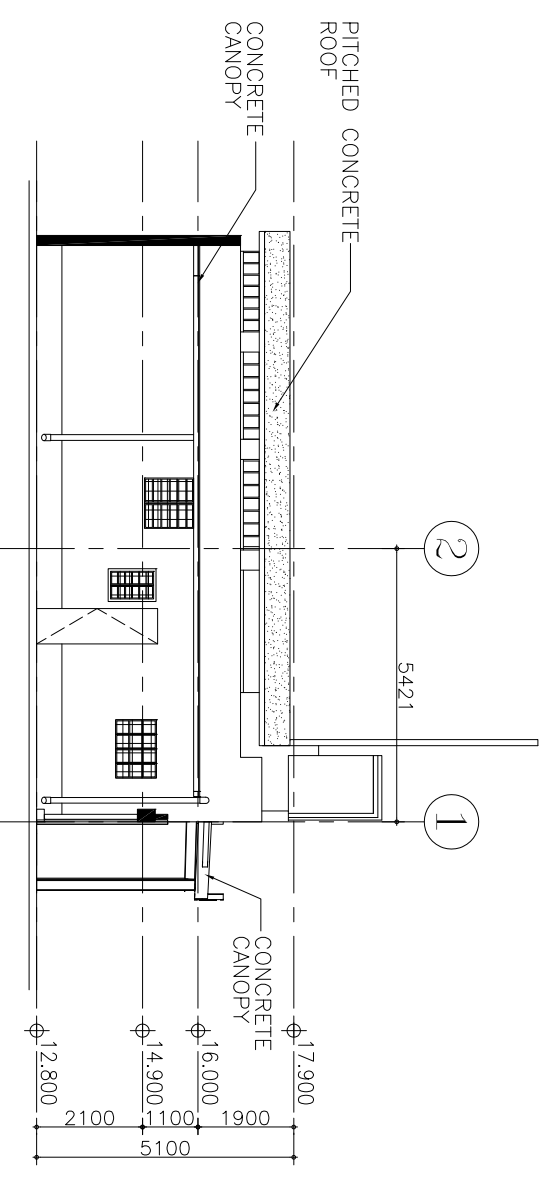
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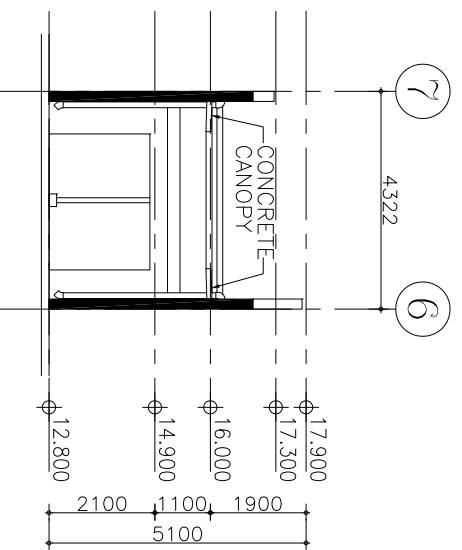
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ELEVATION 1A  
1:150



ELEVATION 1B  
1:150



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No.	Description	Date

PROJECT:

QUOTATION CONTRACT NO. HRT-02-2015

RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name  
ELEVATIONS

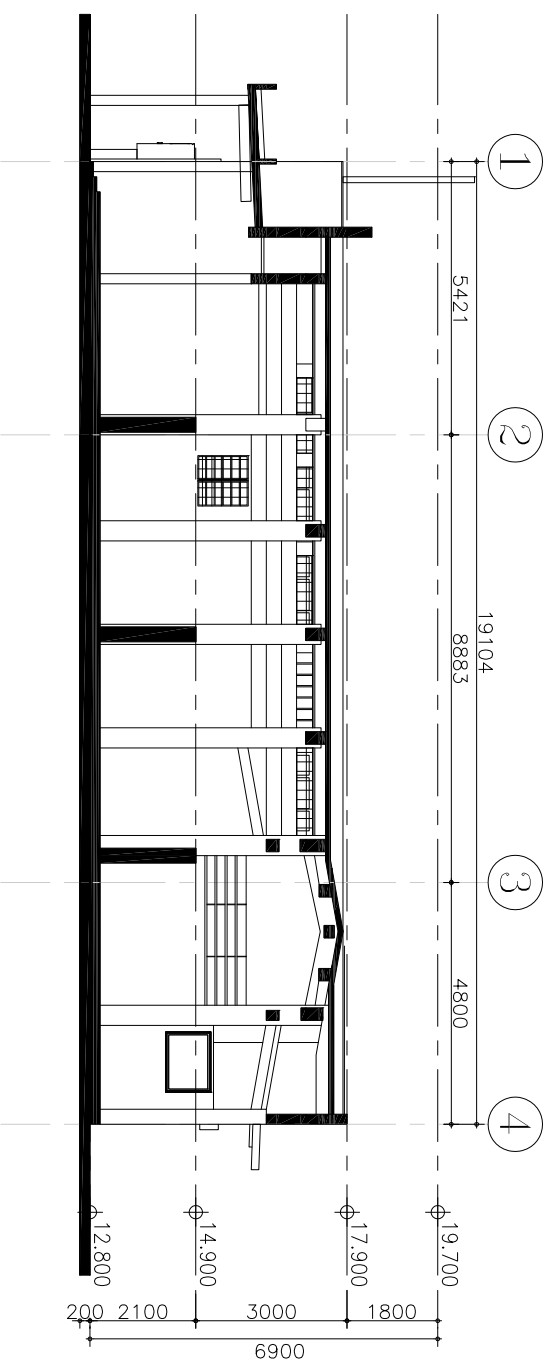
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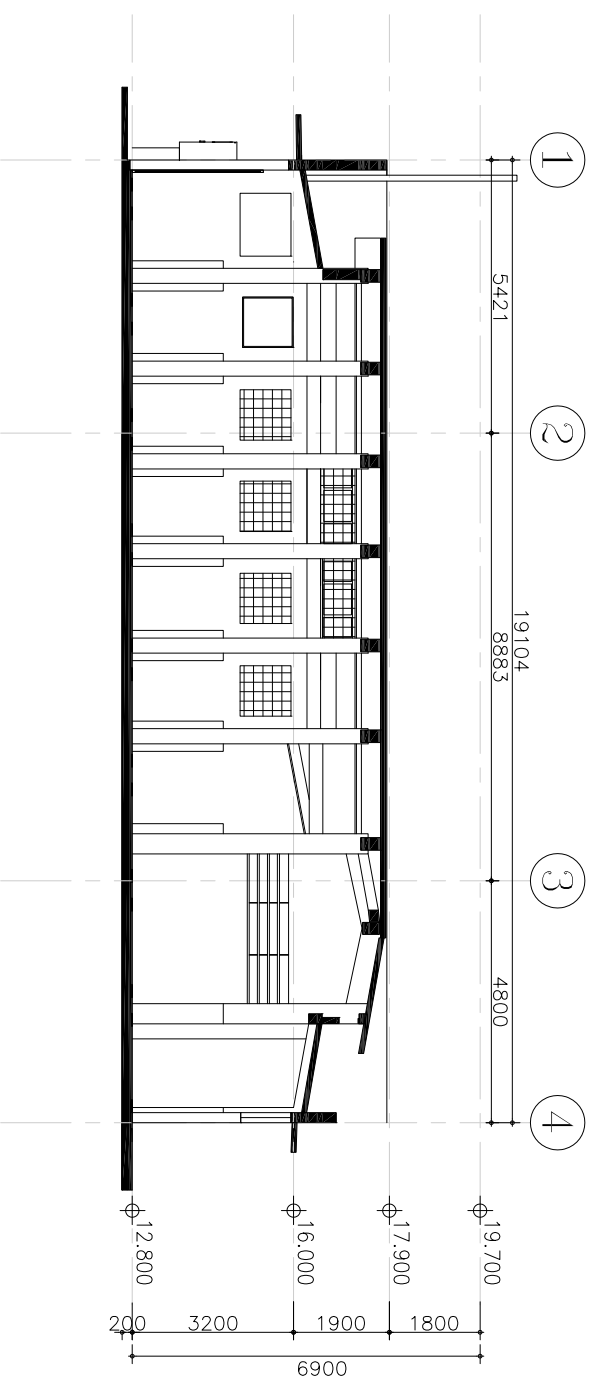
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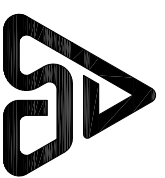
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# SECTION B

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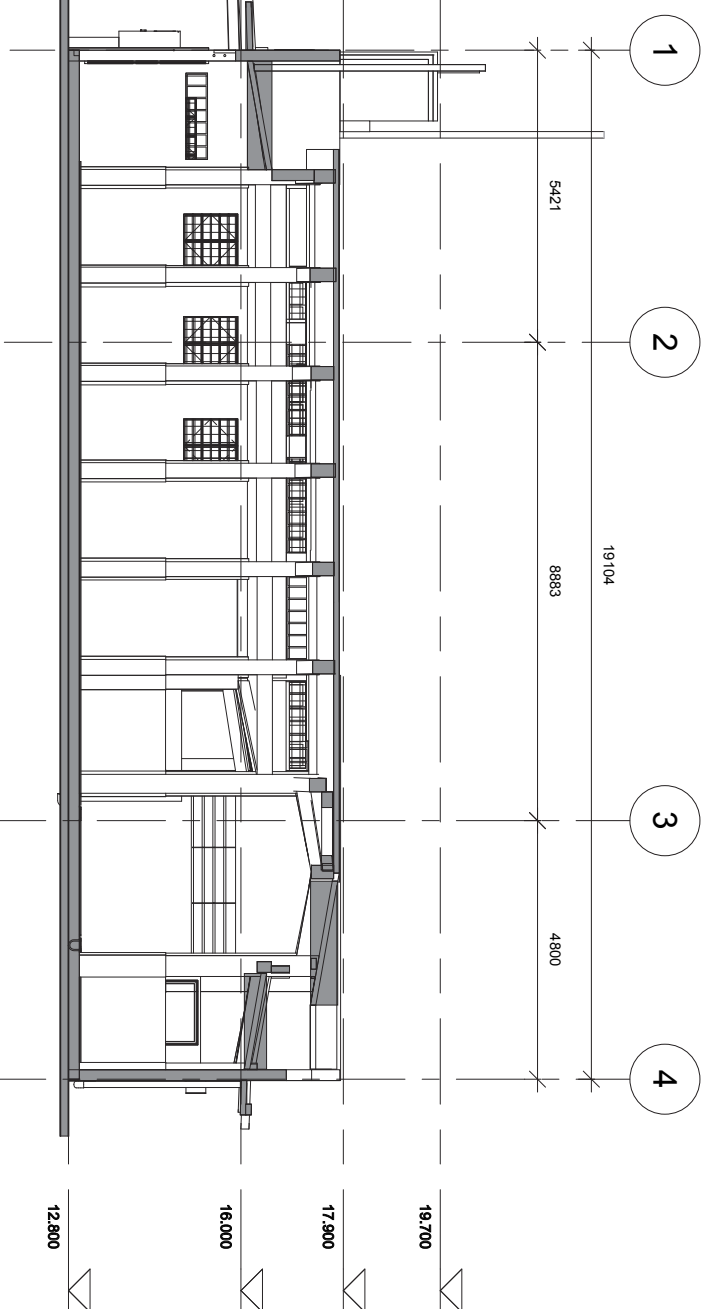
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PROPERTY SERVICES BRANCHES

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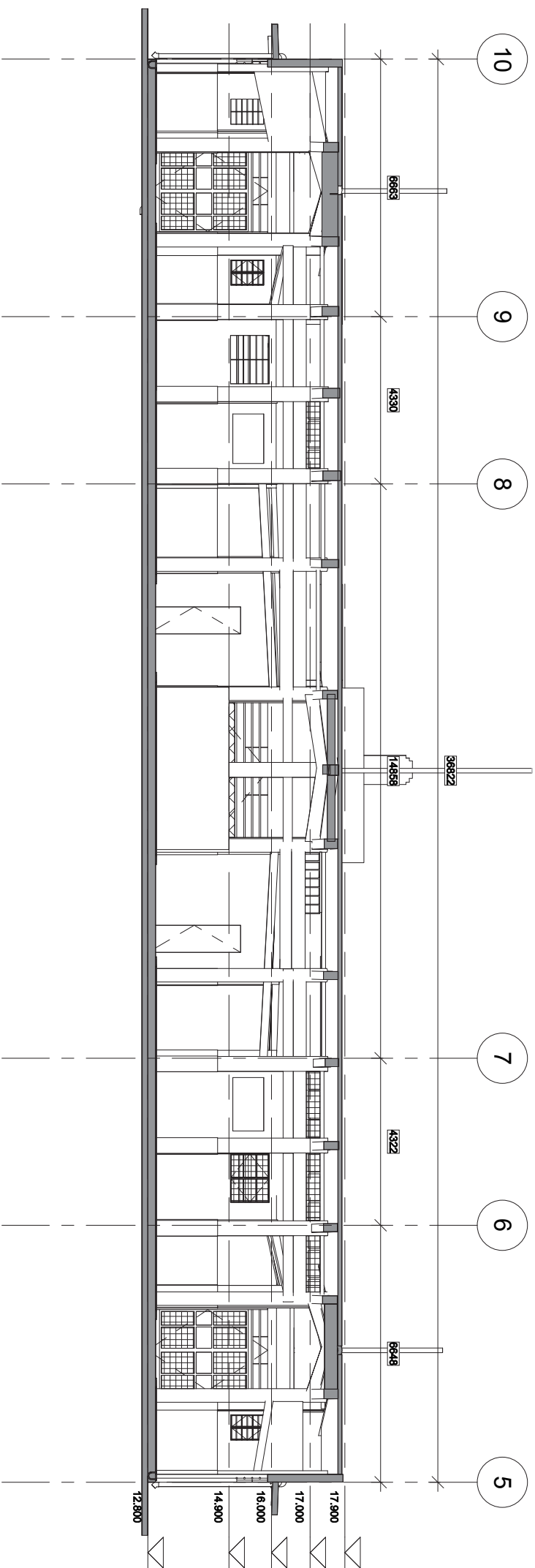
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RESOURCE KIT FOR LUEN WO MARKET, FANLING

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BUILDING SECTIONS		
Date	Feb12016	SS-4S-01
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Scale: 1:150@A3		

SECTION C  
1:150



SECTION D  
1:150



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No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name  
BUILDING SECTIONS

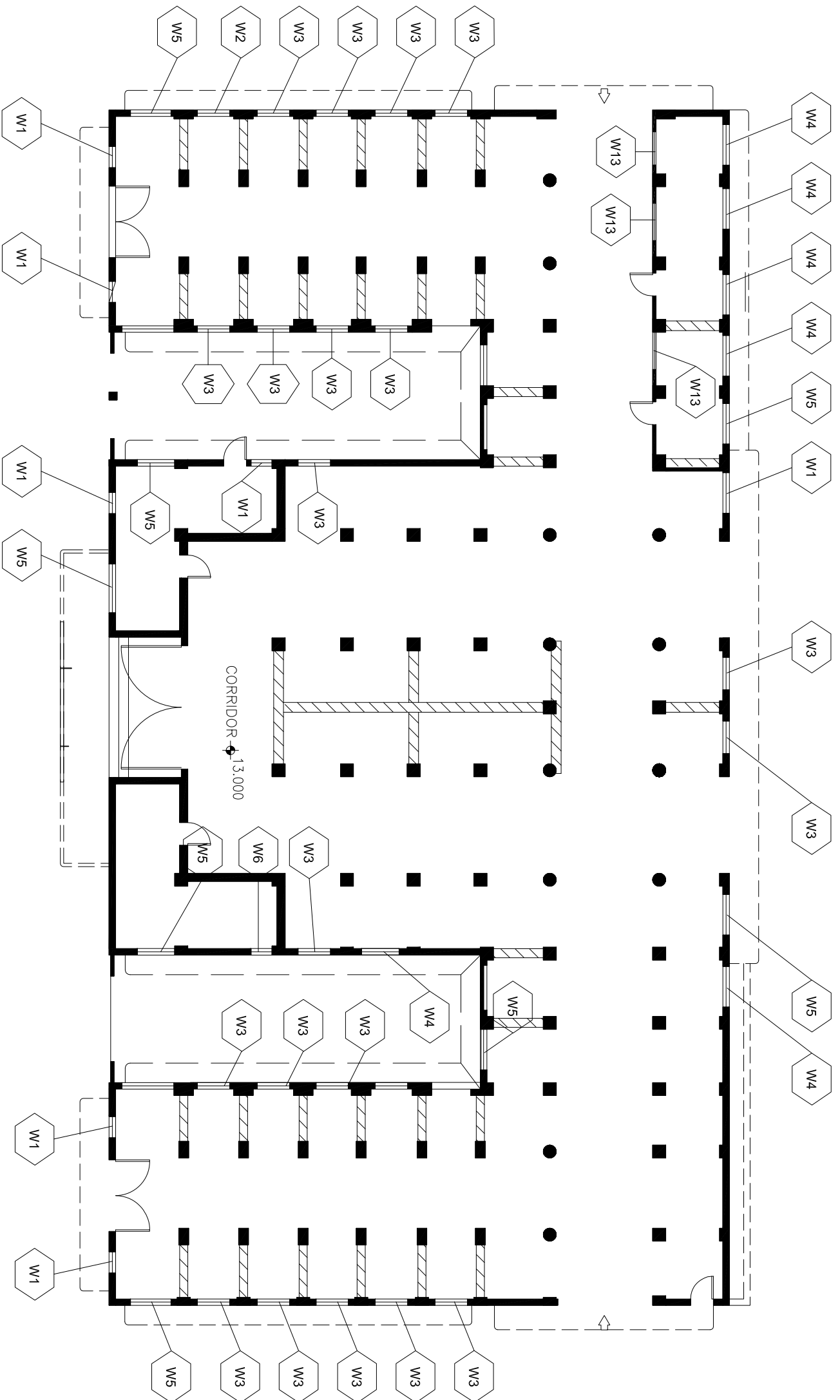
Date Feb 12 2016  
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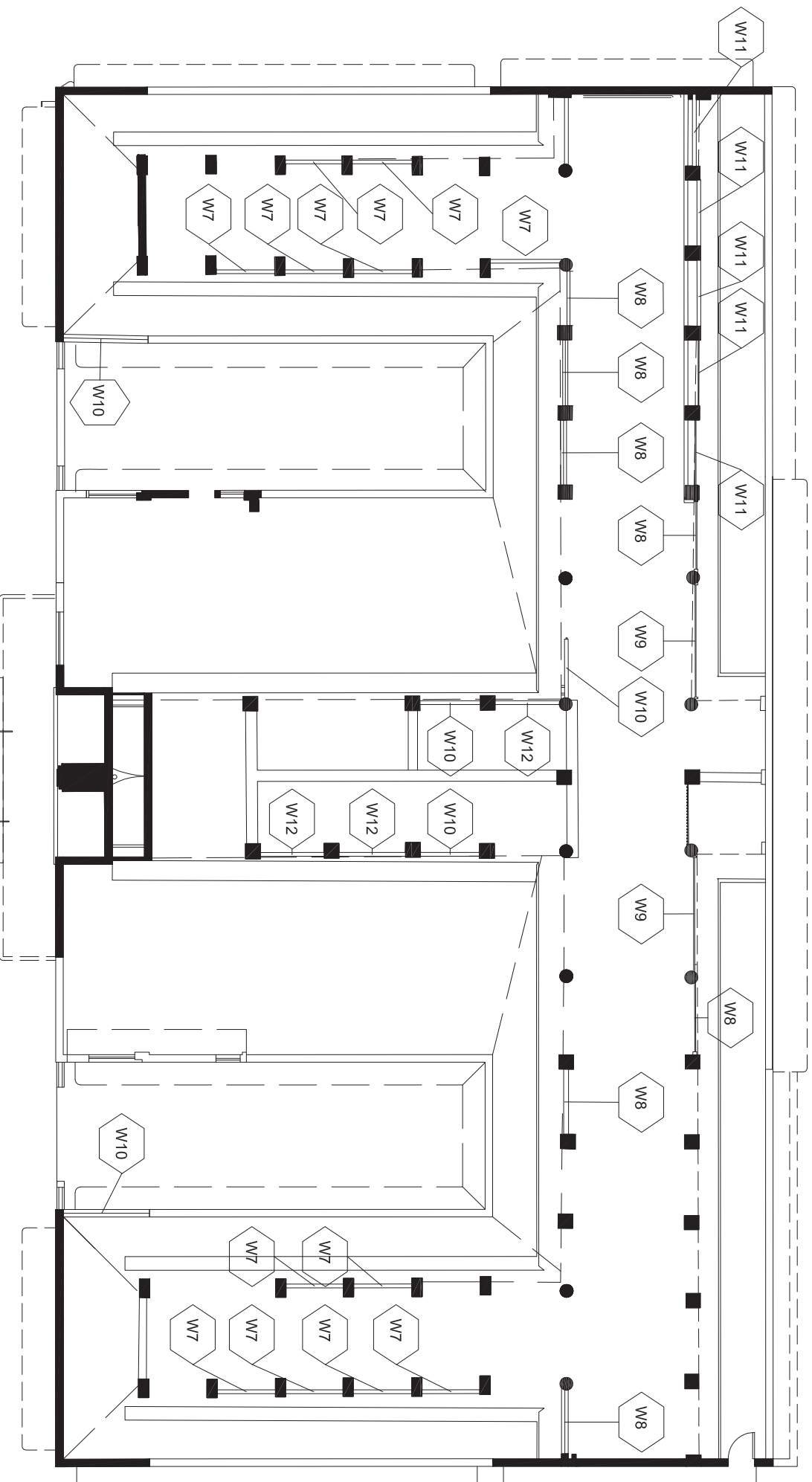


# WINDOW LOCATION (LOW LEVEL +15.00)

No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name WINDOW LOCATION (LOW LEVEL +15.00)	Sheet No. SS-6L-02A
Date Feb12016	Scale: 1:1500@A3
Drawn by	
Checked by	



WINDOW LOCATION (HIGH LEVEL +17.00)



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PROPERTY SERVICES BRANCHES

No.	Description	Date


PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name WINDOW LOCATION (HIGH LEVEL +17.00)	
Date Feb12016	Sheet No. SS-6L-02B
Drawn by	Checked by
	Scale: 1:1500@A3

# WINDOW SCHEDULE

WINDOW MARK	LOCATION	G/F	HIGH LEVEL	LOW LEVEL	G/F	HIGH LEVEL	LOW LEVEL	G/F	HIGH LEVEL	LOW LEVEL	G/F	HIGH LEVEL	LOW LEVEL	G/F	HIGH LEVEL	LOW LEVEL	G/F	HIGH LEVEL	LOW LEVEL	
W1			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W2			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W3			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W4			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W5			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W6			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	
W7			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W8			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W9			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W10			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W11			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W12			+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00		+17.00	+17.00	
W13			+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00		+15.00	+15.00	

**LEGEND:**  
 F FIXED GLASS  
 M METAL BAR WITH WIRE MESH  
 F.F.L. FINISHED FLOOR LEVEL



THE GOVERNMENT OF HONG KONG  
 SPECIAL ADMINISTRATIVE REGION  
 ARCHITECTURAL SERVICES DEPARTMENT  
 PROPERTY SERVICES BRANCHES

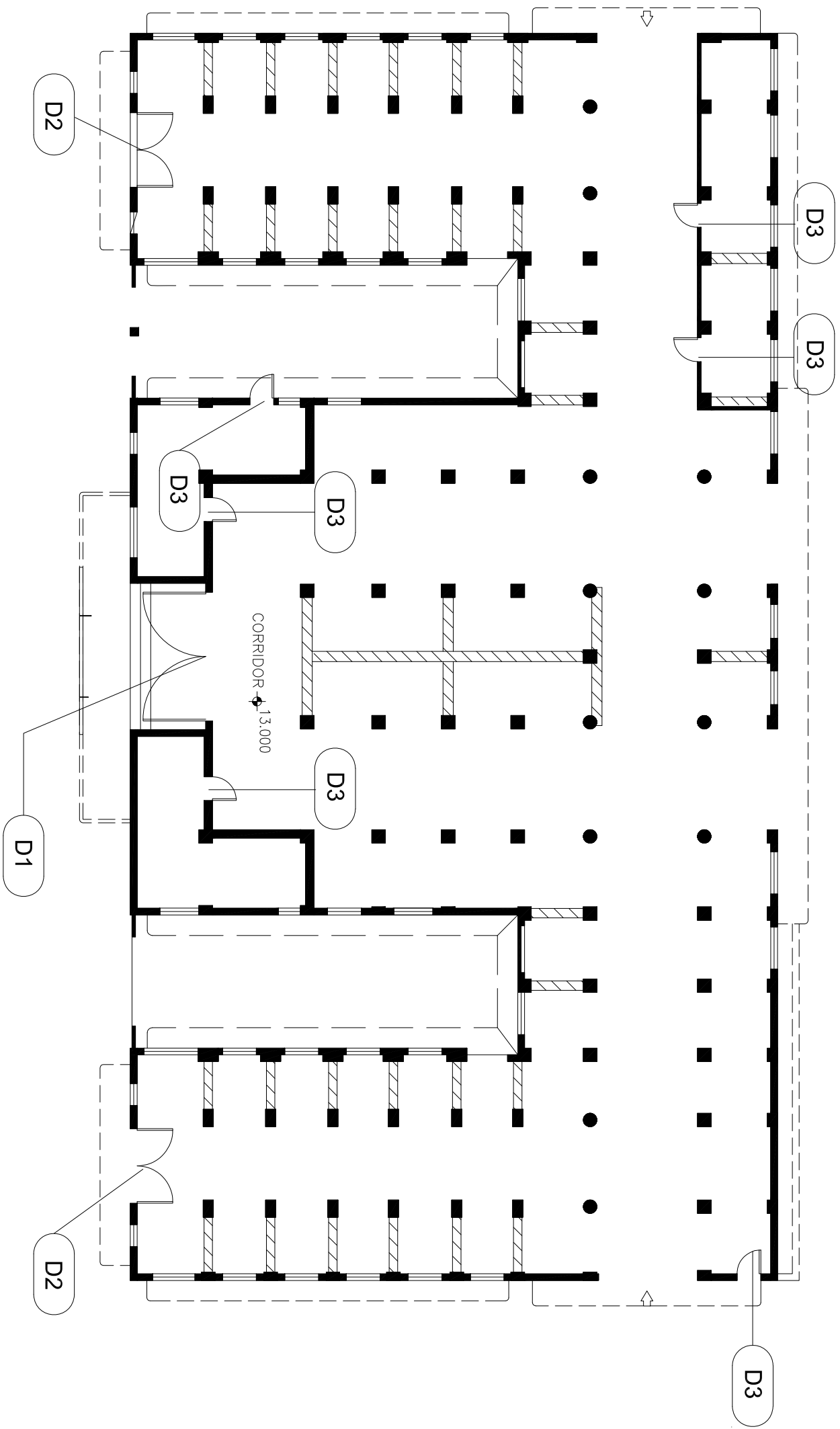
No.	Description	Date

**PROJECT:**  
 QUOTATION CONTRACT NO. HRT-02-2015  
 RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name WINDOWS SCHEDULE	Sheet No. SS-6L-02-C
Date Feb12016	Checked by N.T.S.
Drawn by	Scale: N.T.S.



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ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES



## DOOR LOCATION

No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name	
DOOR LOCATION	
Date	Feb12016
Drawn by	
Checked by	
Sheet No.	
SS-6L-03-A	
Scale: 1:1500@A3	



# DOOR SCHEDULE

WINDOW MARK D1			
LOCATION G/F	MAIN ENTRANCE	D2	MAIN ENTRANCE
MATERIAL	STEEL FRAME WITH MESH	STEEL FRAME WITH MESH	WOODEN DOOR

--	--	--

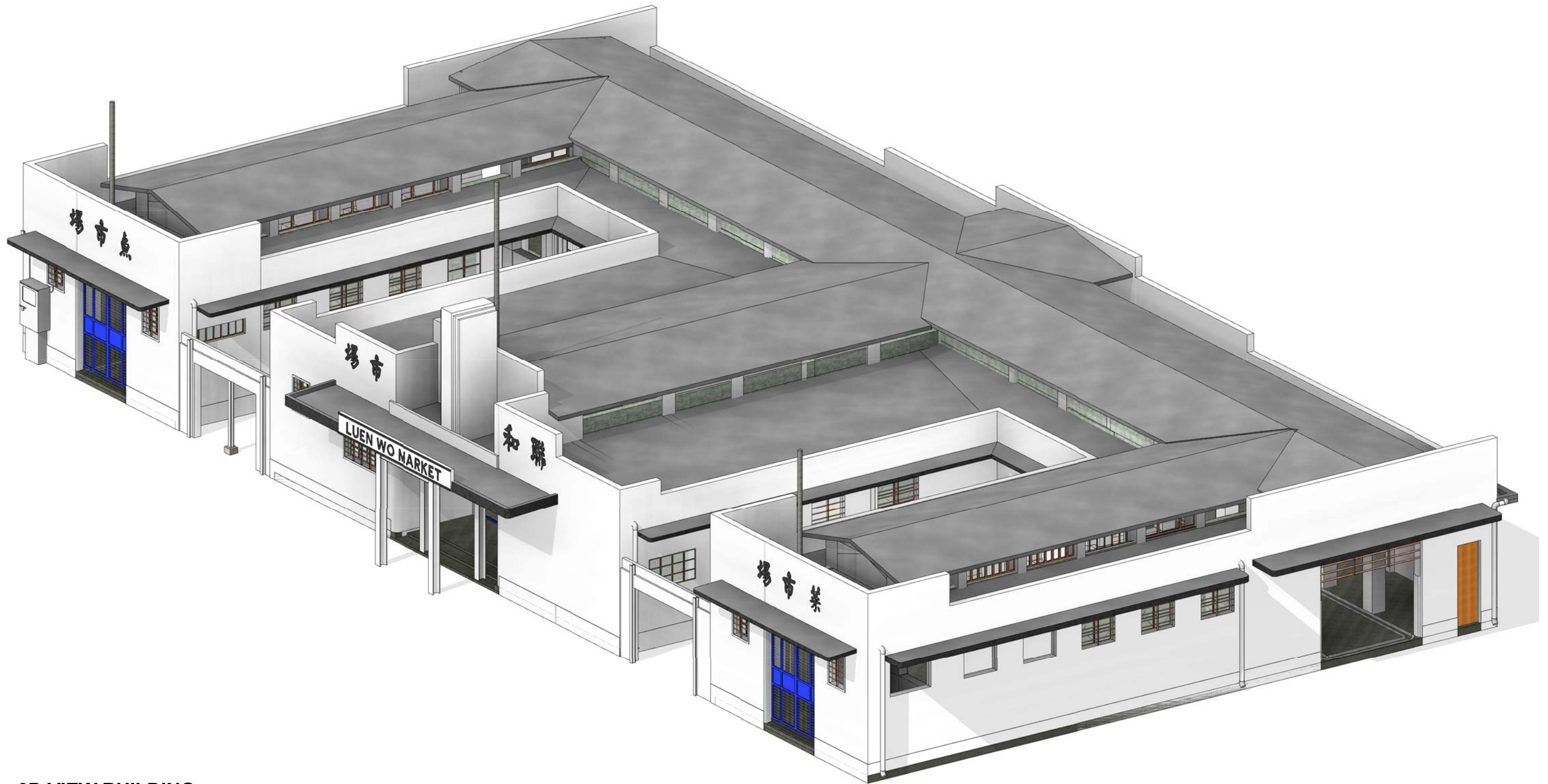
**LEGEND:**  
 F.F.L. FINISHED FLOOR LEVEL

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 PROPERTY SERVICES BRANCHES

No.	Description	Date

**PROJECT:**  
 QUOTATION CONTRACT NO. HRT-02-2015  
 RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name DOOR SCHEDULE		Sheet No. SS-6L-03-B
Date	Feb 12 2016	
Drawn by		
Checked by		Scale: N.T.S.



**3D VIEW BUILDING**



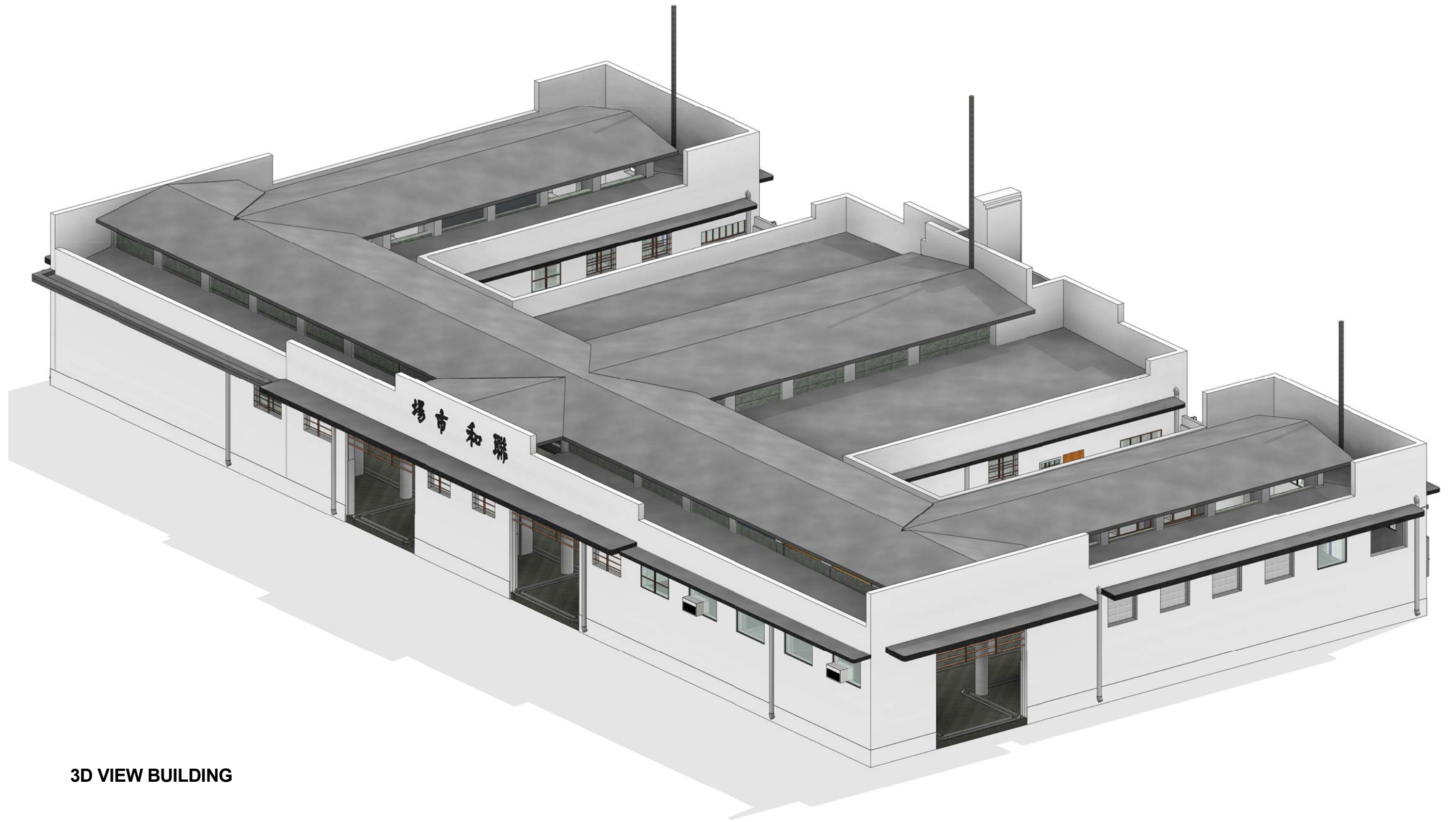
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SPECIAL ADMINISTRATIVE REGION

ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name <b>3D VIEW BUILDING</b>		Sheet No. <b>SS-7C-01</b>
Date	Feb 1 2016	
Drawn by		Scale
Checked by		



**3D VIEW BUILDING**



THE GOVERNMENT OF HONG KONG  
SPECIAL ADMINISTRATIVE REGION

ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name <b>3D VIEW BUILDING</b>		Sheet No. <b>SS-7C-02</b>
Date	Feb 1 2016	
Drawn by		Scale
Checked by		



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SPECIAL ADMINISTRATIVE REGION

ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:

QUOTATION CONTRACT NO. HRT-02-2015

RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name  
**3D PERSPECTIVE**

Date Feb 1 2016

Drawn by

Checked by

Sheet No.  
**SS-7C-03**

Scale



**3D PERSPECTIVE**



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SPECIAL ADMINISTRATIVE REGION

ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:

QUOTATION CONTRACT NO. HRT-02-2015

RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name  
**3D PERSPECTIVE**

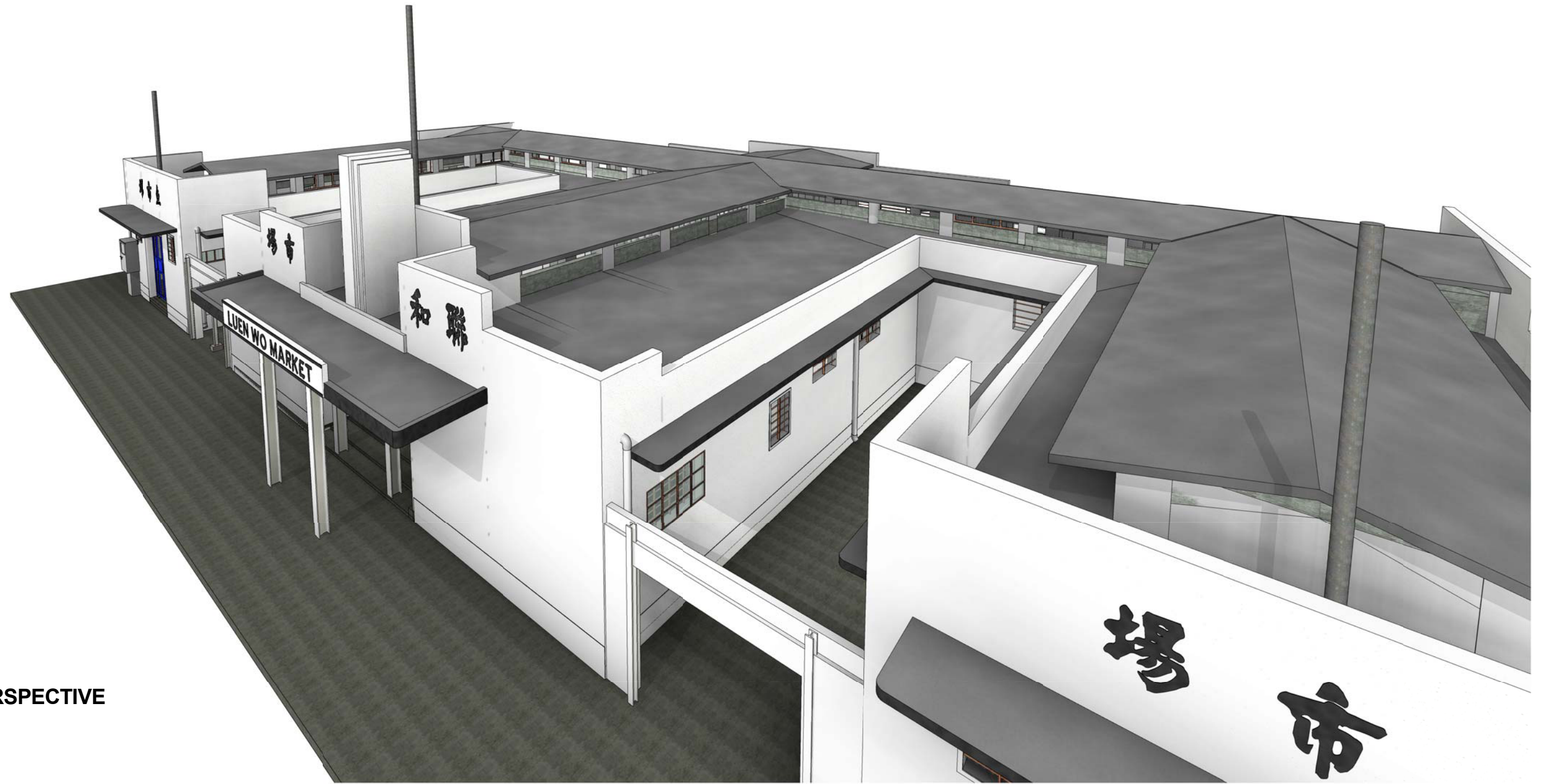
Date Feb 1 2016

Drawn by

Checked by

Sheet No.  
**SS-7C-04**

Scale



3D PERSPECTIVE



THE GOVERNMENT OF HONG KONG  
SPECIAL ADMINISTRATIVE REGION

ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:  
QUOTATION CONTRACT NO. HRT-02-2015  
RESOURCE KIT FOR LUEN WO MARKET, FANLING

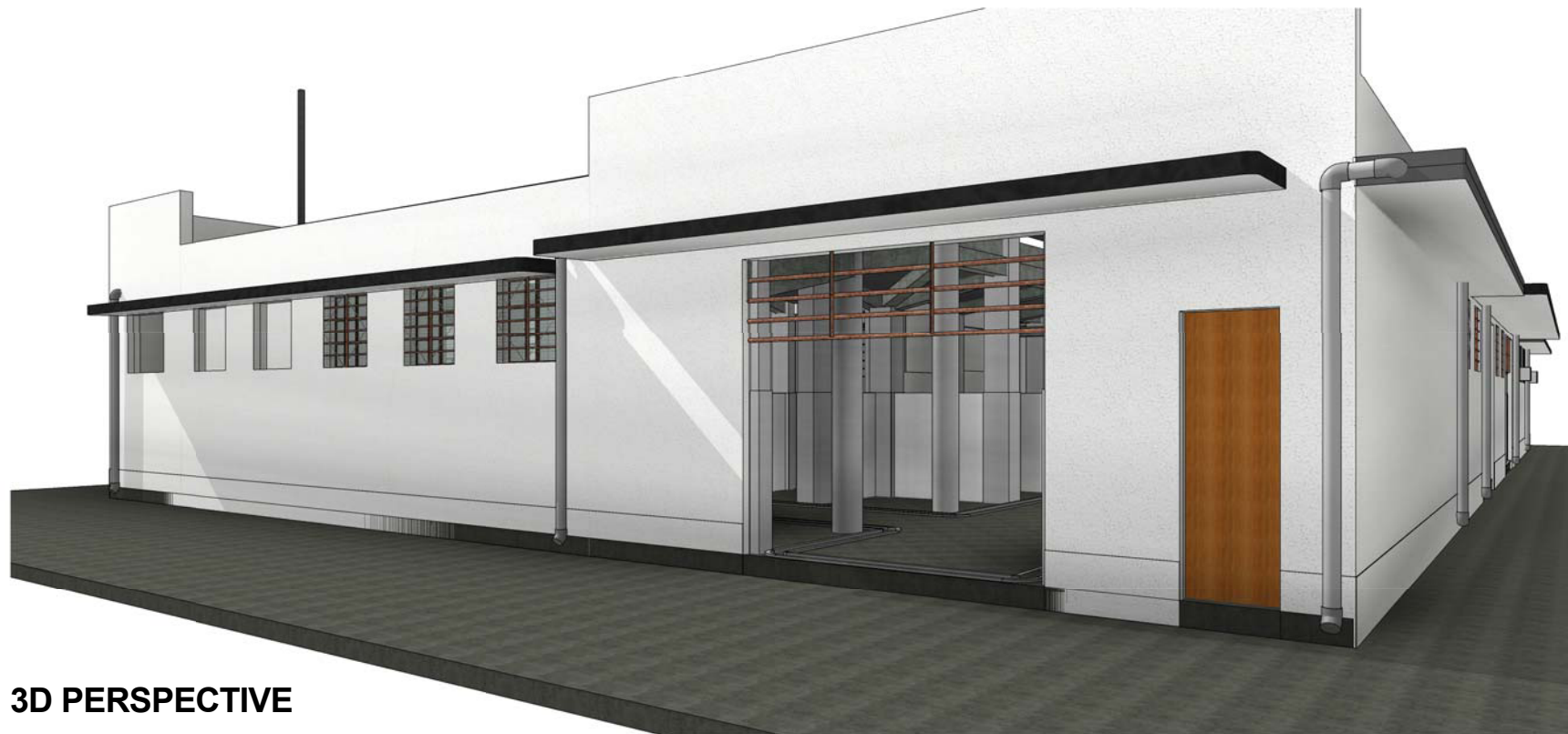
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Date	Feb 1 2016	
Drawn by		Scale
Checked by		



3D PERSPECTIVE



3D PERSPECTIVE



3D PERSPECTIVE



3D PERSPECTIVE



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ARCHITECTURAL SERVICES DEPARTMENT  
PROPERTY SERVICES BRANCHES

No.	Description	Date

PROJECT:

QUOTATION CONTRACT NO. HRT-02-2015

RESOURCE KIT FOR LUEN WO MARKET, FANLING

Sheet Name  
**3D PERSPECTIVE**

Date Feb 1 2016

Drawn by

Checked by

Sheet No.  
**SS-7C-06**

Scale

**Appendix VI (A)**  
**Record Photos of Site and Building**





Photo 1 Luen Wo Road



Photo 2 Luen Hing Street



Photo 3 Luen Shing Street



Photo 4 Entrance to Luen Wo Market



Photo 5 Entrance to Fish Market



Photo 6 Entrance to Vegetables Market



Photo 7 View of the Open Space abuts Luen Hing Street



Photo 8 View of the Open Space abuts Luen Shing Street



Photo 9 View of the Luen Wo Hui Playground



Photo 10 View of the Public Toilet in Luen Wo Hui Playground



Photo 11 View of the G/F of Luen Wo Market



Photo 12 View of the G/F of Luen Wo Market



Photo 13 View of the G/F of Luen Wo Market



Photo 14 View of the G/F of Luen Wo Market



Photo 15 View of the G/F of Luen Wo Market



Photo 16 View of the G/F of Luen Wo Market





Photo 17 View of the G/F of Luen Wo Market



Photo 18 View of the G/F of Luen Wo Market



Photo 19 Example of the concrete spall on the bottom of beam



Photo 20 Example of the concrete spall on the bottom of beam



Photo 21 Example of the leakage of roof



Photo 22 Example of the slight crack on canopy



Photo 23 The strengthening work at the main entrance



Photo 24 The strengthening work at the main entrance

**Appendix VI (B)**  
**Record Photos of Building Services**



Photo: EM-01

One of two identical tenant-owned 5.25kW window type air-conditioners installed in tenant office. Please refer to drawing no. XMVAC-GF-L-01 for exact location of the air-conditioners.



Photo: EM-02

One of four identical tenant-owned wall-mounted swing type ventilation fans. Please refer to drawing no. XMVAC-GF-L-01 for exact location of the ventilation fans.



Photo: EM-03

One of three identical tenant-owned exit sign. Please refer to drawing no. XFS-GF-L-01 for exact location of the exit sign.



Photo: EM-04

One of four identical tenant-owned directional sign. Please refer to drawing no. XFS-GF-L-01 for exact location of the directional sign.



Photo: EM-05

One of twenty-four identical tenant-owned twin spot type emergency light. Please refer to drawing no. XFS-GF-L-01 for exact location of the emergency light.



Photo: EM-06

One of four identical tenant-owned portable fire extinguisher. Please refer to drawing no. XFS-GF-L-01 for exact location of the portable fire extinguisher.



Photo: EM-07

One of eight identical tenant-owned pendant light. Please refer to drawing no. XEL-GF-L-01 for exact location of the pendant light.



Photo: EM-08

One of eleven identical tenant-owned fluorescent light. Please refer to drawing no. XEL-GF-L-01 for exact location of the fluorescent light.



Photo: EM-09

One of six identical tenant-owned fluorescent light box. Please refer to drawing no. XEL-GF-L-01 for exact location of the fluorescent light box.





Photo: EM-10

Surface channel filled by stones.



Photo: EM-11

Surface channel filled by concrete.



Photo: EM-12

Surface channel filled by concrete and covered by floor tiles.



Photo: EM-13

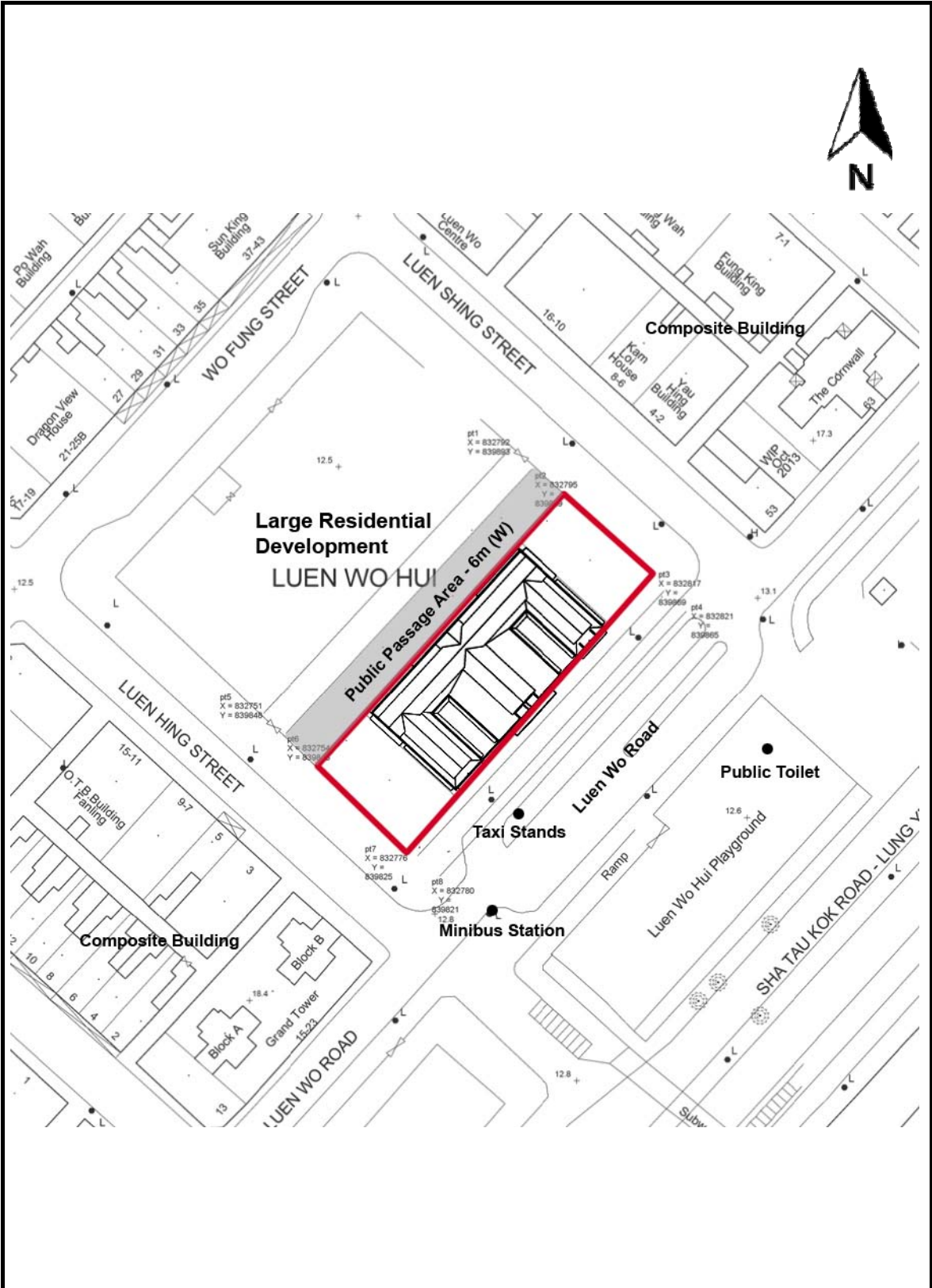
Potable water supply system.



Photo: EM-14

Tenant-owned PCCW telecommunication system network in the tenant office.

**Appendix VII (A)**  
**Plan Showing Immediate Surrounding**



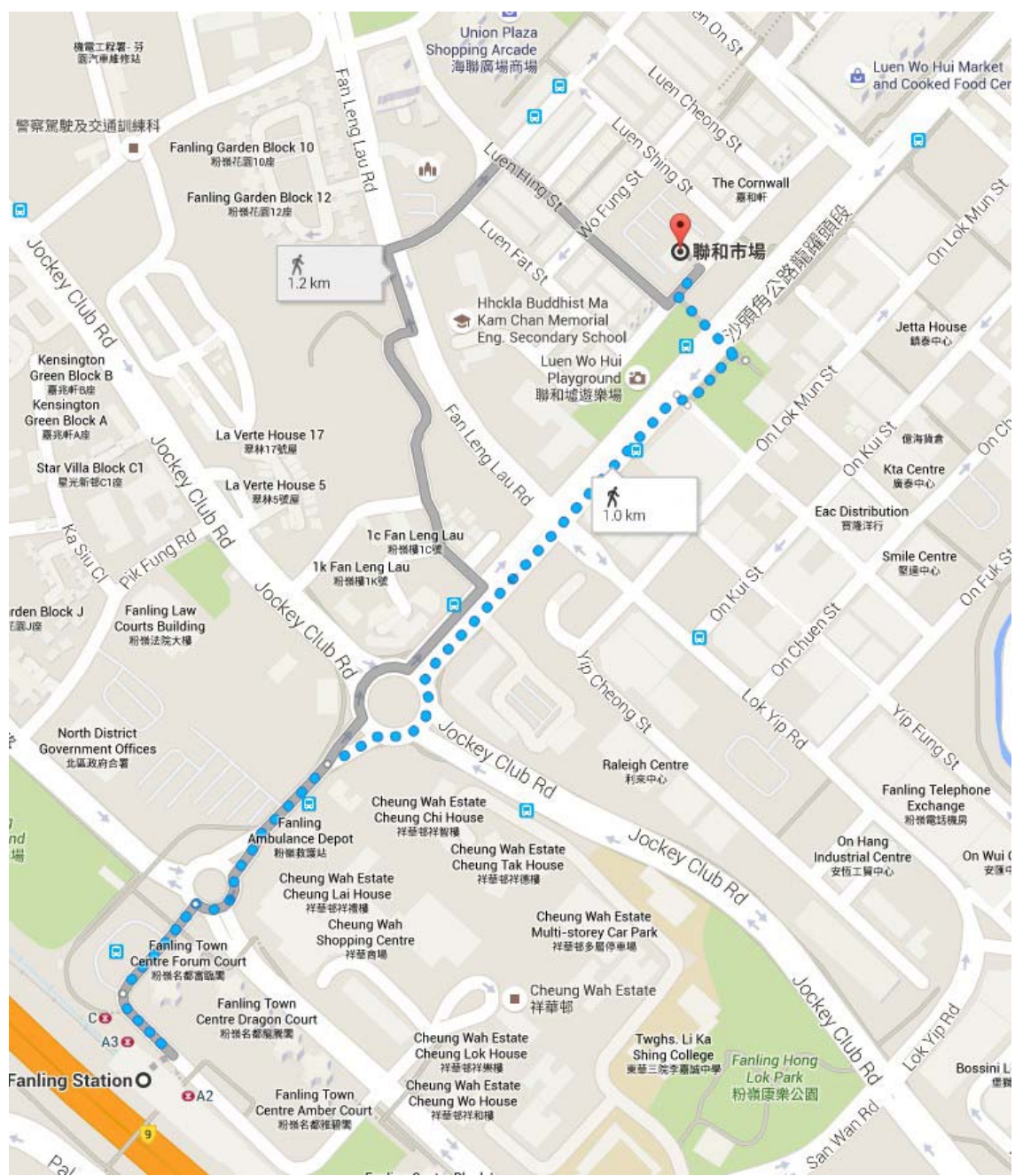

**SITE BOUNDARY**

LUEN WO MARKET

DRAWING NO.:  
APPENDIX VII (A)  
 PLAN SHOWING IMMEDIATE SURROUNDING (not to scale)

**Appendix VII (B)**

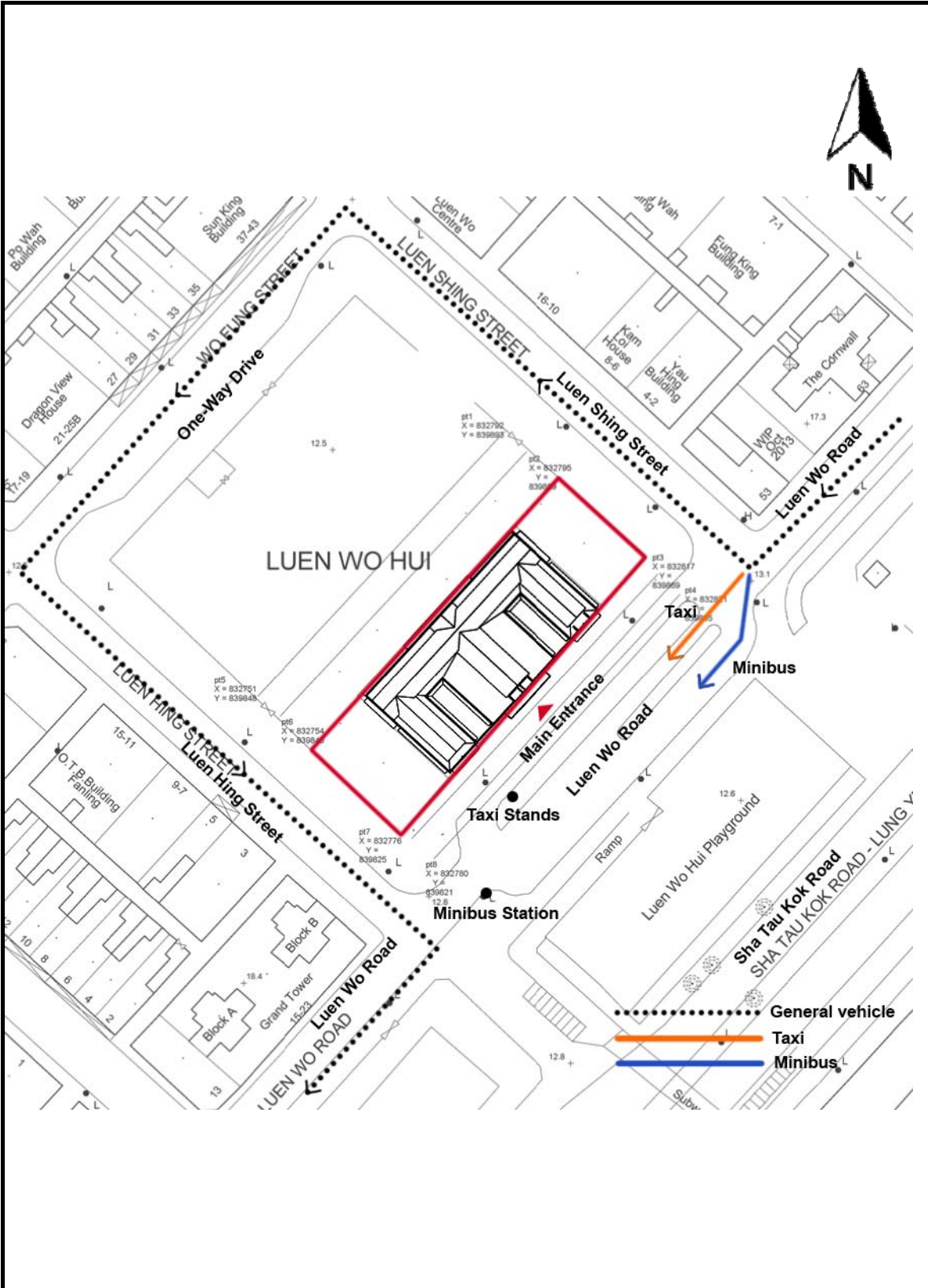
**Plan Showing walks from Fanling MTR Station to  
Luen Wo Market**



LUEN WO MARKET

DRAWING NO.:  
APPENDIX VII (B)  
PLAN SHOWING WALKS FROM  
FANLING STATION TO LUEN  
WO MARKET (not to scale)

**Appendix VII (C)**  
**Vehicular Access Plan**




**SITE BOUNDARY**

**LUEN WO MARKET**

DRAWING NO.:  
APPENDIX VIII (A)  
 ACCESS PLAN (not to scale)



**Appendix VIII**

**Excerpt of Lease Condition of the Fanling Sheung  
Shui Town Lot No.255 -  
Right of public passage at back of Luen Wo Maket**

- (i) the carrying out of any work as may be approved under sub-clause (b) of this Special Condition;
- (ii) any demolition, alteration or interference with the Underground Structures and Foundations by the Purchaser; and
- (iii) failure on the part of the Purchaser to comply with the obligations imposed on the Purchaser under sub-clauses (b) and (c) of this Special Condition.

Non-Building Area (3) (a) Save for the Underground Structures and Foundations and the Public Passage Area referred to in sub-clause (b) of this Special Condition, no building or structure or support for any building or structure may be erected, constructed or placed on, over, above, under, below or within the Pink Hatched Black Area.

Right of public passage over the Pink Hatched Black Area

(b) The Purchaser shall:

- (i) (I) within 24 calendar months from the date of this Agreement (or such other extended period as may be approved by the Director), at his own expense and in all respects to the satisfaction of the Director lay, form, provide, construct and surface in such manner with such materials and to such standards, levels, alignment and design as the Director shall approve, on the Pink Hatched Black Area a public passage way together with such lightings and facilities as the Director in his absolute discretion may require (hereinafter referred to as "the Public Passage Area") so that public pedestrian traffic can be carried thereon; and
- (II) manage and maintain the Public Passage Area throughout the term hereby granted at his own expense in good and substantial repair and in a clean and tidy condition in all respects to the satisfaction of the Director; and
- (III) at all times after the fulfilment of his obligations under sub-clause (b)(i)(I) of this Special Condition permit all members of the public for all lawful purposes free of charge without any interruption 24 hours a day to pass and re-pass on foot or by wheelchair over, along and through the Public Passage Area and for the purpose of effecting public access to, over and along the Public Passage Area as aforesaid, no object or material of whatsoever nature which may cause obstruction to access to, over or along the Public Passage Area shall be placed on or above the Public Passage Area. Where in the opinion of the Director (whose opinion shall be final and binding on the Purchaser), there is any object or

material within the Public Passage Area which may cause obstruction to access to, over or above the Public Passage Area, the Director shall be entitled by notice in writing to call upon the Purchaser, at his own expense and in all respects to the satisfaction of the Director, to remove or demolish such object or material and to reinstate the Public Passage Area.

Non-fulfilment

(ii) In the event of the non-fulfilment of the Purchaser's obligations under sub-clause (b)(i) of this Special Condition (including any neglect or failure by the Purchaser to comply with the notice served upon him under sub-clause (b)(i)(III) of this Special Condition within the period specified therein), the Government may carry out the necessary works at the cost of the Purchaser who shall pay to the Government on demand a sum equal to the cost thereof, such sum to be determined by the Director whose determination shall be final and binding upon the Purchaser.

(iii) The Purchaser shall at all times permit the Director, his officers, contractors and any persons authorized by the Director, the right of ingress, egress and regress to, from and through the lot for the purpose of carrying out any works under sub-clause (b)(ii) of this Special Condition and the inspecting, checking and supervising of any works to be carried out in compliance with this Special Condition.

(iv) The Director, his officers, contractors and any persons authorized by the Director shall have no liability in respect of any loss, damage, nuisance or disturbance whatsoever caused to or suffered by the Purchaser arising out of or incidental to the fulfilment of the Purchaser's obligations under this Special Condition or to the exercise by the Director, his officers, contractors and any persons authorized by the Director of the rights conferred under sub-clauses (b)(ii) and (b)(iii) of this Special Condition, and no claim whatsoever shall be made by the Purchaser against the Government or the Director or his officers, contractors or any persons authorized by the Director in respect of any such loss, damage, nuisance or disturbance.

No dedication

(v) It is hereby expressly agreed, declared and provided that the obligation on the part of the Purchaser contained in sub-clause (b)(i)(III) of this Special Condition arises only as a matter of contract between the Purchaser and the Government and that neither the Purchaser nor the Government intends to dedicate nor consents to any dedication of the Pink Hatched Black Area to the public for the right of passage.

Concession under Building (Planning) Regulations etc.

(vi) It is expressly agreed and declared that the contractual obligation on the part of the Purchaser contained in sub-clause (b)(i)(III) of this Special Condition will give rise to no

**Appendix IX**  
**List of**  
**Architectural Features**  
**to be Preserved**

**Luen Wo Market**  
**Luen Wo Hui, Fanling, New Territories**  
**List of Architectural Features to be Preserved**

**1. EXTERIOR**

Item	Architectural Feature
1.1	<p data-bbox="284 443 512 477"><u>Building Facades</u></p> <p data-bbox="284 479 1430 584">All external building facades (including Courtyards), along with the projecting canopies, stepped parapet walls at the entrances, the sculptural centerpiece over main entrance and the plain painted rendered walls</p> <div data-bbox="300 622 911 1384"></div> <div data-bbox="954 622 1485 1384"></div>

Item	Architectural Feature
1.2	<p data-bbox="284 277 507 315"><u>Open Courtyards</u></p> <p data-bbox="284 315 735 353">The open space in both Courtyards</p>
	

**Item**

**Architectural Feature**

1.3

Roof Form

The flat roof, with a portion of raised pitched roof for clearstory in the middle



**Item**

**Architectural Feature**

1.4

Building Names and External Signage

All building names and external signage, in rendered Chinese characters “聯和市場”, “魚市場” and “菜市場” and letters “LUEN WO MARKET” over the entrances





Item	Architectural Feature
1.5	<p data-bbox="272 248 544 327"><u>Flag Poles</u> All metal flag poles</p>  

**Item**

**Architectural Feature**

1.6

Entrance Openings and Built-in Metal Ironmongeries

All seven entrance openings to building and two entrance openings to Courtyards, along with the metal grilles above, all built-in metal ironmongeries and the inscribed square pattern at the cement sand flooring at entrances



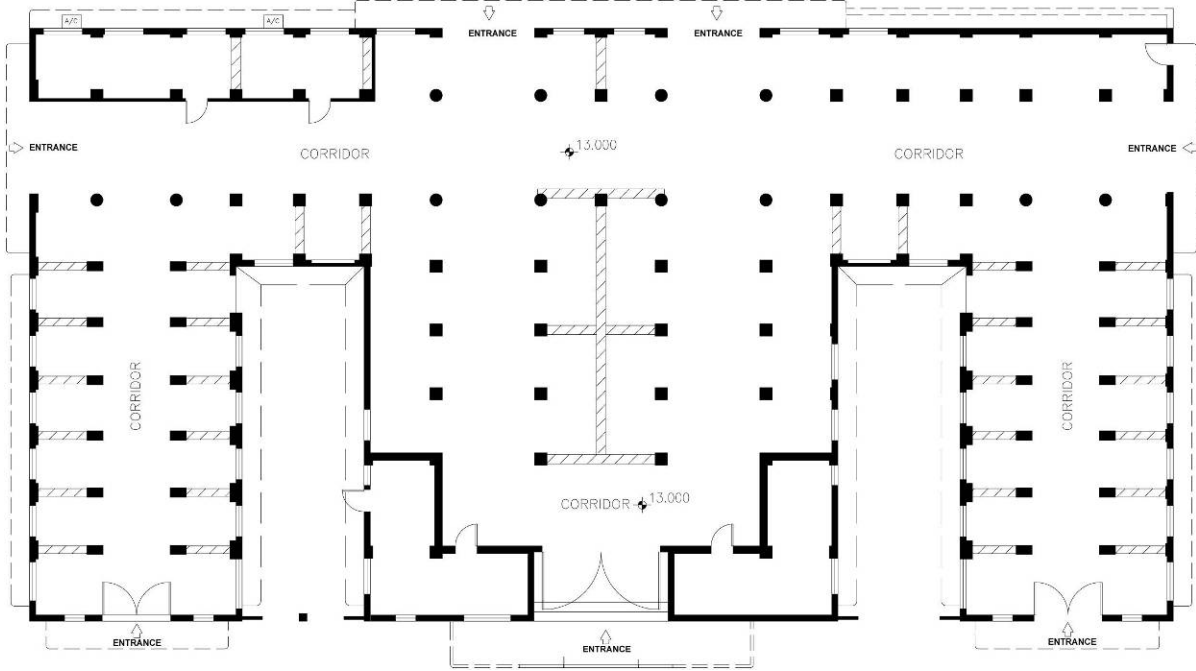
Item

Architectural Feature

1.7 Open Space outside the Historic Building



2. INTERIOR

Item	Architectural Feature
2.1	<p data-bbox="284 275 497 309"><u>Building Layout</u></p> <p data-bbox="284 311 1485 383">The symmetrical E-shape layout plan with two open courtyards, and high clearstory space that facilitates ample natural lighting and ventilation</p>  <p data-bbox="810 1178 970 1211"><u>Floor Plan</u></p> <p>The floor plan shows a symmetrical E-shaped building layout. It features a central vertical corridor and two horizontal wings extending to the left and right. The wings are further divided into smaller sections by transverse corridors. There are two open courtyards, one on the left and one on the right, each with a central vertical corridor. The plan includes multiple entrances: two at the top, two at the bottom, and two on the right side. Corridors are labeled 'CORRIDOR' and have a height of 13.000. The building is surrounded by a dashed line representing the site boundary.</p>

**Item**

**Architectural Feature**

2.2

Building Structure

All structural elements including columns, beams, roof slab, brick pier base, etc.



**Item**

**Architectural Feature**

2.3

Clearstory

All clearstory openings with different treatments including wire mesh in timber frame, metal grids with sheathing, metal security bars, etc., over the aisles



**Item**


**Architectural Feature**

2.4

Window Openings and Treatments

All window openings on the external and Courtyards facades including the timber window frames



Item	Architectural Feature
2.5	<p data-bbox="284 255 986 327"><u>Door Openings (other than Entrances) and Treatments</u> All external and internal timber doors</p> 




**Item****Architectural Feature**

2.6

Market Stalls

Open market stall, along with its ceiling, wall and floor finishes, clearstory treatment, drainage channel, structure and brick pier, fixed and adjustable metal hanging rack system, and any associated features



Item	Architectural Feature
2.7	<p data-bbox="284 255 734 327"><u>Built-in Metal Ironmongeries</u> All built-in metal rings at columns</p>  <p>The image contains two side-by-side photographs. The left photograph shows a white, square column with two small, circular, built-in metal rings. The right photograph shows a white wall with a single, larger, built-in metal ring. Both rings are recessed into the surface and appear to be made of a light-colored metal.</p>

**Appendix X**

**List of Required Treatments to  
Architectural Features**

**Luen Wo Market**  
**Luen Wo Hui, Fanling, New Territories**  
**Required Treatments to Architectural Features**

**1. EXTERIOR**

Item	Architectural Feature	Required Treatments
1.1	<u>Building Facades</u>	<ul style="list-style-type: none"> <li>a. All external building facades (including Courtyards), along with the projecting canopies, stepped parapet walls at the entrances, the sculptural centerpiece over main entrance and the rendered walls, should be generally kept intact.</li> <li>b. No new structures, awning, additional shading fins, equipment, etc. should be installed on external and Courtyard facades.</li> <li>c. Blocked door and window openings on external facades should be reinstated.</li> <li>d. No formation of new openings or alteration to openings on the external facades (except inside Courtyards) is permitted.</li> <li>e. Alteration or blocking of any openings inside Courtyards may be considered, subject to AMO's approval.</li> <li>f. The steel structure under the projecting canopy of the main entrance is a later-added structure, which is considered as an undesirable intervention to the original cantilever design, and should be removed. Strengthening or re-casting of the canopy to meet statutory requirements may be considered subject to Registered Structural Engineer's advice and AMO's approval.</li> <li>g. Conduct research on the original color and finishes on external wall before re-finishing. Submit research report, supplement with investigations, test results, photos, drawings, investigation summary, etc., for AMO's record.</li> <li>h. Repair any defective wall rendering, canopies, parapet walls, etc. as necessary, and with methods and materials approved by AMO.</li> <li>i. Repaint the building facades, downpipes, wood works, metal works, etc. as necessary, and with reversible painting systems and color approved by AMO.</li> </ul>



Item	Architectural Feature	Required Treatments
1.2	<u>Open Courtyards</u>	<p>a. The open space in both Courtyards should be generally kept intact.</p> <p>b. Addition or alteration at the open space may be considered, provided research study substantiates presence of historical buildings/structure at proposed location(s), the design and massing of this addition or alteration works respects the historical buildings/structure, and is subject to Registered Structural Engineer's advice and AMO's approval.</p>




Item	Architectural Feature	Required Treatments
1.3	<u>Roof Form</u>	<ul style="list-style-type: none"> <li>a. The flat roof, with a portion of raised pitched roof for clearstory in the middle, should be generally kept intact.</li> <li>b. Installation of mechanical ventilation and air conditioning unit, or any other equipment on the roof may be considered, provided it will not cause any visual impact to the building, and is subject to Registered Structural Engineer's advice if any structural strengthening works is necessary, and AMO's approval.</li> <li>c. No construction of additional storey at roof is allowed.</li> <li>d. The whole roof should be re-roofed with roofing materials, systems and methods approved by AMO.</li> <li>e. Strengthen and repair any defective roof slab as necessary and subject to Registered Structural Engineer's advice, and with methods and materials approved by AMO before re-roofing.</li> </ul>



Item	Architectural Feature	Required Treatments
1.4	<u>Building Names and External Signage</u>	<p>a. All building names and external signage, in rendered Chinese characters “聯和市場”, “魚市場” and “菜市場”, and letters “LUEN WO MARKET” over the entrances, should be preserved in-situ and must be fully protected during the course of any works.</p> <p>b. If the re-casting of main entrance projecting canopy is proposed (item 1.1), the English building name at the canopy has to be saw-cut carefully for temporary removal, preserved and protected with approved measures, and reinstated onto the re-casted canopy at same location as existing.</p> <p>c. Installation of new signage on the facades may be considered, provided that it will not overwhelm the existing façade design, and is subject to AMO’s approval.</p> <p>d. Repair any defective characters or letters and adjoining surfaces as necessary, and with repair methods and materials approved by AMO.</p> <p>e. Repaint the whole of building names, signage and their adjoining surfaces with breathable painting systems approved by AMO.</p>





Item	Architectural Feature	Required Treatments
1.5	<u>Flag Poles</u>	<ul style="list-style-type: none"> <li>a. All metal flag poles should be retained in-situ and maintained if still in good condition.</li> <li>b. Remove all old paints and rust, and repaint with rust inhibitor and painting system approved by AMO.</li> <li>c. If any of the flag poles is found to be deteriorated beyond maintenance, the replacement pole(s) shall be in the same material, size, design and finish, and is subject to AMO's approval.</li> </ul>
 <p>The image block contains three photographs. The top-left photo shows a thin metal flag pole on a wall with the Chinese characters '魚市場' (Fish Market). The top-right photo shows a similar pole on a wall with '茶市場' (Tea Market). The bottom-center photo shows a thicker, more substantial flag pole on a wall with the text 'JEN WO MARKE'.</p>		

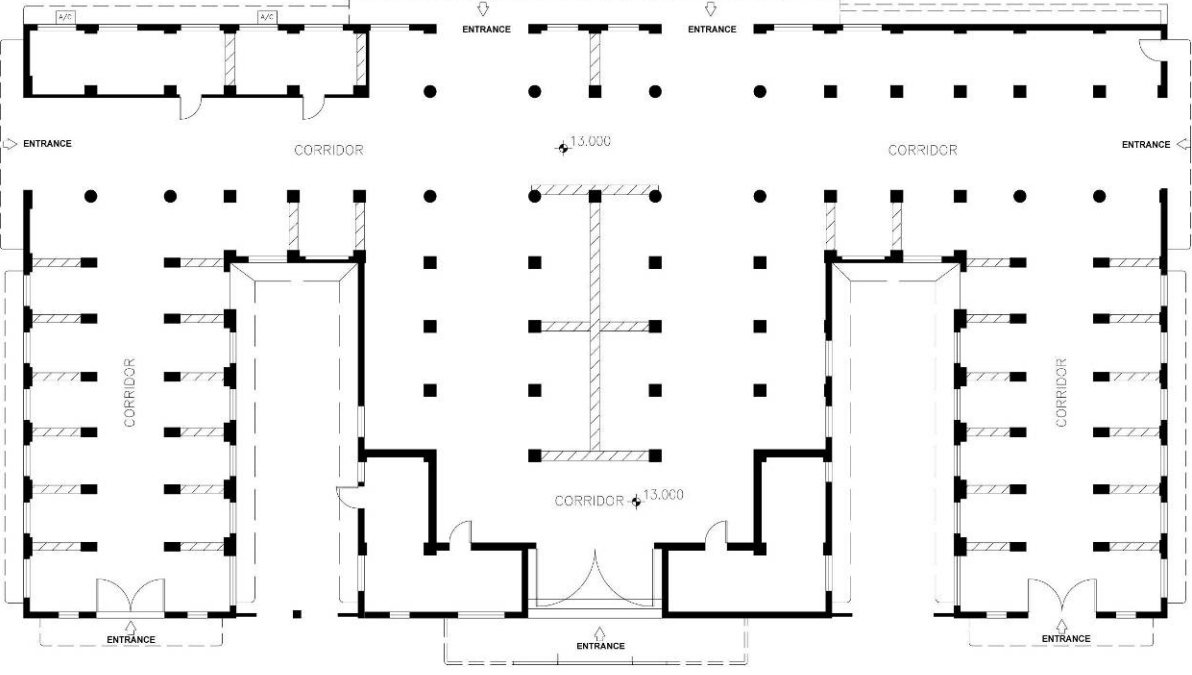


Item	Architectural Feature	Required Treatments
1.6	<u>Entrance Openings and Built-in Metal Ironmongeries</u>	<p>a. All seven entrance openings to building and two entrance openings to Courtyards, along with the metal grilles above if any, all built-in metal ironmongeries and the inscribed square pattern at the cement sand flooring at entrances should be retained in-situ and maintained.</p> <p>b. All built-in metal ironmongeries remained at the entrance should be reinstated and re-used.</p> <p>c. Installation of or replacement with new metal gates or other types of doors at these entrances may be considered, provided the design incorporates the original metal ironmongeries, is compatible to the external facades and is subject to AMO's approval.</p> <p>d. Remove rust and repaint by approved methods and painting system.</p>



Item	Architectural Feature	Required Treatments
1.7	<u>Open Space outside the Historic Building</u>	<ul style="list-style-type: none"> <li>a. The vista to the whole of historic building is important and should be maintained. The external space on both sides of the historic building should be remained as open as possible and without any fencing to allow the general public to pay due respect to the historic building facades.</li> <li>b. New underground building(s) or structure(s) for ancillary use to the historic building, and its associated above-ground structure for access and building services (“Proposed Works”) at the open spaces, in conformance to statutory requirements may be considered, and is subject to AMO’s approval.</li> <li>c. The Proposed Works should not adversely affect the structure of historic building.</li> <li>d. The Proposed Works should be independent and set as far away from the historic building as practical to minimize the visual impact onto the historic building.</li> <li>e. The Proposed Works should be compatible and distinguishable from the historic building.</li> <li>f. The ultimate height of the Proposed Works should be lower than the historic building.</li> <li>g. Remove existing ground paving and repave with materials compatible with the character of historic building, and is subject to AMO’s approval.</li> <li>h. Design of a mix of hard and soft landscape may be considered provided it is compatible with the character of historic building, and is subject to AMO’s approval.</li> </ul>
		

## 2. INTERIOR

Item	Architectural Feature	Required Treatments
2.1	<u>Building Layout</u>	<ul style="list-style-type: none"> <li>a. The symmetrical E-shape layout plan with two open courtyards should be generally kept intact.</li> <li>b. Maintain the building as naturally ventilated with open clearstory openings kept opened and suspended ceiling fans as far as practical.</li> <li>c. Air-conditioning system for localized areas, space or rooms may be considered, provided the outdoor units and equipment are placed in inconspicuous locations. The design and layout of the air-conditioning system is subject to AMO's approval.</li> <li>d. Alterations and additions to the interior planning of the building by changing the interior partitioning may be considered, provided the overall ambiance of openness, exposed structure, etc., are maintained, and is subject to AMO's approval.</li> <li>e. No structure, partitioning, suspended ceiling system or any other permanent features in the interior space is permitted to be higher than the lowest beam soffit unless approved by AMO.</li> <li>f. The mounting of new building services on the building fabric and structure should be carefully planned and installed. The design, layout and fixing methods of these fittings are subject to AMO's approval.</li> <li>g. Repaint the building interior with reversible paint systems and color approved by AMO.</li> </ul>
 <p data-bbox="766 1982 925 2016"><b><u>Floor Plan</u></b></p>		


Item	Architectural Feature	Required Treatments
2.2	<u>Building Structure</u>	<ul style="list-style-type: none"> <li>a. All structural elements including columns, beams, roof slab, brick pier base, etc. should be generally kept intact.</li> <li>b. Strengthening or recasting of any part of the structure to meet statutory requirements may be considered, subject to Registered Structural Engineer's advice and AMO's approval.</li> <li>c. All structural elements should remain exposed for general appreciation.</li> <li>d. No formation of new openings or alteration of existing building structure elements unless approved by the AMO.</li> <li>e. Repair all spalled concrete and other defects as necessary, and with methods and materials approved by AMO.</li> </ul>



Item	Architectural Feature	Required Treatments
2.3	<u>Clearstory</u>	<p>a. All clearstory openings should be generally kept intact.</p> <p>b. Different treatments to the openings, including metal vertical grilles, metal panel with metal grids, wire mesh set in wood frame, etc., are found in the building. Conduct research on different window treatments being installed. Submit research report, supplement with investigation summary, photos, drawings, etc., for AMO's record. Subject to the research study and AMO's approval, selected samples of these treatments should be preserved, repaired as necessary and be used for interpretation purpose.</p> <p>c. Installation of new windows at clearstory may be allowed, but should have a compatible design to the building, can be operable to allow natural ventilation as far as practical, and be set on the external face of preserved treatment mentioned in clause 2.3 b.. Design and installation method of the new windows are subject to AMO's approval.</p>

Item	Architectural Feature	Required Treatments
2.4	<u>Window Openings and Treatments</u>	<p>a. Conduct research on the original type and architectural design of windows, and the original metal security bars being installed. Submit research report, supplement with investigation summary, photos, drawings, etc., for AMO's record before commencement of renovation works.</p> <p>b. The original timber windows should be retained and repaired. The steel window should be replaced by new timber windows if the research study in clause 2.4 a. confirms timber windows are original design. In case the original timber window is beyond repair, replace the windows with new timber windows and ironmongery following the existing timber window design. Design and ironmongery of new windows are subject to AMO's approval.</p> <p>c. Subject to the research study in clause 2.4 a. and AMO's approval, the metal security bars at selected locations of retained windows should be preserved in-situ, removed old paints and rust, repainted with approved system and be used for interpretation purpose. The unselected security bars should be removed from locations. Disturbed adjoining surfaces should be made good.</p>





Item	Architectural Feature	Required Treatments
2.5	<u>Door Openings (other than Entrances) and Treatments</u>	<ul style="list-style-type: none"> <li>a. The original timber doors and ironmongery should be retained and repaired as far as practical.</li> <li>b. If the building layout is to be altered, the original timber door should be carefully taken down and reused in new door opening.</li> <li>c. If the original timber door is beyond repair, replace the door with new timber door and ironmongery following the existing timber door design.</li> <li>d. Design and ironmongery of replacement and new doors are subject to AMO's approval.</li> </ul>
		

Item	Architectural Feature	Required Treatments
2.6	<u>Market Stalls</u>	<p>a. The original stalls were divided into four categories: fish, vegetable, meat and dry goods. Meat stalls were located at the center of the Market, vegetable stalls on the left and fish stalls on the right. All dry goods stalls were at the back.</p> <p>b. Preserve all open market stalls as many as possible. At least one section of open market stalls, with the main aisle in the middle and stalls on both sides, should be used for <u>interpretation purpose</u>. This interpretation section(s) should include market stalls from each category of the markets, along with their ceiling, wall and floor finishes, different treatment to clearstory opening, drainage channels, structure and brick pier, fixed and adjustable metal hanging rack system, and any associated features.</p> <p>c. The extent, location and design for the interpretation of the market stalls should be carefully considered to form a meaningful interpretation, and is subject to AMO's approval.</p> <p>d. No additional partition at stalls is permitted.</p> <p>e. Conduct research on the original color and finishes on wall and floor before re-finishing. Submit research report, supplement with investigations, test results, photos, drawings, investigation summary, etc., for AMO's record.</p>






Item	Architectural Feature	Required Treatments
2.7	<u>Built-in Metal Ironmongeries</u>	a. All built-in metal rings at columns should be preserved in-situ. b. Remove rust and repaint by approved methods and painting system.
		

**Appendix XI**

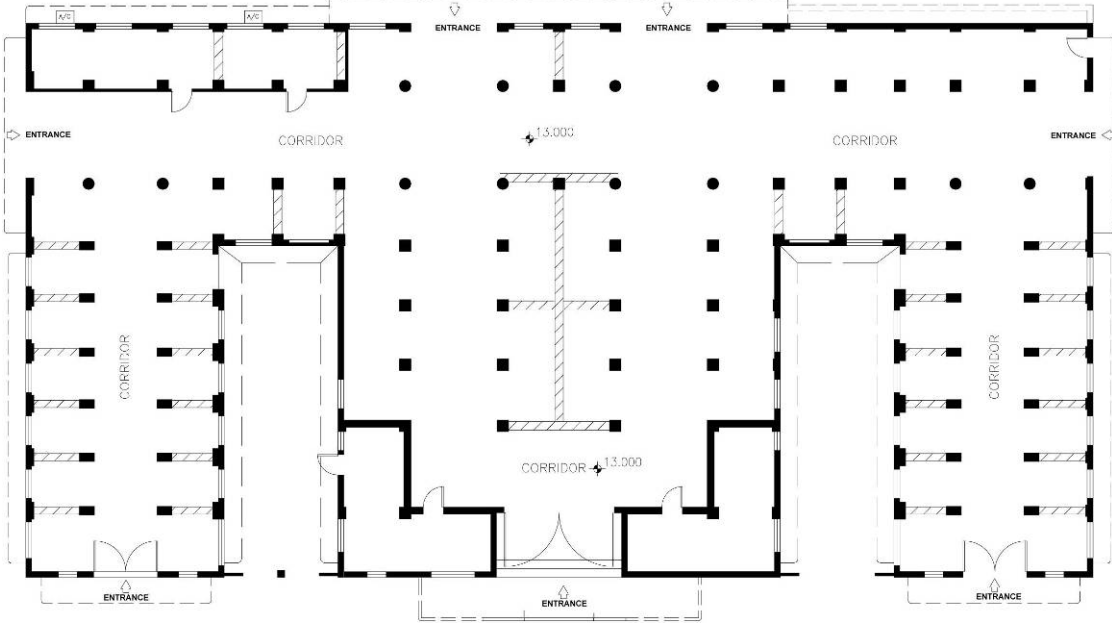
**List of Recommended Treatments to  
Architectural Features**


**Luen Wo Market**  
**Luen Wo Hui, Fanling, New Territories**  
**Recommended Treatments to Architectural Features**


**1. EXTERIOR**

<b>Item</b>	<b>Architectural Feature</b>	<b>Recommended Treatments</b>
1.1	<u>Roof Form</u>	<p>a. Provide roof access and fall arrest system at inconspicuous location for ease of future maintenance. Design to be subject to AMO's approval.</p> <p>b. Incorporate some sustainable and green measures such as rainwater harvesting system, white or cool roofing system, etc.</p> <p>c. If air-conditioning system is proposed for part(s) of the historic building, provide additional insulation to the roof assembly to improve the thermal performance of the building. Proposed roofing system with insulation on top of roof slabs is subject to AMO's approval.</p>
		

## 2. INTERIOR

Item	Architectural Feature	Recommended Treatments
2.1	<u>Building Layout</u>	a. Maintain clearstory openings opened, and natural ventilation with suspended ceiling fans in the whole of the historic building.
 <p style="text-align: center;"><b><u>Floor Plan</u></b></p>		

Item	Architectural Feature	Recommended Treatments
2.2	<u>Clearstory</u>	a. Maintain all clearstory openings, except at locations where new windows are approved under Required Treatments, to be opened at all times for natural ventilation.
 <p>The images illustrate various clearstory openings in a building. The top-left photo shows a window with a pink mesh screen. The top-right photo shows a window with vertical bars. The middle photo shows a window with a dark grid pattern. The bottom photo shows a window with vertical bars and a concrete ledge.</p>		

Item	Architectural Feature	Recommended Treatments
2.3	<u>Market Stalls</u>	a. Retain and re-use all open stalls as far as practicable.
 The photograph shows the interior of a large, open-plan structure, likely a market stall area. The space is characterized by several prominent white cylindrical columns that support a ceiling with exposed metal beams and pipes. A complex network of metal scaffolding or shelving units is installed throughout the area, consisting of horizontal and vertical bars. The walls are white and appear somewhat weathered. In the background, there are windows with multiple panes, allowing natural light into the space. The floor is a dark, possibly concrete or asphalt surface. The overall impression is of a functional, industrial-style interior.		

**Appendix XII**  
**Outline Zoning Plan**




 SITE  
 BOUNDARY

LUEN WO MARKET

DRAWING NO.:  
APPENDIX XII  
 Outline Zoning Plan (not to scale)



**COMMERCIAL/RESIDENTIAL**

Column 1 Uses always permitted	Column2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot	Broadcasting, Television and/or Film Studio
Eating Place	Commercial Bathhouse/Massage Establishment
Educational Institution ( in a commercial building or in the purpose-designed non residential portion <sup>@</sup> of an existing building only)	Educational Institution (not elsewhere specified)
Exhibition or Convention Hall	Government Refuse Collection Point
Flat	Hospital
Government Use (not elsewhere specified)	Institution Use (not elsewhere specified)
Hotel	Petrol Filling Station
House	Public Convenience
Library	Recyclable Collection Centre
Market	Religious Institution
Off-course Betting Centre	School (not elsewhere specified)
Office	Shop and Services (Motor-vehicle Showroom only)
Place of Entertainment	
Place of Recreation, Sports or Culture	
Private Club	
Public Clinic	
Public Transport Terminus or Station	
Public Utility Installation	
Public Vehicle Park (excluding container vehicle)	
Residential Institution	
School (in free-standing purpose-designed school building, in a commercial building or in the purpose-designed non-residential portion <sup>@</sup> of an existing building only)	
Shop and Services (not elsewhere specified)	
Social Welfare Facility	
Training Centre	
Utility Installation for Private Project	
Wholesale Trade	

<sup>@</sup>Excluding floors containing wholly or mainly car parking, loading/unloading bay and/or plant room

Planning Intention

This zone is intended primarily for commercial and / or residential development. Commercial, residential and mixed commercial / residential uses area always permitted.

**Appendix XIII (A)**

**Topographic Survey**



**Appendix XIII (B)**

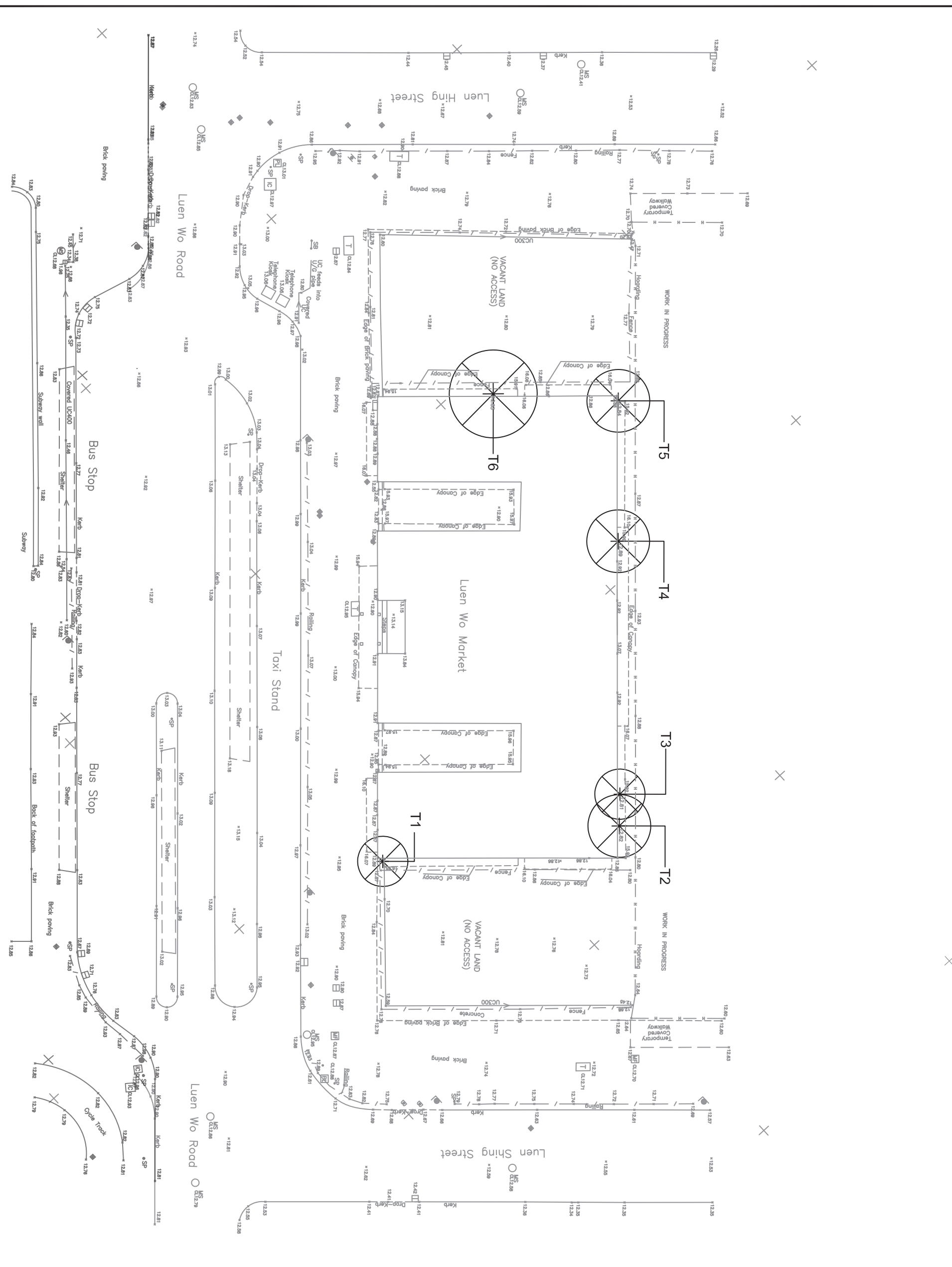
**Tree Survey Plan and Tree Survey Schedule**

## Tree Assessment Schedule

**Project :** Resource Kit for Luen Wo Market, Fanling  
**Prepared by** Xylem Leung (Registered Landscape Architect, Registration No.:082) on 23 Jan. 2016  
**Field Survey was conducted /updated by** Xylem Leung [Certified Arborist (ISA), Registration No.: HK004A] on 13 Jan. 2016

To be read in conjunction with drawing no. : **TF-01**

Tree ID number	Tree Species (in botanical name)	Chinese Name	Original location (Lot/GA/YA/GHBA etc)	Tree Size			Health Condition (Good / Fair / Poor)	Structural Condition (Good / Fair / Poor)	Amenity Value (High / Med / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Conservation Status	Top of soil level above root collar	Remarks
				Trunk Diameter DBH (mm)	Overall Height (m)	Average Crown Spread (m)							
T1	<i>Ficus rumphii</i>	假菩提	Lot	170	7	4	F	P	L	L	No	12.8	Multiple trunk, close to structure wall
T2	<i>Ficus benjamina</i>	垂葉榕	Lot	120	6	5	F	P	L	L	No	12.82	Multiple trunk, close to structure wall, leaning, under cover
T3	<i>Bombax ceiba</i>	木棉	Lot	220	7	4	F	P	L	L	No	12.81	Multiple trunk, close to structure wall, under cover
T4	<i>Celtis sinensis</i>	朴樹	Lot	120	7	5	P	P	L	L	No	12.89	Close to structure wall, leaning, under cover
T5	<i>Ficus microcarpa</i>	細葉榕	Lot	160	5	5	F	F	L	L	No	12.84	Multiple trunk, poor root, close to structure wall, leaning, under cover
T6	<i>Ficus microcarpa</i>	細葉榕	Lot	140	5	7	F	P	L	L	No	12.83	Multiple trunk, leaning, close to structure wall



DATE	REV. NO.	PARTICULARS	INITIAL

PROJECT  
**RESOURCE KIT FOR LUEN WO MARKET, FANLING**

DRAWING TITLE  
**TREE SURVEY PLAN**

SCALE	DRAWN
1:300 @ A3	AC
DATE	CHECKED
23/01/2016	XL

DRAWING NO.	REVISION
TF-01	
COMPUTER REF. TF-01.DWG	

Photographic Records



T1



T2



T3



T4

Photographic Records



T5



T6



**Appendix XIV**

**Recurrent Expenditure**

## (A) Electricity Fee

Possible Use(s) <sup>(1)</sup>	GFA	Net Gross Ratio	IFA	Energy Consumption Indicator <sup>(2)</sup>	Energy Consumption per annum <sup>(3)</sup>	Estimated Electricity Fee per annum <sup>(4)</sup>	Energy Consumption is based on the following Groups of Uses on EMSD's website <sup>(2)</sup>
	(m <sup>2</sup> )	(%)	(m <sup>2</sup> )	(MJ/m <sup>2</sup> /annum)	(kWh/annum)	(HK\$)	
	(a)	(b)	(c) = (a)*(b)	(d)	(e) = (c)*(d)*0.2778	(f) = (e)*1.132	
Eating Place	613	64.25	393.85	5,729	626,818.66	709,558.72	B5: Other Eating and Drinking Place
Educational Institution				185	72,862.25	82,480.07	B17: Post-secondary College
Training Centre				185	72,862.25	82,480.07	B17: Post-secondary College
Exhibition or Convention Hall				1,479	582,504.15	659,394.70	B6: Arcade/Basement /Upper floor shop
Shops and Services				1778	700,265.30	792,700.32	B7: Street Front / Ground Floor Shop
Recyclable Collection Centre				85	33,477.25	37,896.25	B24: Non-refrigerated Warehouse

### Notes :

- (1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 16 hours for Eating Place and 10 hours for Educational Institution, Training Centre, Exhibition or Convention Hall, Shop and Services and Recyclable Collection Centre.
- (2) The respective "Energy Consumption Indicator" can be found at [http://ecib.emsd.gov.hk/en/indicator\\_cmc.htm](http://ecib.emsd.gov.hk/en/indicator_cmc.htm). The "Energy Consumption Indicator" is assuming that energy saving equipment is used.
- (3)  $1\text{MJ} \times 0.2778 = 1\text{kWh}$
- (4) Electricity fee according to 2016 tariff charged by CLP Power Hong Kong Limited (CLP) is HK\$1.132 per kWh. It includes a fuel cost adjustment of HK\$0.243 per kWh.

The estimated electricity fee is for cost projection in the application only. The actual fee will be subject to the then tariff and actual demand and consumption.

(B) Water and Sewage Charge

Possible Use(s)	GFA	Net Gross Ratio	IFA	Estimated Water & Sewage Charge per month <sup>(1)</sup>	Estimated Water & Sewage Charge per annum
	(m <sup>2</sup> )	(%)	(m <sup>2</sup> )	(HK\$/month)	(HK\$/annum)
	(a)	(b)	(c)=(a)x(b)	(d)	(e) = (d) x 12
Eating Place	613	64.25%	393.85	1,374.80 (d)=(Refer to Note 2)	16,497.60
Educational Institution				118.16 (d) = (c) x \$0.3	1417.92
Training Centre					
Exhibition or Convention Hall					
Shop and Services					
Recyclable Collection Centre					

Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges for Eating Place, Educational Institution, Training Centre, Exhibition or Convention Hall, Shop and Services and Recyclable Collection Centre is \$0.3 per m<sup>2</sup>.

Based on the above estimate, it is assumed that the use of water per m of Eating Place, Educational Institution or Training Centre, Exhibition or Convention Hall, Shop and Services and Recyclable Collection Centre = Offices x 15

- (2) The estimated water and sewage charge per month of Eating Place =  
[Nos. of sink x Operation Time (hours)] x Liter per second x Nos. of Seconds per hour x Estimated Water & Sewage Charge per m<sup>2</sup> x nos. of days the Eating Place operates per months =

$$(i) \times (ii) \times 3600 \times (iii) \times (iv) = 12 \times 0.00016 \times 3600 \times 6.63 \times 30 = 1,374.80$$

(i) Say 2 nos. of sink operate in 6 hours in total per day = 12hrs

(ii) The water tap of sink flows 0.16 l/s (According to Members of Intuition of Plumbing Engineers Guide), therefore the water tap of sink flows = 0.00016 m<sup>3</sup>/s

(iii) According to the standard accommodation rate issued by the Water Supplies Department, the estimated monthly water & sewage charges of Eating Place are \$4.58 per m<sup>3</sup> and \$2.05 per m<sup>3</sup>. Therefore, Estimated Water & Sewage Charge (\$) is \$6.63 per m<sup>3</sup>.

(iv) nos. of days the Eating Place operates (say 30 days for month)

(C) Estimated Rates and Rent

Possible Use(s)	GFA (m <sup>2</sup> )	Site Area (m <sup>2</sup> )	Rateable Value (1) (\$ (a))	Rates/annum (\$ (b) = (a) x 5%)	Rent/annum (\$ (c) = (a) x 3%)	Rates & Rent/annum (\$ (d) = (b) + (c))
Eating Place	613	1290	538,000	26,900	16,140	43,040
Educational Institution						
Training Centre						
Exhibition or Convention Hall						
Shop and Services						
Recyclable Collection Centre						

Notes:

(1) The above rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

**Appendix XV (A)**

**Summary of Retrieved Underground Utility Information**

**(The information shown is for reference only)**

	Date of letter of enquiry issued	Date of letter of reply received
CLP Power Hong Kong Limited	09 December 2015	18 January 2016 Refer to Appendix XV(C)
Electrical and Mechanical Services Department	29 March 2016	11 April 2016 No record drawings for the area traffic control under the checking in EMSD's office on 13 April 2016 Refer to Appendix XV(F)
MTR	29 March 2016	07 April 2016 Refer to Appendix XV(G)
Highways Department	29 March 2016	No Reply
Water Supplies Department	09 December 2015 29 March 2016	17 December 2015 12 April 2016 (No salt water record plan) Refer to Appendix XV(B)
The Hong Kong and China Gas Company Limited	09 December 2015	18 December 2015 Refer to Appendix XV(D)
Drainage Services Department	09 December 2015	31 December 2015 Refer to Appendix XV(E)
FTNS Operators	Date of letter of enquiry issued	Date of letter of reply received
HKBN	09 December 2015	22 December 2015 Refer to Appendix XV(H)

Traxcomm	09 December 2015	04 January 2016 Refer to Appendix XV(I)
HKT Ltd.	26 April 2016	20 June 2016 Refer to Appendix XV(J)
New World Telecommunication Ltd.	09 December 2015	No Reply
Wharf T&T Ltd.	09 December 2015	No Reply
Smartone Mobile Communication Ltd.	09 December 2015	No Reply
TownGas Telecommunication Fixed Network Ltd.	09 December 2015	No Reply
Hong Kong Cable TV Ltd.	09 December 2015	No Reply
ComNet Telcom (HK) Ltd.	09 December 2015	No Reply
HKC Network Limited	26 April 2016	No Reply
China Mobile Hong Kong Company Limited	26 April 2016	No Reply
Reach Networks Hong Kong Limited and Reach Cable Networks Limited	26 April 2016	No Reply
China Telecom Global Limited	26 April 2016	No Reply
Vodafone Enterprise Global Network HK Limited	26 April 2016	No Reply
Hutchison Global Communications Limited	26 April 2016	No Reply
PCCW-HKT Telephone Limited and Hong Kong Telecommunications (HKT) Limited	26 April 2016	No Reply
Telstra International HK Limited and Telstra International Limited	26 April 2016	No Reply
Verizon Hong Kong Limited	26 April 2016	No Reply
NTT Com Asia Limited	26 April 2016	No Reply
21 ViaNet Group Limited	26 April 2016	No Reply

Equinix Hong Kong Limited	26 April 2016	No Reply
TVB Network Vision Limited	26 April 2016	12 May 2016 Refer to Appendix XV(K)
PCCW Global (HK) Limited	26 April 2016	No Reply
Superloop (Hong Kong) Limited	26 April 2016	No Reply
China Unicom (Hong Kong) Operations Limited	26 April 2016	No Reply

**Appendix XV (B)**

**Record Plan of Water Supplies Department**



**SIGN CONVENTIONS**

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**MAINS**

**TYPE**

- FRESH/SALT WATER MAINS
- RAW/UNTREATED WATER MAINS/CONDUIT
- BEING LAID MAINS
- PROPOSED MAINS
- WASHOUT PIPE
- SLUDGE PIPE
- TREATED EFFLUENT MAINS
- WATER MAINS REQUIRE REGULAR FLUSHING
- PRIVATE MAINS (SEE NOTE 2)
- MAINS OF OTHER DEPARTMENTS (SEE NOTE 3)
- REPLACEMENT AND REHABILITATION MAINS
- PENDING HANDOVER TO WSD

**FIRE SERVICES**

- PEDESTAL FIRE HYDRANT
- GROUND FIRE HYDRANT
- HEAVY DRAW-OFF FIRE HYDRANT
- SWAN NECK FIRE HYDRANT
- TWIN OUTLET SWAN NECK FIRE HYDRANT
- FIRE SERVICES CONNECTION

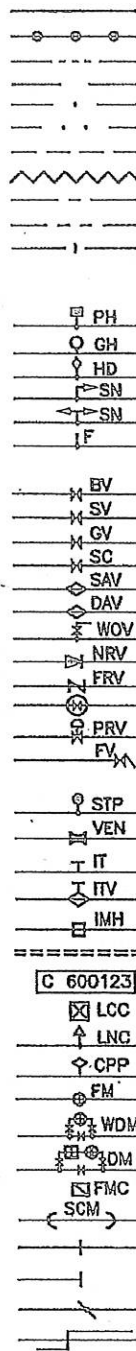
**VALVES**

- BUTTERFLY VALVE
- SLUICE VALVE
- GATE VALVE
- STOP COCK
- SINGLE AIR VALVE
- DOUBLE AIR VALVE
- WASHOUT VALVE
- NON RETURN/REFLUX VALVE
- FLOW REGULATING VALVE
- NORMALLY CLOSED VALVE
- PRESSURE CONTROL/REDUCING/RELIEF VALVE
- FLAP VALVE

**OTHERS**

- STANDPIPE
- VENTURI TUBE
- INSPECTION MANHOLE TEE
- AIR VALVE ON INSPECTION MANHOLE TEE
- INSPECTION MANHOLE
- WATER TUNNEL
- ESSENTIAL VALVE REFERENCE NUMBER
- LEAKAGE COLLECTION CHAMBER
- LEAK NOISE CORRELATION POINT
- CATHODIC PROTECTION POINT
- CHECK METER/FLOWMETER
- WASTE DETECTION METER
- DISTRICT METER WITH STRAINER
- FLOW MEASUREMENT CHAMBER FOR ULTRASONIC FLOW METER
- SHALLOW COVERED WATER MAINS
- CHANGE IN PIPE
- BLANK FLANGE/END CAP
- PIPES CONNECTED
- PIPES CROSS OVER

**LEGEND**



**NOTES:**

1. WSD MAINS INCLUDE:
  - (a) MAINS LAID AND MAINTAINED BY WSD.
  - (b) MAINS LAID BY OTHER DEPARTMENTS OR PRIVATE PARTIES BUT MAINTAINED BY WSD AT WSD'S COST.
2. PRIVATE MAINS INCLUDE MAINS IN PRIVATE ROADS, PRIVATE HOUSING ESTATES, ETC. NOT MAINTAINED BY WSD.
3. MAINS OF OTHER DEPARTMENTS INCLUDE MAINS LAID BY OTHER GOVERNMENT DEPARTMENTS NOT MAINTAINED BY WSD.

**ABBREVIATIONS**

**PIPE MATERIALS**

AC	ASBESTOS CEMENT
CI	CAST IRON
CONC	CONCRETE
COPP	COPPER ALLOY
DI	DUCTILE IRON
GI	GALVANIZED IRON
GIL	LINED GALVANIZED IRON
GRP	GLASS FIBRE REINFORCED PLASTIC
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PE	POLYETHYLENE
GMS	GALVANIZED MILD STEEL
MS	MILD STEEL
S	STEEL
UPVC	UNPLASTICISED POLYVINYL CHLORIDE

**REHABILITATION METHODS**

RA	CURED IN PLACE PIPE (CIPP)
RB	CLOSE FIT ("FOLD AND FORM" SYSTEM)
RC	PIPE BURSTING
RD	SLIP LINING/SLIP INSERTION
RE	CLOSE FIT ("SWAGELINING" SYSTEM)
RF	FIBRE REINFORCED PLASTIC (FRP) SYSTEM
RG	INTERNAL LINING REPAIRED
RH	EXTERNAL COATING REPAIRED
RJ	CATHODIC PROTECTION INSTALLED

**DESIGNATIONS**

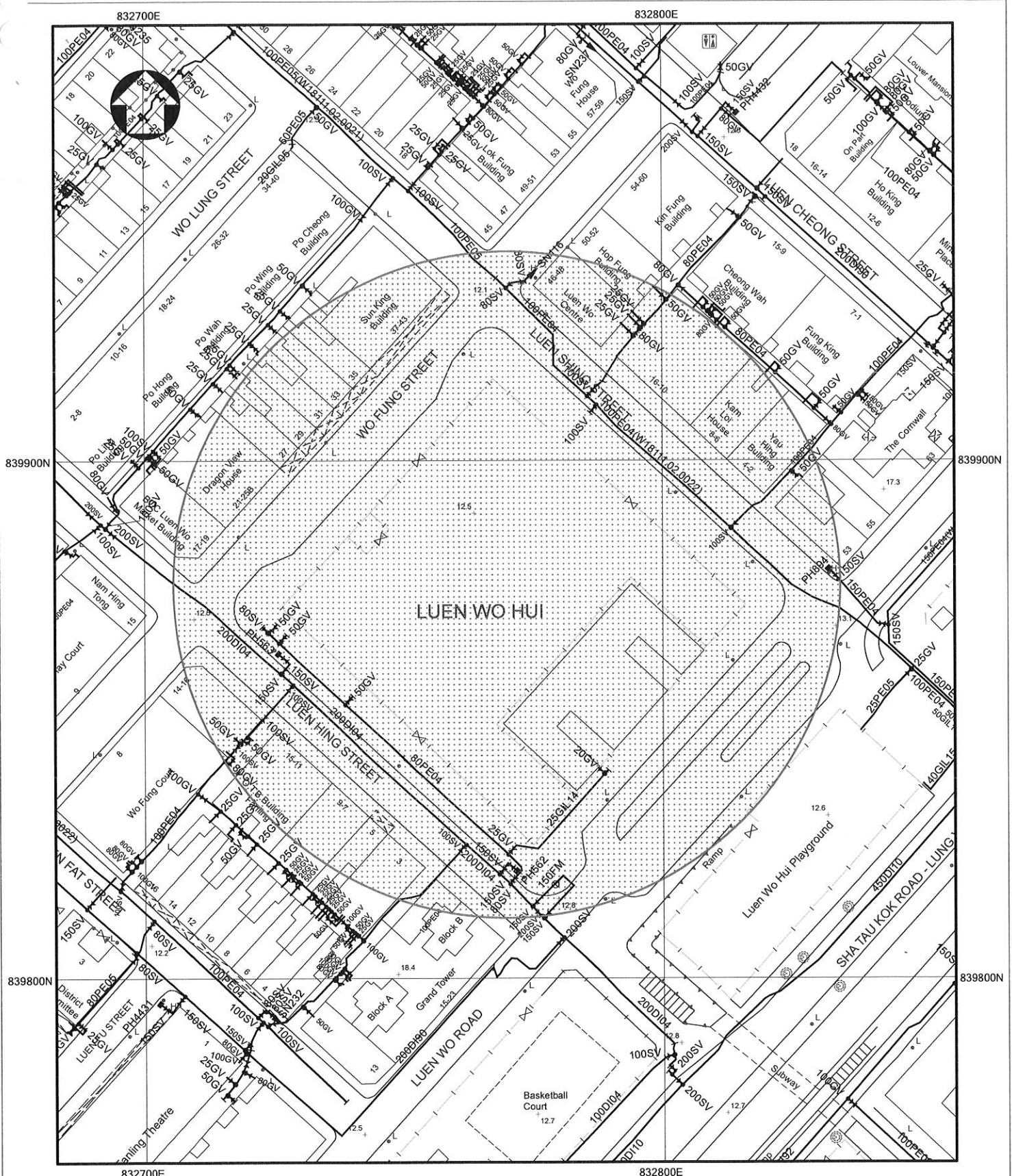
- \*450D100' DESIGNATES 450mm DIAMETER DUCTILE IRON PIPE LAID IN 1999.
- \*600S03(E)' DESIGNATES 600mm DIAMETER STEEL PIPE LAID IN 2003 (ENTRUSTMENT).
- \*600D197(W10592/2B)' DESIGNATES 600mm DIAMETER DUCTILE IRON PIPE LAID IN 1997 WITH DRAWING REFERENCE (W10592/2B).
- \*150D104WO, 150D104F, 150D104OF' DESIGNATES 150mm DIAMETER, DUCTILE IRON PIPE MATERIAL, LAID IN 2004, OF TYPE WASHOUT PIPE, FIRE SERVICE MAINS AND OVERFLOW PIPE RESPECTIVELY.
- \*150C1RA04' DESIGNATES 150mm DIAMETER CAST IRON PIPE REHABILITATED IN 2004 BY CURED IN PLACE PIPE METHOD (SEE ABBREVIATIONS).
- \*600S03(L), 600S03(DRY), 600S03(PC)' DESIGNATES 600mm DIAMETER, STEEL PIPE MATERIAL, LAID IN 2003 WITH LEAKAGE COLLECTION SYSTEM, DRY MAINS AND PENDING COMMISSION MAINS RESPECTIVELY.
- \*80PE08(TM)' DESIGNATES 80mm DIAMETER, POLYETHYLENE PIPE MATERIAL, LAID IN 2009, TEMPORARY MAINS FOR FLUSHING.

B	11/02/11	GENERAL REVISION	
A	16/08/05	GENERAL REVISION	(Signed) K.T. CHAN SE/AM
編號 no.	日期 date	摘要 description	簽署 initial
<b>修訂 REVISION</b>			

圖則名稱 drawing title  <b>MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS</b>	簽署 initial	日期 date	圖則編號 drawing no.	比例 scale
	繪製 drawn (Signed) C.M. CHAN	16/08/05	SK 3988B	NOT APPLICABLE
	核對 checked			
	加簽 endorsed			
	核准 approved (Signed) C.C. CHAN CE/RA	12/03/08	水務署 Water Supplies Department	

PLOTTING SCALE 1 : 1

CAD REF: SIGCONVENT



- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
  2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM.
  3. INFORMATION ON ALIGNMENT OF MAINS IS OF INDICATIVE VALUE ONLY. WHERE POSITIONAL ACCURACY MAY BE OF IMPORTANCE, DETAILS SHOULD BE SITE CHECKED.
  4. FOR MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS SEE SKETCH NO. 3988.
  5. NO EXISTING SALT WATER MAINS IN THE VICINITY OF THE SITE.
  6. NO EXISTING WSD CABLE IN THE VICINITY OF THE SITE.
  7. NO PROPOSED WSD CABLE IN THE VICINITY OF THE SITE.
  8. THE SITE IS WITHIN WSD FLOOD PUMPING GATHERING GROUNDS.
  9. NO WSD LAND ALLOCATION / WWR WITHIN THE SITE AREA.
  10. NO WSD SLOPES ARE AFFECTED IN THE VICINITY OF THE SITE.

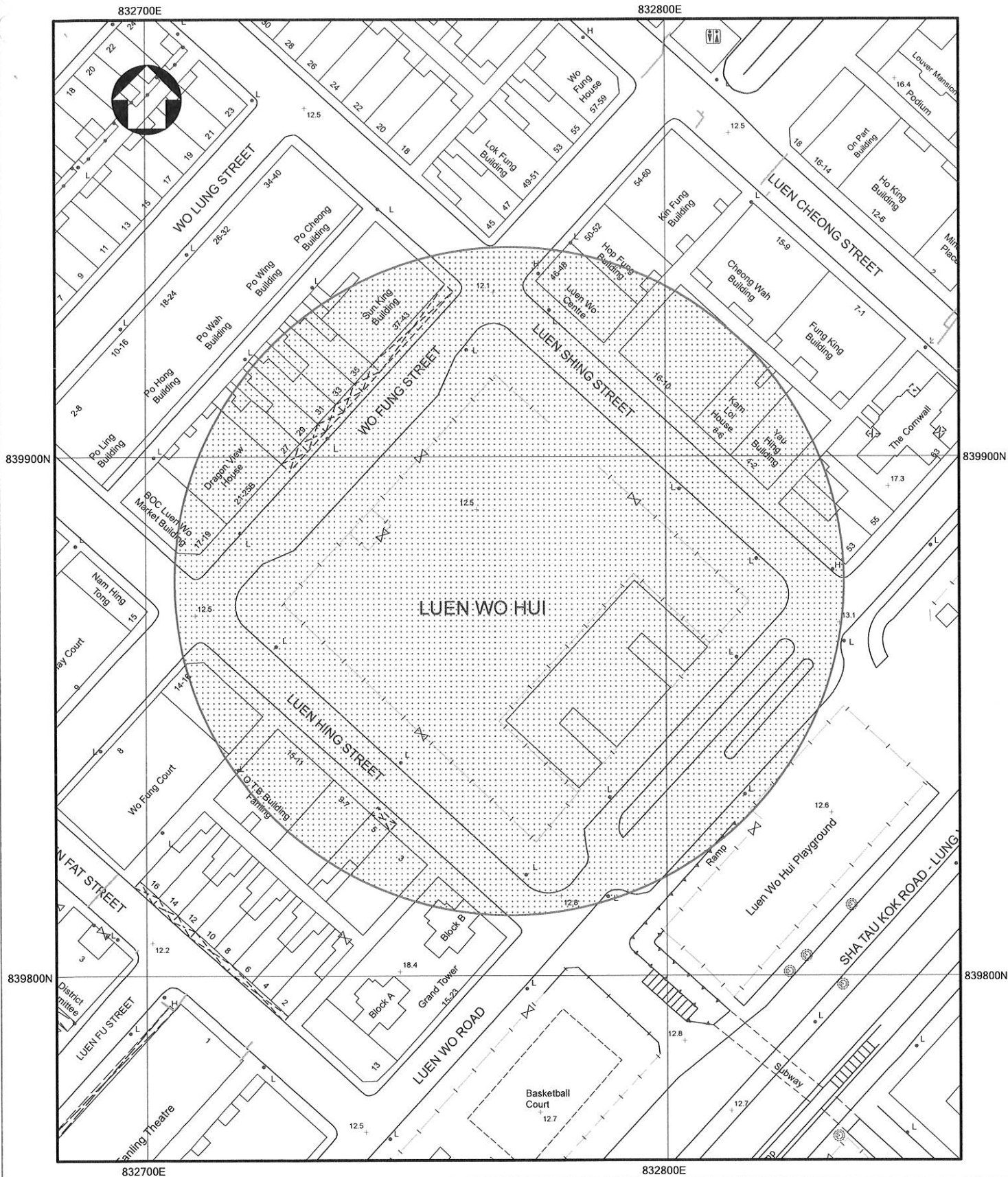
SUBJECT SITE  


PART COPY OF FRESH WATER MAINS RECORD PLAN(S)

W67880/3-SW-7D

REF. CODE: 03W16M      SHEET 1 OF 1      SCALE 1:1000





**LEGEND:**

- 1. FRESH WATER MAINS WITH AC MATERIAL
- 2. FRESH WATER MAINS WITH UNKNOWN MATERIAL
- 3. SALT WATER MAINS WITH AC MATERIAL
- 4. SALT WATER MAINS WITH UNKNOWN MATERIAL

**SUBJECT SITE**



**SUPPLEMENTARY INFORMATION OF ASBESTOS CEMENT (AC) OR UNKNOWN WATER MAINS**

**IMPORTANT:** Please note that existing asbestos cement (AC) or unknown water pipes are identified in the vicinity of your project/works area. It is very likely that the unknown water pipes are AC water pipes. You are strongly advised to make special provisions including monitoring measures as necessary to protect these water pipes that are vulnerable to damage. Should diversion/replacement of AC or unknown water pipes be found necessary to be carried out in conjunction with your proposed works after detailed investigations or studies, you should instruct your consultants and/or contractors (as the case may be) to take all necessary measures during design and/or construction stages (as the case may be) to comply with all prevailing statutory requirements for the safe handling, removal, transportation and disposal of AC pipes.

PART COPY OF SURVEY SHEET NO(S).

**3-SW-7D**

SHEET 1 OF 1

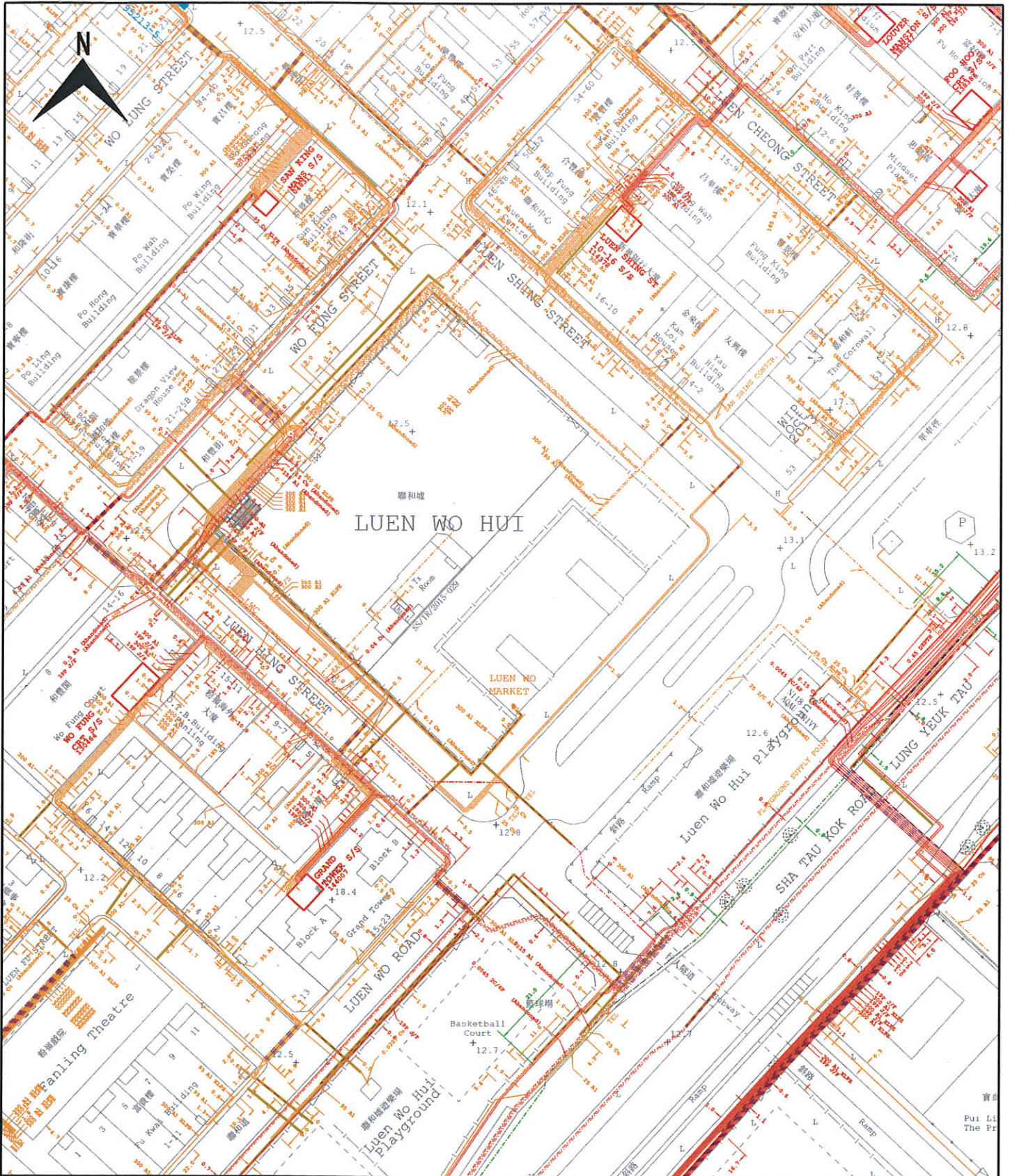
SCALE 1:1000



水務署  
Water Supplies Department

**Appendix XV (C)**

**Record Plan of the CLP Power Hong Kong Ltd.**



**Legend**

- |                                     |                                       |
|-------------------------------------|---------------------------------------|
| 400kV CABLE / SUBMARINE CABLE / OHL | LOW VOLTAGE CABLE                     |
| 400kV OVERHEAD LINE TOWER           | LOW VOLTAGE OVERHEAD LINE (1 PHASE)   |
| 132kV CABLE / SUBMARINE CABLE / OHL | LOW VOLTAGE OVERHEAD LINE (3 PHASE)   |
| 132kV OVERHEAD LINE TOWER           | LV OVERHEAD LINE (ABC / Wall Mounted) |
| 33kV CABLE                          | LOW VOLTAGE OVERHEAD LINE (PVC)       |
| 33kV SUBMARINE CABLE                | PILOT CABLE                           |
| 33kV OVERHEAD LINE                  | TEMPERATURE SENSING CABLE (DTS)       |
| ABANDONED TRANSMISSION CABLE        | FIBRE OPTIC CABLE                     |
| 11kV CABLE                          | AERIAL EARTH WIRE (AEW)               |
| 11kV SUBMARINE CABLE                | OVERHEAD LINE FIBRE OPTIC             |
| 11kV OVERHEAD LINE                  | SHALLOW COVER INSTALLATION            |
|                                     | DUCT LINE                             |

ALL LOCATIONS, MEASUREMENTS, DIMENSIONS AND DISTANCES ARE FOR CLP POWER INTERNAL USE ONLY. THEY SHOULD NOT BE SCALED AND ASSUMED ACCURATE. CLP POWER ACCEPTS NO RESPONSIBILITY IN THE EVENT OF ANY INACCURACY. EXTREME CARE MUST BE EXERCISED WHEN WORKING IN CLOSE PROXIMITY TO OUR EQUIPMENT. PLEASE CONTACT OUR REGIONAL OFFICE AS SOON AS YOU ARE READY TO COMMENCE WORK.

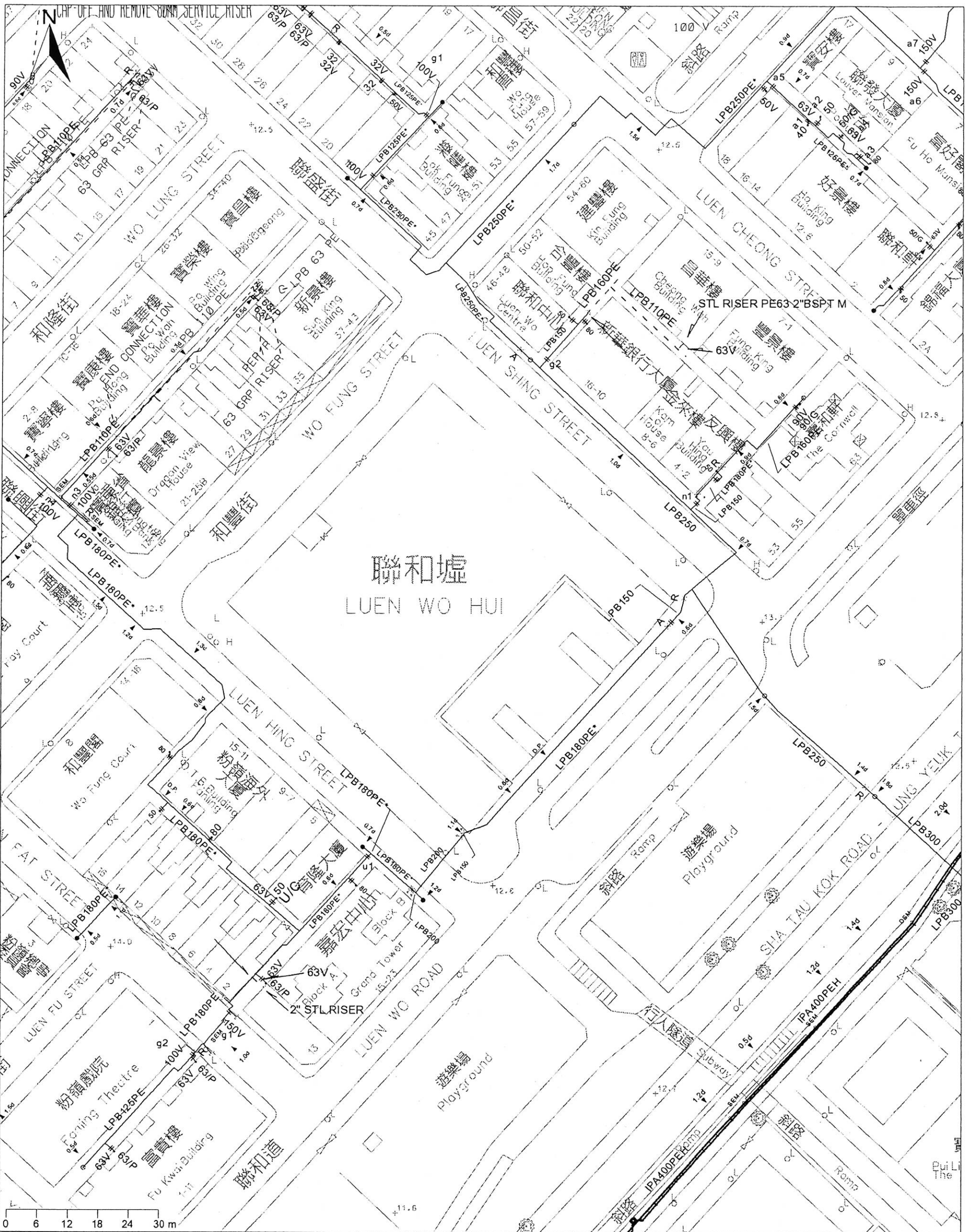
MAP NO: CLP Facility Records Map  
03SW07D

SCALE: 1:1000

PRINTED ON: 15-01-2016

**Appendix XV (D)**

**Record Plan of the Hong Kong and China Gas Company Ltd.**



**煤氣**  
**Towngas**

香港中華煤氣有限公司  
The Hong Kong and China Gas Company Limited

輸氣操作部

時間：16:28:44

比例：1 : 1000

圖例：

LPA	現有低壓A管線 (2千帕以下)	鋼蓋板
LPB	現有低壓B管線 (2-7.5千帕)	冷浸液罐
MP	現有中壓管線 (7.5-240千帕)	無縫鋼的冷浸液罐/放散點
IPA	現有次高壓A管線 (240-400千帕)	閘門
IPB	現有次高壓B管線 (400-700千帕)	窰蓋井
HP	現有高壓管線 (700千帕以上)	橡膠保護裝置
PE	設有可探察管徑的聚乙烯管線	裂縫管線
PE*	沒有可探察管徑的聚乙烯管線	大起埋深 (米)
RP	專用管線	管網通訊管

圖則顯示的管道位置只作參考之用。其實際位置及深度仍須以人手開挖探孔確定。在煤氣管道設施附近施工期間，必須要加倍小心。

檢查日期： Dec 16 2015

**Appendix XV (E)**

**Record Plan of Drainage Services Department**



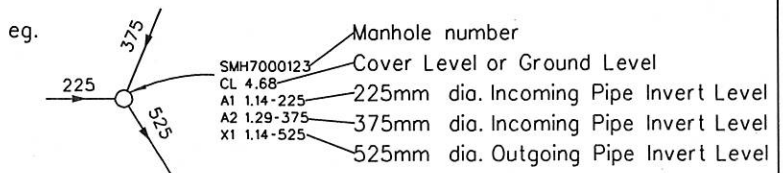
# Legend for Drainage Record Plan

<p>○ Storm Water Manhole</p> <p>⊙ Storm Water Terminal Manhole</p> <p>□<sup>SSH</sup> Storm Water Special Manhole</p> <p>□ Sewer Manhole</p> <p>□<sup>FSH</sup> Sewer Terminal Manhole</p> <p>□ Sewer Special Manhole</p> <p>■ Combined Manhole</p> <p>● Catchpit</p> <p>⊗ Desilting Opening</p> <p>○<sup>ZIA</sup> Inspection Opening</p> <p>□<sup>DWF Interceptor</sup> Dry Weather Flow Interceptor</p> <p>□ Sand Trap</p> <p>→ Inlet</p> <p>← Outlet</p> <p>⊙/⊙ Gully Sump / Gully</p> <p>H/H Tapping Point (Storm/Sewer)</p> <p>⊗/⊗ Overflow (Sewer/Combined)</p> <p>⊗ Interface Valve Chamber</p> <p>▬ Oil / Petrol Interceptor</p> <p>⊗ Valve</p> <p>▬ Water Gauge</p> <p>+ / + Spot Level (Storm/Sewer)</p> <p>▬ / ▬ Tunnel / Box Culvert (Storm/Sewer)</p> <p>▬ Drainage Reserve</p> <p>▬ Tunnel Protection Zone</p> <p>SYJXXXXXX 450-LEFT</p> <p>FYJXXXXXX 450-LEFT</p> <p>CYJXXXXXX 450-LEFT</p> <p>Existing Y-Junction (Storm/Sewer/Combined)</p>	<p>→ Existing Pipe (Storm/Sewer/Combined)</p> <p>-I-X-I Existing Pipe (Storm/Sewer/Combined) (Planning / Identifying to be Abandoned)</p> <p>-P-P- Proposed Pipe (Storm/Sewer)</p> <p>- - - Works In Progress Pipe (Storm/Sewer)</p> <p>-N-N- Not Yet Commissioned Pipe (Storm/Sewer)</p> <p>X-X-X-X Abandoned Pipe</p> <p>X-X-X-X Abandoned Pipe (Filled with Materials)</p> <p>→<sup>UC / SC</sup> Existing U Channel / Stepped Channel (Storm)</p> <p>-P-<sup>UC / SC</sup>-P- Proposed U Channel / Stepped Channel (Storm)</p> <p>- - -<sup>UC / SC</sup> Works In Progress U Channel / Stepped Channel (Storm)</p> <p>→<sup>RM</sup> Rising Main</p> <p>→<sup>vs</sup> Vacuum Sewer</p> <p>▲ Slope Sign Board</p> <p>11SW-D/CR888 Slope Number</p> <p>▬ Slope Boundary</p> <p>2100 SUBMARINE OUTFALL</p> <p>↑↑↑↑↑ Existing Submarine Outfall with Diffuser</p> <p>2100 SUBMARINE OUTFALL</p> <p>-P-P-P-P-P-P-P-↑↑↑↑↑ Proposed Submarine Outfall with Diffuser</p> <p>2100 SUBMARINE OUTFALL</p> <p>- - - ↑↑↑↑↑ Works In Progress Submarine Outfall with Diffuser</p> <p>▬<sup>SSDS(100)</sup> Harbour Area Treatment Scheme Sewage Tunnel Protection Area (100m width) <small>(Please note that all proposed works within the HATS Sewage Tunnel Protection Area have to be complied with the requirements in the Environment, Transport and Works Bureau Technical Circular (Works) No.28/2003 or the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers No. APP-62 issued by the Buildings Department)</small></p> <p>▬<sup>SSDS(200)</sup> Harbour Area Treatment Scheme Sewage Tunnel Outer Protection Area (200m width) <small>(Please note that all proposed works within the HATS Sewage Tunnel Protection Area have to be complied with the requirements in the Environment, Transport and Works Bureau Technical Circular (Works) No.28/2003 or the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers No. APP-62 issued by the Buildings Department)</small></p>
---	---

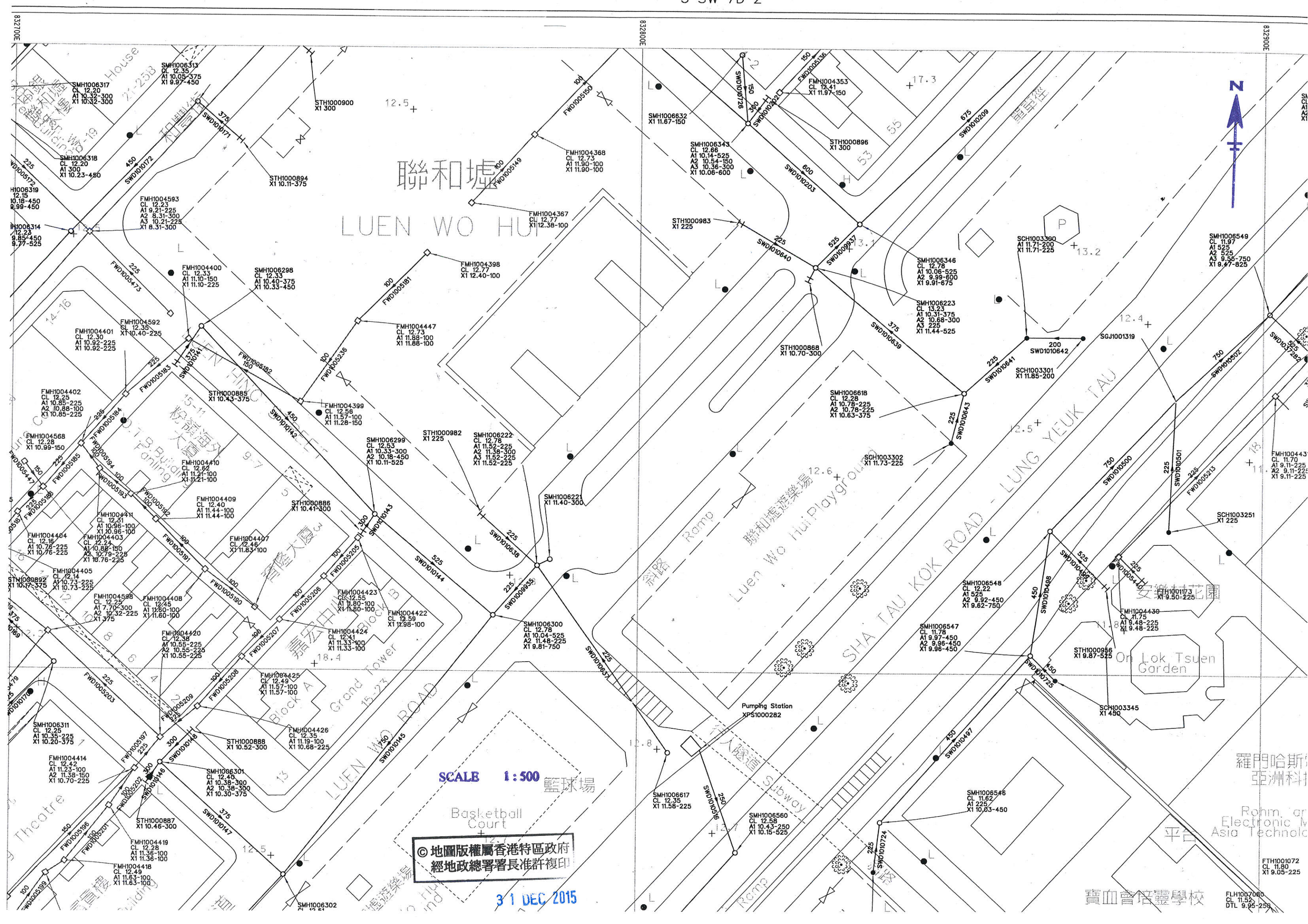
## Notes :

1. All levels are given in metres above principal datum.
2. All dimensions shown are in millimetres unless otherwise stated.
3. The information shown on the record drawings are subject to verification on site and no guarantee can be given that this is a complete record.
4. Abbreviations for Channels of width smaller or equal to 1200mm:  
 900C = 900mm width Surface Channel  
 900SC = 900mm width Stepped Channel  
 900UC = 900mm width U Channel  
 900DWF = 900mm width Dry Weather Flow Channel

5. The Incoming Pipes are marked A1, A2, A3, ... counting clockwise from the first Outgoing Pipe X1. Outgoing Pipes are marked X1, X2, X3 ... counting clockwise from North.



6. Piling foundations on culverts may be present but not shown for brevity. Please refer to the relevant as-built drawings on details of the pile foundation.
7. Drainage facilities maintained by other parties, if shown, are indicative only. It is no guarantee that these information are exact.



聯和墟  
LUEN WO HUI



SCALE 1 : 500

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經地政總署署長准許複印

31 DEC 2015

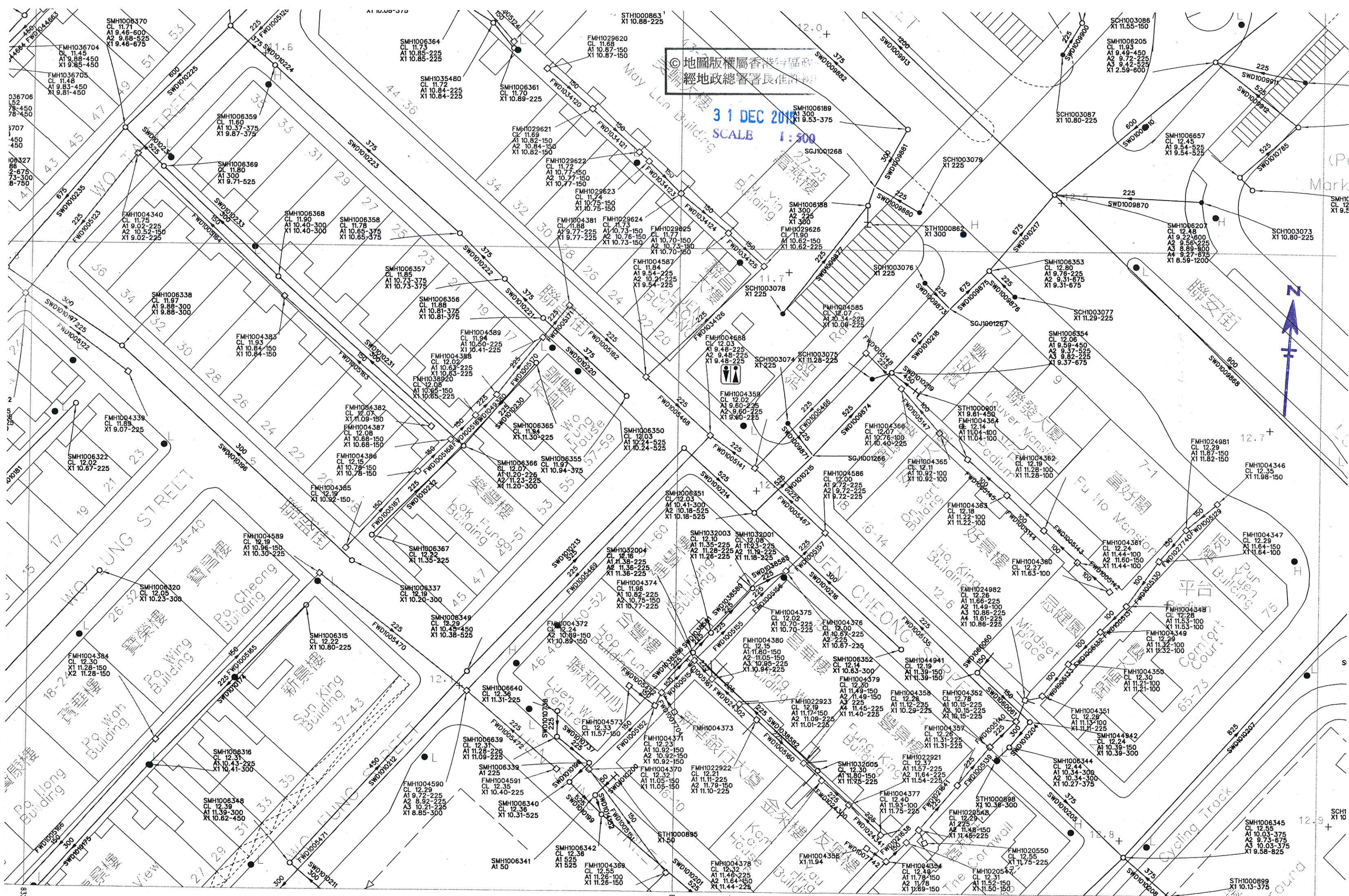
寶血會培靈學校

羅門哈斯  
亞洲科

Rohm or  
Electronic M  
Asia Technol

FTH1001072  
CL 11.80  
X1 9.05-225

FLH1007080  
CL 11.52  
DTL 9.95-259



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經地政總署署長准許

31 DEC 2010  
SCALE 1:500



**Appendix XV (F)**

**Reply Letter of Electrical and Mechanical Services Department**

# 機電工程署 EMSD

香港特別行政區政府機電工程署  
香港九龍啟成街3號  
Electrical and Mechanical Services Department  
Government of the Hong Kong Special Administrative Region  
3 Kei Shing Street, Kowloon, Hong Kong  
www.emsd.gov.hk

Our reference 本署檔號：(79) in EMSD TSCS3/Joint/84/15 pt. 297

Telephone 電話號碼：3155 4232

Your reference 來函檔號：151208/RKLWM/20160329

Facsimile 圖文傳真：2365 1286

11 April, 2016

By Fax: 2590 8930

MCAA Limited  
Unit F, 7/F, Joint Venture Factory Building,  
76 Hung To Road,  
Kwun Tong,  
Kowloon.

Dear Sir,

## **Road Opening Notice**

I refer to your letter ref.: 151208/RKLWM/20160329 dated 29-Mar-2016. Our apparatus including ducts and cables may be in the vicinity of your works. You are required to take all necessary precautions in your excavation work to ensure that our apparatus or cables will not be damaged or adversely affected in anyway. You are requested not to plan or construct any of your equipment at the locations occupied by our apparatus including cable ducting and cables.

The complete set of latest information showing the location of traffic signal and related equipment maintained by this department is located in TSCS3 sub-division, 3rd floor, Room 3010, 3 Kai Shing Street, Kowloon Bay. These information are available for your checking free of charge. We strongly suggest you to check our information and mark up the locations of our equipment, ducts and cables on your drawings or sketches so that you can effectively comply with our requirement mentioned in the above paragraph. Kindly call our Mr. W. S. WONG at telephone no. 3155 4245 and Mr. K. T. LEUNG at telephone no. 3155 4233 during normal office hours to make prior appointment to view the relevant information.

Thank you.

Yours faithfully



(PO Yuet-ming)  
for Director of Electrical and Mechanical Services

**Appendix XV (G)**

**Reply Letter of MTR**

MCAA  
Unit F, 7/F, Joint Venture Factory Building,  
76 Hung To Road  
Kwun Tong, Kowloon  
Attention: Mr. Michael Chiang, Authorized Person

Your ref: 151208/RKLWM/20160329

Our ref: (E008134) in O/RAP/FAN

7 April 2016  
By post

Dear Sir,

**Resource Kit for Luen Wo Market, Fanling**  
**Request for Existing Utility Services Information**

We refer to your letter dated 29 March 2016 regarding the request for updated utility plan and advise that your proposed works at Luen Wo Market fall outside our railway protection boundary. As such, there should be no relevant record plans to be provided.

For other ground investigation works within RP Boundary, you are required to write to notify the undersigned one month in advance before work commencement. You may search the record RP Boundary Plan for your necessary reference at below link:

([http://www.mtr.com.hk/en/corporate/operations/protection\\_boundary\\_map.html](http://www.mtr.com.hk/en/corporate/operations/protection_boundary_map.html))

Should you have any queries, please contact our Ms. Florence Cheung on 2688 1828 or the undersigned on 2688 1719.

Sincerely,



YEUNG Tin Wai Walter  
For Railway Protection & Land Survey Manager  
TWY/FC  
Enclosure: nil

**Appendix XV (H)**

**Reply Letter of the Hong Kong Broadband Network Ltd.**





Our Ref.: 151208/RKLWM/20151209 A  
09 December 2015

By Fax & Post

- 023 New World Telecommunication Ltd.
- 024 Wharf T&T Ltd.
- 025 Smartone Mobile Communications Ltd.
- 026 Towngas Telecommunication Fixed Network Ltd.
- 027 TraxComm Ltd.
- 028 Hong Kong Cable TV Ltd.
- 029 Hong Kong Broadband Network Ltd.
- 030 ComNet Telecom (HK) Ltd.

*Fanling*  
 RECEIVED  
 15 DEC 2015  
 BY: *HY*

Dear Sirs,

**Resource Kit for Luen Wo Market, Fanling**  
**Request for Existing Utility Services Information**


We are the Authorized Person For the captioned project. A block location plan is enclosed herewith for your easy reference.

We would appreciate it for you could furnish us with the existing plans in the vicinity of the captioned site.

Please also advise us on the followings:-

- 1).Confirmation if you will provide your services for the captioned project.
- 2).Confirmation if you wish to provide and install the main block wiring system with the building. If so, please advise what are the facilities/installation that you will offer to the project for the developer's consideration.
- 3).Your interest to be invited as a communication co-ordination among all communication companies.

Should you have any query, please do not hesitate to contact our Mr. Benny at 2960 1308.

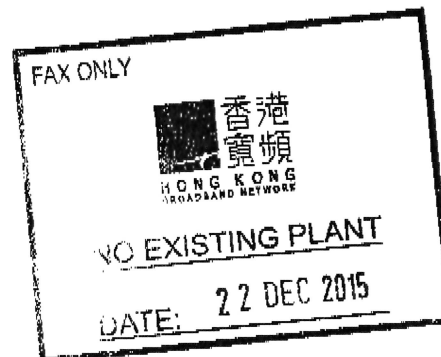


Your faithfully,

Michael Chiang  
Authorized Person

Encl.

MC/BC/KL



address\_ Unit F, 7/F,  
 Joint Venture Factory Building,  
 76 Hung To Road,  
 Kwan Tong, Kowloon  
 九龍觀塘鴻圖道76號  
 聯運工業大廈7樓F室

tel\_ (852) 2960 1308  
 fax\_ (852) 2590 8950  
 e-mail\_ mcaa@mcaal.net  
 mcaal.net@gmail.com

**Appendix XV (I)**

**Reply Letter of the TraxComm Ltd.**

- 5 JAN 2016  
TraxComm Limited

MTR Headquarters Building,  
Telford Plaza, Kowloon Bay,  
Kowloon, Hong Kong.  
香港九龍灣德福廣場  
港鐵總部大樓

Telephone / 電話 : (852) 2993 8333  
Facsimile / 傳真 : (852) 2993 7781



**TRAX**comm

Date: 4 January 2016

Our Ref: TRX/LTR/0017/2016

**By Post & Fax (2590 8930)**

**MCAA**

Unit F, 7/F,  
Joint Venture Factory Building,  
76 Hung To Road,  
Kwun Tong, Kowloon

Attn: Mr. Michael Chiang

Dear Mr. Chiang,

**Resource Kit for Luen Wo Market, Fanling**  
**Request for Existing Utility Services Information**

Reference is made to your letter of **Ref.: 151208/RKLWM/20151209A** dated 9 December 2015.

Please be advised that at present we have no network facility within and adjacent to the captioned site.

Yours faithfully,

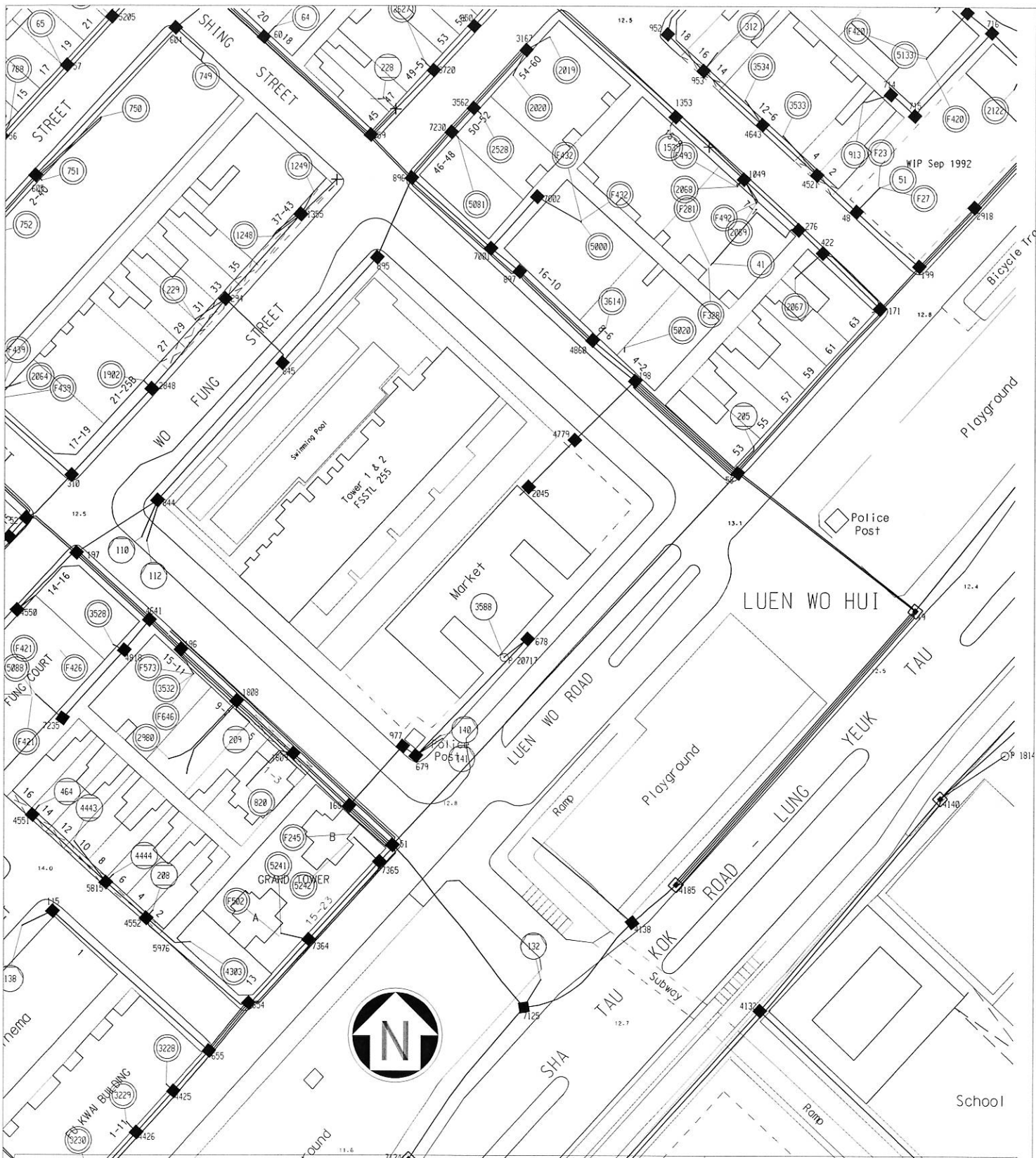


\_\_\_\_\_  
Kenny Lee  
Senior Engineer  
For and on behalf of TraxComm Ltd.

Encl  
VC/sl

**Appendix XV (J)**

**Record Plan of the HKT**



- NOTES :
- EXCEPT FOR YOUR PROSPECTIVE CONTRACTORS/EMPLOYEES. THIS DRAWING MUST NOT BE RELEASED TO THIRD PARTY WITHOUT HK TELEPHONE'S WRITTEN APPROVAL.
  - THIS INFORMATION IS ACCURATE AT THE DATE BELOW. BUT FURTHER ALTERATIONS/AUGMENTATION MAY TAKE PLACE IN THE FUTURE.
  - THE POSITION OF PLANT INDICATED ON THIS DRAWING IS APPROXIMATELY ONLY. ACTUAL DEPTH AND POSITION OF PLANT MUST BE ESTABLISHED BEFORE COMMENCEMENT OF WORK BECAUSE VARIATIONS OF DEPTH AND LINE MAY OCCUR. EXTREME CARE MUST BE EXERCISED WHEN EXCAVATIONS ARE MADE IN PROXIMITY TO SUCH PLANT.
  - REACH NETWORKS HONG KONG LIMITED'S PLANT INCLUDED.

KEY OF PLANT	EXISTING	PROPOSED
MANHOLE		
JOINT BOX		
DUCT		
CABLE		
POLE		
CABINET		
BURIED COUPLING		

# HKT

OUTSIDE PLANT SERVICES  
 EXCH. AREA : OLK  
 SURVEY MAP No. 03SW7D  
 REF. No. FS/NT/OPS/MR/OLK023/16/KKC  
 PREP. CCLAI SCALE 1 : 1000  
 CKD. SPLLEE DATE 14/06/2016  
 DWG. No. MR/OLK023/16

**Appendix XV (K)**

**Reply Letter of the TVB Network Vision Limited**

12 MAY 2016



Date: 5 May 2016

Our Ref: TVBNV/A2016/OL0153

By Fax 2590-8930 and Post

MCAA Limited  
Unit F, 7/F  
Joint Venture Factory Building  
76 Hung To Road  
Kwun Tong, Kowloon

Dear Mr. Michael Chiang,

**Re: Resource Kit for Luen Wo Market, Fanling  
Request for Existing Utility Services Information**

This refers to your letter [Ref.: 151208/RKLWM/20160426] dated 26 April 2016 regarding the captioned subject.

After review, please be kindly informed that TVB Network Vision has no any existing facilities or services in your working sites.

Meanwhile, we are pleased to introduce that TVB Network Vision Limited is one of the Pay TV Services Provider in Hong Kong and we are interested to provide Pay-TV services at the abovementioned location in the near future. We would be grateful to receive fur ther on-site construction information once ready for our necessary network planning and design.

As our technology is different from Fixed Telecommunication Network Services (FTNS), we regret to inform our declination of your invitation to provide and install the main block wiring system with the building as well as to be a communication coordinator among all communication companies for the captioned project.

Should you have any enquiries, please do not hesitate to contact the undersigned at **2399-9544**.

Thank you for your kind attention.

Yours faithfully,

A handwritten signature in blue ink, appearing to be "Joe Wong", written over a horizontal line.

Joe Wong  
Commercial Officer  
Business and Network Operation

A small logo consisting of the letters "SS" in a stylized font.

**Appendix XVI**

**Utilities Survey Drawing**



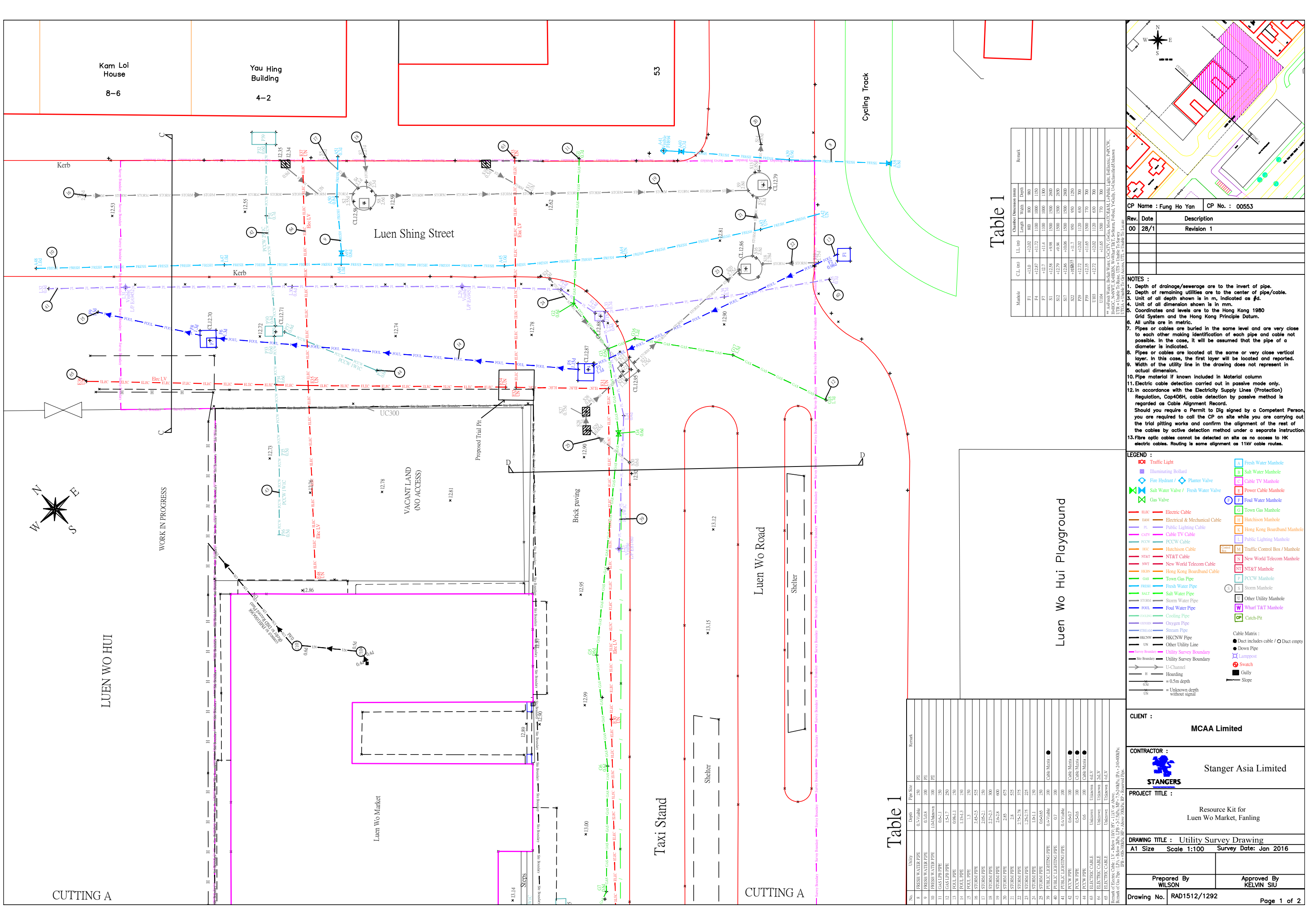


Table 1

Manhole	C.L. (m)	Chamber Dimensions (mm)			Remark
		Length	Width	Depth	
F1	+13.00	+12.02	800	800	
F4	+12.87	+11.72	1000	1000	
F4	+12.87	+11.72	1000	1000	
F7	+12.17	+11.4	1000	1000	
S1	+12.58	+9.98	1500	1500	
S17	+12.79	+9.94	1500	1500	
S17	+12.86	+10.06	1500	1500	
S22	+10.85	+11.7	950	950	
P29	+12.72	+12.02	1200	630	
P29	+12.35	+11.65	1500	770	
P29	+12.72	+12.02	1200	630	
U104	+11.65	+15.00	770	700	

\* Fresh Water, B.S.H. Water, C.C.A.T.V., G.D.A.A., M.A.T.C.E.A.M., L.A. Public Light, L.A. Electric, P.A.P.C.W., H.H.R.C., N.A.W.T., K.H.R.H.N., W.A.H.F., P.R.T., S.S.Storm, F.P.O.U., Y.G.A.I.L., L.A. (Public Field) Urban U.T.G.A. = Unable to Get Access, U.T.L. = Unable to Locate

Rev.	Date	Description
00	28/1	Revision 1

- NOTES :
- Depth of drainage/sewerage are to the invert of pipe.
  - Depth of remaining utilities are to the center of pipe/cable.
  - Unit of all depth shown is in m, indicated as #d.
  - Unit of all dimension shown is in mm.
  - Coordinates and levels are to the Hong Kong 1980 Grid System and the Hong Kong Principle Datum.
  - All units are in metric.
  - Pipes or cables are buried in the same level and are very close to each other making identification of each pipe and cable not possible. In the case, it will be assumed that the pipe of a diameter is indicated.
  - Pipes or cables are located at the same or very close vertical layer. In this case, the first layer will be located and reported.
  - Width of the utility line in the drawing does not represent in actual dimension.
  - Pipe material if known included in Material column.
  - Electric cable detection carried out in passive mode only.
  - In accordance with the Electricity Supply Lines (Protection) Regulation, Cap406H, cable detection by passive method is regarded as Cable Alignment Record.
  - Should you require a Permit to Dig signed by a Competent Person, you are required to call the CP on site while you are carrying out the trial pitting works and confirm the alignment of the rest of the cables by active detection method under a separate instruction.
  - Fibre optic cables cannot be detected on site as no access to HK electric cables. Routing is same alignment as 11kV cable routes.

LEGEND :

	Traffic Light		Fresh Water Manhole
	Illuminating Bollard		Salt Water Manhole
	Fire Hydrant / Planter Valve		Cable TV Manhole
	Salt Water Valve / Fresh Water Valve		Power Cable Manhole
	Gas Valve		Foul Water Manhole
	Electric Cable		Town Gas Manhole
	Electrical & Mechanical Cable		Hutchison Manhole
	Public Lighting Cable		Hong Kong Boardman Manhole
	Cable TV Cable		Public Lighting Manhole
	P.C.C.W. Cable		Traffic Control Box / Manhole
	Hutchison Cable		New World Telecom Manhole
	New World Telecom Cable		NT&T Manhole
	Hong Kong Boardman Cable		P.C.C.W. Manhole
	Town Gas Pipe		Storm Manhole
	Fresh Water Pipe		Other Utility Manhole
	Salt Water Pipe		Wharf T&T Manhole
	Storm Water Pipe		Catch-Pit
	Foul Water Pipe		
	Cooling Pipe		
	Oxygen Pipe		
	Steel Pipe		
	H.K.C.N.W. Pipe		
	Other Utility Line		
	Duct includes cable / O Duct empty		
	Down Pipe		
	Lamp-post		
	Swatch		
	Gully		
	Slope		

Table 1

No.	Utility	Depth	Pipe Size	Remark
8	FRESH WATER PIPE	0.7/cable	150 PE	
9	FRESH WATER PIPE	0.2-0.8	100 PE	
10	FRESH WATER PIPE	1.0/unknown	100 PE	
11	GAS L.P.R. PIPE	0.6-1.1	150	
12	GAS L.P.R. PIPE	1.5-1.7	250	
13	FOUL PIPE	0.98-1.1	150	
14	FOUL PIPE	1.1-1.3	150	
15	FOUL PIPE	1.3	150	
16	STORM PIPE	2.45-2.5	425	
17	STORM PIPE	2.05-2.1	300	
18	STORM PIPE	2.7-2.3	300	
19	STORM PIPE	2.4-2.4	600	
20	STORM PIPE	2.8	675	
21	STORM PIPE	2.8	525	
22	STORM PIPE	2.7-2.8	375	
23	STORM PIPE	1.2-2.1	225	
24	STORM PIPE	1.2-2.1	150	
25	PUBLIC LIGHTING PIPE	0.6-0.65	150	Cable Matrix
26	PUBLIC LIGHTING PIPE	0.7	100	Cable Matrix
41	PUBLIC LIGHTING PIPE	0.6-0.6	100	Cable Matrix
42	P.C.C.W. PIPE	0.5-0.6	100	Cable Matrix
43	P.C.C.W. PIPE	Unknown	Unknown	44LV
44	P.C.C.W. PIPE	Unknown	Unknown	24LV
45	ELECTRIC CABLE	Unknown	Unknown	44LV
46	ELECTRIC CABLE	Unknown	Unknown	44LV

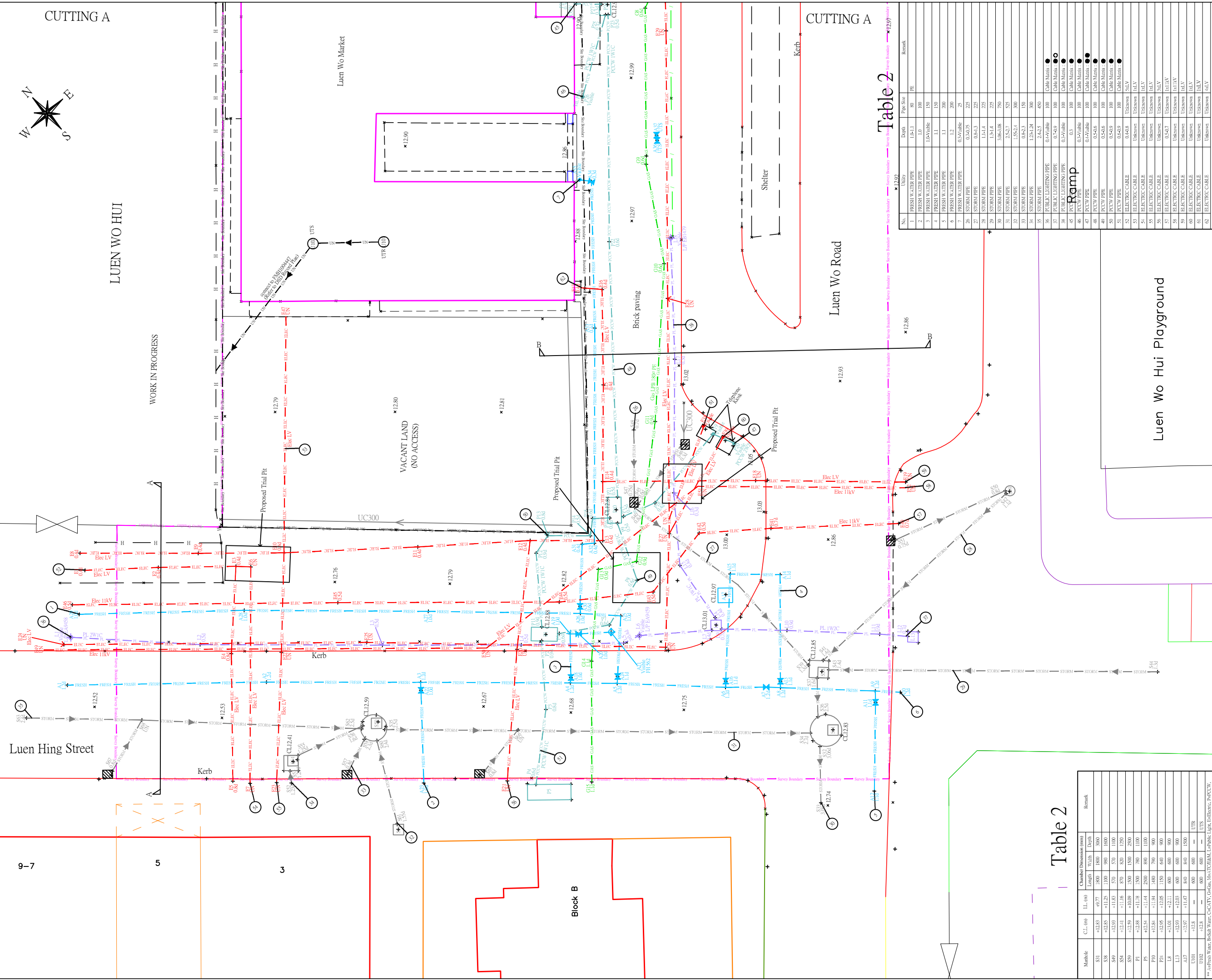
Remark of Electric Cable: LV - Below 11kV; HV - 11kV or above.  
 Remark of Gas Pipe: L.P.R. - 0.65/0.85; H.P. - Above 0.85; R.P. - Reserved Pipe.

CLIENT :	MCAA Limited
CONTRACTOR :	Stanger Asia Limited
PROJECT TITLE :	Resource Kit for Luen Wo Market, Fanling
DRAWING TITLE :	Utility Survey Drawing
A1 Size	Scale 1:100
Survey Date:	Jan 2016
Prepared By	Approved By
WILSON	KELVIN SIU
Drawing No. RAD1512/1292	Page 1 of 2



CUTTING A

LUEN WO HUI



9-7

5

3

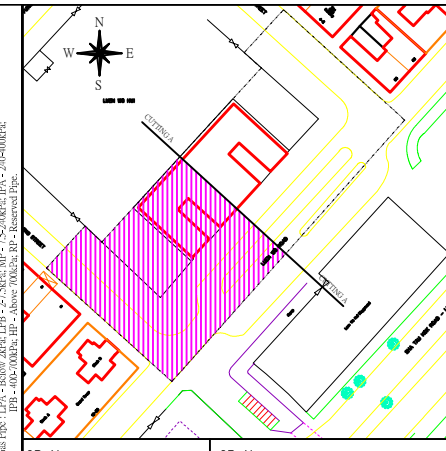
Block B

Table 2

No.	Utility	Pipe Size	Depth	Remark
1	FRESH WATER PIPE	1.0	100	FE
2	FRESH WATER PIPE	1.0	100	DAVARIABLE
3	FRESH WATER PIPE	1.1	150	
4	FRESH WATER PIPE	1.1	150	
5	FRESH WATER PIPE	1.2	200	
6	FRESH WATER PIPE	0.375	25	
7	FRESH WATER PIPE	0.2475	225	
8	STORM PIPE	0.84-1.3	225	
9	STORM PIPE	1.1-1.4	225	
10	STORM PIPE	3.06-3.08	750	
11	STORM PIPE	2.5-2.7	525	
12	STORM PIPE	1.58-2.4	300	
13	STORM PIPE	0.8-2.3	150	
14	STORM PIPE	1.2-1.24	300	
15	STORM PIPE	2.4-2.5	450	
16	PUBLIC LIGHTING PIPE	0.4-0.5	100	Cable Matrix
17	PUBLIC LIGHTING PIPE	0.7-0.9	100	Cable Matrix
18	PUBLIC LIGHTING PIPE	0.3-0.4	100	Cable Matrix
19	PCCW CABLE	0.3	100	Cable Matrix
20	PCCW CABLE	0.2-0.3	100	Cable Matrix
21	PCCW CABLE	0.2-0.3	100	Cable Matrix
22	PCCW CABLE	0.2-0.3	100	Cable Matrix
23	PCCW CABLE	0.2-0.3	100	Cable Matrix
24	PCCW CABLE	0.2-0.3	100	Cable Matrix
25	PCCW CABLE	0.2-0.3	100	Cable Matrix
26	PCCW CABLE	0.2-0.3	100	Cable Matrix
27	PCCW CABLE	0.2-0.3	100	Cable Matrix
28	PCCW CABLE	0.2-0.3	100	Cable Matrix
29	PCCW CABLE	0.2-0.3	100	Cable Matrix
30	PCCW CABLE	0.2-0.3	100	Cable Matrix
31	PCCW CABLE	0.2-0.3	100	Cable Matrix
32	PCCW CABLE	0.2-0.3	100	Cable Matrix
33	PCCW CABLE	0.2-0.3	100	Cable Matrix
34	PCCW CABLE	0.2-0.3	100	Cable Matrix
35	PCCW CABLE	0.2-0.3	100	Cable Matrix
36	PCCW CABLE	0.2-0.3	100	Cable Matrix
37	PCCW CABLE	0.2-0.3	100	Cable Matrix
38	PCCW CABLE	0.2-0.3	100	Cable Matrix
39	PCCW CABLE	0.2-0.3	100	Cable Matrix
40	PCCW CABLE	0.2-0.3	100	Cable Matrix
41	PCCW CABLE	0.2-0.3	100	Cable Matrix
42	PCCW CABLE	0.2-0.3	100	Cable Matrix
43	PCCW CABLE	0.2-0.3	100	Cable Matrix
44	PCCW CABLE	0.2-0.3	100	Cable Matrix
45	PCCW CABLE	0.2-0.3	100	Cable Matrix
46	PCCW CABLE	0.2-0.3	100	Cable Matrix
47	PCCW CABLE	0.2-0.3	100	Cable Matrix
48	PCCW CABLE	0.2-0.3	100	Cable Matrix
49	PCCW CABLE	0.2-0.3	100	Cable Matrix
50	PCCW CABLE	0.2-0.3	100	Cable Matrix
51	PCCW CABLE	0.2-0.3	100	Cable Matrix
52	PCCW CABLE	0.2-0.3	100	Cable Matrix
53	PCCW CABLE	0.2-0.3	100	Cable Matrix
54	PCCW CABLE	0.2-0.3	100	Cable Matrix
55	PCCW CABLE	0.2-0.3	100	Cable Matrix
56	PCCW CABLE	0.2-0.3	100	Cable Matrix
57	PCCW CABLE	0.2-0.3	100	Cable Matrix
58	PCCW CABLE	0.2-0.3	100	Cable Matrix
59	PCCW CABLE	0.2-0.3	100	Cable Matrix
60	PCCW CABLE	0.2-0.3	100	Cable Matrix
61	PCCW CABLE	0.2-0.3	100	Cable Matrix
62	PCCW CABLE	0.2-0.3	100	Cable Matrix

Table 2

Manhole	C.L. (m)	1/L (m)	Chamber Dimension (mm)	Length	Width	Depth	Remark
S31	+12.83	+9.77	1800	1800	3000		
S38	+12.85	+11.25	1100	980	1600		
S49	+12.93	+11.83	570	570	1100		
S54	+12.51	+11.16	870	830	1250		
S59	+12.59	+10.09	500	1500	2500		
P1	+12.88	+11.78	500	780	1100		
P10	+12.54	+11.44	2800	890	1100		
P24	+12.84	+12.05	1150	790	900		
L8	+13.01	+12.11	600	600	900		
L13	+12.93	+12.03	600	600	900		
A17	+12.97	+11.47	800	800	1500		
U101	+12.8	-	600	600	1500	UTR	
U102	+12.8	-	600	600	1500	UTR	



CP Name : Fung Ho Yan	CP No. : 00553
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Rev. Date	Description
00 28/1	Revision 1

- NOTES :
- Depth of drainage/sewerage are to the invert of pipe.
  - Depth of remaining utilities are to the center of pipe/cable.
  - Unit of all depth shown is in m, indicated as #d.
  - Unit of all dimension shown is in mm.
  - Coordinates and levels are to the Hong Kong 1980 Grid System and the Hong Kong Principle Datum.
  - All units are in metric.
  - Pipes or cables are buried in the same level and are very close to each other making identification of each pipe and cable not possible. In the case, it will be assumed that the pipe of a diameter is indicated.
  - Pipes or cables are located at the same or very close vertical layer. In this case, the first layer will be located and reported.
  - Width of the utility line in the drawing does not represent its actual dimension.
  - Pipe material if known included in Material column.
  - Electric cable detection carried out in passive mode only.
  - In accordance with the Electricity Supply Lines (Protection) Regulation, Cap406H, cable detection by passive method is regarded as Cable Alignment Record.
  - Should you require a Permit to Dig signed by a Competent Person, you are required to call the CP on site while you are carrying out the trial pitting works and confirm the alignment of the rest of the cables by active detection method under a separate instruction.
  - Fibre optic cables cannot be detected on site as no access to HK electric cables. Routing is same alignment as 11kV cable routes.

LEGEND :

	Traffic Light		Fresh Water Manhole
	Illuminating Bollard		Salt Water Manhole
	Fire Hydrant / Planter Valve		Cable TV Manhole
	Salt Water Valve / Fresh Water Valve		Power Cable Manhole
	Gas Valve		Foul Water Manhole
	Electric Cable		Town Gas Manhole
	Electrical & Mechanical Cable		Hatchison Manhole
	Public Lighting Cable		Hong Kong Boardband Manhole
	Cable TV Cable		Public Lighting Manhole
	PCCW Cable		Traffic Control Box / Manhole
	Hatchison Cable		New World Telecom Manhole
	NT&T Cable		NT&T Manhole
	New World Telecom Cable		PCCW Manhole
	Hong Kong Boardband Cable		Storm Manhole
	Town Gas Pipe		Other Utility Manhole
	Fresh Water Pipe		Wharf T&T Manhole
	Salt Water Pipe		Catch-Pit
	Storm Water Pipe		
	Foul Water Pipe		
	Oxygen Pipe		
	Steam Pipe		
	HKCNW Pipe		
	Other Utility Line		
	Utility Survey Boundary		
	Site Boundary		
	L-Channel		
	Hoarding		
	= 0.5m depth		
	= Unknown depth without signal		

Cable Matrix :  
 ● Duct includes cable / ○ Duct empty  
 ○ Down Pipe  
 ⊕ Lamp Post  
 ⊗ Swatch  
 ⊠ Gully  
 ⊔ Slope

CLIENT : MCAA Limited

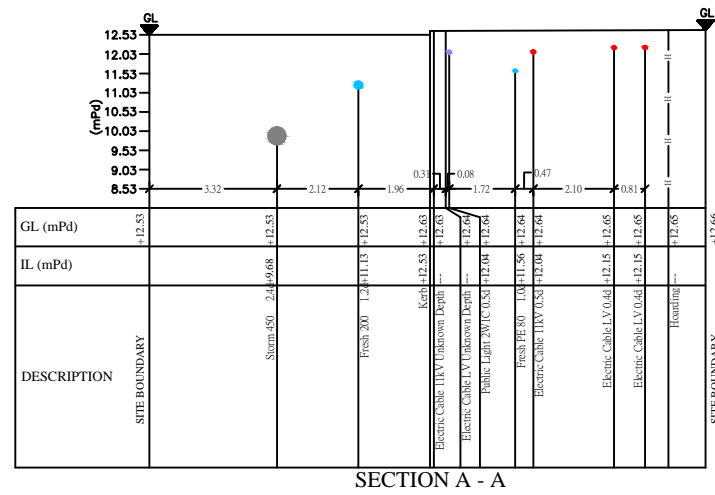
CONTRACTOR : Stanger Asia Limited

PROJECT TITLE : Resource Kit for Luen Wo Market, Fanling

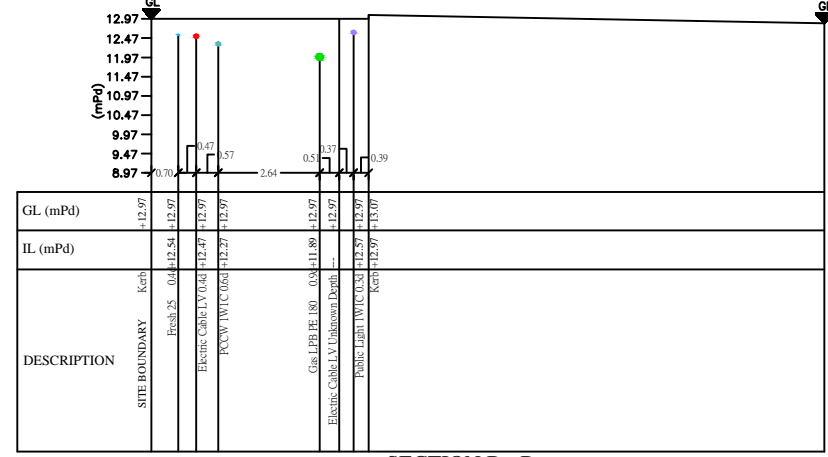
DRAWING TITLE : Utility Survey Drawing  
 A1 Size Scale 1:100 Survey Date: Jan 2016

Prepared By: WILSON Approved By: KELVIN SIU

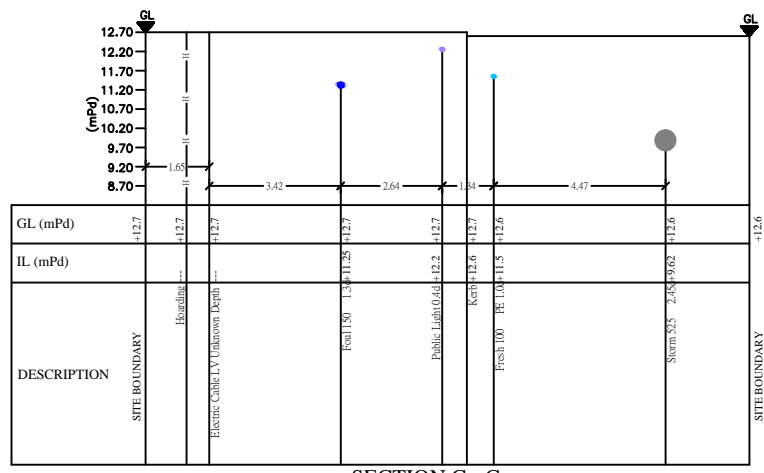
Drawing No. RAD1512/1292 Page 2 of 2



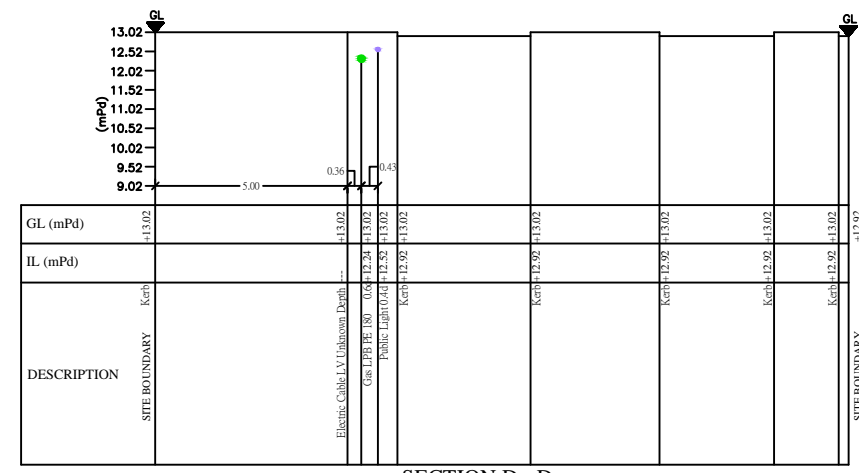
SECTION A - A



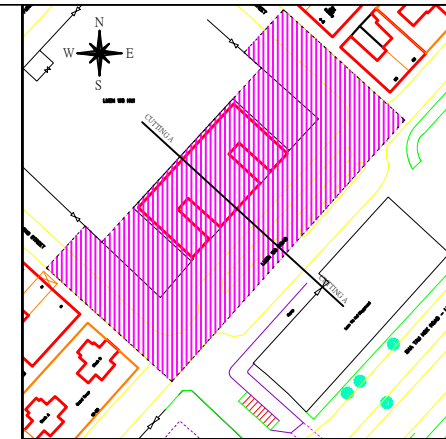
SECTION B - B



SECTION C - C



SECTION D - D



CP Name : Fung Ho Yan	CP No. : 00553	
Rev.	Date	Description
00	28/1	Revision 1

- NOTES :**
- Depth of drainage/sewerage are to the invert of pipe.
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  - Unit of all dimension shown is in mm.
  - Coordinates and levels are to the Hong Kong 1980 Grid System and the Hong Kong Principle Datum.
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  - Pipes or cables are buried in the same level and are very close to each other making identification of each pipe and cable not possible. In the case, it will be assumed that the pipe of a diameter is indicated.
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  - In accordance with the Electricity Supply Lines (Protection) Regulation, Cap406H, cable detection by passive method is regarded as Cable Alignment Record.
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**LEGEND :**

	Traffic Light		Fresh Water Manhole
	Illuminating Bollard		Salt Water Manhole
	Fire Hydrant / Planter Valve		Cable TV Manhole
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	Storm Water Pipe		
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	Cooling Pipe		
	Oxygen Pipe		
	Stream Pipe		
	HKCNW Pipe		
	Other Utility Line		
	Utility Survey Boundary		
	Utility Survey Boundary		
	U-Channel		
	Hoarding		
	= 0.5m depth		
	= Unknown depth without signal		

**Cable Matrix :**

- Duct includes cable / ○ Duct empty
- Down Pipe
- Lamp-post
- Swatch
- Gully
- Slope

CLIENT :	MCAA Limited		
CONTRACTOR :	Stangers Asia Limited		
PROJECT TITLE :	Resource Kit for Luen Wo Market, Fanling		
DRAWING TITLE :	Utility Survey Drawing		
A1 Size	Scale 1:100	Survey Date: Jan 2016	
Prepared By	WILSON	Approved By	KELVIN SIU
Drawing No.	RAD1512/1292 (Cross Section)		