

Revitalising Historic Buildings

Through Partnership Scheme

Former North Kowloon Magistracy

Resource Kit

Date: 6 July 2020



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I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

Section I	Introduction;
Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Slope Maintenance;
Section X	Technical Compliance for Possible Uses; and
Section XI	Special Requirements of the Project

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory requirements.

We appreciate that 1.2 (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (i) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance (Cap.123). The need for preserving the significant architectural features, site constraints and / or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and
- (ii) every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.

1.3 We have listed out a number of uses under Outline Zoning Plan which can be considered for adaptive-reuse of the site. However, the technical feasibility of such a case will need to be further examined.

1.4 The dimensions, areas and datum levels presented in this resource kit including the

drawings and perspectives are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorised specialists to verify the dimensions, areas and datum levels before detailed design is carried out.

- 1.5 The information that has been assembled is to give a general understanding of the site and the historic buildings. Key parameters available at the time of preparation of the resource kit are for the applicants' convenience and may not be exhaustive. Because of the unique nature and requirements of each proposal, applicants are strongly advised to verify the provided data before finalising their proposals.
- 1.6 The Secretariat of the Revitalisation Scheme will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Secretariat at:-

Address: Revitalising Historic Buildings Through Partnership Scheme
Secretariat
c/o Commissioner for Heritage's Office, Development Bureau

Unit 701B, 7/F., Empire Centre,
68 Mody Road, Tsim Sha Tsui East,
Kowloon, Hong Kong

Email: rhb_enquiry@devb.gov.hk

Phone.: 2906 1560

Fax: 2906 1574

II. Historical Background and Architectural Merits

2.1 Historical Background

Original Use

The Former North Kowloon Magistracy (the Magistracy) was built in 1960 to handle offences within the Kowloon district. It is located at 292 Tai Po Road, Kowloon. The seven-storey building with two open forecourts on the south and north sides was designed by Palmer & Turner Architects. There were two magistracies responsible for handling offences in Kowloon before 1942. One of them was located in Shanghai Street at the junction of the Public Square and the Market Street. The other was the Kowloon Magistracy in Gascoigne Road, built in 1936 and renamed as the South Kowloon District Court in 1957. The magistracy in Shanghai Street was demolished in 1957 while the Former North Kowloon Magistracy was subsequently built in 1960. In 2000, the magistracy in Gascoigne Road was closed and Former North Kowloon Magistracy became the sole judicial court handling offences in Kowloon. The Magistracy could be considered as one of the busiest magistracies in Hong Kong.

The Magistracy used to handle cases in the Kowloon District, which covered Mong Kok, Sham Shui Po, Shek Kip Mei, Cheung Sha Wan and Ho Man Tin. The Magistracy ceased operation on 3 January 2005 due to consolidation of magistracies from nine to six, and had been vacant until 2009. The cases of the Magistracy were then distributed and handled at three additional courts established in Kwun Tong Magistracy and Kowloon City Magistracy.

Within the judiciary structure, all criminal proceedings commence in the Magistrates' Courts and thus, the Magistracy is classified as the lowest court that covers a wide range of indictable and summary offences. Former North Kowloon Magistracy consisted of up to eleven Magistrates' Courts during the busiest days including a Juvenile Court, and offices of government departments. The Juvenile Court handles cases against children and teenagers under the age of 16. Minor offences, such as hawking, traffic convictions and littering are also heard in the Magistrates' Courts by Special Magistrates. The maximum sentence in the Magistracy is two years' imprisonment and a fine of \$100,000. In certain circumstances, the Magistrates may impose sentences of up to three years' imprisonment and a fine of \$5,000,000. Relatively more serious cases are referred to courts of higher jurisdiction, such as the District Courts or the Court of First Instance. According to a senior inspector who had worked in the Magistracy when it was still in use, there were more than forty defendants appearing in the court daily and could reach up to eighty occasionally.

Revitalisation in 2009

In 2009, the Former North Kowloon Magistracy was revitalised into the Savannah College of Art and Design (SCAD) (Hong Kong) by the SCAD Foundation (Hong Kong) Limited, which commenced operation in September 2010 under Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme) launched by Development Bureau for the provision of non-local higher education courses in art and design. The revitalisation project received an “Honourable Mention” in the 2011 United Nations Educational, Scientific and Cultural Organization (UNESCO) Asia-Pacific Heritage Awards for Culture Heritage Conservation. The current tenancy of SCAD (Hong Kong) would expire in July 2020 and the College would not renew the tenancy upon the expiry. The Government would take over the historic building from 1 August 2020.

2.2 Architectural Merits

The seven-storey Magistracy comprises of a series of tall and narrow windows symmetrically designed on the main elevation dominated the front façade, it also features a double-canopied central projecting bay and a grand entrance double staircase facing Tai Po Road. The Magistracy was constructed in Stripped Classical Style. The façade design visually emphasizes the structural and proportion systems, while most of the traditional mouldings, ornament and details have been elided. It was a reinforced concrete structure with granite ashlar blocks forming the base walls on lower ground floor, and a central light well from the third to the fifth floors, originally designed to provide natural lighting to the internal corridors as well as central staircase on the second floor.

Internally, the Magistracy displays elegant architectural features and incorporates the use of borrowed light to illuminate the interior by means of central light well. Internal decorative features include heavily panelled and moulded hardwood doors, moulded architraves, teak panelling to walls, marble wall finish, stone flooring to entrance hall and central hall staircases, splayed and moulded cornices, and ornamental ironwork in the form of balustrades, metal guard bars and grilles displaying a fleur-de-lis motif throughout. Also, there is a central staircase lit by glass block roof light above with ornamental ironwork balustrades featuring fleur-de-lis motifs. Originally, the Magistracy was divided into three functional zones and characterized by independent circulation access for general public and staff, magistrates, and defendants/ prisoners respectively.

The Magistracy is a representative example of functional civic buildings of the period, and therefore could be considered as a rarity.

In 2009, revitalization works were carried out to revitalize the Magistracy into the SCAD (Hong Kong) campus. Localised alteration works at the building facades adopted minimum intervention approach, whereas authenticity and integrity of the external elevations of the Magistracy had been retained and preserved, and the stripped classical architectural style has been respected. Internally, key character defining elements with high level of significance and contributing to its heritage value, such as Court Room No. 1, central staircase and one detention cell etc., were preserved in-situ, while the remaining areas were adaptive reused to suit the new functional requirement. Such intervention to the interior was carried out in a reversible manner, so that the disturbance to the spatial character of the interior was limited and the building fabric would not be adversely impaired. It is considered to be a successful demonstration of adaptive reuse for historic building into a new lease of life.

III. Site Information

3.1 Location

Former North Kowloon Magistracy is located at No. 292 Tai Po Road in Sham Shui Po. The Location Plan of Former North Kowloon Magistracy is shown at **Appendix I**.

3.2 Site Description

The elongated rectangular site for this revitalization project is located at the foot of a hill of height about 90m at the junction of Sham Shui Po and Shek Kip Mei. Two access roads leading up about 4m from Tai Po Road to its North Open Forecourt and South Open Forecourt flanking a seven-storey building sitting on its middle. The main elevation of the building is elevated and facing Tai Po Road, one of the main routes connecting New Territories and Kowloon Central. There are a two-storey temporary building, temporary storage containers and plant building at the South Open Forecourt, adjacent to them are the neighboring school building.

3.3 Site Boundary

The Site Boundary Plan is shown at **Appendix II**.

3.4 Site Area

The Former North Kowloon Magistracy has been allocated to the Development Bureau under Permanent Government Land Allocation (PGLA) No. GLA-NK 757. According to the land allocation plan in **Appendix XIII**, the site area of the Former North Kowloon Magistracy is approximately 4,815 sq. metres.

3.5 Major Datum Levels

The major datum levels of the site range from around +20.0mPD at the South Open Forecourt to around +23.1mPD at the North Open Forecourt. The forecourts are elevated above the open spaces at pavement level facing Tai Po Road. The major datum levels of the open spaces range from around +16.5mPD at south of central grand double staircase to around +19.8mPD at north of the staircase. The approximate datum levels of the area are shown at **Appendix IV**.

3.6 Topographic Survey

A set of topographic survey plan of Former North Kowloon Magistracy as in May 2020 is shown at **Appendix VI(D)**. The PDF and AutoCAD format of the

survey plans can be obtained at the Revitalisation Scheme Secretariat by submitting a completed request form.

A summary of the site and building information is given in **Appendix V**.

IV. Building Information

4.1 Building Description

The Former North Kowloon Magistracy is abutting Tai Po Road. The site includes the following buildings, structures and areas:

- a) Former North Kowloon Magistracy (a seven-storey building located in the middle of the site with slopes at the north and east sides)
- b) FS & Sprinkler Pump Room & Tank (a plant building at the south of the site)
- c) Temporary Structure (a two-storey temporary building)
- d) Temporary Storage (temporary containers)
- e) Open Forecourts (the South Open Forecourt and the North Open Forecourt)

From 2010 to 2020, the Savannah College of Art and Design (SCAD) Foundation (Hong Kong) Limited had adaptively re-used Former North Kowloon Magistracy as SCAD (Hong Kong) to provide non-local higher education courses in art and design. The SCAD (Hong Kong) ceased operation of the site and the Government will take over the site from 1 August 2020. The drawings approved by the Buildings Department for the above mentioned conversion works of the Magistracy are shown and attached at **Appendix VI(F)**.

The Former North Kowloon Magistracy now houses accommodation such as classrooms, offices, library, exhibiting area, studio and animation laboratory. One of the four original court rooms was conserved and used as lecture hall and the other three were converted into studio and classrooms. The building is in generally fair condition with minor defects on finishes.

The drawings showing the existing layouts of the Magistracy, including block plan, floor plans, major elevations and sections, are shown at **Appendix VI(A)**.

The photos showing the general appearance and internal layout of the Magistracy are shown at **Appendix VII**.

4.2 Historic Grading

The Former North Kowloon Magistracy was listed as Grade 2 Historic Building by the Antiquities Advisory Board on 18 December 2009. “Grade 2 historic building” is defined as a “Building of special merit. Efforts should be made to selectively preserve”.

The Historic Building Grading Boundary Plan is shown at **Appendix III**.

4.3 Schedule of Accommodation

The approximate Net Operational Floor Area (NOFA)/ Net Floor Area and Construction Floor Area (CFA) of the Magistracy, other structures and areas provided in this section are indicative only. Applicants should verify such information on their own before adopting this information in their proposals.

Total CFA of the buildings including the Former North Kowloon Magistracy and FS & Sprinkler Pump Room & Tank is approximately 7,720 sq. metres.

Schedule of area is listed as follows:

4.3.1 Former North Kowloon Magistracy

Floor	Approximate Construction Floor Area (m ²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m ²)
LG/F	419	TBE Room	16
		Flushing Water Pump Room	13
		Fresh Water Pump Room	18
		F.S. Control Room	4
		Caretaker	8
		Transformer Room	48
		Main Switch Room	30
		Existing AC Plant Room	121
		Water Meter Room	4
		Emergency Generator Room	37
		ST-1	9
		Lift Lobby	18
Sub-total:	419	Sub-total:	326

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
G/F	1315	Entrance Hall	85
		Library	210
		Office 1	10
		Office 2	16
		Office 3	21
		Office 4	10
		Conserved Cell Office 7D (Conserved Detention Cell No. 6)	10
		Office 7C (Old Detention Cell No. 5)	21
		Office 7B (Old Detention Cell No. 4)	22
		Office 7A (Old Detention Cell No. 3)	22
		Office 6	6
		Office 5	6
		AHU Room	5
		Office 8	17
		Office 9	15
		Office 10	10
		Student Works Exhibiting Area	108
		Elec. Meter Room	5
		IT Server Room (Old Detention Cell No. 2)	15
		PAU Room (Old Detention Cell No. 2)	20
		Common Area (Old Police Van Garage)	38
		Corridor	220
		Female Toilet	10
		U.A.T.	4
		Male Toilet	13
		Central Staircase	41
		Conserved Defendant Staircase	10
ST-1	15		
ST-2	12		
ST-3	11		
Sub-total:	1315	Sub-total:	1008

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
1/F	1219	Lobby / Student Resting Area (Central Hall)	161
		Classroom 1	42
		Classroom 2	47
		Classroom 3	46
		Classroom 4	55
		Classroom 5	61
		Classroom 6	57
		Classroom 7	60
		Classroom 8	78
		Classroom 9	8
		Classroom 10	9
		Office 1	42
		PAU Room	13
		Female Toilet	24
		U.A.T.	3
		Male Toilet	32
		Central Staircase	39
		Conserved Defendant Staircase	17
		Corridor	147
		Elec. Meter Room	4
Lift Lobby	8		
ST-1	15		
ST-2	17		
ST-3	30		
Sub-total:	1219	Sub-total:	1015

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
2/F	1199	Lobby / Student Resting Area (Central Hall)	227
		Conserved No. 1 Court / Lecture Hall (Conserved Court Room No. 1)	139
		Studio (Old Court Room No. 2)	112
		Classroom 11 (Old Court Room No. 3)	45
		Sound Design Studio (Old Court Room No. 3)	87
		Classroom 13 (Old Court Room No. 4)	56
		Classroom 12 (Old Court Room No. 4)	77
		Female Toilet	27
		U.A.T.	3
		Male Toilet	27
		Central Staircase	38
		Conserved Defendant Staircase	29
		Conserved Magistrates' Staircase	15
		Corridor	67
		AHU Room	8
		Lift Lobby	5
		Elec. Meter Room	3
		ST-1	15
		ST-2	17
		ST-3	17
Sub-total:	1199	Sub-total:	1014

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
3/F	1204	Office 1	44
		Office 2	67
		Duct Rooms (Grid D-F) (Old Ducts Room)	15
		Duct Rooms (Grid A-C) (Old Ducts Room)	15
		Store (Grid D-F) (Old Ducts Room)	15
		Store (Grid A-C) (Old Ducts Room)	15
		Elec. Meter Room	3
		I.T. Server Room	9
		PAU Room (Grid 5-6)	11
		PAU Room (Grid 10-11)	17
		Female Toilet	26
		U.A.T.	5
		Male Toilet	24
		Central Light Well	40
		Conserved Magistrates' Staircase	7
		Corridor	169
		Balcony	28
		Lift Lobby	5
		ST-1	15
		ST-2	17
ST-3	17		
Sub-total:	1204	Sub-total:	564

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
4/F	1182	Classroom 14	46
		Classroom 15	47
		Classroom 16	46
		Classroom 17	46
		Classroom 18	47
		Classroom 19	55
		Classroom 20	55
		Classroom 21	48
		Classroom 22	46
		Classroom 23	43
		Office 1	44
		Office 2	41
		Stop Motion Animation Studio	93
		PAU Room (Grid 5-6)	11
		PAU Room (Grid 10-11)	17
		Female Toilet	26
		U.A.T.	5
		Male Toilet	29
		Corridor	171
		Lift Lobby	5
Elec. Meter Room	3		
ST-1	15		
ST-2	17		
ST-3	17		
Sub-total:	1182	Sub-total:	973

Floor	Approximate Construction Floor Area (m²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m²)
5/F	1182	Classroom 24	43
		Classroom 25	94
		Classroom 26	46
		Classroom 27	94
		Classroom 28	67
		Classroom 29	67
		Classroom 30	47
		Classroom 31	56
		Photo Studio	135
		PAU Room (Grid 5-6)	11
		PAU Room (Grid 10-11)	17
		Female Toilet	26
		U.A.T.	5
		Male Toilet	29
		Elec. Meter Room	2
		Lift Lobby	5
		Corridor	184
		ST-1	15
		ST-2	17
ST-3	17		
Sub-total:	1182	Sub-total:	977
Total:	7720	Total:	5877

4.3.2 FS & Sprinkler Pump Room & Tank

Floor	Approximate Construction Floor Area (m ²)	Accommodation	Approximate Net Operational Floor Area/ Net Floor Area (m ²)
G/F	42	F.S. & Sprinkler Pump Room	24
		AC Pump Room	12
Total:	42	Total:	36

4.3.3 Temporary Structure

Floor	Accommodation	Approximate Construction Floor Area (m ²)
G/F	Temporary Structure	137
1/F	Temporary Structure	100
Total:		237

4.3.4 Open Forecourts

Floor	Accommodation	Approximate Area (m ²)
LG/F	South Open Forecourt	450
G/F	North Open Forecourt	595
Total:		1045

4.4 Materials of Construction

4.4.1 Former North Kowloon Magistracy

Materials	Roof	<ul style="list-style-type: none"> - Reinforced Concrete with concrete roof tiles - Glazed skylight - Glazed lift overrun enclosure
	Wall	Reinforced Concrete
	Floor	Reinforced Concrete
	Staircase	<u>ST-1, ST-2 & ST-3</u> <ul style="list-style-type: none"> - Steel <u>Central Staircase, Conserved Defendant Staircase & Conserved Magistrates' Staircase</u> <ul style="list-style-type: none"> - Reinforced Concrete
	Window	Steel frame with glazed panel
	Door	<u>Main Entrance Door</u> <ul style="list-style-type: none"> - Bronze studded panel cladding <u>Side Entrance Door</u> <ul style="list-style-type: none"> - Wooden <u>Old Court Rooms</u> <ul style="list-style-type: none"> - Wooden <u>Offices, Classrooms, Toilets, Staircases & Lift Lobby</u> <ul style="list-style-type: none"> - Wooden; - Stainless Steel; or - Aluminum frame with glazed panel <u>Plant Rooms</u> <ul style="list-style-type: none"> - Wooden
Finishes	Exterior	<u>Front Elevation facing Tai Po Road</u> <ul style="list-style-type: none"> - Decorative glazed tiles - Granite - Ashlar-faced - Grooved Stucco <u>South and North Elevations</u> <ul style="list-style-type: none"> - Ashlar-faced - Grooved Stucco <u>East Elevation</u> <ul style="list-style-type: none"> - Ashlar-faced - Grooved Stucco

Finishes	Interior – Staircases	
	Central Staircase	<u>Wall</u> - Marble Cladding <u>Skirting</u> - Black Mable <u>Treads and Riser</u> - Stone <u>Ceiling</u> - Roof Light with Glass Blocks over the landing
	Conserved Defendant Staircase	<u>Wall</u> - Ceramic Tiles <u>Treads and Riser</u> - Screeding with ceramic nosing tiles
	Conserved Magistrates' Staircase	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Mosaic Tiles <u>Treads and Riser</u> - Mosaic tiles with ceramic nosing tiles
	ST-1 ST-2 ST-3	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Emulsion Paint <u>Floor</u> - Screeding with stainless steel nosing strip <u>Ceiling</u> - Emulsion Paint
	Interior – LG/F	
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl Floor Finishes <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Caretaker	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – LG/F	
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Interior – G/F	
	Entrance Hall	<u>Wall</u> - Marble Cladding <u>Skirting</u> - Black Marble <u>Floor</u> - Stone <u>Ceiling</u> - Suspended Ceiling with Gypsum Board
	Conserved Cell Office 7D (Conserved Detention Cell No.6)	<u>Wall</u> - Emulsion Paint - Ceramic Tiles (in Squat Toilet) <u>Floor</u> - Screeding - Mosaic Tiles (in Squat Toilet) <u>Ceiling</u> - Emulsion Paint
	Offices	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet - Vinyl Sheet <u>Ceiling Finishes</u> - Suspended Ceiling with Aluminum Panel
	Student Works Exhibiting Area	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint

Finishes	Interior – G/F	
	Library	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet <u>Ceiling</u> - Emulsion Paint
	Common Area	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding - Carpet <u>Ceiling</u> - Emulsion Paint
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Homogenous Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – G/F	
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Interior – 1/F	
	Lobby/ Student Resting Area (Central Hall)	<u>Wall</u> - Marble Cladding <u>Skirting</u> - Black Marble <u>Floor</u> - Ceramic Tiles <u>Ceiling</u> - Suspended Ceiling with Gypsum Board
	Offices	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet - Vinyl Sheet <u>Ceiling</u> - Suspended Ceiling with Aluminum Panel
	Classrooms	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Vinyl Sheet - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – 1/F	
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Ceramic Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Interior – 2/F	
	Lobby/ Student Resting Area (Central Hall)	<u>Wall</u> - Marble Cladding <u>Skirting</u> - Black Marble <u>Floor</u> - Ceramic Tiles <u>Ceiling</u> - Suspended Ceiling with Gypsum Board
	Conserved No. 1 Court/ Lecture Hall	<u>Wall</u> - Fiber Acoustic Panel - Timber Panel <u>Skirting</u> - Timber <u>Floor</u> - Timber Parquet Flooring <u>Ceiling</u> - Emulsion Paint

Finishes	Interior – 2/F	
	Studio	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding - Carpet <u>Ceiling</u> - Emulsion Paint
	Classrooms	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Vinyl Sheet - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Ceramic Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspending Ceiling with Fiber Panel

Finishes	Interior – 2/F	
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Interior – 3/F	
	Central Light Well	<u>Wall</u> - Texture Paint <u>Skirting</u> - Emulsion Paint <u>Floor</u> - Glass Blocks with Screeding <u>Ceiling</u> - Roof Skylight
	Offices	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Balcony	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Mosaic Tiles <u>Floor</u> - Mosaic Tiles <u>Ceiling</u> - Emulsion Paint
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – 3/F	
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Ceramic Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Interior – 4/F	
	Classrooms	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Stop Motion Animation Room	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Vinyl Sheet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – 4/F	
	Offices	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Ceramic Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint

Finishes	Interior – 5/F	
	Classrooms	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Carpet - Vinyl Sheet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Photo Studio	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Corridor	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding - Carpet <u>Ceiling</u> - Suspended Ceiling with Fiber Panel
	Lift Lobby	<u>Wall</u> - Emulsion Paint <u>Skirting</u> - Vinyl <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint
	Toilets	<u>Wall</u> - Ceramic Tiles <u>Floor</u> - Homogenous Tiles <u>Ceiling</u> - Suspended Ceiling with Fiber Panel

Finishes	Interior – 5/F	
	Plant Rooms	<u>Wall</u> - Emulsion Paint <u>Floor</u> - Screeding <u>Ceiling</u> - Emulsion Paint

4.4.2 FS & Sprinkler Pump Room & Tank

Materials	Roof	Reinforced Concrete
	Wall	Reinforced Concrete
	Floor	Reinforced Concrete
	Door	Stainless Steel
Finishes	Exterior	Paint
	Interior	<u>Wall:</u> - Emulsion Paint <u>Floor:</u> - Screeding <u>Ceiling:</u> - Emulsion Paint

4.4.3 Temporary Structure

Materials	Roof	Metal Corrugated Sheeting
	Wall	Aluminum Panel
	Floor	Metal Sheet
	Door	External: Glass Internal: Timber
	Window	Aluminum Window
Finishes	Exterior	Cement rendering & aluminum panel
	Interior	<u>Floor:</u> - Screeding, Carpet & Vinyl Sheet <u>Ceiling:</u> - Suspended Ceiling with Fiber Panel <u>Staircase:</u> - Steel Staircase

4.4.4 Open Forecourts

Materials	Floor	Concrete
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4.5 Circulation

4.5.1 General Description

There are four numbers of building access for the Former North Kowloon Magistracy. The main pedestrian entrance is by way of entry door facing South Open Forecourt. Daily traffic and delivery to the building through the previous user occurred at the North Open Forecourt. Exit door on 1/F of ST-3 leads to G/F and LG/F open spaces at the rear of the building.

Circulation inside the Magistracy could be referred to the six internal staircases and the accessible lift.

The three staircases (ST-1, ST-2 & ST-3) at the south, north and east of the building are directly connected to the exterior and they are fire escape routes as required under Buildings Ordinance. ST-1 and ST-2 are serving 5/F to LG/F and 5/F to G/F respectively. ST-3 is serving 5/F to 1/F internally and 1/F to G/F externally. These three staircases are steel staircases.

The other three internal reinforced concrete staircases namely Central Staircase, Conserved Defendant Staircase and Conserved Magistrates' Staircase, are conserved. They previously provided independent circulation and access for general public and staff, magistrates and defendants/prisoners respectively. Central Staircase is serving G/F to 2/F at the Central Halls, communicating the Entrance Hall on G/F, Lobby/Student Resting Area on 1/F and 2/F. Conserved Defendant Staircase is serving G/F to 2/F, allowing circulation between Corridor (Old Control Corridor) on G/F and the Conserved No. 1 Court/ Lecture Hall on 2/F, while Conserved Magistrates' Staircase is partly conserved and now serving Conserved No. 1 Court/ Lecture Hall on 2/F to the corridor on 3/F only.

The roof floor is currently only accessible by a cat ladder for maintenance.

FS & Sprinkler Pump Room & Tank and the Temporary Structure can be directly accessed from South Open Forecourt.

4.5.2 Barrier Free Access

Barrier free access is provided at the south entry door of the building where a tactile ramp facilitating entry of wheel-chair users is provided. Together with an accessible lift serving 5/F to LG/F, they were completed

under Batch I of the Revitalisation Scheme. A designated accessible parking space is located at the south car park adjacent to the entry door. The required staircases serving as exit routes and lift lobby on LG/F are also finished with tactile guide path and warning tiles.

4.6 Major Alterations and Additions

The Former North Kowloon Magistracy had undergone major alterations and additions (A&A) in 2010 under Batch I of the Revitalisation Scheme. The major works included the following:-

- a) Extension of glazed lift overrun enclosure;
- b) Demolition of one lift well;
- c) Addition and alteration of the staircases as means of escape required under Buildings Ordinance;
- d) Demolition of internal staircases;
- e) Alteration of toilets;
- f) Addition of skylight system on light well of R/F;
- g) Alteration of internal partition layout with change of uses;
- h) Provision of barrier free access; and
- i) Construction of FS & Sprinkler Pump Room & Tank in South Open Forecourt.

4.7 Preliminary Structural Appraisal

This section summarizes the structural conditions of the buildings with reference to an independent Structural Condition Survey (SCS). The SCS can be obtained at the Revitalisation Scheme Secretariat by submitting a completed request form. The SCS is mainly prepared on the basis of visual site inspections and site measurements by the Registered Structural Engineer and his team in May 2020. No destructive test such as coring laboratory test or concrete cover opening up at existing concrete member has been carried out. Applicants shall verify the information before adopting in their proposals or for any related purpose.

4.7.1 Structural Information

A set of structural record drawings of the Magistracy and a set of structural record drawings for the A&A works carried out in 2010 under the Batch I of the Revitalisation Scheme are both appended in **Appendix VI(C)**.

The major works carried out in 2010 includes the following items in general:

- (a) Addition of F.S. & Sprinkler Pump Room & Tank and Cooling Towers at the South Open Forecourt;
- (b) Addition of a lift in the Magistracy;

- (c) Addition of three staircases (ST-1, ST-2 and ST-3) in the Magistracy; and
- (d) Addition of a skylight, covering the original central light well at R/F of the Magistracy.

4.7.2 Structural System

4.7.2.1 The Magistracy

The Magistracy is a 7-storey structure constructed as a typical reinforced concrete (RC) beam-slab floor system with RC columns supporting on RC pad footings.

All of LG/F and part of G/F are on-grade reinforced concrete slabs. The remaining part of G/F and all other floors from 1/F to R/F are suspended RC beam-slab structures, except the floor area at the light well at 3/F. This floor area is constructed with mini RC beams in a waffle layout, with glass panel infills to serve as a translucent floor system.

The following are cantilevered RC structures:

- (a) The front canopy extended from 1/F above the Grand Staircase, between grid line A6 and grid line A10;
- (b) The front balcony extended from 3/F between grid line A5 and grid line A11;
- (c) The roof terrace extended from 4/F, covering the aforementioned front balcony; and
- (d) The canopy extended from R/F, running all around the perimeter of the building.

The staircases (ST-1 to ST-3) added to the Magistracy in 2010 are steel structures, while the original Central Staircase, Defendant Staircase and Conserved Magistrates' Staircase are typical RC construction.

The skylight at R/F is a steel frame with glass panels, covering the central light well that goes from R/F to 3/F.

4.7.2.2 F.S. & Sprinkler Pump Room & Tank

The F.S. & Sprinkler Pump Room & Tank structure is a RC structure supported on a raft footing. Two cooling towers are located adjacent to it and supported on a raft footing.

4.7.3 Structural Alterations

There has been no identifiable structural alteration or improvement

works done to the entire historical premise since Batch I of the Revitalisation Scheme carried out in 2010.

4.7.4 Structural Conditions of Buildings

4.7.4.1 The Magistracy

Minor local spalling, cracks and water seepage were observed in various locations in the Magistracy; however, the overall structural system of the Magistracy is considered to be in fair condition. For the details and locations of the structural defects, please refer to the SCS.

4.7.4.2 F.S. & Sprinkler Pump Room & Tank

The F.S. & Sprinkler Pump Room & Tank structure is in good condition without any identifiable structural defects.

4.7.5 Loading Assessment

The building was built in 1960, and its design is assumed to follow Code of Practice 3 (CP3): Chapter V – 1952 (LCC 1952), which specifies the design floor loading of 80lb/sq.ft. (equivalent to 3.83kPa) for assembly areas with fixed seatings, bank halls, chapels and churches. Given that the Magistracy falls into this category, the original design load for most of its floors shall be 3.83kPa.

Based on the age of the Magistracy, it is reasonable to assign a reduction to the original design load of 3.83kPa. Under the Batch I of the Revitalisation Scheme in 2010, an imposed load of 3.0kPa was proposed in general with consideration of the intended use in educational institution.

Numerous floor areas were altered and/or strengthened under the Batch I of the Revitalisation Scheme. For these floor areas, the imposed loads shall refer to that specified in the Plans approved by the Building Authority in 2010 (refer to **Appendix VI(C)**).

Location	Floor	Original Use	Proposed Usage in 2010 under Batch I Scheme	Original Design Imposed Load (kPa)	Estimated Current Imposed Loading Capacity (kPa)
Magistracy	LG/F (on-grade slab)	-	Plant Room	-	5.0**
	G/F (on-grade slab)	Courthouse	Education Institution	3.83 [#]	5.0**
	G/F (suspended slab)	Courthouse	Education Institution	3.83 [#]	3.0*
	1/F-5/F	Courthouse	Education Institution	3.83 [#]	3.0*
			Plant Room	3.83 [#]	5.0*
R/F	Inaccessible Flat Roof	Inaccessible Flat Roof	0.72 [#]	0.75*	
F.S. & Sprinkler Pump Room & Tank	G/F	-	Pump Room	-	7.5*
	1/F	-	Water Tank	-	-
	R/F	-	Inaccessible Flat Roof	-	0.75*
North and South Open Forecourt	G/F (on-grade slab)	Carpark	Carpark	3.83 [#]	5.0**

[#]According to LCC 1952 as stated in para. 4.7.5.

*According to the A&A plans approved in 2010 (refer to **Appendix VI(C)**).

**An estimated capacity for on-grade slab. Further investigation is required to determine its exact loading capacity.

4.7.6 Recommendation

From recent visual inspection, the Magistracy appears to be well taken care of since the revitalisation works in 2010. In addition, there has been no structural alteration works done since then. In light of the above, the Magistracy is considered to be in fair structural condition, with normal wear and defects which shall be repaired in order to prevent further deterioration.

For the F.S. & Sprinkler Pump Room & Tank, no structural defect was identified. Therefore, no repairing work is anticipated.

The selected applicant should verify validity of the estimated imposed loading capacities before adopting them for the design of their proposed

use of the buildings. Should the applicant's proposed use involves greater imposed loads on floors, the applicant shall carry out sufficient tests and detailed analysis to assess the structural capacity and to implement necessary strengthening works depending on the finding of the structural assessment and proposed use.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the site of Former North Kowloon Magistracy is as follows:

4.8.1 Former North Kowloon Magistracy

Building Services	Existing Provisions
Mechanical Ventilation and Air-Conditioning System Installation	<ol style="list-style-type: none"> 1. 2 sets of water-cooled liquid chillers with 787kW cooling capacity are installed at A/C plant on LG floor and R134a refrigerant is used. 2. 2 sets of cooling towers with 994kW cooling capacity are installed next to the FS & Sprinkler Pump Room & Tank at South Open Forecourt. 3. 8 nos. of primary air units (PAU) are installed for pre-treating outdoor air. The pre-treated air is connected to the fan coil units (FCU) at the corridors, offices and function rooms inside the Magistracy. There are approximately 185 nos. of FCU on site in which 3 nos. of FCUs are not in used on 2/F. 4. 1 set CCMS (Central Control Monitoring System) for A/C system in G/F control Room. 5. 5 nos. of air handling units (AHU) are installed mainly for entrance hall, lobby/student resting area and conserved no.1 court/lecture hall inside the Magistracy. 6. 3 sets of chilled water pumps (2 duty & 1 standby) are installed for circulating chilled water to all FCUs, PAUs and AHUs on all floors inside the Magistracy. 7. 3 sets of condensing water pumps (2 duty & 1 standby) are installed for heat rejection.

Building Services	Existing Provisions
Mechanical Ventilation and Air-Conditioning System Installation (Cont'd)	<ol style="list-style-type: none"> 8. Chemical tanks, make-up water tank and bleed-off water tank are found at the AC pump room at the South Open Forecourt. 9. 1 no. of chemical dosing pump is provided for chilled water and 3 nos. of chemical dosing pumps are provided for condensing water. 10. 2 nos. of blowdown water pumps are provided for the system. 11. A 50mm dia. fresh water supply for make-up usage is found (water meter no.: M18-451171). 12. Numbers of split type and window type air-conditioning units are found. 13. Exhaust fans are installed for all plant rooms and toilets on each floor.
Fire Services Installation	<ol style="list-style-type: none"> 1. Automatic sprinkler system, fire hydrant and hose reel system, manual fire alarm system (MFA), visual fire alarm system (VFA) and automatic fire detection and alarm system (AFA) are installed in the Magistracy 2. A 80mm dia. F.S. water supply pipe is connected from the town main at Tai Po Road to serve the sprinkler system and F.S. system. 3. Fire hydrant and hose reel system <ol style="list-style-type: none"> a) 1 no. of 50mm dia. check meter position is provided for fire hydrant and hose reel system. b) 1 no. of 36m³ reinforced concrete F.S. tank is located on the roof of F.S. and sprinkler pump room. c) 2 nos. of fixed fire pumps (1 Duty & 1 standby, 30kW) with a jockey pump (1.5kW) are installed at the F.S. and sprinkler pump room. d) F.S. inlets are installed at the exit of staircases ST-1 and ST-2.

Building Services	Existing Provisions
Fire Services Installation (Cont'd)	<ol style="list-style-type: none"> 4. Automatic sprinkler system <ol style="list-style-type: none"> a) Automatic sprinkler system serves the whole magistracy except the plant rooms. b) 1 no. of 80mm dia. check meter position is provided for sprinkler system. c) The fire hazard of the Magistracy is classified as Ordinary Hazard Group I (OH I). d) 1 no. of 47m³ reinforced concrete sprinkler water tank is located on the roof of the F.S. and sprinkler pump room in the south open forecourt. e) 2 nos. of sprinkler pump (1 Duty & 1 Standby, 15kW) with a jockey pump (1.1kW) are installed at the F.S. and sprinkler pump room. f) Sprinkler inlet is installed next to the entrance at LG/F. 5. Fire extinguishers are provided inside the plant room. 6. Heat detectors are installed at the plant room. 7. Emergency lighting and exit signs are installed inside the Magistracy.
Electrical Installation	<ol style="list-style-type: none"> 1. The electricity supply is provided by a CLP 1500kVA transformer in the transformer room at LG/F. 2. 1 no. of 2250A 4 pole air circuit breaker (ACB) is installed for protecting the whole system and is located at the main switch room at LG/F. 3. 100A TPN MCCB is provided for TBE room. 4. General lighting and power are provided in the Magistracy. 5. The emergency power is supplied by a 250kVA emergency generator at LG/F via a 400A 4 pole automatic changeover facility. The emergency power supplies to fire services installation and lift.

Building Services	Existing Provisions
Lift Installation	<ol style="list-style-type: none"> 1. There is a lift installed at the south of the building. The lift is used as fireman's lift and accessible lift. 2. The rated capacity of the lift is 900kg.
Security System Installation	<ol style="list-style-type: none"> 1. Closed circuit television system and door access control system will not be available inside the Magistracy.
Plumbing Installation	<ol style="list-style-type: none"> 1. Potable Water Supply <ol style="list-style-type: none"> a) An existing 54mm dia. fresh water pipe with 40mm dia. water meter (meter no.: M13-228539) is provided for the Magistracy. The water meter is located in inside the water meter room at LG/F. The incoming water main is obtained from Tai Po Road. b) 1 no. of 4000L fibreglass potable water tank is installed at the fresh water pump room at LG/F. c) 2 nos. of potable water booster pump (flow: 14.4 m³/hr, pump head: 45m, power: 5.5kW) with 1 no. of 500L pressure vessels are installed at the fresh water pump room at LG/F. 2. Flushing Water Supply <ol style="list-style-type: none"> a) Flushing water supply for the Magistracy is obtained from the 50mm dia. flushing water pipe from Tai Po Road. An existing 50mm dia. check meter position is provided for the Magistracy. b) The water check meter is located inside the water meter room at LG/F. c) 1 no. of 6000L fibreglass flushing water tank is installed at the flushing water pump room at LG/F.. d) 2 nos. of flushing water booster pump (flow: 14.4 m³/hr, pump head: 35m cut-in 45m cutout, power: 4kW) with 2 nos. of 750L pressure vessels are installed at the flushing water pump room at LG/F.

Building Services	Existing Provisions
Plumbing Installation (Cont'd)	<ol style="list-style-type: none"> 3. Cleansing Water Supply <ol style="list-style-type: none"> a) The cleansing water supply is teed off from the 54mm dia. potable water supply in the water meter room at LG/F. b) A 15mm dia. cleansing water meter (meter no.: M10-202123) is located in the water meter room at LG/F. c) 1 no. of 250L fibreglass cleansing water tank is installed at the fresh water pump room at LG/F. 4. 2 nos. of cleansing water booster pump (flow: 1.44 L/s, pump head: 10m cut-in 20m cutout, power: 1.1kW) with 1 no. of 300L pressure vessels are installed at the fresh water pump room at LG/F. 5. With reference to the record plan from the Buildings Department, 1 no. of waste water sump pump with 1 L/s and 9m Head is installed at the waste sump pit at AC plant room at LG/F.
Drainage Installation	<ol style="list-style-type: none"> 1. Storm Water <ol style="list-style-type: none"> a) The rainwater on the roof of the building is discharged to down stacks leading to existing surface channels on ground or lower ground level of the site. 2. Foul Water <ol style="list-style-type: none"> a) The foul water from the building is discharged to the existing foul water manholes located inside the site and discharged to the government foul water manhole (FMH 4016510). 3. The location of the Drainage Services Department's (DSD) manholes and the existing terminal storm water manhole and foul water manhole in the site are shown in Appendix VI(B).
Telecommunication Facilities	<ol style="list-style-type: none"> 1. Fixed telecommunication network is available on site.

Building Services	Existing Provisions
Gas Installation	<ol style="list-style-type: none"> 1. With reference to the utility survey result, there is an existing 80mm dia. underground Town Gas pipe extended from Tai Po Road and terminated at the south of the building. 2. Town gas is not used in the Magistracy.

4.8.2 FS & Sprinkler Pump Room & Tank

Building Services	Existing Provisions
Mechanical Ventilation Installation	<ol style="list-style-type: none"> 1. Exhaust fans are installed for all plant rooms.
Fire Services Installation	<ol style="list-style-type: none"> 1. Manual fire alarm system (MFA) and automatic fire detection and alarm system (AFA) are installed in plant rooms. 2. Portable fire extinguishers are installed in plant rooms.
Electrical Installation	<ol style="list-style-type: none"> 1. 1 no. of 250A TPN switch with 300A TPN busbar chamber is installed for F.S. pumps and sprinkler pumps. The electrical cables are connected from the Magistracy. 2. Power supply for the AC system, including condenser water pumps, blow down water pump, cooling towers is connected from the Magistracy.
Drainage Installation	<ol style="list-style-type: none"> 1. The rainwater on the roof of the building is discharged to down stacks leading to existing surface channels on ground level and then discharged to the existing government storm water drainage system. 2. The floor drain for the plant rooms are discharged to the existing foul water manhole within the site and then discharged to the existing government foul water drainage system.

4.8.3 Open Forecourts

Building Services	Existing Provisions
Electrical Installation	<ol style="list-style-type: none"> 1. There is a lamp post in the North Open Forecourt. 2. No electrical installation is found in the South Open Forecourt.
Plumbing Installation	<ol style="list-style-type: none"> 1. Potable Water Supply <ol style="list-style-type: none"> a) An existing 22mm dia. fresh water pipe, extended from the Magistracy, is provided for 6 nos. of water taps located next to the south entrance of the Magistracy. 2. Cleansing Water Supply <ol style="list-style-type: none"> a) A cleansing water point is found next to the south entrance of the Magistracy.
Drainage Installation	<ol style="list-style-type: none"> 1. The surface rainwater of the slope proximity to the building is discharged to existing surface channels on ground or lower ground level. 2. The surface channels at north open forecourt are connected to the existing government storm water catch pit at north-west side of the site and storm water manhole at the footpath adjacent Tai Po Road. 3. The surface channels at south open forecourt are connected to the existing government storm water manhole at the footpath adjacent Tai Po Road.

The building services reference drawings are provided in **Appendix VI(B)**. The drawings were obtained from the previous user and may not reflect the actual site arrangement, the applicant shall check the correctness of these drawings before carrying out their design.

V. Vicinity and Access

5.1 Immediate Surrounding

The Former North Kowloon Magistracy is located at the western foot of a hillside beneath a service reservoir.

Within a few minutes' walk towards the south direction from the Magistracy is Mei Ho House, another historic building under Batch I of Revitalisation Scheme. Close to Mei Ho House is the public housing Shek Kei Mei Estate.

Adjacent to the site is the Saviour Lutheran School and Church. On its opposite side at Tai Po Road is a rest garden. Further away at Castle Peak Road and Sham Shui Po District is mainly for residential and commercial use.

The immediate surrounding is shown in the Location Plan at **Appendix I**

5.2 Access

Access to the Former North Kowloon Magistracy is shown in the Access Plan at **Appendix VIII**.

5.2.1 Vehicular Access

There are two existing vehicular accesses (both from Tai Po Road) with width of approximately 4.8m and 5.8m serving the two car parks on North Open Forecourt and South Open Forecourt of the building respectively.

5.2.2 Emergency Vehicular Access (EVA)

Fire engine can access the front facade of the building at Tai Po Road which served as an EVA to the building.

5.2.3 Loading and Unloading Area

No specific loading and unloading car parking spaces are located in the existing site.

5.2.4 Parking

Two open car parks are located at North Open Forecourt and South Open Forecourt of the building. 22 private car parking spaces, 8 motorcycle parking spaces and 1 accessible car parking space are provided at the open forecourts of the Magistracy.

5.2.5 Pedestrian Access

Pedestrian access to the Former North Kowloon Magistracy is available from Tai Po Road. It takes around several minutes to walk from the Former North Kowloon Magistracy to the nearest bus stop at Tai Po Road. Sham Shui Po MTR station is around 10 minutes' walking distance from the Magistracy.

5.2.6 Barrier Free Access (Site)

The barrier free access to the building is by means of vehicle to the south car park where an accessible parking space is available. An accessible lift is located at the south entrance lobby.

5.2.7 Refuse Collection Point

Refuse collection point is not provided on site according to the record plans of Buildings Department. The previous user converted a portion of open space at South Open Forecourt for temporary refuse collection and disposal.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the latest editions of the Venice Charter (ICOMOS), the Burra Charter (Australia ICOMOS) and the Principles for the Conservation of Heritage Sites in China (ICOMOS China), which give the established international principles in heritage conservation in preparing their proposals for the conservation works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance. On this issue, we would advise:

(a) when undergoing major alteration works and change of use, the historic building should be properly upgraded to meet the same level of safety in respect of the new use as in the case of new buildings. The need for preserving the significant architectural features (**Appendix IX** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the building; and

(b) every effort should be made to preserve the original facades of the historic building except unauthorized building structures, if any. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the building concerned. The original façades of the building should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to design and colours that are compatible with the age and character of the building and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the selected applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

¹ “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

Possible Building Works	Conservation Guidelines
a) Means of Escape (MOE)	Any improvement works recommended to doorway openings, steps, etc. must respect the historical integrity of the building(s), and carry out at less prominent area. The existing provision of MOE staircase should be reused as far as practicable.
b) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings must respect the historical integrity of the building(s), and carry out at less prominent area.
c) Barrier Free Access	Any proposed access improvement for persons with disability must respect historical integrity of the building and its surrounding, in particular the external elevation(s) of the building. The existing provisions of barrier free access, accessible lifts and accessible toilets should be reused as far as practicable.
d) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
e) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought.

Possible Building Works	Conservation Guidelines
f) Building Services	Any proposed upgrading of electrical supply, air conditioning, fire services and plumbing installations should ensure that no “non-reversible” works are carried out to the historic building. The existing provisions of building services system should be reused as far as practicable.
g) Plumbing and Sanitary Fitments	No existing fittings are considered to be “historic features” and therefore they may be re-used, replaced or increased in number as required.
h) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

- 6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.
- 6.1.5 As the renovation works will inevitably cause impact on the historic building, the selected applicant should submit a Heritage Impact Assessment (HIA) to the AMO for agreement before the commencement of the works. Consultation with the Antiquities Advisory Board for the agreement would be necessary.
- 6.1.6 The selected applicant should engage a building contractor, for the renovation works, who is included in the Development Bureau’s “List of Approved Contractors for Public Works – Buildings category” of appropriate group according to the estimated value of the works contract (<https://www.devb.gov.hk/Contractor.aspx?section=80&lang=1> for the list) and a Registered General Building Contractors of Buildings Department (https://www.bd.gov.hk/en/resources/online-tools/registers-search/registrationsearch.html?reg_type=GBC for the list). If the contractor to be appointed for the renovation works is not itself an approved specialist contractor included in the “List of Approved Suppliers of Materials and Specialist

Contractors for Public Works – Repair and Restoration of Historic Buildings category” (RRHB specialist contractor), the appointed contractor must engage a RRHB specialist contractor from the Approved List as its specialist sub-contractor for carrying out the repair and restoration works of the “Architectural Features to be Preserved” to the historic building. All other specialist sub-contractors for the renovation works should also be engaged from the relevant categories/groups in the Development Bureau’s “List of Approved Suppliers of Materials and Specialist Contractors for Public Works” (http://www.devb.gov.hk/en/construction_sector_matters/contractors/supplier/index.html for the list).

6.2 Specific Conservation Requirements

- 6.2.1 Former North Kowloon Magistracy sits on Tai Po Road witnesses the post-war historical development of Sham Shui Po area. Besides, the building had continued to serve as a magistracy building for over 44 years, witnessing the judicial development of Hong Kong, and is strongly associated with the law and order in Hong Kong. These historical and social significances, together with the architectural significance of being a representative example of civic building in Stripped Classical Style built in the 1960s should be properly interpreted within the site.
- 6.2.2 The Magistracy comprises seven storey with two open forecourts on the south and north sides of the historic building. Originally, it was functioned as magistracy and was divided into three functional zones serving general public and staff, magistrates, and defendants/ prisoners which have independent circulation access. Staircases and lifts were provided separately to serve different zones.
- 6.2.3 Adaptive works were carried out to convert the Magistracy into SCAD (Hong Kong) in the 2010. The external elevations had been retained and preserved. Internal area was repartitioned to suit functional needs, with a few key character defining elements with high level of significance were retained and conserved. For instance, the central circulation area, i.e. the central staircase and halls from G/F to 2/F had been retained. The configuration of the five out of six numbers of detention cells and the adjoining control corridor located on G/F was retained. While one detention cell was preserved in-situ for public interpretation, and the remaining four detention cells were adaptive reused with minor alterations as administration offices and machine rooms. Court Room No. 1 located on 2/F was preserved in-situ with all the original timber furniture, setting and fittings, while the remaining three large court rooms on 2/F were adaptive reused as classrooms or studio facilities installed with lower false ceiling height. Parts of the original staircases representing the independent circulation for each functional zone were retained for interpretation. Some staircases were modified

to fulfil statutory requirements or to suit operation need, and one of the original lift shafts was rebuilt to suit circulation purpose.

- 6.2.4 Conservation principles, such as removal of interventions previously made and restoration of the character-defining elements to suit the new adaptive reuse as far as practicable, should be considered which would further bring out the original heritage value of the historic building.
- 6.2.5 Further adaptive reuse works to be proposed should preserve in-situ not less than the existing extent of the preserved significant historic features. As the facade design in Stripped Classical Style is a representative example of civic architecture of the period, it should be generally kept intact. Internal elements which contribute characters of a jurisdiction building such as the retained Court Room No.1, the retained detention cells with the adjoining control corridor, and the retained representative independent circulation staircases for each zone should be kept intact. To better express the original design of the historic building, the original spatial configuration of the other three large court rooms on 2/F with the original double height design should also be exposed in further adaptive reuse works as far as practicable.
- 6.2.6 Management approach had been adopted in previous statutory submissions to the Buildings Department to strike a balance between complying the prevailing statutory requirement and maintaining the architectural authenticity of the historic building. Adoption of similar approach to preserve in-situ the significant historic features of the historic building is recommended.
- 6.2.7 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix IX**. Their corresponding required and recommended conservation treatments are listed at **Appendix X** and **XI** respectively.
- 6.2.8 Every effort should be made to carry out all “required treatment” set out at **Appendix X** of the Conservation Guidelines. If compliance with the “required treatment” cannot be achieved, justifications should be given to the AMO for their consideration. **Appendix XI** of the Conservation Guidelines set out the “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

- 7.1 The Former North Kowloon Magistracy site is mainly zoned “Government, Institution or Community” (“G/IC”) and with the south east corner within the “Green Belt” (“GB”) on the Shek Kip Mei Outline Zoning Plan (OZP) No. S/K4/29. The full set of the OZP including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the “G/IC” zone are shown at **Appendix XII**.
- 7.2 The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.
- 7.3 The Notes for the “G/IC” zone (**Appendix XII**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2” uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration. Also, there is height restriction of not exceeding 7 storeys on any structure or building unless with the prior consent of the Planning Department.
- 7.4 Prior to the submission of an application, advice could be sought from the Tsuen Wan & West Kowloon District Planning Office of the Planning Department at 27/F, Tsuen Wan Government Offices, 38 Sai Lau Kok Road, Tsuen Wan, New Territories (Tel: 2417 6658 Fax: 2412 5435).
- 7.5 All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

A Site Boundary Plan is shown at **Appendix II**.

According to the Permanent Land Allocation (GLA-NK 757) to Development Bureau by the Lands Department, parking /loading and unloading of motor vehicles to meet operational requirements shall be provided to the satisfaction of the Commissioner for Transport. The selected applicant shall review the parking spaces required for the proposed design and submit drawings for the approval of the appropriate authorities/government departments.

Ingress or egress to or from the site for passage of motor vehicles shall be limited to the vehicular run in/out facing Tai Po Road at the north side and south side of the site unless approved in writing by the District Lands Officer.

Concrete production and burning of debris or other materials are prohibited on the site.

Any proposed new structure or building to be erected on the site, or addition to the existing structures and buildings shall be agreed with the District Lands Officer and the Antiquities and Monuments Office before commencement in accordance with Clause 1 and 37 of the Engineering Conditions.

8.2 Tree Issues

Based on the tree survey schedule prepared in May 2020, there are currently 81 trees located in the vicinity of the site in which 58 trees are located within the site boundary. Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Service Department (LCSD) is not present within the site. Trees surveyed in the vicinity of the site are tagged with Tree Number T1 – T81. A tree schedule, depicting the conditions and value of trees, is shown at **Appendix XIV**.

In general, no tree growing on the site shall be interfered without the prior written consent of the District Lands Officer and the AMO or the appropriate authorities who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as appropriate.

The selected applicant shall be responsible for the horticultural maintenance of vegetation and maintenance of trees within the site.

IX. Slope Maintenance

Accordance to the Systematic Identification of Maintenance Responsibility of Slopes in the Territory (SIMAR) Unit, there are four slope features within and adjoining the site. Information on the slope features as on 4 June 2020 and the details are summarised below and shown in **Appendix XV**. The conditions of the features require further assessment by the selected applicant.

Slope Feature 1:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
11NW-B/C66	-	Within and Adjoining GLA-NK757	Development Bureau	Architectural Services Department

Slope Feature 2:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
11NW-B/C577	-	Within GLA-NK757 & Government Land near South Corner	Development Bureau	Architectural Services Department

Slope Feature 3:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
11NW-B/CR67	1	Partly within GLA-NK 757, GLA-NK 739 and unallocated Government land adjoining NKIL 4456 & EXT THERETO	Development Bureau	Lands Department
11NW-B/CR67	2	Partly within GLA-NK 757, GLA-NK 739 and unallocated Government land adjoining NKIL 4456 & EXT THERETO	Lands Department	Lands Department

11NW-B/CR67	3	Partly within GLA-NK 757, GLA-NK 739 and unallocated Government land adjoining NKIL 4456 & EXT THERETO	NKIL 4456 & EXT THERETO	Not Applicable
11NW-B/CR67	4	Partly within GLA-NK 757, GLA-NK 739 and unallocated Government land adjoining NKIL 4456 & EXT THERETO	Leisure and Cultural Services Department	Architectural Services Department

Slope Feature 4:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
11NW-B/R168	-	Within GLA-NK 757, SCAD (Hong Kong)	Development Bureau	Architectural Services Department

The selected applicant should allow the Government or its representatives to gain access to the slope features concerned to carry out required slope maintenance works. Should the selected applicant's proposal for adaptive re-use of the site of this Revitalisation Project affects the existing registered/non-registered slope features, geotechnical assessment and/or corresponding slope upgrading works as required by the Building Authority and other government departments should be carried out by the selected applicant to suit his proposal. The selected applicant shall be responsible at their own cost for any necessary upgrading, repair and maintenance of the registered/non-registered slope features affected by the revitalisation works.

The selected applicant should consult the relevant government departments, such as the Building Department, Geotechnical Engineering Office of Civil Engineering and Development Department to ensure all the slopes and retaining walls are stable with respect to the revitalisation proposal.

Any slope upgrading works should not alter the existing external appearance of the buildings within the site of this Revitalisation Project or cause adverse impact on the stability of any slopes and structures within or in the vicinity of the site of this Revitalisation Project.

X. Technical Compliance for Possible Uses

10.1 Uses that could Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Educational Institution;
- (b) Eating Place;
- (c) Place of Recreation; and
- (d) Research, Design and Development Centre.

The technical feasibility of each case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider to be the most suitable for the site of the Revitalisation Project. Application should make reference to the “Definition of Terms” under the Town Planning Board’s web site to ascertain the technical feasibility, including the structural adequacy and conservation requirements, of their proposed uses.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

Requirements	Remarks
1. Means of escape	Upgrading works may include, but not limited to, the provision of staircases with consideration of discharge values and width of staircases. The applicants should make necessary modification for the proposed use in compliance with the Code of Practice for Fire Safety in Buildings 2011.
2. Fire resisting construction	Upgrading works might be required for the new fire compartment or separation of different uses to comply with the Code of Practice for Fire Safety in Buildings 2011.
3. Means of access for fire fighting and rescue	Means of access for fire fighting and rescue, including fireman’s lift and EVA, has been provided under the conversion of Batch I of the Revitalisation Scheme in 2010. For the possible uses stated in Section 10.1, the existing provision of means of access are generally complied. The applicants shall review and consider

Requirements	Remarks
	any upgrading work is required for alteration of the layouts to suit the future use.
4. Barrier-free access and facilities	<p>Accessible lift, ramps, accessible toilet etc. were provided under Batch I of the Revitalisation Scheme in 2010.</p> <p>Notwithstanding the barrier free access and facilities has been provided, the applicant should from time to time review the facilities in order to comply with the Design Manual : Barrier Free Access 2008.</p>
5. Protection against falling from height	Upgraded balustrades and protective barrier were provided under Batch I of the Revitalisation Scheme in 2010. The applicants shall review and follow the condition of modification granted from the Buildings Department in 2010. Upgrading works or further application of approval might be required from Buildings Department to suit the proposed usage.
6. Structural adequacy	Detail structural investigation (i.e. comprehensive structural appraisal) shall be carried out to ensure the stability of all the building elements. Strengthening works may be required depending on the findings of structural investigation and the proposed uses.
7. Fire services installation requirements	Fire services installations were provided under Batch I of the Revitalisation Scheme in 2010. The fire services installations should comply with the current edition of “Code of Practice for Minimum Fire Service Installations and Equipment” and “Code of Practice for Inspection, Testing and Maintenance of Installations and Equipment” under the Fire Services Department.
8. Natural lighting and ventilation	Artificial lighting and mechanical ventilation was provided for toilets and office to the Magistracy under Batch I of the Revitalisation Scheme in 2010. For subsequent alteration and addition works (i.e. addition of kitchen), such works should comply with Building (Planning) Regulations. The Building Authority will

Requirements	Remarks
	give consideration to an application for modification from the provision of the Buildings Ordinance for site constraints by conservation of the building.
9. Provision of sanitary fitments	Male, female and accessible toilet were provided in the Magistracy. Notwithstanding the sanitary fitments has been provided, the applicants shall review the provision of sanitary fitment for the proposed use in order to comply with Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations.
10. Drainage Installation	There are existing foul and storm water drainage system connection to the government sewer and storm water system. The existing capacity of foul water drainage system may need to be reviewed to suit the proposed use. The Eating Place such as canteen is required to install grease trap before discharging to the communal sewers. The requirements of grease trap should comply with the instructions from the Food and Environmental Hygiene Department and Environmental Protection Department.

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by the TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with Conservation Guidelines (see **Section VI** of this resource kit.

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals. They may make reference to guidelines stated in PNAP APP-69 and Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2019 Edition) at the website of Buildings Department (www.bd.gov.hk).

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

- (a) Heritage Conservation
Application shall follow the Conservation Guidelines listed in **Section VI** of the Resource Kit when resolving technical issues.
- (b) Planning
Examples of uses in paragraph 10.1 are under Column 1 of the Notes to the OZP under Government, Institution or Community that are always permitted. Applicants shall aware any update to the outline zoning plan and notes from the TPB.
- (c) Emergency Vehicular Access (EVA)
An existing EVA complying the requirements stipulated in Section 6, Part D of Code of Practice for Fire Safety in Buildings 2011 demonstrated under the conversation of the Batch I of the Revitalisation Scheme. Review is required to comply with the current requirements under the proposed use.
- (d) Licensing
 - (i) If the site of this Revitalisation Project is to be used as an educational institution, the selected applicant is required to check whether the proposed mode of operation falls within the definition of a 'school' under the Education Ordinance (Cap. 279). If affirmative, the selected applicant shall make an application for registration of a school to the Education Bureau (EDB). Relevant information on registration procedures is available at the website of EDB (<http://www.edb.gov.hk>).
 - (ii) If food and beverage services are to be provided, the selected applicant shall make an application to FEHD if he intends to carry out any food business which involves, generally, the sale of meals or unbolted nonalcoholic drinks other than Chinese herb tea for consumption on site of this Revitalisation Project. Relevant information on application procedures and forms can be downloaded from the FEHD website (<http://www.fehd.gov.hk/english/licensing/index.html>).
 - (iii) If the site of the proposed use is to be used as an exhibition hall or

place of recreation/ entertainment, the selected applicant should obtain a license from the Food and Environmental Hygiene Department (FEHD) if he intends to carry out:

- (a) Any exhibition of any one or more of the followings, namely
- (b) pictures, photographs, books, manuscripts or other documents or
- (c) other things;
- (d) A sporting exhibition;
- (e) A cinematograph or laser projection display.

For details on the application of places of public entertainment license for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD.

(<http://www.fehd.gov.hk/english/licensing/index.html>).

(e) Structural Loading Requirement

The minimum uniformly distributed imposed loads as stipulated in the Building (Construction) Regulations (B(C)R) by the Buildings Department for the possible uses area are as follows:

Uses that could possibly be considered	Minimum Imposed Loads (kPa)	B(C)R Class No.	Usage stated in B(C) R
Education Institution	3.0	3	Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage
Eating Place	4.0	3	Restaurants, lounges, bars and fast food shops
Place of Recreation	3.0	3	Leisure, recreational and amusement areas that cannot be used for assembly purposes
Research, Design and Development Centre	3.0	2	Laboratories, light workrooms with neither central power-driven machines nor stage.

10.4 Recurrent Expenditure

To facilitate the applicants in forecasting their operation expenses, we have estimated the respective expenditure on some common recurrent items, including electricity fee, water and sewage charge, rates and rent for the building at **Appendix XVI** for reference. Please note that the estimated expenditure has been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

XI. Special Requirements of the Project

Applicants are required to take the special requirements into account in formulating their proposals and explain in their applications how the requirements have been incorporated in their proposals.

11.1 Grand Double Staircase and Central Staircase

Modifications to Building (Construction) Regulations were granted by Buildings Department in 2010 for the protective barrier of Grand Double Staircase and Central Staircase. The modification was given in recognition of the undertaking by SCAD (Hong Kong).

The Grand Double Staircase, the Central Staircase and adjoining Entrance Hall and Lobby/Student Resting Areas (Central Halls) should be used in a manner as indicated on the approved plans by Buildings Department and the said undertaking letter. For the proposed change of use on the building, the selected applicant is required to enter a new application of the proposal (i.e. feasible and enforceable management plan with justifications and undertaking), obtain all necessary approval from the relevant authorities without alteration to the existing ornamental ironwork balustrades of the Grand Double Staircase. For the Central Staircase, upgrading works to the existing handrails and balustrades should be avoided.

11.2 FS & Sprinkler Pump Room & Tank and Temporary Structure

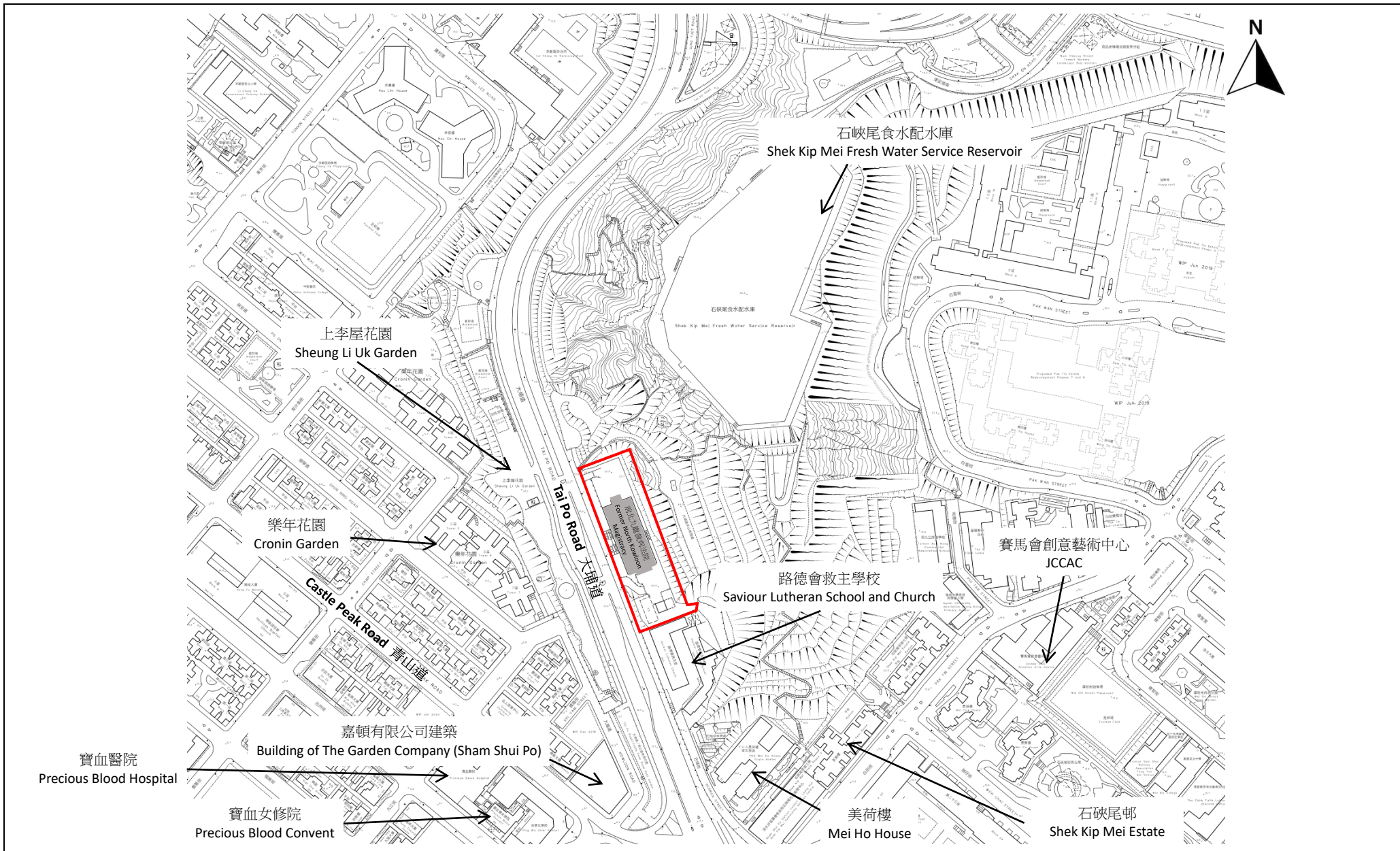
The FS & Sprinkler Pump Room & Tank and the Temporary Structure located at the South Open Forecourt do not fall within the historic building grading boundary. The FS & Sprinkler Pump Room & Tank was constructed under the Batch I of the Revitalisation Scheme and are the plant rooms serving for the Magistracy. The Temporary Structure was constructed before the Batch I of the Revitalisation Scheme and its area was included into the Site Coverage and/or Plot Ratio Calculation as non-domestic area under the Batch I revitalisation works. The Temporary Structure and the outdoor sitting area were previously used by SCAD (Hong Kong) as office and reception area for potential students and their visitors.


If the selected applicant would like to use the Temporary Structure, he is required to enter a new application of the proposal, ensure the structural stability of the Temporary Structure, and obtain all necessary approval from the relevant authorities, including but not limited to the Buildings Department, Town Planning Board, AMO etc. The proposal should also comply with all relevant Ordinances, including but not limited to the Buildings Ordinance (Cap. 123) and the Town Planning Ordinance (Cap. 131).

Demolition of the Temporary Structure with or without construction of above-ground and/or below ground new structure(s) on the area to provide additional space in support of the provision of services by the social enterprise may be allowed. Such new structure(s), if any, should be constructed primarily for supporting the adaptive reuse of existing historic building with minimum intervention to it. In doing so, the applicants should strive to utilise the existing historic building for their main social enterprise operation and observe the following requirements in designing the new structure(s), if any:

- (a) The Former North Kowloon Magistracy being a Grade 2 Historic Building of unique heritage value, the design of the new structure should deliver the objective of achieving compatibility with, and not being visually intrusive to, the existing building and setting of the building form. The scale of the new structure should be commensurate with the intended purpose of use and in proportion with the existing building without overwhelming the latter;
- (b) The applicants should observe the building height restriction, maximum plot ratio and site coverage as stipulated in the Building Ordinance, the Outline Zoning Plan and the Permanent Land Allocation;
- (c) The applicants should also observe the requirements as stipulated in Item 1.4 of the **Appendix X** of Conservation Guidelines. The ultimate height of structure, if any, should be visually screen off by the natural landscape of trees facing Tai Po Road, and without causing adverse visual impact to the historic building.
- (d) Any proposed new structure or building to be erected on the site, or addition to the existing structures and buildings shall fulfill statutory requirements and shall be agreed with the appropriate authorities, including the District Lands Officer, Planning Department, Buildings Department and AMO before commencement of any on-site works.

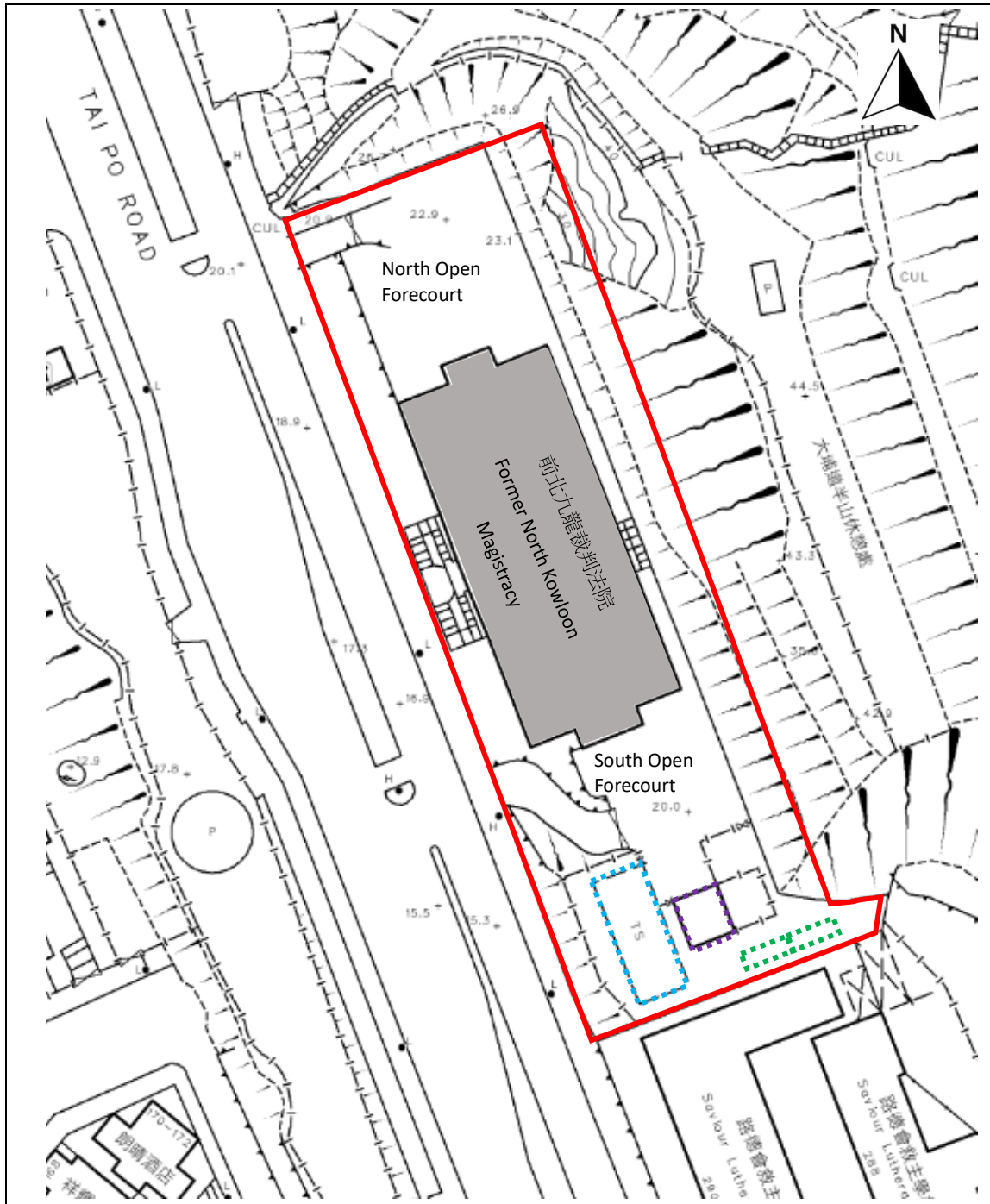
Appendix I
Location Plan



 SITE BOUNDARY EXTRACT PLAN BASED ON SURVEY SHEET NO. 11-NW-9C	FORMER NORTH KOWLOON MAGISTRACY	<u>APPENDIX I</u> LOCATION PLAN (NOT TO SCALE)
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Appendix II

Site Boundary Plan



- SITE BOUNDARY
- TEMPORARY STRUCTURE
- TEMPORARY STORAGE
- FS & SPRINKLER PUMP ROOM & TANK

EXTRACT PLAN BASED ON SURVEY SHEET
NO. 11-NW-9C

FORMER NORTH
KOWLOON MAGISTRACY

APPENDIX II
SITE BOUNDARY PLAN
NOT TO SCALE

Appendix III

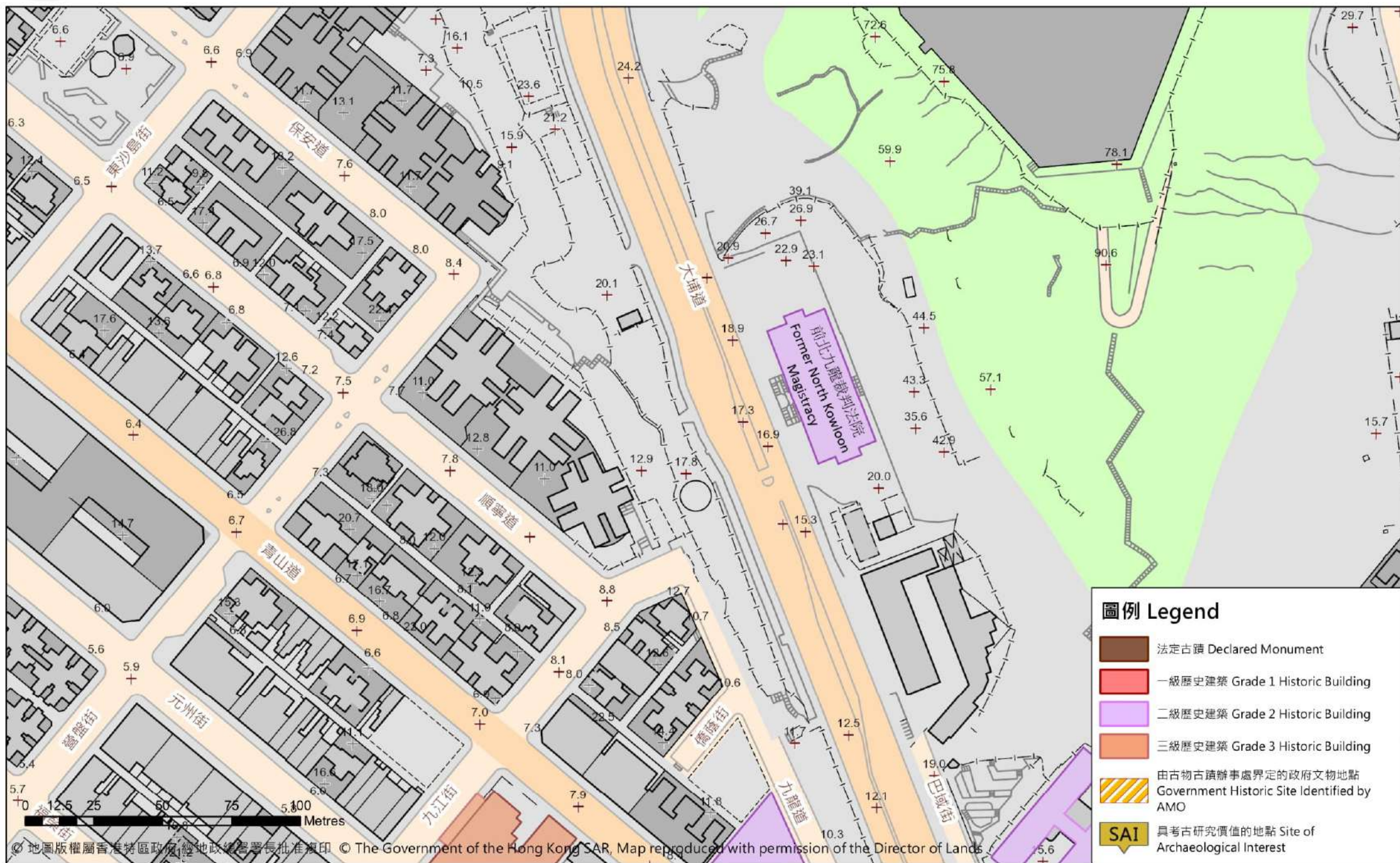
Historic Building Grading Boundary Plan



香港文物地理資訊系統

Geographical Information System

on Hong Kong Heritage



圖例 Legend

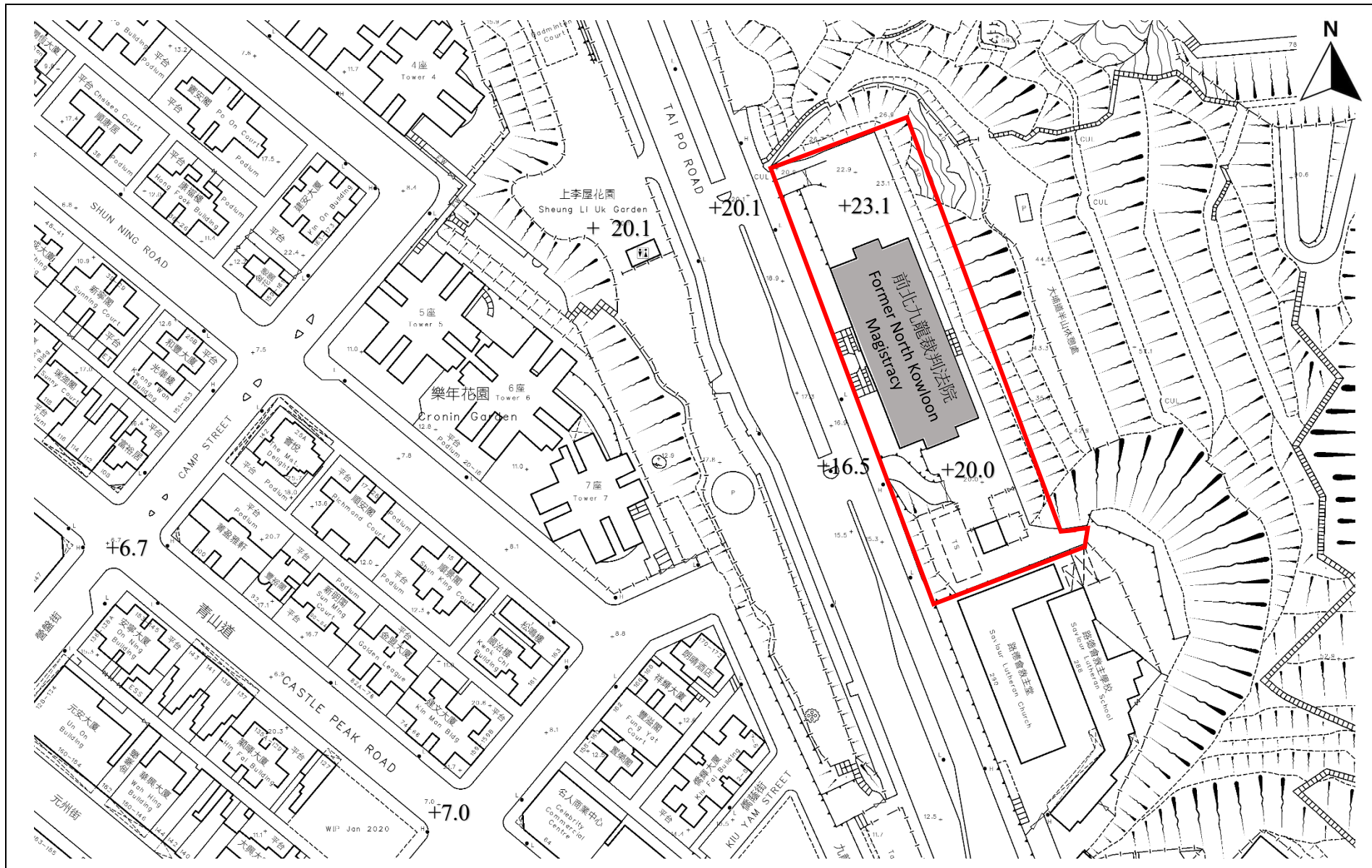
- 法定古蹟 Declared Monument
- 一級歷史建築 Grade 1 Historic Building
- 二級歷史建築 Grade 2 Historic Building
- 三級歷史建築 Grade 3 Historic Building
- 由古物古蹟辦事處界定的政府文物地點 Government Historic Site Identified by AMO
- SAI 具考古研究價值的地點 Site of Archaeological Interest

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只作識別用 FOR IDENTIFICATION PURPOSES ONLY

Appendix IV

Datum Levels Plan



SITE BOUNDARY

+20.1 Refer to 'Metres above Principal Datum'

FORMER NORTH KOWLOON MAGISTRY

APPENDIX IV

DATUM LEVELS PLAN

EXTRACT PLAN BASED ON SURVEY SHEET NO. 11-NW-9C

NOT TO SCALE

Appendix V

Summary of Site and Building Information

Summary of site information is listed below:

Site	Former North Kowloon Magistracy
Address	292 Tai Po Road, Kowloon
Site Area	Approximately 4,815 sq. m
Major Datum Level	Range from around +16.5mPD to +23.1mPD
Zoning	Government , Institution or Community (Majority of the site area)

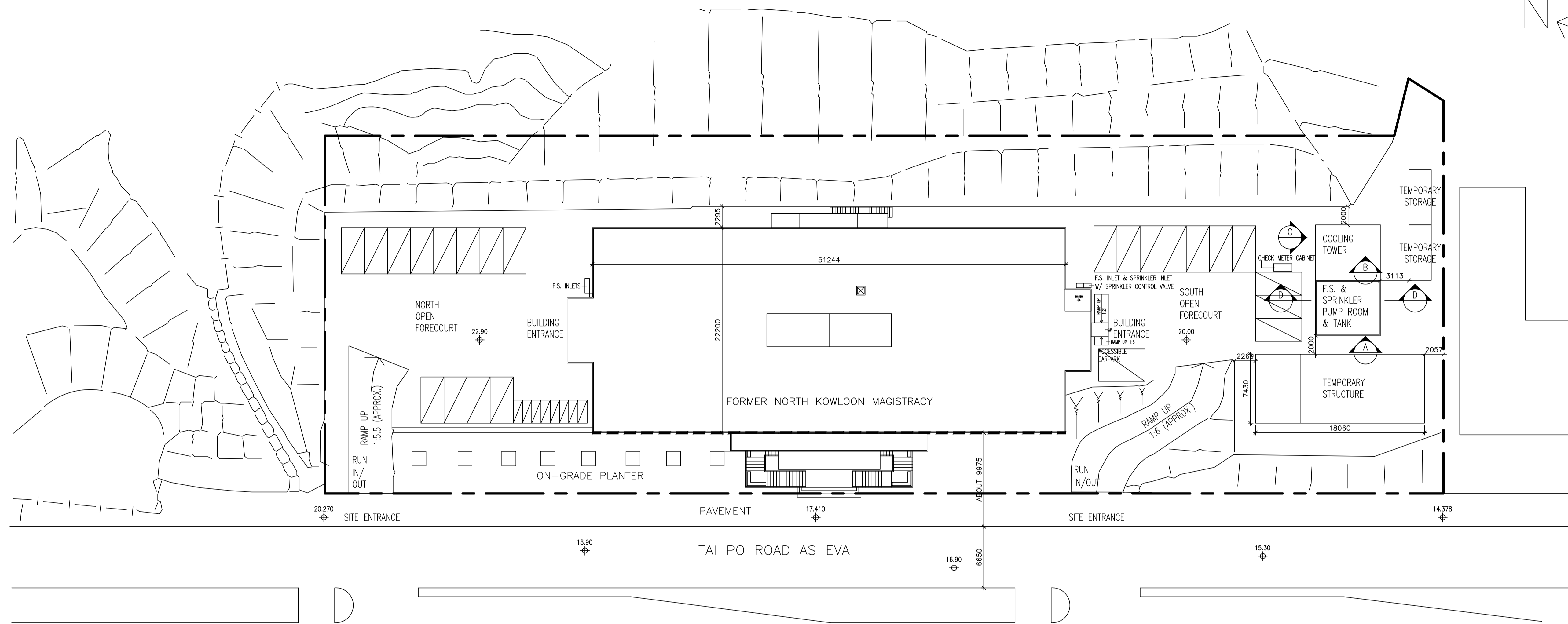
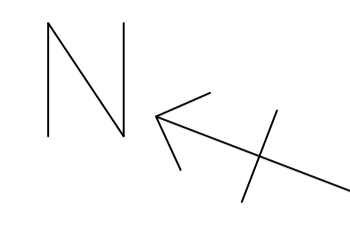
Summary of building information is listed below:

Number of Blocks (Permanent Structure)	2 (Former North Kowloon Magistracy, FS & Sprinkler Pump Room & Tank)
Year of Completion	- 1960 for Former North Kowloon Magistracy - 2010 for FS & Sprinkler Pump Room & Tank
Gross Floor Area	Approximately 7673 sq. metres
Historic Grading	Grade 2 Historic Building (excluding the FS & Sprinkler Pump Room & Tank)
Original Use	Magistracy
Recent Uses	Educational Institution Savannah College of Art and Design (SCAD) Hong Kong was operated by the SCAD Foundation (Hong Kong) Limited since September 2010 under Batch I of the Revitalising Historic Buildings Through Partnership Scheme and will be suspended in operation in July 2020

Appendix VI(A)
Building Drawings

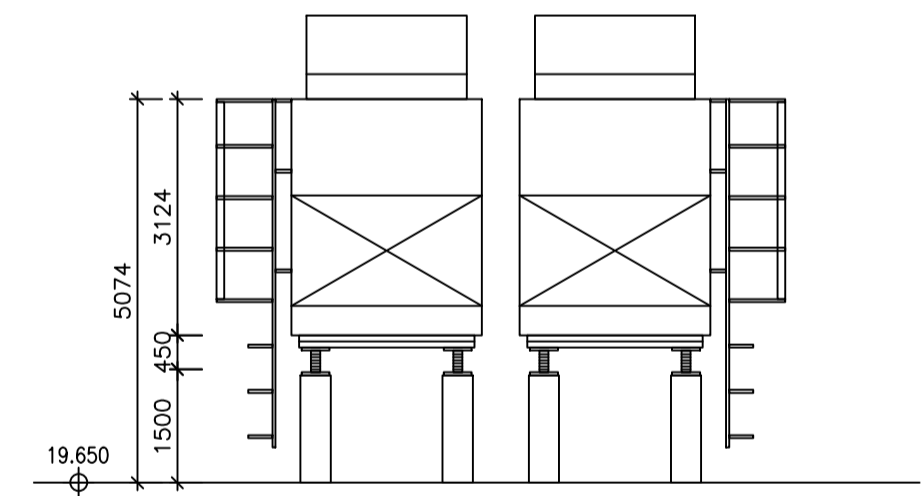
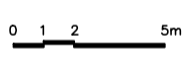
Appendix VI(A) – Building Drawings
Drawing List

	Drawing No.	Drawing Title
1.	NK-01	Block Plan
2.	NK-02	Lower Ground Floor Plan
3.	NK-03	Ground Floor Plan
4.	NK-04	First Floor Plan
5.	NK-05	Second Floor Plan
6.	NK-06	Third Floor Plan
7.	NK-07	Fourth Floor Plan
8.	NK-08	Fifth Floor Plan
9.	NK-09	Roof Plan
10.	NK-10	Section A-A
11.	NK-11	Section B-B
12.	NK-12	West Elevation
13.	NK-13	South Elevation
14.	NK-14	East Elevation
15.	NK-15	North Elevation

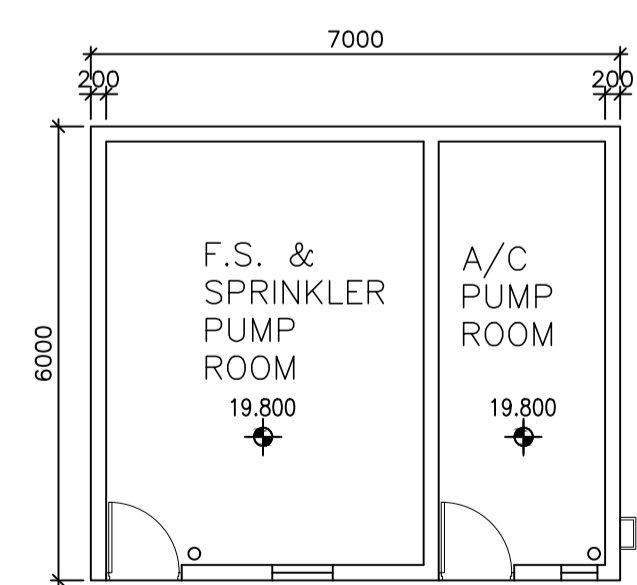


BLOCK PLAN & E.V.A. PLAN

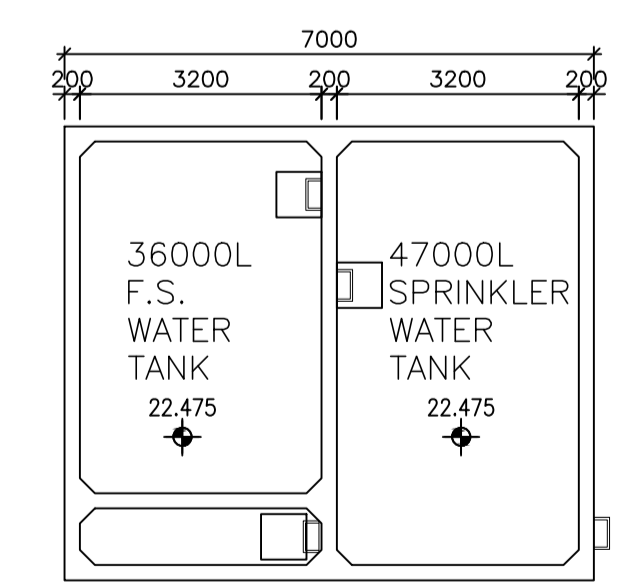
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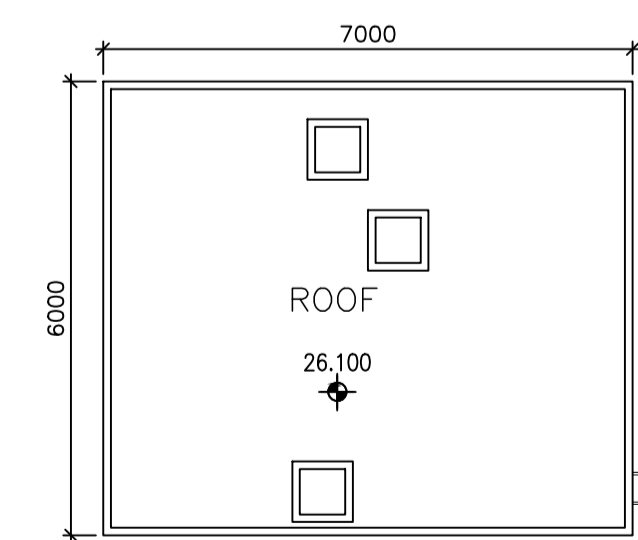
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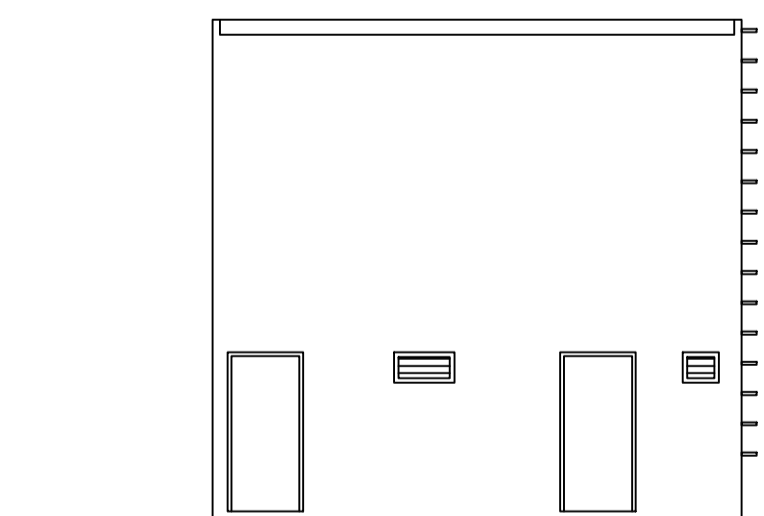
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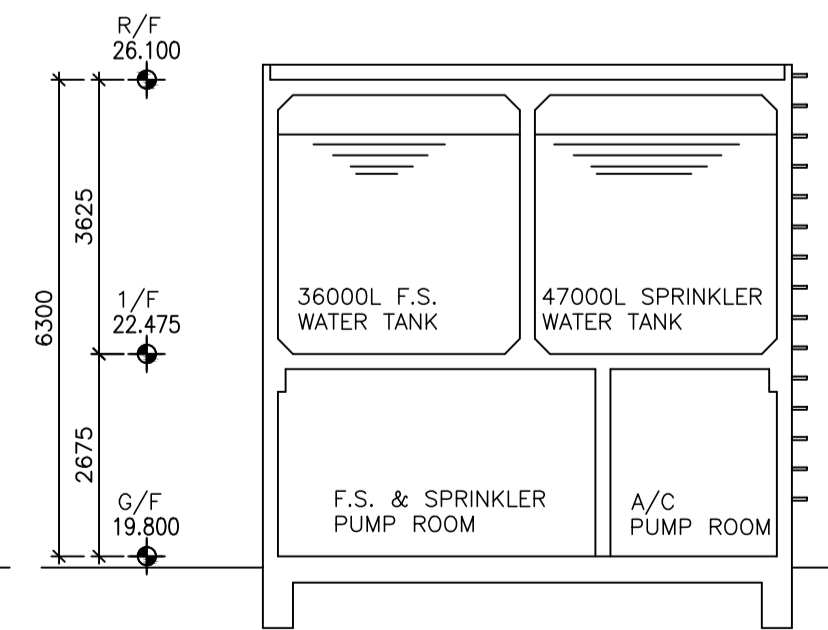
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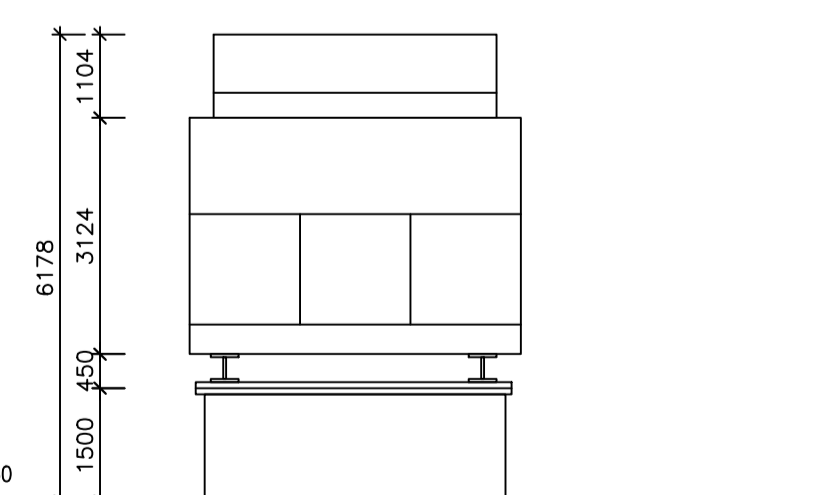
ROOF FLOOR PLAN



ELEVATION A



SECTION D



ELEVATION C

F.S. & SPRINKLER PUMP ROOM

1 : 100 (in A1)

LEGEND:
 ⊕ FINISHED FLOOR LEVEL
 ⊕ STRUCTURAL FLOOR LEVEL
 REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



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PROJECT TITLE:
 RESOURCE KIT FOR
 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

DRAWING TITLE:
 BLOCK PLAN

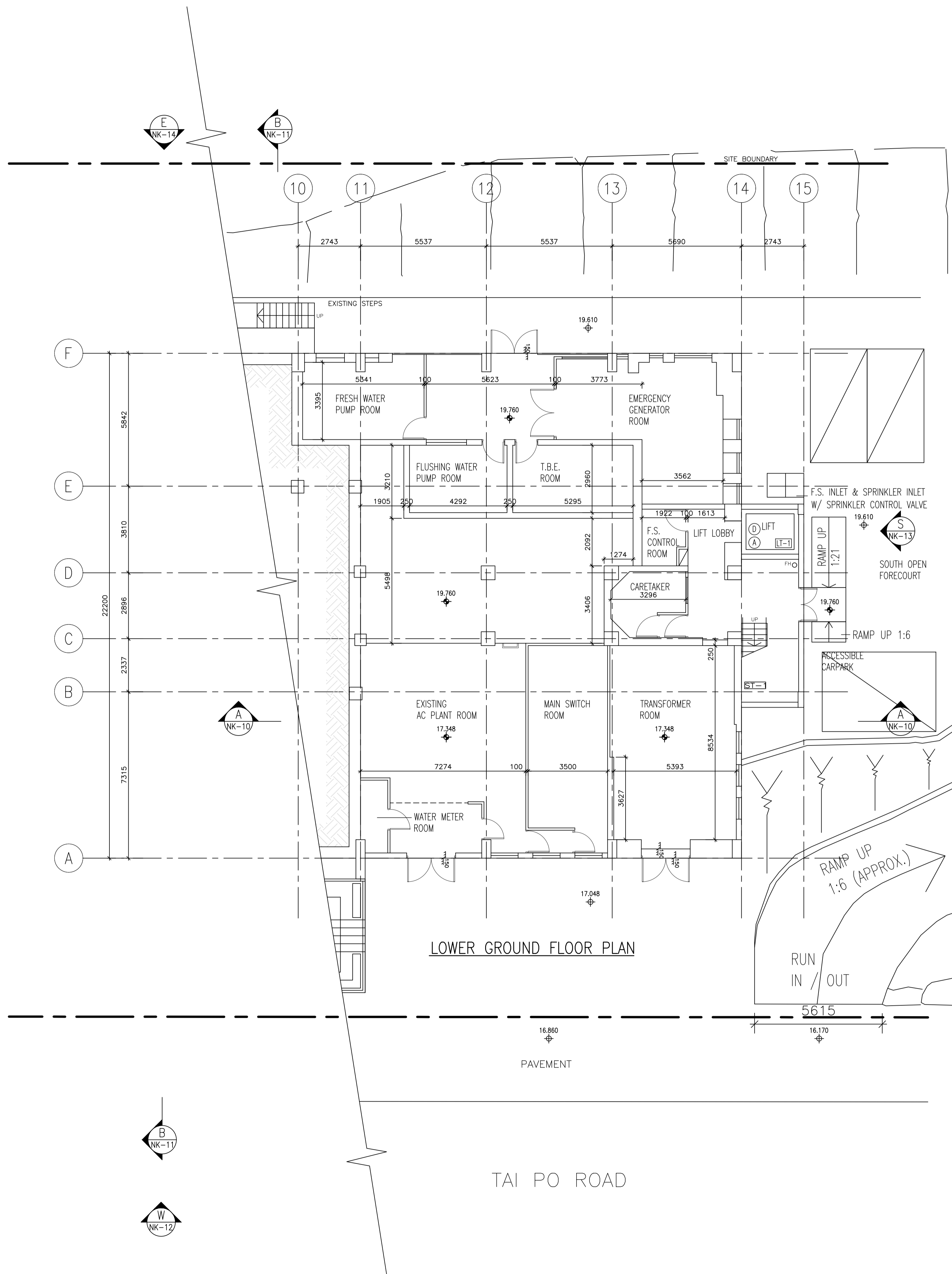
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JOB NO:
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DRAWING NO:
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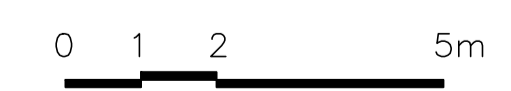
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LOWER GROUND FLOOR PLAN

TAI PO ROAD



LEGEND:

- ⊕ FINISHED FLOOR LEVEL
- ⊙ STRUCTURAL FLOOR LEVEL

REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDING DEPARTMENT IN 2016.

ARCHITECTURAL SERVICES DEPARTMENT

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NO.292 TAI PO ROAD,
SHAM SHUI PO,
KOWLOON

DRAWING TITLE:
LOWER GROUND FLOOR
PLAN

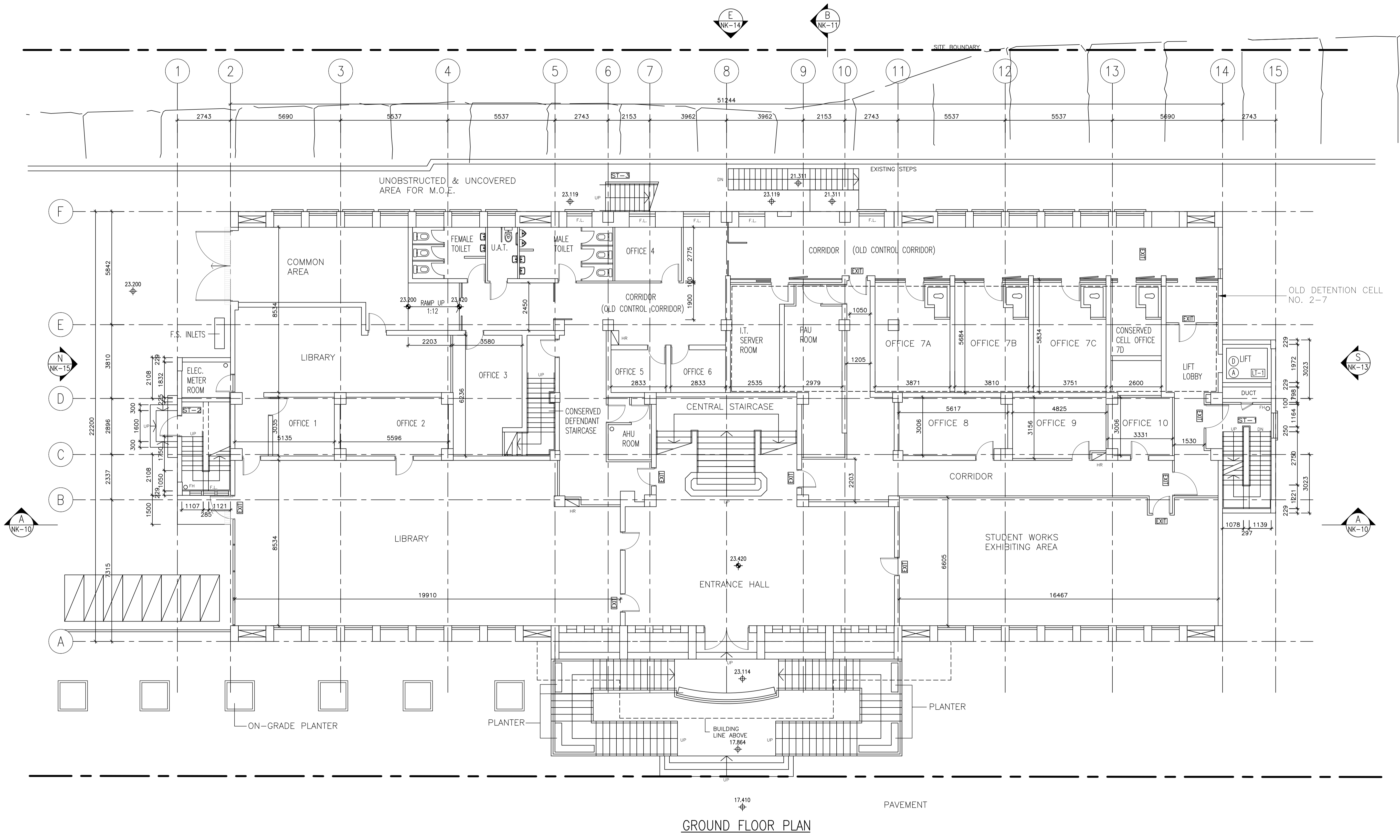
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Kit for Former North Kowloon Magistracy
RFK-20200703
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STATUS:



GROUND FLOOR PLAN

TAI PO ROAD

LEGEND:
 ⊕ FINISHED FLOOR LEVEL
 ⊕ STRUCTURAL FLOOR LEVEL
REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

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PROJECT TITLE:
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 KOWLOON MAGISTRACY,
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 KOWLOON

DRAWING TITLE:
 GROUND FLOOR PLAN

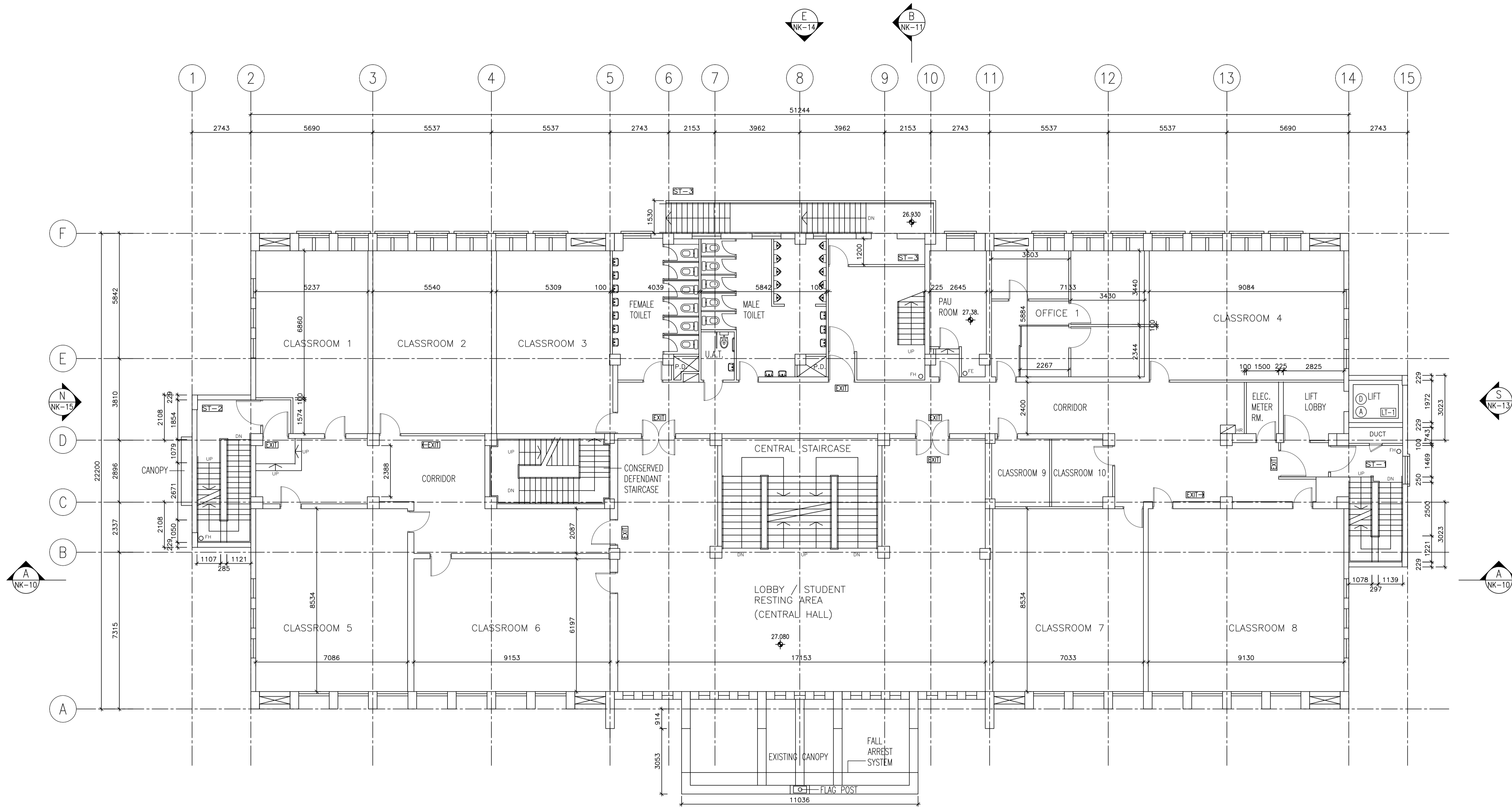
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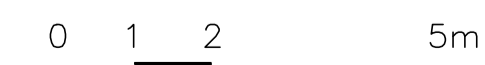
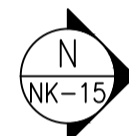
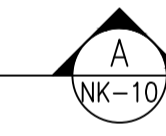
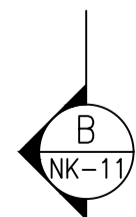
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STATUS:



FIRST FLOOR PLAN



LEGEND:
 FINISHED FLOOR LEVEL
 STRUCTURAL FLOOR LEVEL
 REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

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PROJECT TITLE:
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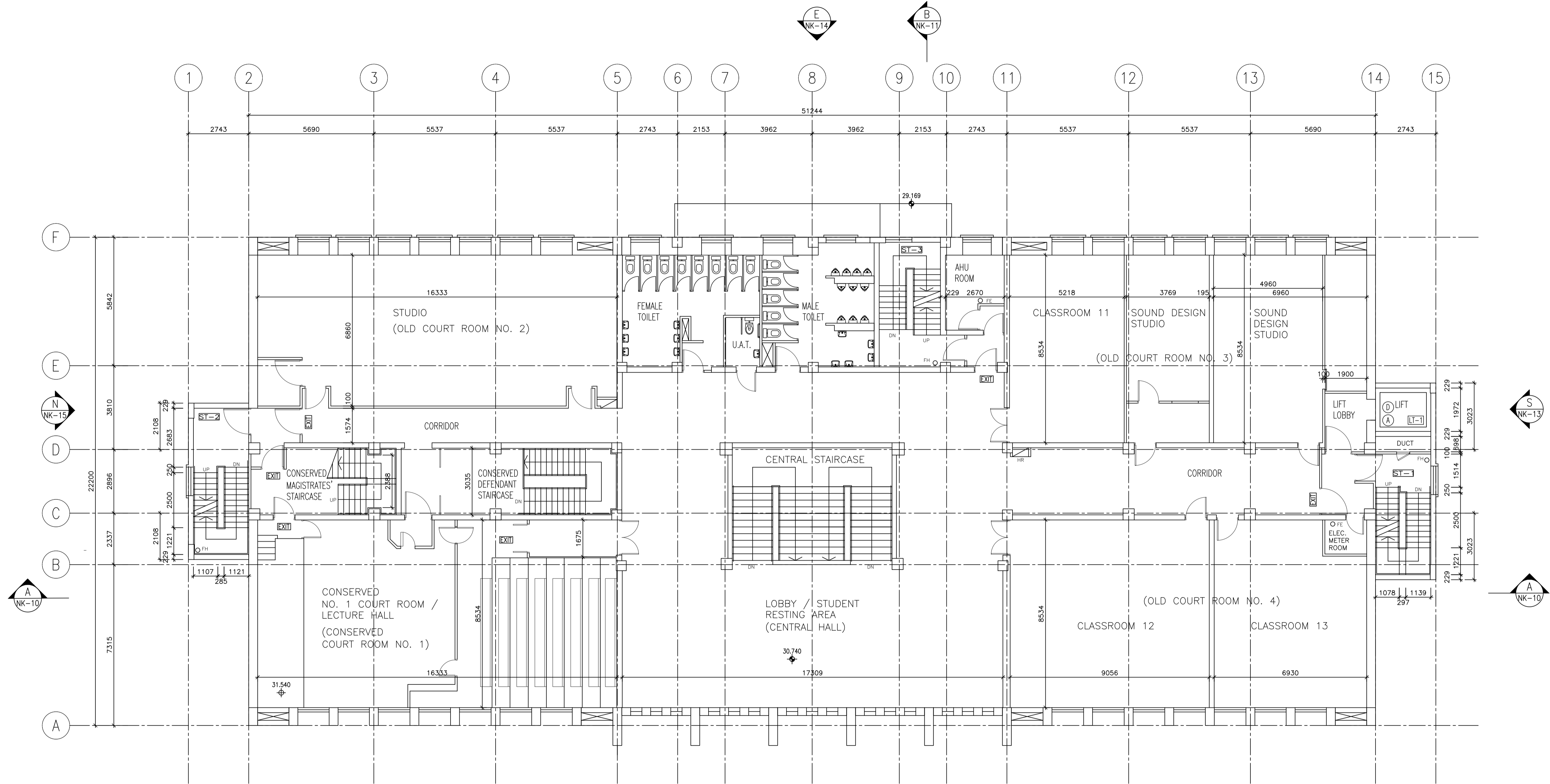
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 FIRST FLOOR PLAN

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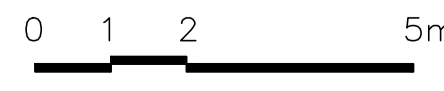
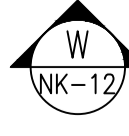
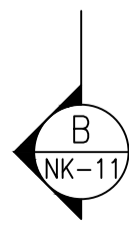
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STATUS:



SECOND FLOOR PLAN



LEGEND:
 ⊕ FINISHED FLOOR LEVEL
 ⊕ STRUCTURAL FLOOR LEVEL
REMARKS: FLOOR LEVELS INDICATED IN THIS ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2016.



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PROJECT TITLE:
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 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
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DRAWING TITLE:
 SECOND FLOOR PLAN

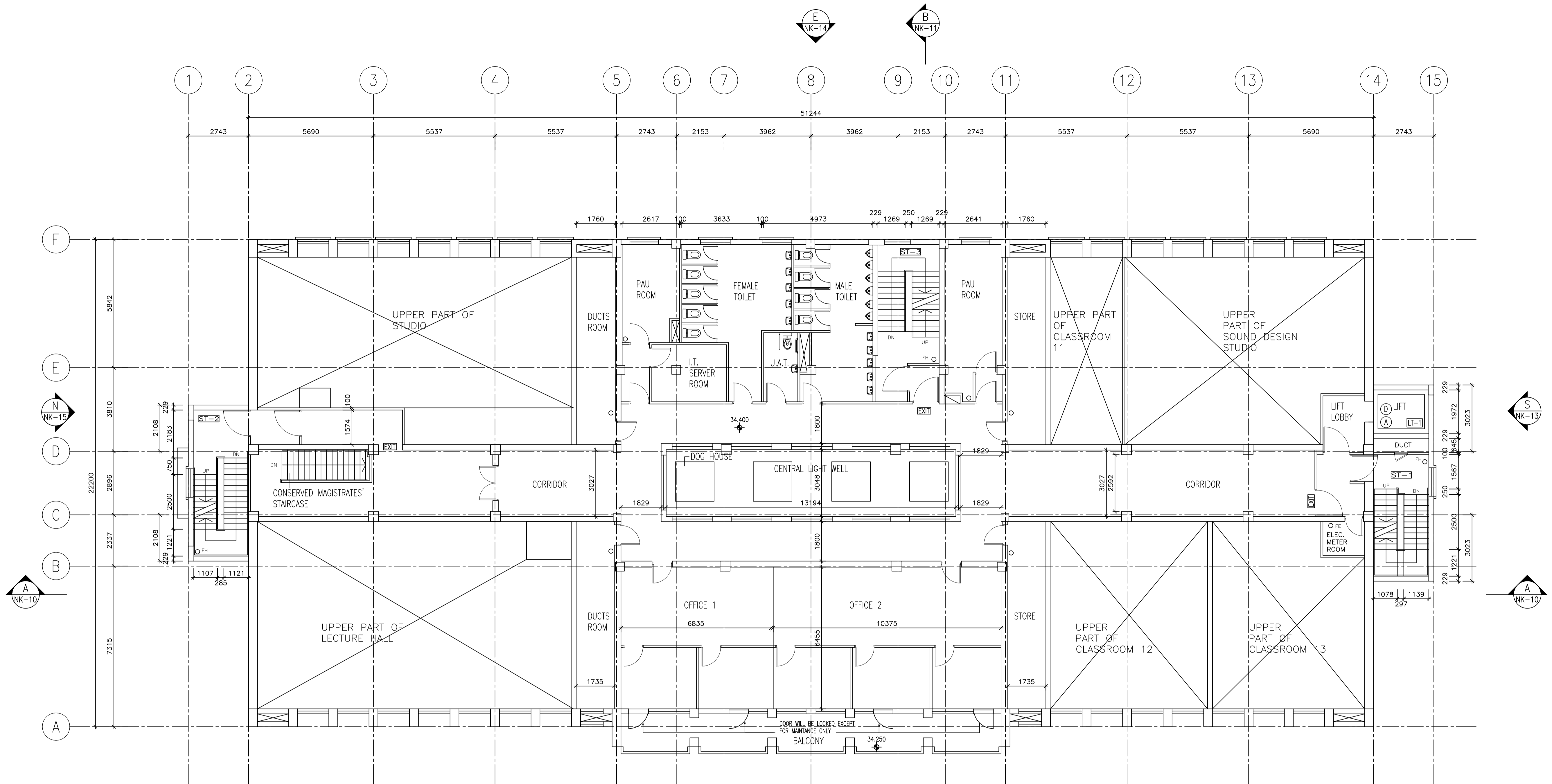
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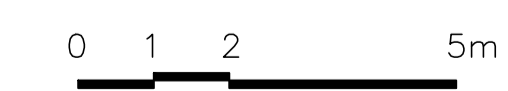
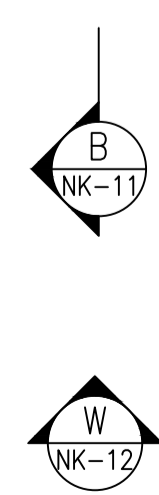
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 Kit for Former North Kowloon Magistracy
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STATUS:



THIRD FLOOR PLAN



- LEGEND:
- FINISHED FLOOR LEVEL
 - STRUCTURAL FLOOR LEVEL
- REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2016.



CONSULTANT:
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PROJECT TITLE:
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 FORMER NORTH
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 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

DRAWING TITLE:
 THIRD FLOOR PLAN

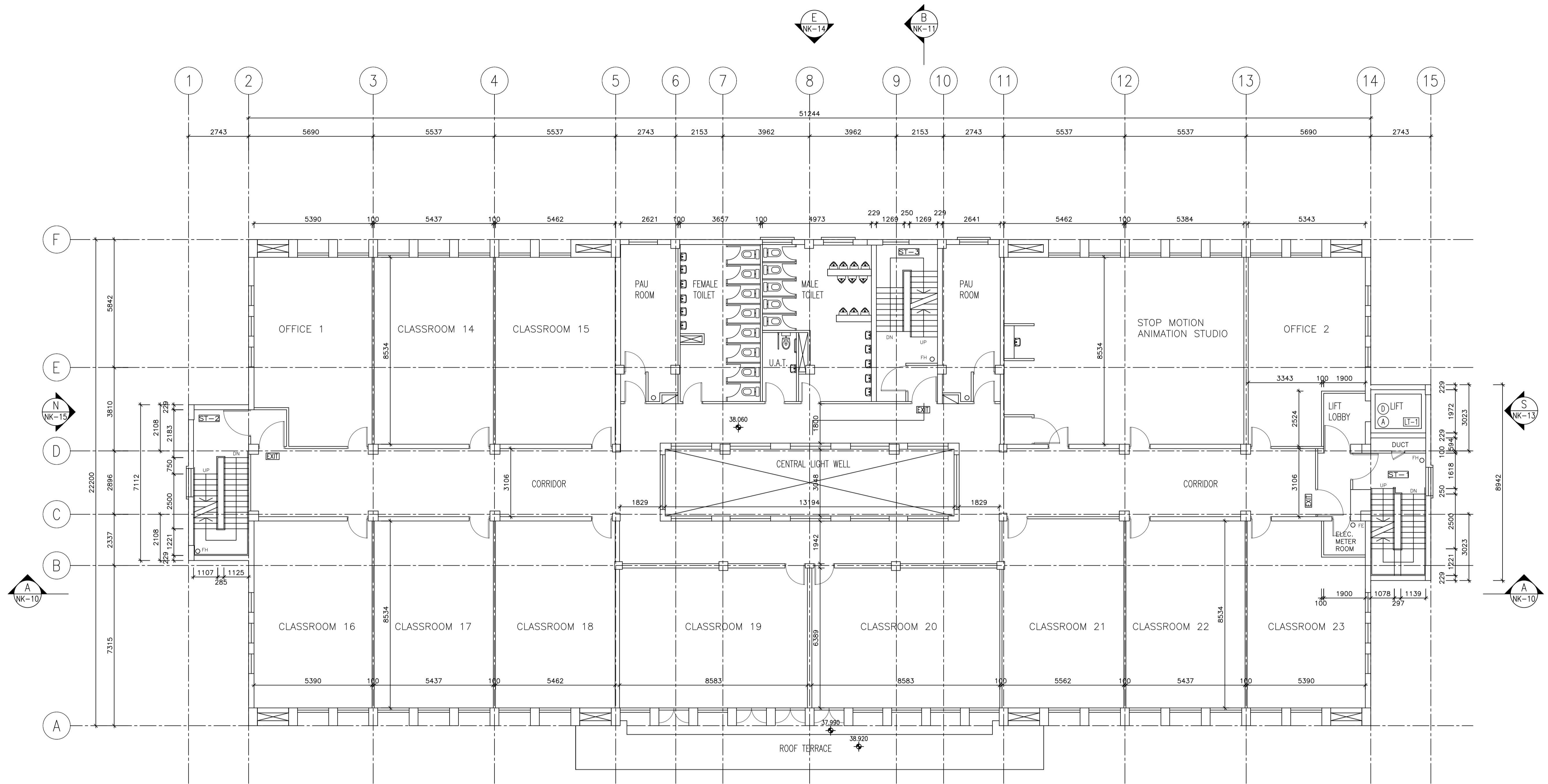
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JOB NO:
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STATUS:



FOURTH FLOOR PLAN

LEGEND:

- ⊕ FINISHED FLOOR LEVEL
- ⊖ STRUCTURAL FLOOR LEVEL

REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2015.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:

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PROJECT TITLE:
RESOURCE KIT FOR
FORMER NORTH
KOWLOON MAGISTRACY,
NO.292 TAI PO ROAD,
SHAM SHUI PO,
KOWLOON

DRAWING TITLE:
FOURTH FLOOR PLAN

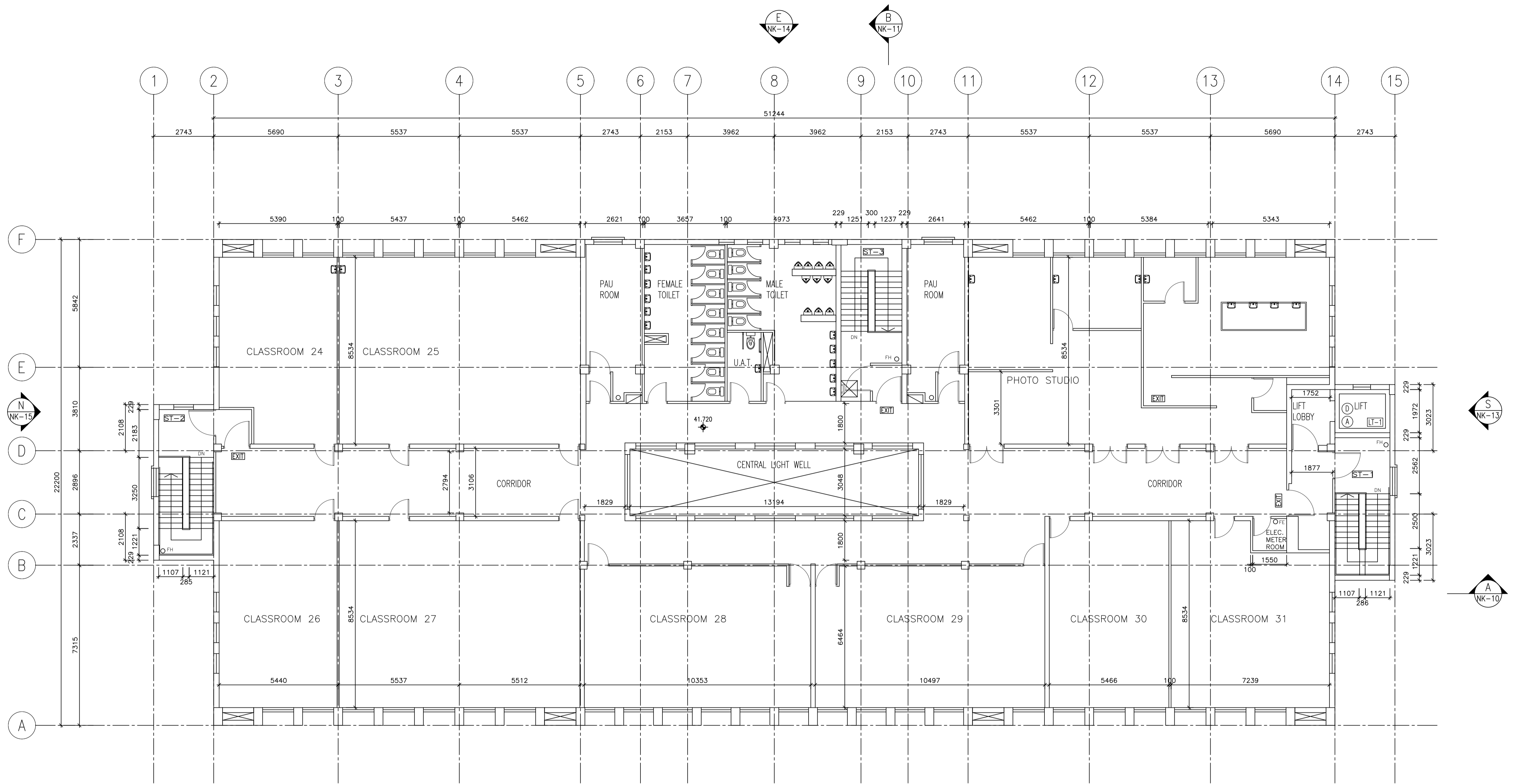
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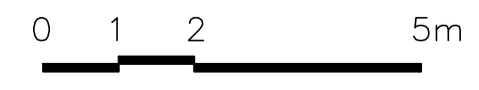
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STATUS:



FIFTH FLOOR PLAN



LEGEND:

- ⊕ FINISHED FLOOR LEVEL
- ⊙ STRUCTURAL FLOOR LEVEL

MEASUREMENTS: FLOOR LEVEL, ANNOTATED AS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

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PROJECT TITLE:
RESOURCE KIT FOR
FORMER NORTH
KOWLOON MAGISTRACY,
NO.292 TAI PO ROAD,
SHAM SHUI PO,
KOWLOON

DRAWING TITLE:
FIFTH FLOOR PLAN

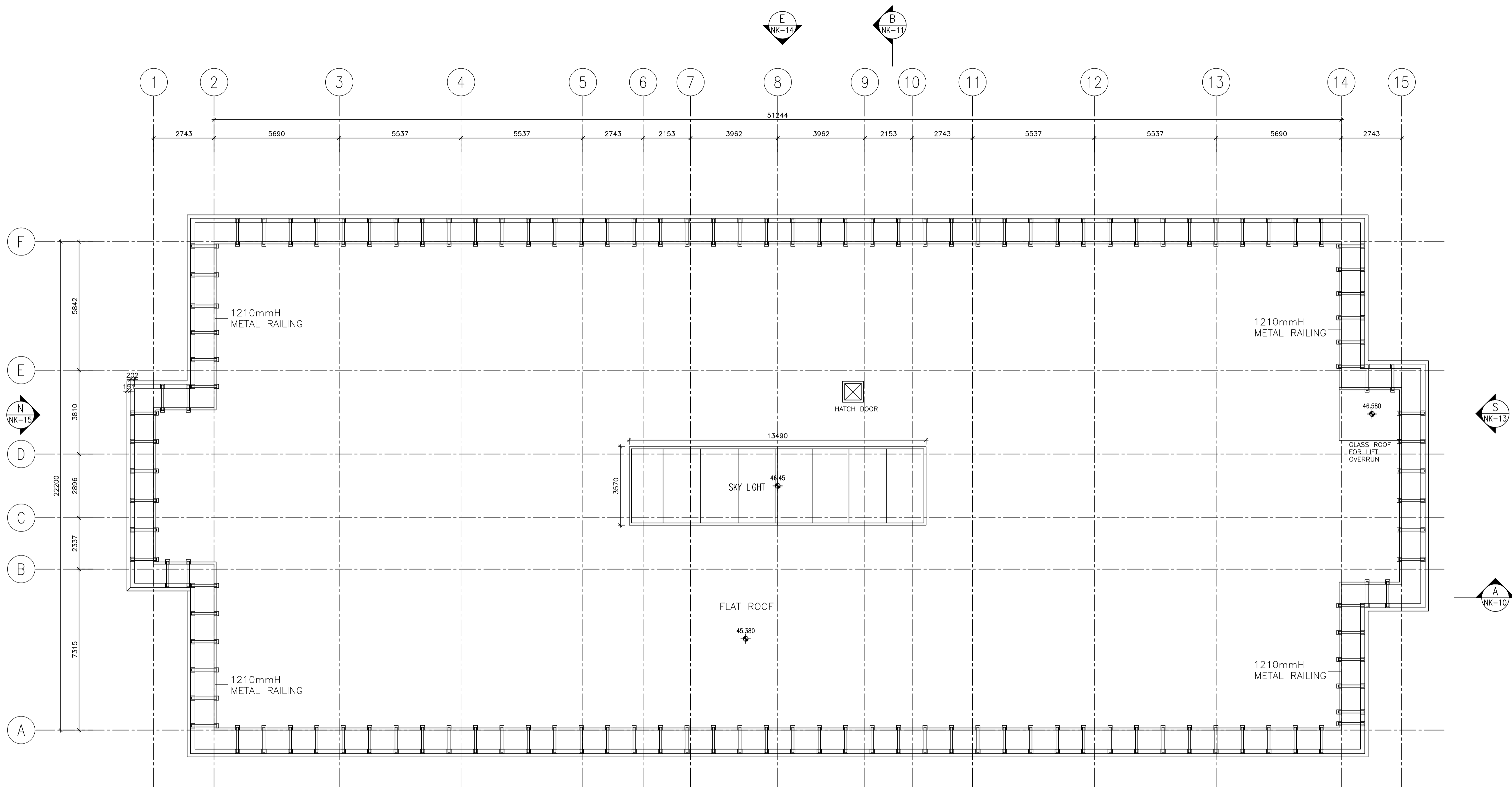
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JY-20079J

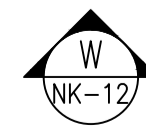
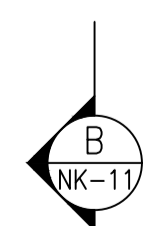
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Kit For Former North Kowloon Magistracy
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STATUS:



ROOF PLAN



LEGEND:
 FINISHED FLOOR LEVEL
 STRUCTURAL FLOOR LEVEL
REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

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PROJECT TITLE:
 RESOURCE KIT FOR
 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

DRAWING TITLE:
 ROOF PLAN

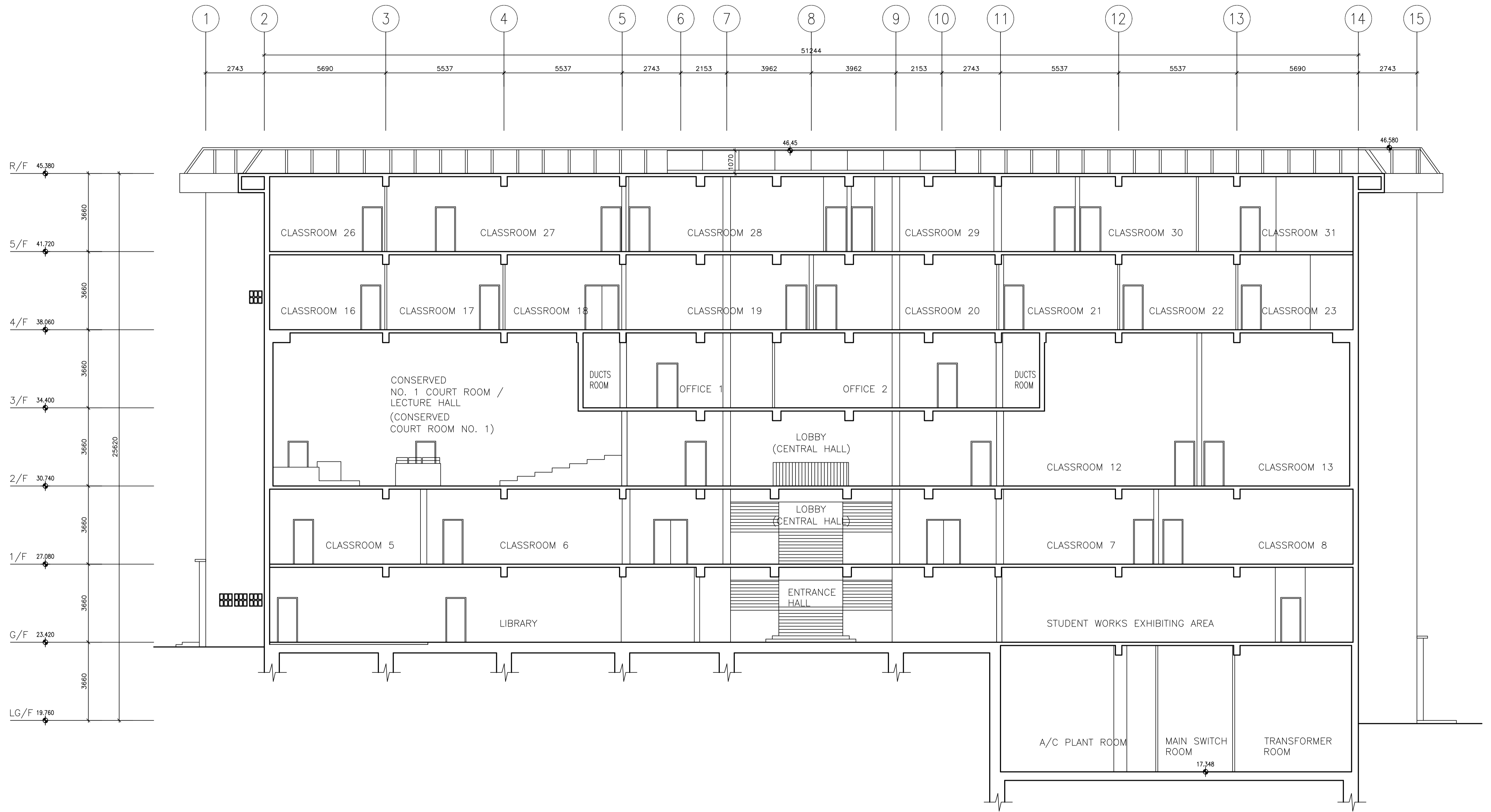
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JOB NO:
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STATUS:



SECTION A-A



- LEGEND:
- FINISHED FLOOR LEVEL
 - STRUCTURAL FLOOR LEVEL
- REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



CONSULTANT:



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PROJECT TITLE:
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 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
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DRAWING TITLE:
 SECTION A-A

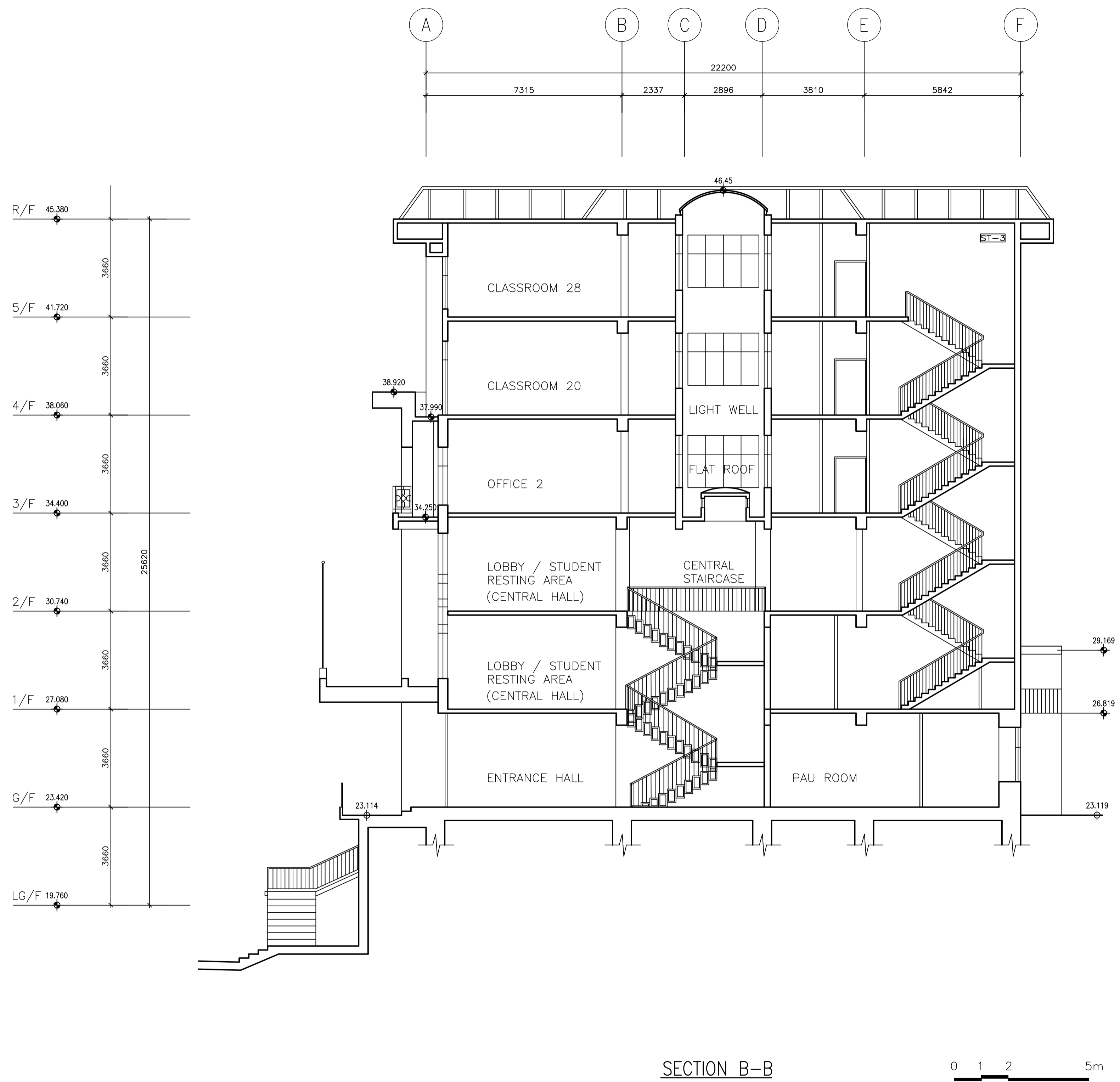
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STATUS:



SECTION B-B



LEGEND:

- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL

REMARKS: FLOOR LEVEL ADJUSTMENT IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDING DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

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PROJECT TITLE:
RESOURCE KIT FOR
FORMER NORTH
KOWLOON MAGISTRACY,
NO.292 TAI PO ROAD,
SHAM SHUI PO,
KOWLOON

DRAWING TITLE:
SECTION B-B

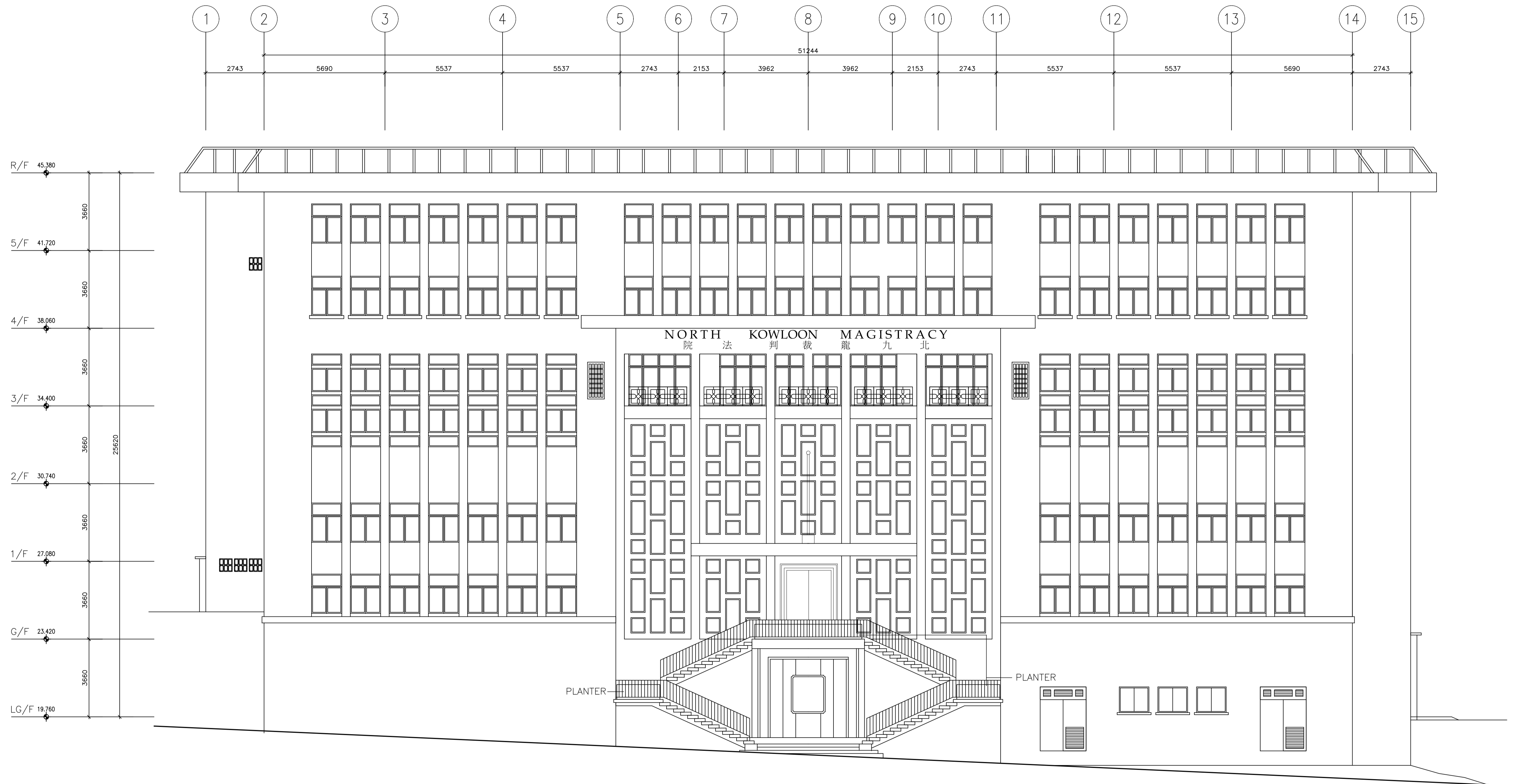
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JOB NO:
JY-20079J

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Kit for Former North Kowloon Magistracy
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STATUS:



WEST ELEVATION



LEGEND:
 ⊕ FINISHED FLOOR LEVEL
 ⊕ STRUCTURAL FLOOR LEVEL
 REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



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PROJECT TITLE:
 RESOURCE KIT FOR
 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

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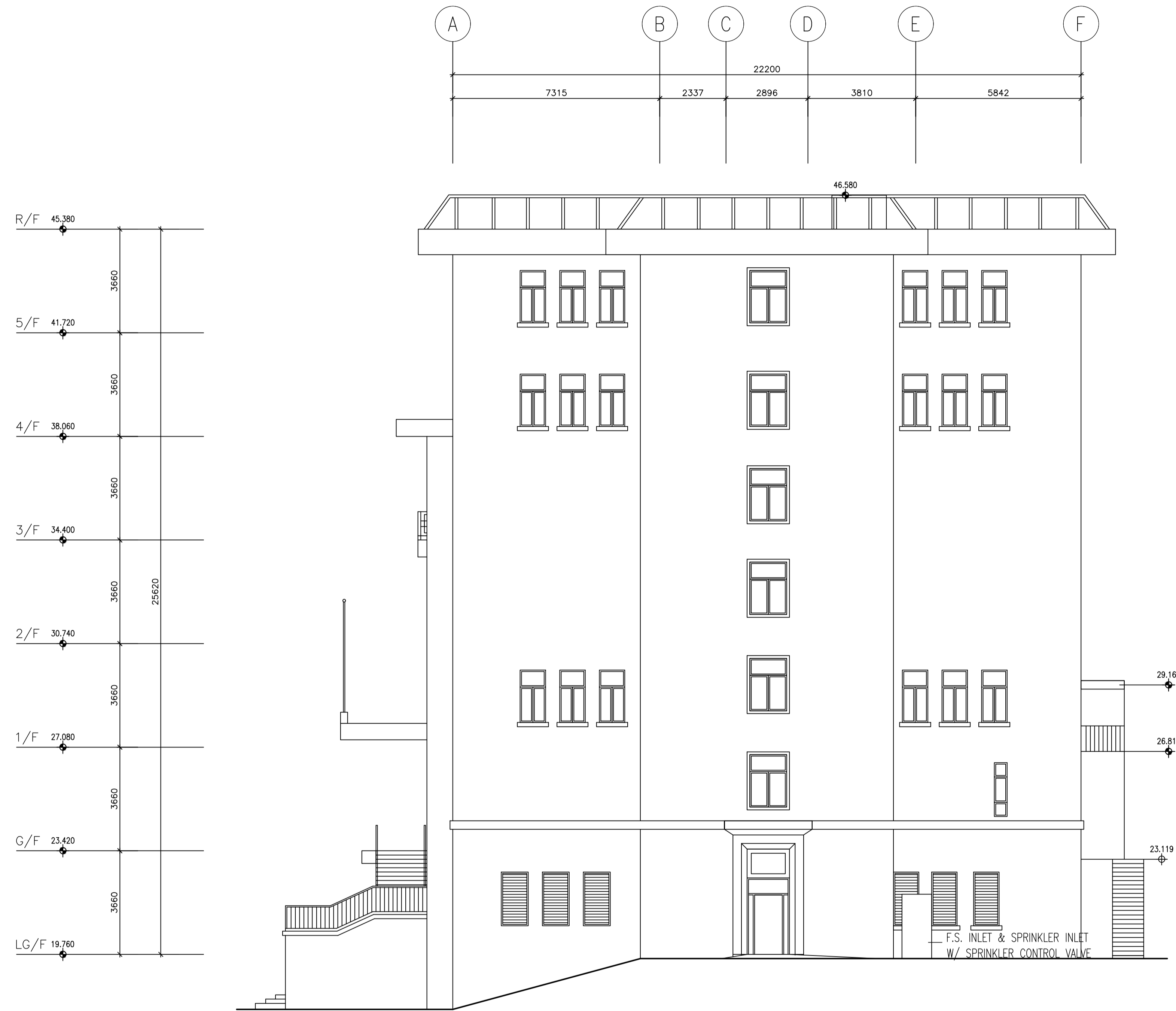
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JOB NO:
 JY-20079J

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 NK-12

FILE REF:
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 Kit for Former North Kowloon Magistrate
 2017-02020\03
 Plan\Arch\2020-07-09\W-ELE.dwg

STATUS:



SOUTH ELEVATION



- LEGEND:
- FINISHED FLOOR LEVEL
 - STRUCTURAL FLOOR LEVEL

* FINISHED FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



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 JOHN H Y YIP SURVEYORS LTD.
 ROOM 6F, 6/F,
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 2-8 KUNG YIP STREET, KWAI CHUNG,
 NEW TERRITORIES, HONG KONG
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:
 RESOURCE KIT FOR
 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

DRAWING TITLE:
 SOUTH ELEVATION

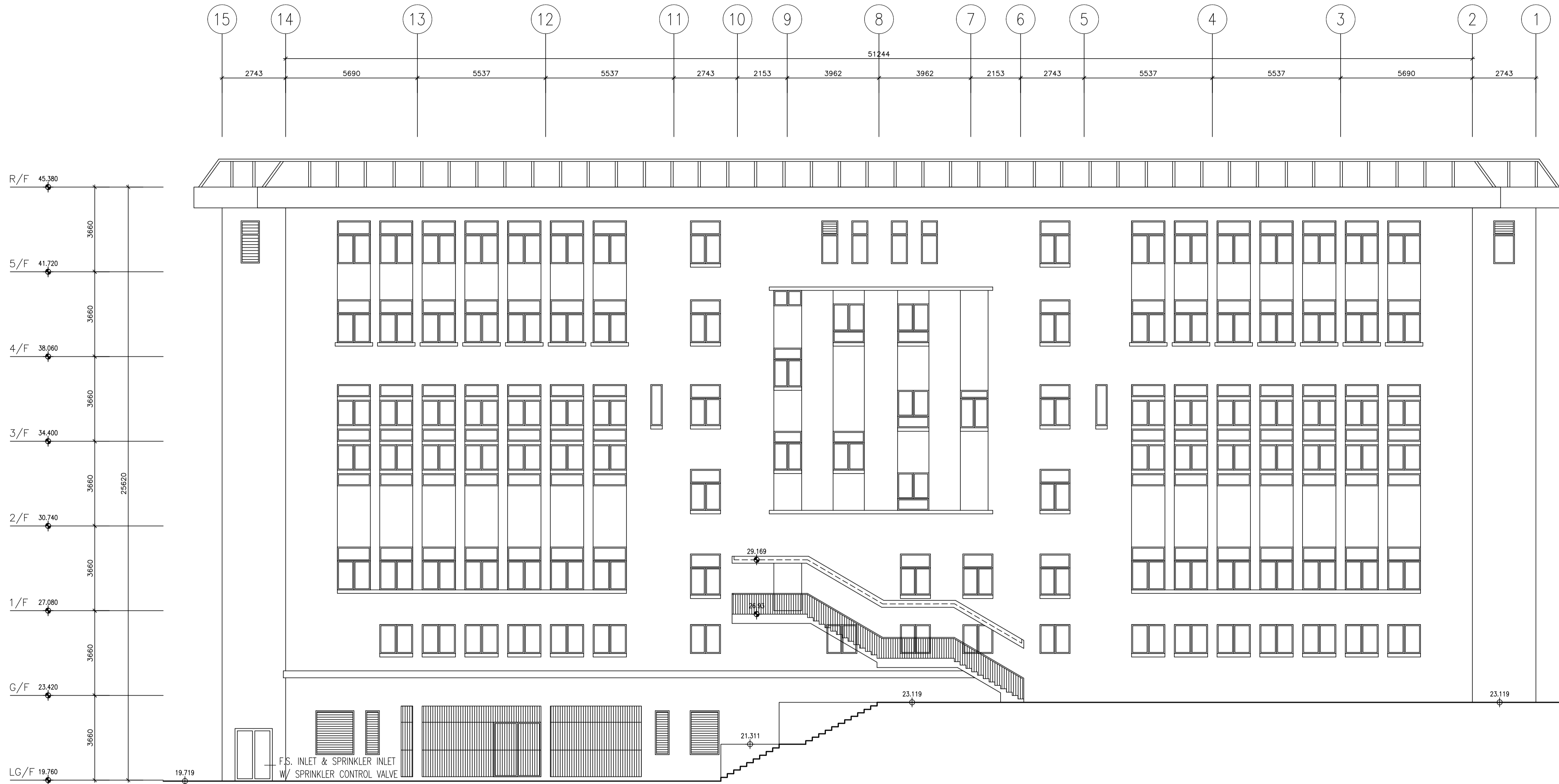
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27/5/2020				1:100 (= A1)

JOB NO:
 JY-20079J

DRAWING NO:
 NK-13

FILE REF:
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 Kit for Former North Kowloon Magistracy
 2010-05-20\01.dwg
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STATUS:



EAST ELEVATION

LEGEND:
 FINISHED FLOOR LEVEL
 STRUCTURAL FLOOR LEVEL
REMARK: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:
 JOHN H Y YIP Surveyors Ltd.
 葉浩然測量師樓
 JOHN H Y YIP SURVEYORS LTD.
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PROJECT TITLE:
 RESOURCE KIT FOR
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 NO.292 TAI PO ROAD,
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DRAWING TITLE:
 EAST ELEVATION

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JOB NO:
JY-20079J

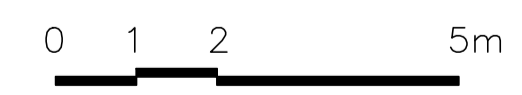
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NK-14

FILE REF:
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STATUS:



NORTH ELEVATION



LEGEND:
 FINISHED FLOOR LEVEL
 STRUCTURAL FLOOR LEVEL
 REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



CONSULTANT:
 JOHN H Y YIP Surveyors Ltd.
 葉浩然測量師行
 JOHN H Y YIP SURVEYORS LTD.
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PROJECT TITLE:
 RESOURCE KIT FOR
 FORMER NORTH
 KOWLOON MAGISTRACY,
 NO.292 TAI PO ROAD,
 SHAM SHUI PO,
 KOWLOON

DRAWING TITLE:
 NORTH ELEVATION

DATE	DRAWN	DESIGNED	CHECKED	SCALE
27/5/2020				1:100 (in A1)

JOB NO:
 JY-20079J

FILE REF:
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 Kit for Former North Kowloon Magistracy
 NK-022020\03 -
 Plan\Arch\2020-07-09\N-ELE.dwg

DRAWING NO:
 NK-15

STATUS:

Appendix VI(B)

Building Services Reference Drawings

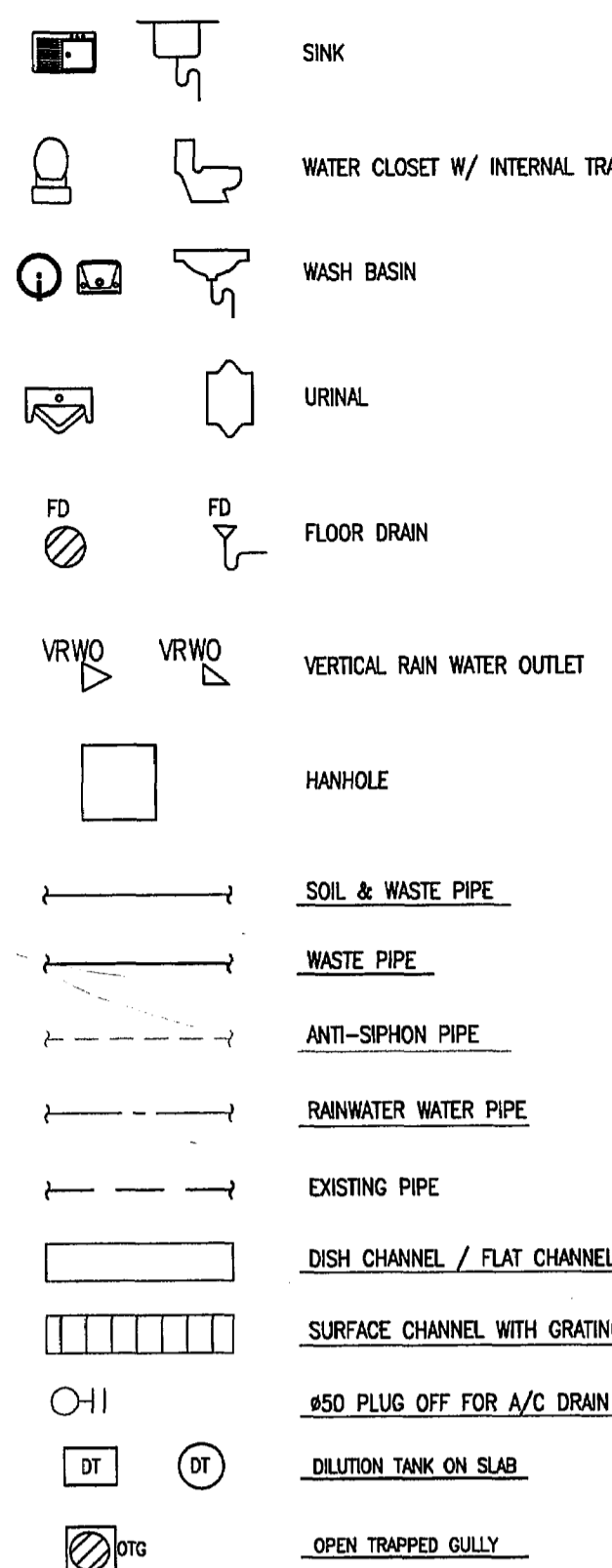
Appendix VI(B) – Building Services Reference Drawings
Drawing List

	Drawing No.	Drawing Title
Drainage		
1.	0903/D/G01	Legend, Abbreviation, Drawing List, Material Schedule, general Notes, Site Plan & Schematic Diagram for Soil & Waste System
2.	0903/D/L01	Drainage Layout for Lower Ground Floor Plan
3.	0903/D/L02	Drainage Layout for Ground Floor Plan
4.	0903/D/L03	Drainage Layout for First Floor Plan
5.	0903/D/L04	Drainage Layout for Second Floor Plan
6.	0903/D/L05	Drainage Layout for Third Floor Plan
7.	0903/D/L06	Drainage Layout for Fourth Floor Plan
8.	0903/D/L07	Drainage Layout for Fifth Floor Plan
9.	0903/D/L08	Drainage Layout for Roof Plan
10.	0903/D/M02	Standard Details for Drainage System (II)
11.	0903/D/M01	Standard Details for Drainage System (I)
12.	0903/D/L09	Drainage Layout for F.S. & Sprinkler Pump Room
13.		DSD's Record extracted from GeoInfo Map
Plumbing		
1.	0903/P/S01	Schematic Diagram for Plumbing System
ACMV		
1.	0903/AC/S01	ACMV Air-Side Ducting Schematic Diagram
2.	0903/AC/S02	ACMV Water-Side Piping Schematic Diagram
3.	0903/AC/S05	Power Distribution Schematic Diagram for Motor Control Centre
Fire Services Installation		
1.	0903/FS/S01	Schematic Diagram for Fire Hydrant & Hose Reel System
2.	0903/FS/S02	Schematic Diagram for Sprinkler System
3.	0903/FS/S03	Schematic Diagram for Manual & Automatic Fire Alarm System
Electricity		
1.	GTL/SCAD/MS	Main Schematic Wiring Diagram of SCAD Hong Kong Campus

Remark:

The building services reference drawings were obtained from the previous user and may not reflect the as-built arrangement. The applicant shall check the correctness of the drawings before carrying out their design.

LEGEND



GENERAL NOTES

- COMPLETE STORM, SOIL, WASTE SYSTEM & DRAINAGE SYSTEM SHALL BE CARRIED-OUT BY THIS CONTRACTOR.
- ALL NOTES APPEARING ON THESE DRAWINGS SHALL BE READ AND INTERPRETED IN CONJUNCTION WITH EACH OTHER AND THE SPECIFICATIONS.
- THE P&D INSTALLATION CARRIED-OUT AND ALL MATERIALS SUPPLIED SHALL BE IN FULL ACCORDANCE WITH THE B.S. STANDARD, REGULATIONS AND REQUIREMENTS OF ALL RELEVANT AUTHORITIES HAVING JURISDICTION.
- THIS CONTRACTOR SHALL INCLUDE THE COST OF ALL TESTS REQUIRED TO MEET THE APPROVAL OF AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE SPECIFIED.
- THIS CONTRACTOR SHALL DOUBLE CHECK AND CO-ORDINATE WITH ALL DIMENSIONS ON ARCHITECTURAL, STRUCTURAL AND M/E DRAWINGS AND REPORT ANY DISCREPANCIES TO CONSULTING ENGINEERS BEFORE PROCEEDING WITH CONSTRUCTION.
- PIPE FLEXIBLE/EXPANSION JOINTS WHETHER OR NOT SHOWN ON DRAWINGS SHALL BE PROVIDED FOR ANY PIPES ACROSS BUILDING EXPANSION JOINTS. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS FOR LOCATION OF BUILDING EXPANSION JOINTS. TYTON JOIN SHALL BE USED FOR ALL UNDERGROUND PIPEWORK UNLESS OTHERWISE SPECIFIED.
- EVERY DRAIN TO BE LAID TO A MINIMUM FALL OF NOT LESS THAN THAT SPECIFIED IN BUILDING REGULATION CAP.123 MAIN FALL OR DRAINS :-

DIA. OF PIPE	FALL
100 & BELOW	1:40
150	1:70
225	1:100
300 AND ABOVE	1:150
- ALL TRAPS FOR WASH BASIN, SINK, AND FLOOR DRAIN SHALL BE OF RESEALING (ANTI-SIPHON) TYPE AND WITH WATER SEAL OF 80mm UNLESS OTHERWISE STATED.
- PIPES LAID BENEATH ROADS OR BUILDING SHALL BE SET IN CONCRETE HAUNCHING BENDS, GULLIES, ETC. AND THEY SHALL BE ACCURATELY BEDDED ON AND SURROUND BY GRADE-A CONCRETE AT LEAST 150mm THICK.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE GOVERNMENT'S EXISTING DRAINAGE AND RECTIFY IF NECESSARY TO SUIT THE NEW INSTALLATION.
- EVERY ANTI-SIPHONAGE PIPE SHALL BE CONNECTED WITH THE BRANCH SOIL OR WASTE PIPE AT A POINT NOT MORE THAN 300 mm FROM THE TRAP OUTLET.
- THE BUILDER WILL PROVIDE ACCESS DOOR/PANELS FOR PIPE DUCTS & FALSE CEILING FOR INSPECTION AND MAINTENANCE OF THE PIPE. THIS SUB-CONTRACTOR SHALL CO-ORDINATE WITH THE BUILDER ON THESE PROVISIONS.
- UNLESS OTHERWISE STATED, ALL DRAINAGE PIPES SHALL RUN INSIDE FALSE CEILINGS & PIPE DUCTS.

- THE DESIGN AND CONSTRUCTION OF THE DRAINS SHOULD COMPLIED WITH PNAP 53, 99, 173, 201, 211, 230, 238, 251, 272, 183, 205 AND 282, CAP.123, 149(2), 173, 174 AND FRC (1996) 6.4, 6.4, 8.1, 10.5/ 10.6/ 11.3(C) 14.1 AND THE FIRE RESISTANCE ELEMENTS OF CONSTRUCTION OF THE LATEST BUILDING PLAN.
- ASP PIPES FOR SOIL & WASTE SYSTEM AND RAINWATER SYSTEM SHALL BE CONNECTED SEPARATELY.
- ALL WATER CLOSET SHALL HAVE INTERNAL TRAP.
- ALL TRAPS FOR URINAL SHALL BE OF RESEALING (ANTI-SIPHON) TYPE AND WITH WATER SEAL OF NOT LESS THAN 50mm.
- ALL RAIN WATER PIPE DISCHARGE TO SURFACE CHANNEL PROVIDE SHADE AT LOW LEVEL AND NOT MORE THAN 150mm ABOVE FINISHING FLOOR LEVEL.

ABBREVIATION

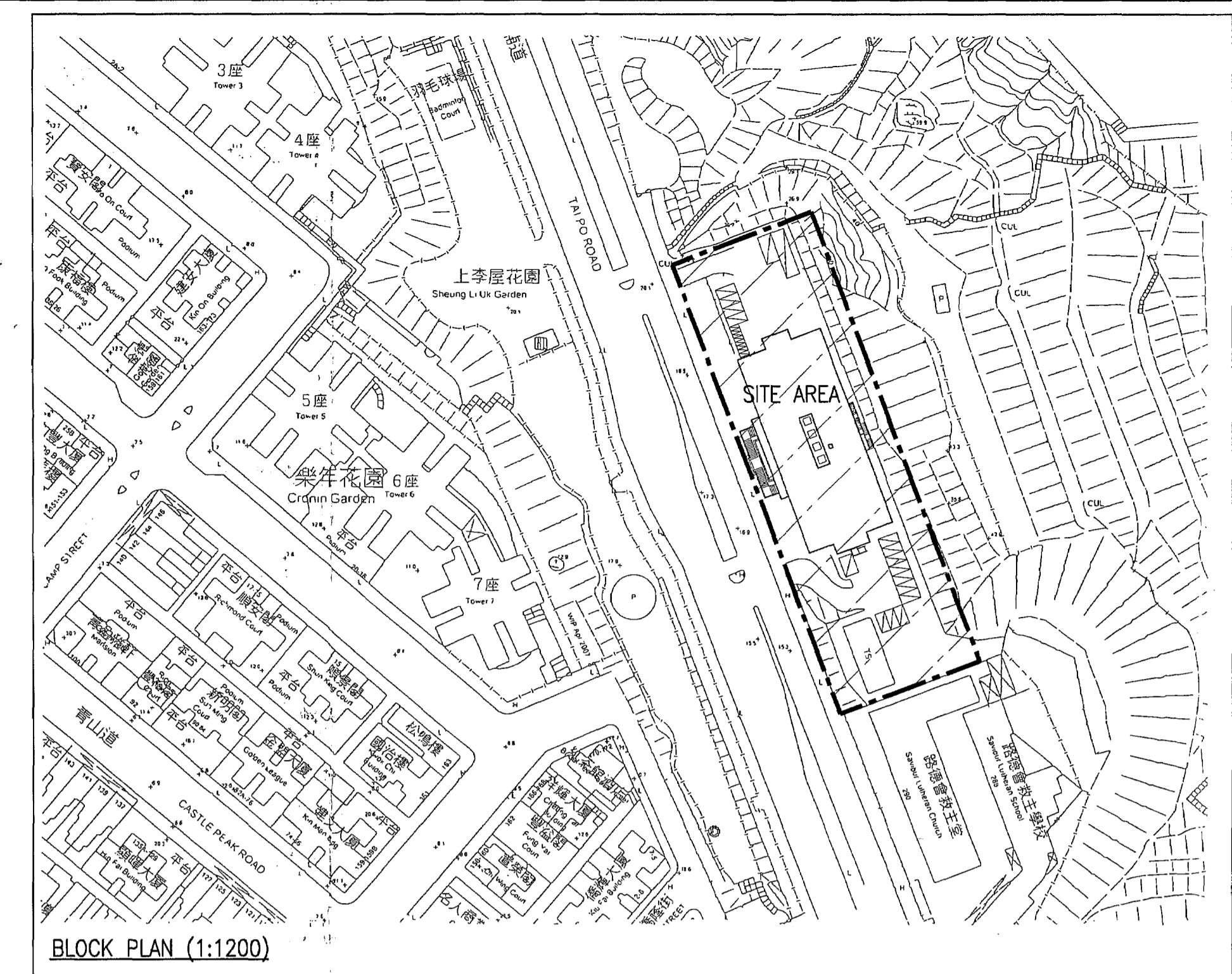
WP	WASTE PIPE	C.I.	CAST IRON
VP	VENT PIPE	G.I.	GALVANIZED IRON
KWP	KITCHEN WASTE PIPE	G.S.	GALVANIZED STEEL
F/A	FROM ABOVE	UPVC	UNPLASTICISED POLYVINYL CHLORIDE
F/B	FROM BELOW	(W)	WIDTH
T/A	TO ABOVE	(D)	DEPTH
T/B	TO BELOW	(H)	HEIGHT
T/G	TO GROUND	(L)	LENGTH
T TO B	TOP TO BOTTOM	C/W	COMPLETE WITH
U/G	UNDER GROUND	W/	WITH
H/L	HIGH LEVEL	F/	FALL
L/L	LOW LEVEL	C/C	CENTRE TO CENTRE
M/L	MIDDLE LEVEL	A.F.F.L.	ABOVE FINISHED FLOOR LEVEL

DRAWING LIST

- 0903/D/G01 GENERAL NOTES, DRAWING LIST, MATERIAL SCHEDULE, GENERAL NOTES, SITE PLAN & SCHEMATIC DIAGRAM FOR SOIL & WASTE SYSTEM
- 0903/D/L01 DRAINAGE LAYOUT FOR LOWER GROUND FLOOR PLAN
- 0903/D/L02 DRAINAGE LAYOUT FOR GROUND FLOOR PLAN
- 0903/D/L03 DRAINAGE LAYOUT FOR FIRST FLOOR PLAN
- 0903/D/L04 DRAINAGE LAYOUT FOR SECOND FLOOR PLAN
- 0903/D/L05 DRAINAGE LAYOUT FOR THIRD FLOOR PLAN
- 0903/D/L06 DRAINAGE LAYOUT FOR FOURTH FLOOR PLAN
- 0903/D/L07 DRAINAGE LAYOUT FOR FIFTH FLOOR PLAN
- 0903/D/L08 DRAINAGE LAYOUT FOR ROOF PLAN
- 0903/D/L09 DRAINAGE LAYOUT FOR F.S. & SPRINKLER PUMP ROOM
- 0903/D/M01 STANDARD DETAILS FOR DRAINAGE SYSTEM(I)
- 0903/D/M02 STANDARD DETAILS FOR DRAINAGE SYSTEM(II)

PIPEWORK MATERIALS

A. ABOVE GROUND SOIL, SOIL & WASTE, ANTI-SIPHON PIPEWORK	(i) UPVC PIPE AND FITTINGS TO BS4514, BS255 UP TO 40mm DIA. (ii) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES OF 50mm DIA. AND ABOVE.
B. ABOVE GROUND RAIN WATER PIPEWORK	OUTSIDE BUILDING (i) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES INSIDE BUILDING (i) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES
C. UNDERGROUND WASTE, SOIL & WASTE AND RAIN WATER PIPEWORK	CAST IRON PIPE AND FITTINGS TO B.S. 4622 OR TO B.S. 1211
D. CONDENSATE DRAIN PIPE	CAST IRON PIPE AND FITTINGS TO EN877 W/ 25mm CFC & HCFC FREE PHENOLIC FOAM INSULATION TO BS4370-2



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06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

REVISIONS

CLIENT
SCAD.
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY EST. 1915
1201 CONNECTICUT AVENUE, N.W., WASHINGTON, DC 20036 USA
TEL: 202-887-6600 FAX: 202-872-8520
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
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ARCHITECT
LCK ARCHITECTS LTD
林陳簡建築師有限公司

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THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

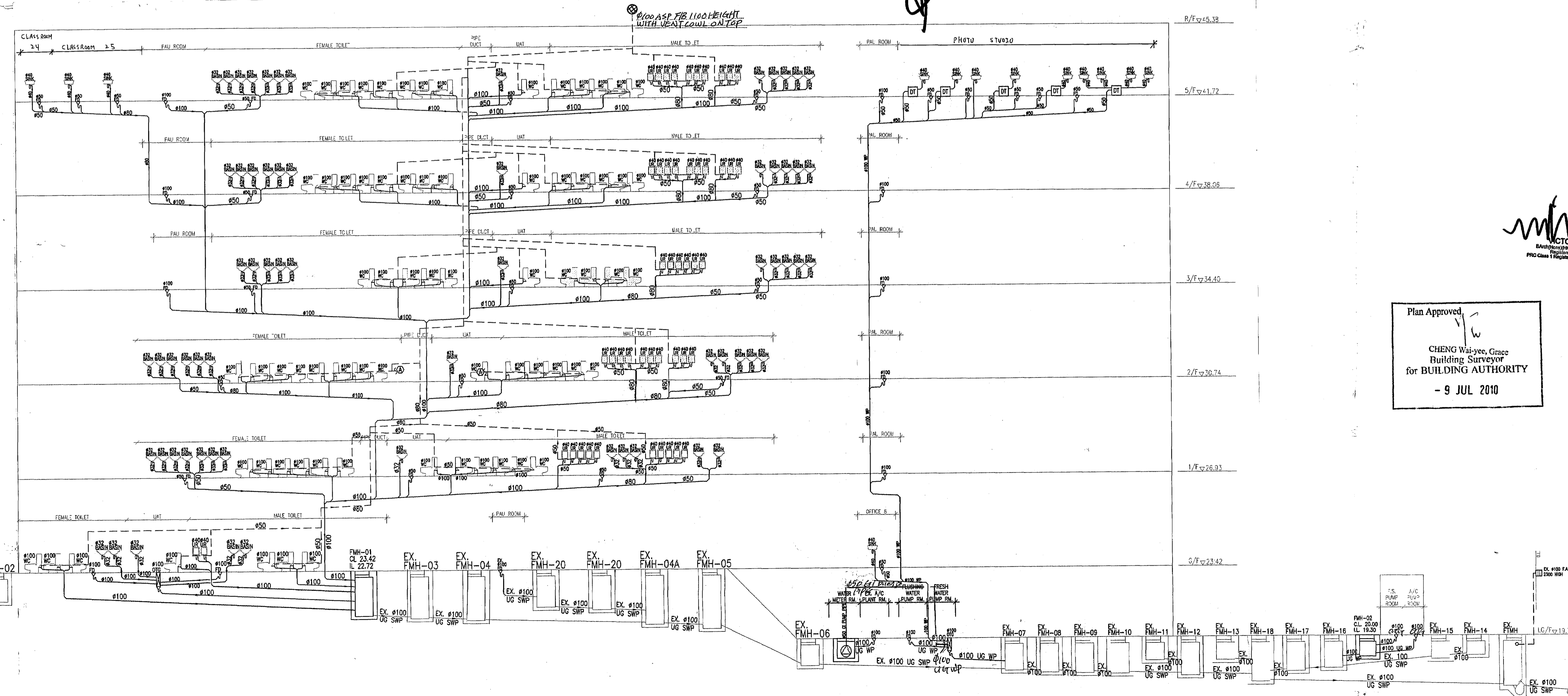
PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE
LEGEND, ABBREVIATION, DRAWING LIST, MATERIAL SCHEDULE, GENERAL NOTES, SITE PLAN & SCHEMATIC DIAGRAM FOR SOIL & WASTE SYSTEM

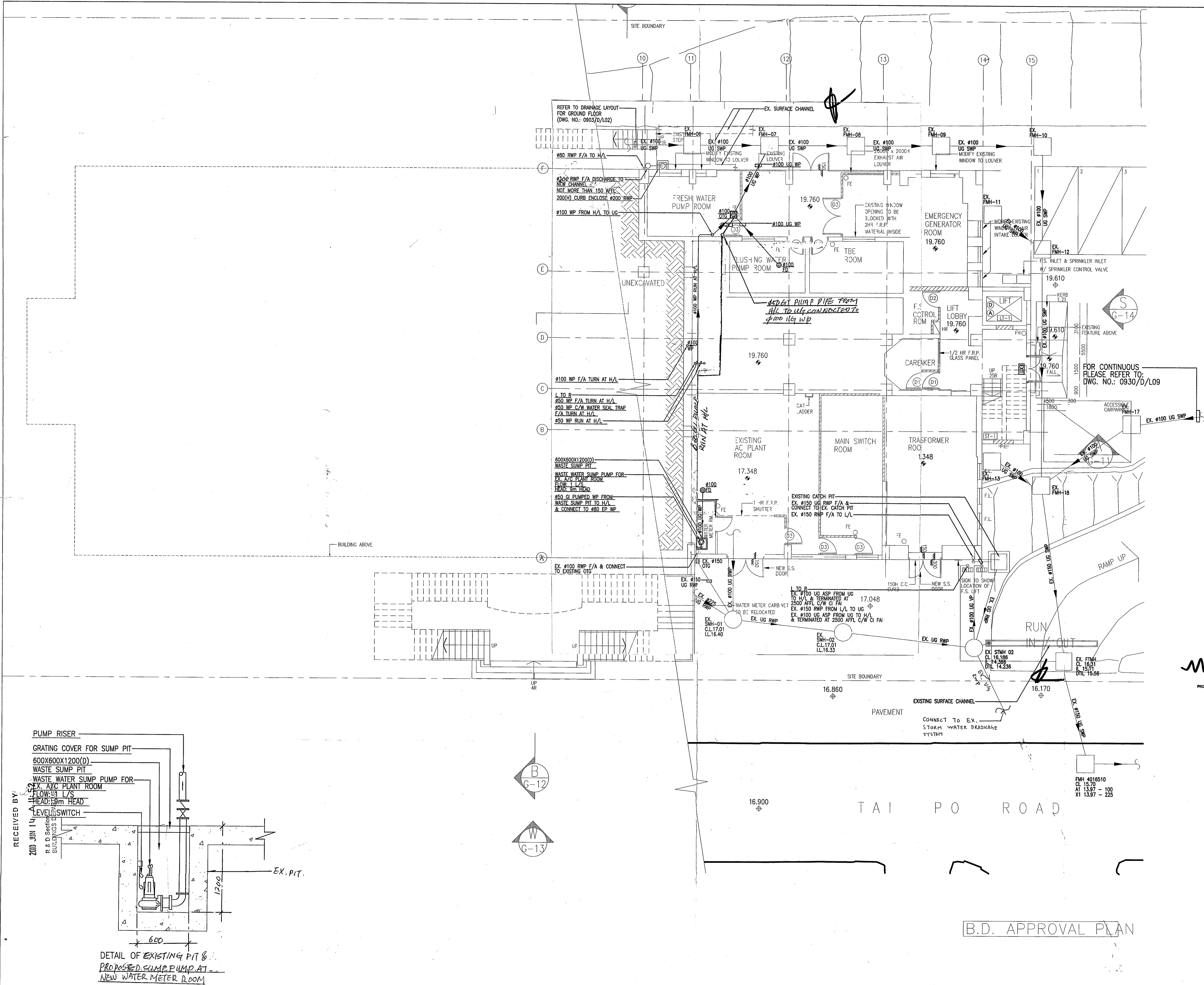
APPROVALS
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

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SCALE	DATE	ISSUE	
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R.S.D Section
BUILDINGS DEPARTMENT



Plan Approved
CHENG Wai-ye, Grace
Building Surveyor
for BUILDING AUTHORITY
- 9 JUL 2010



Plan Approved
 CHENG Wai-see, Grace
 Building Surveyor
 for BUILDING AUTHORITY
 - 9 JUL 2010

The work is to be carried out in accordance with the Building (Control) Regulations.

DATE	NO	REVISION	BY	CHK
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

ARCHITECT

 VICTOR CHAN
 PRC Class 1 Registered Architect
 林陳簡建築師有限公司

M & E CONSULTANT

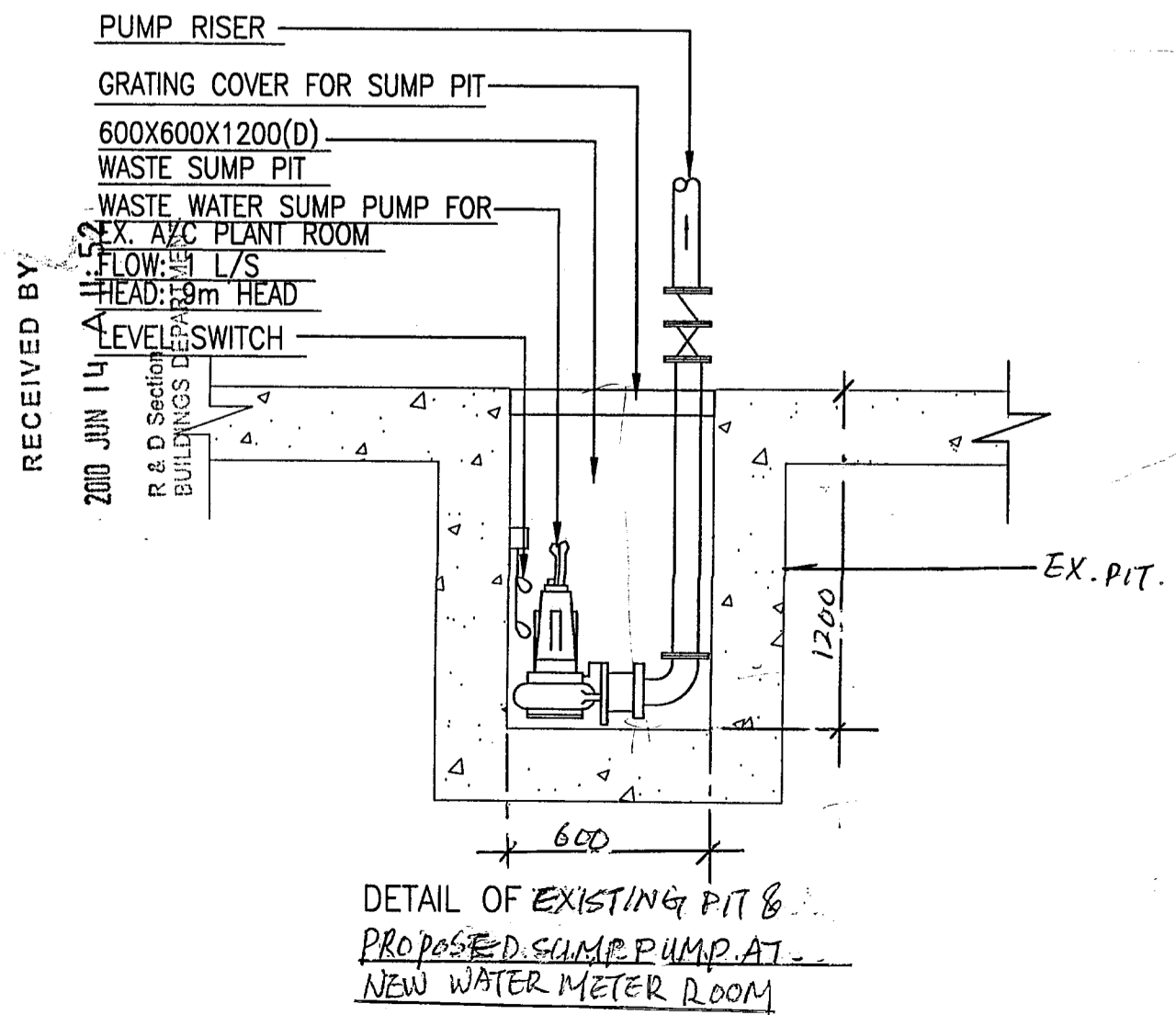
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PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

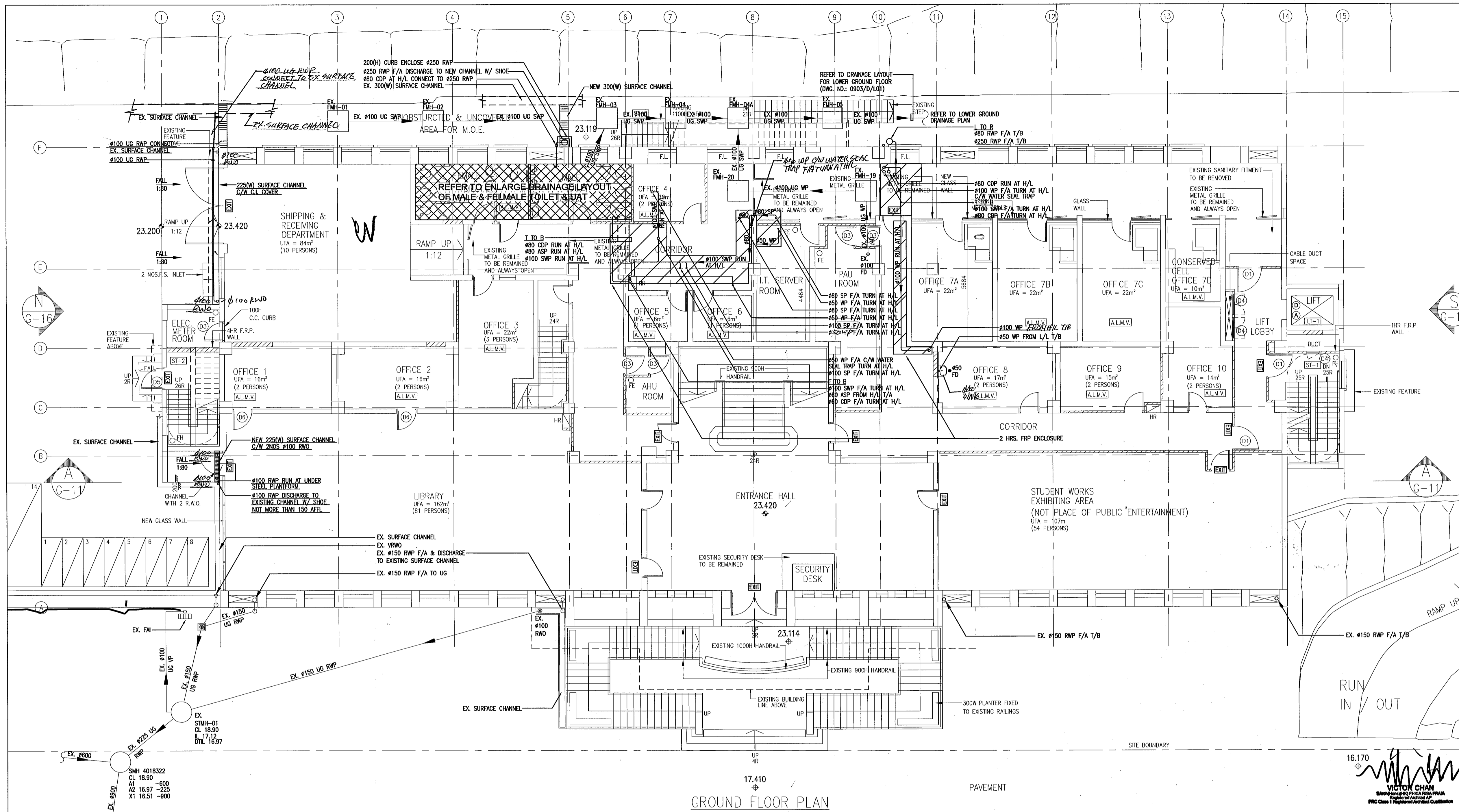
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APPROVALS
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B.D. APPROVAL PLAN



GROUND FLOOR PLAN

Plan Approved
YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

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DATE	NO	REVISION	BY	CHK
08/10	U2	BD 3RD SUBMISSION	CC	WT
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ARCHITECT
LCK
LCK ARCHITECTS LTD
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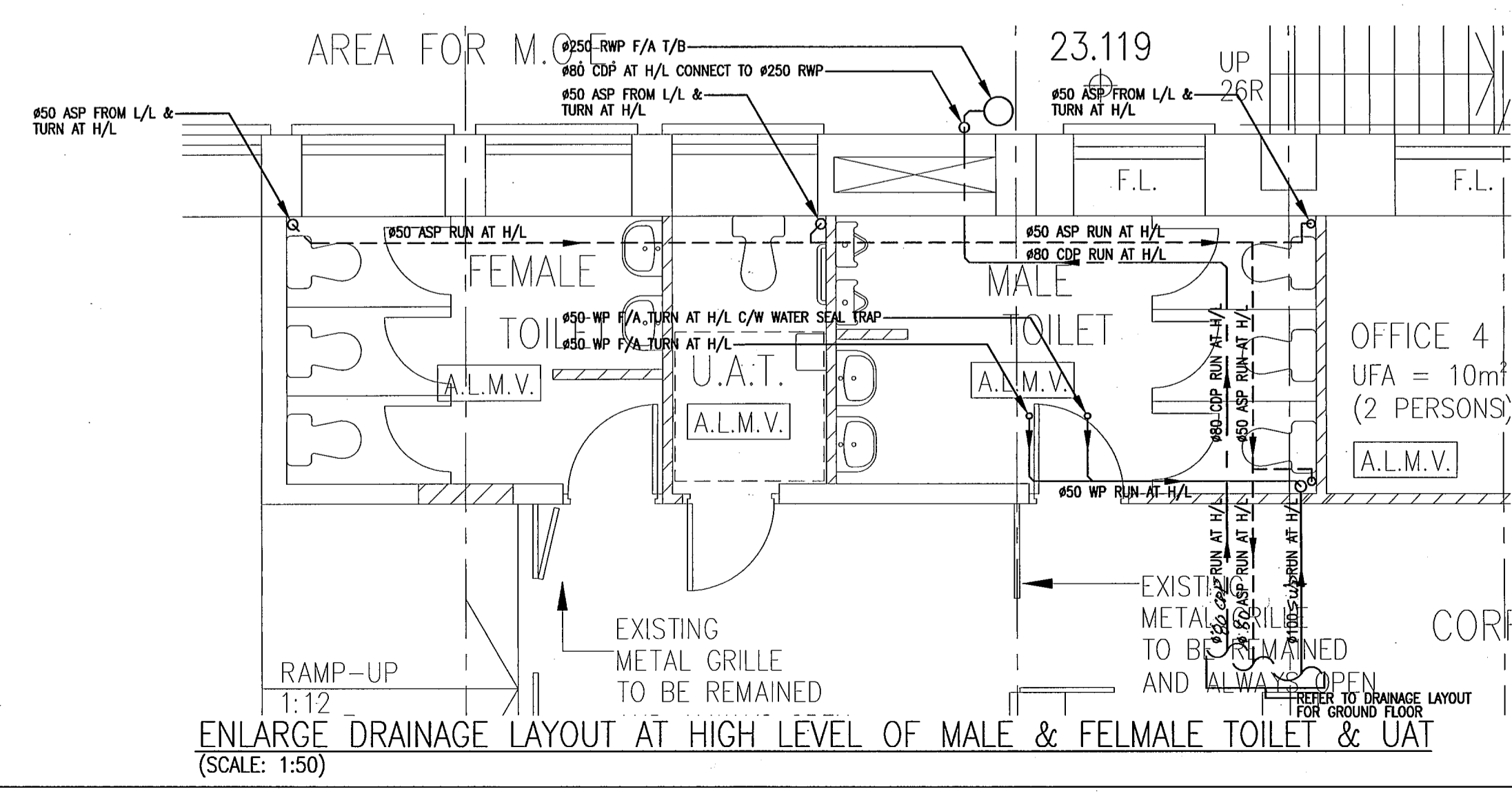
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THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

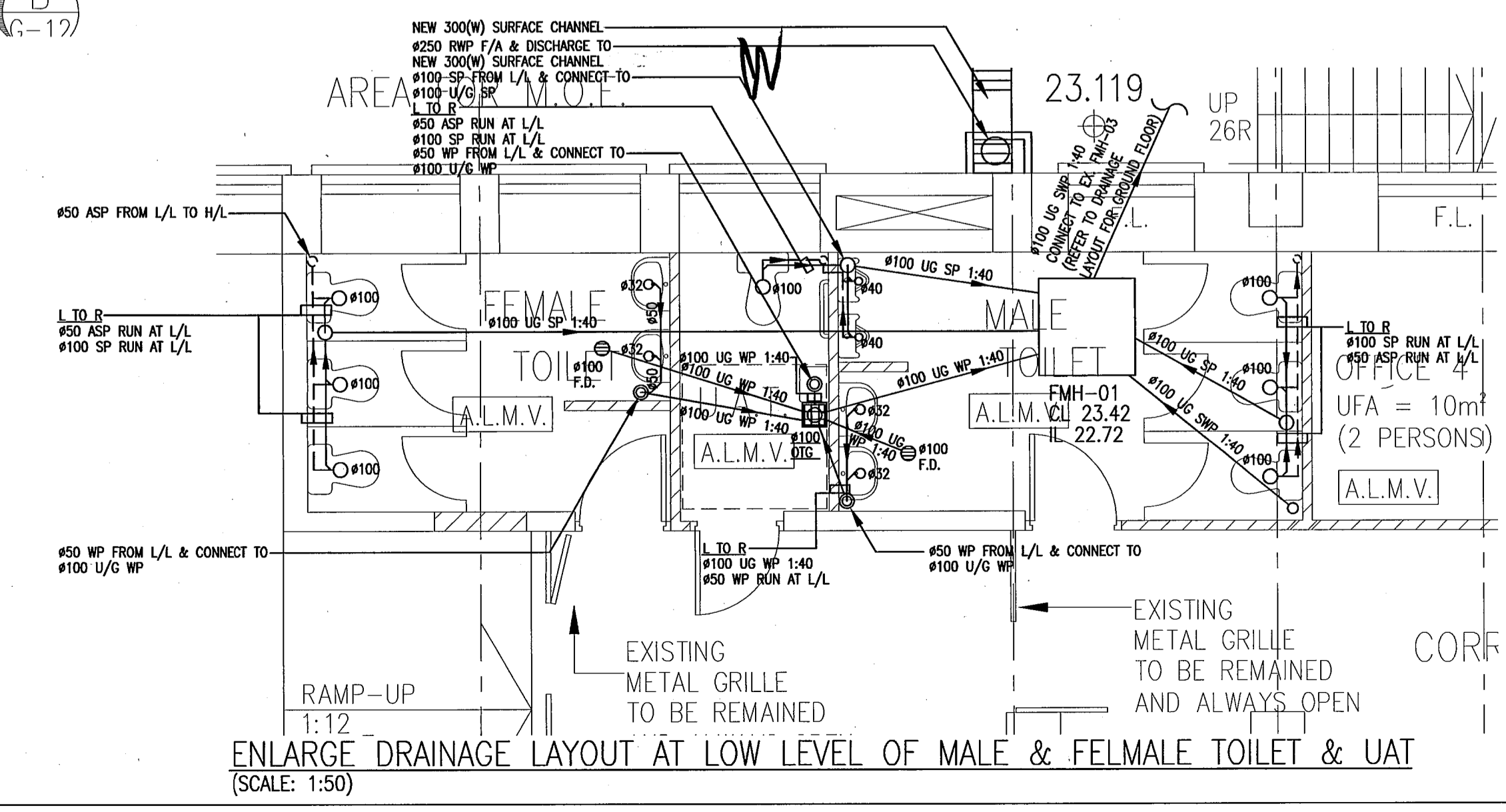
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 DRAINAGE LAYOUT FOR
 GROUND FLOOR PLAN

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

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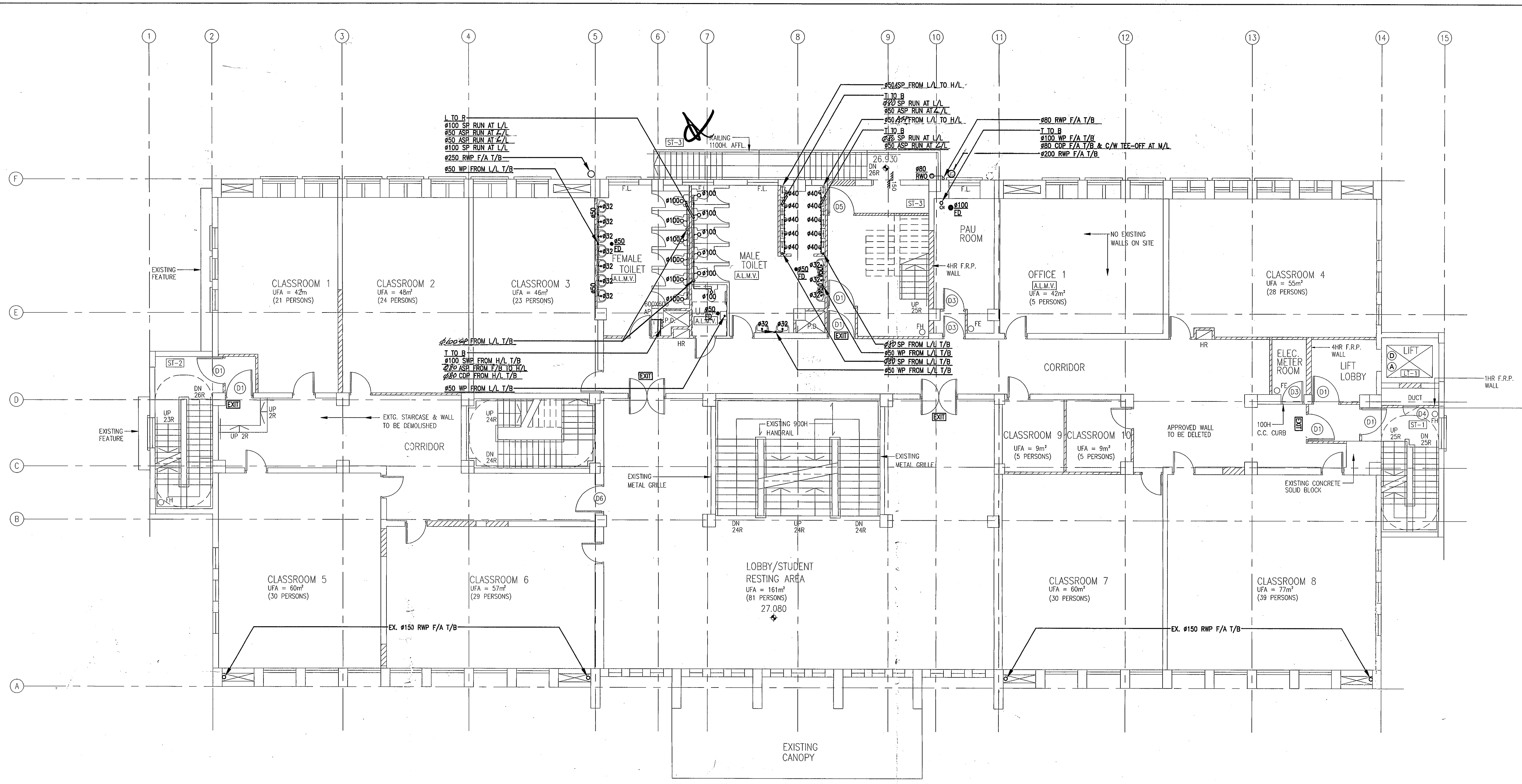


ENLARGE DRAINAGE LAYOUT AT HIGH LEVEL OF MALE & FEMALE TOILET & UAT (SCALE: 1:50)

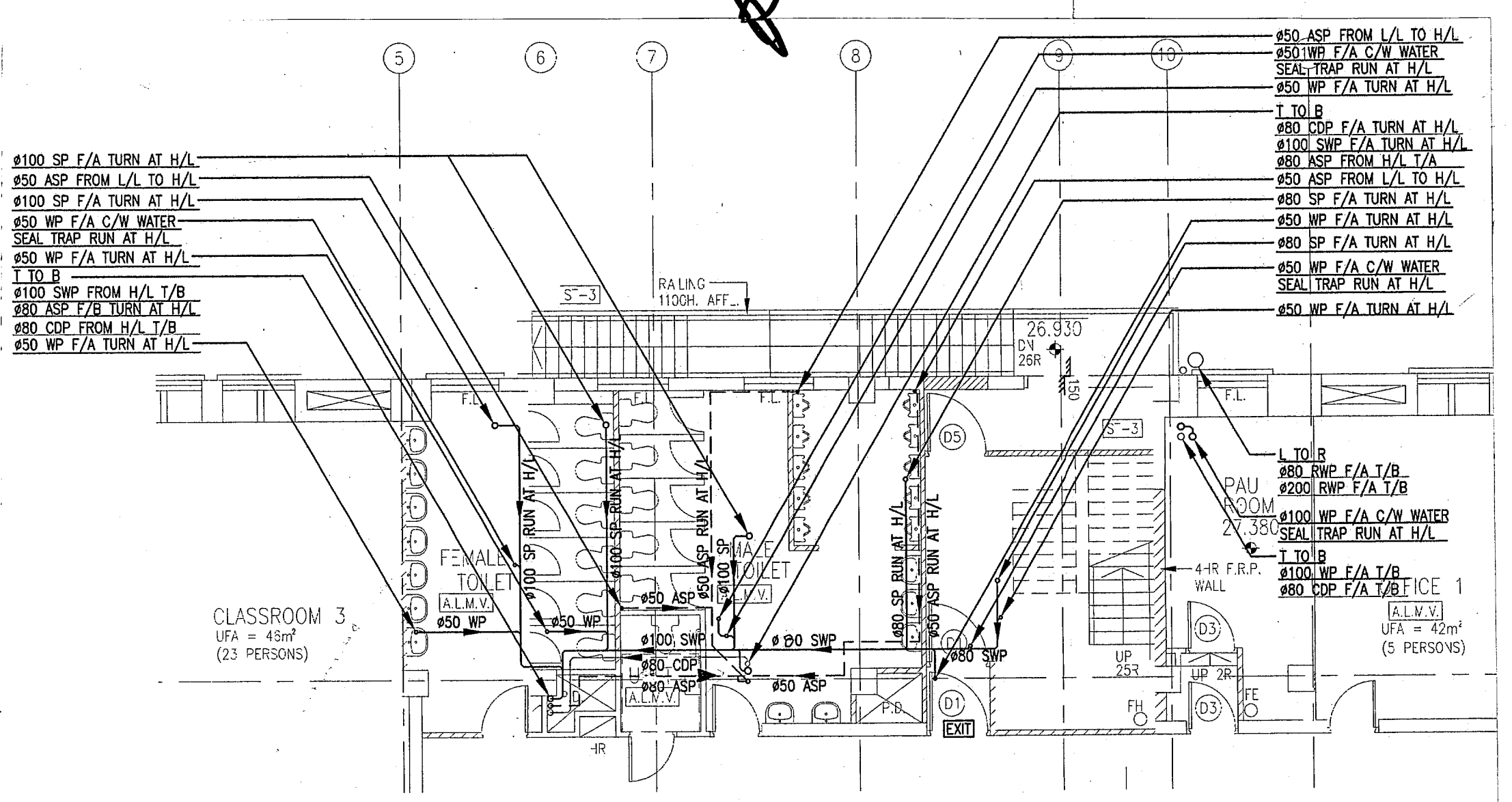


ENLARGE DRAINAGE LAYOUT AT LOW LEVEL OF MALE & FEMALE TOILET & UAT (SCALE: 1:50)

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 2009 SEP 7 A 10:55
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FIRST FLOOR PLAN



FIRST FLOOR HIGH LEVEL PLAN

Plan Approved
 CHENG Wai-ye, Grace
 Building Surveyor
 for BUILDING AUTHORITY
 - 9 JUL 2010

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05/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

REVISIONS

ARCHITECT

 VICTOR CHAN
 林陳簡建築師有限公司

M & E CONSULTANT

 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

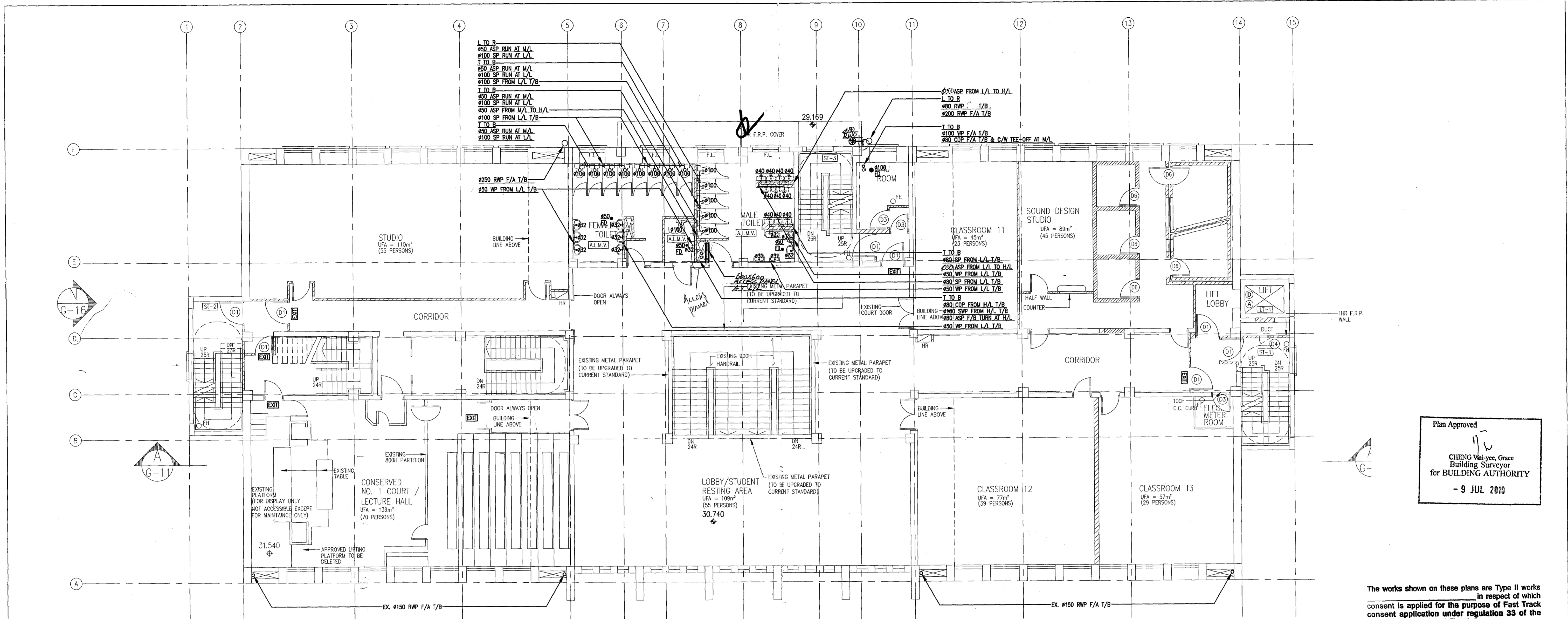
TITLE
 DRAINAGE LAYOUT FOR
 FIRST FLOOR PLAN

APPROVALS
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SECOND FLOOR PLAN

Plan Approved
 CHENG Wai-ye, Grace
 Building Surveyor
 for BUILDING AUTHORITY
 - 9 JUL 2010

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07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT

 VICTOR CHAN
 林陳簡建築師有限公司

M & E CONSULTANT

 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

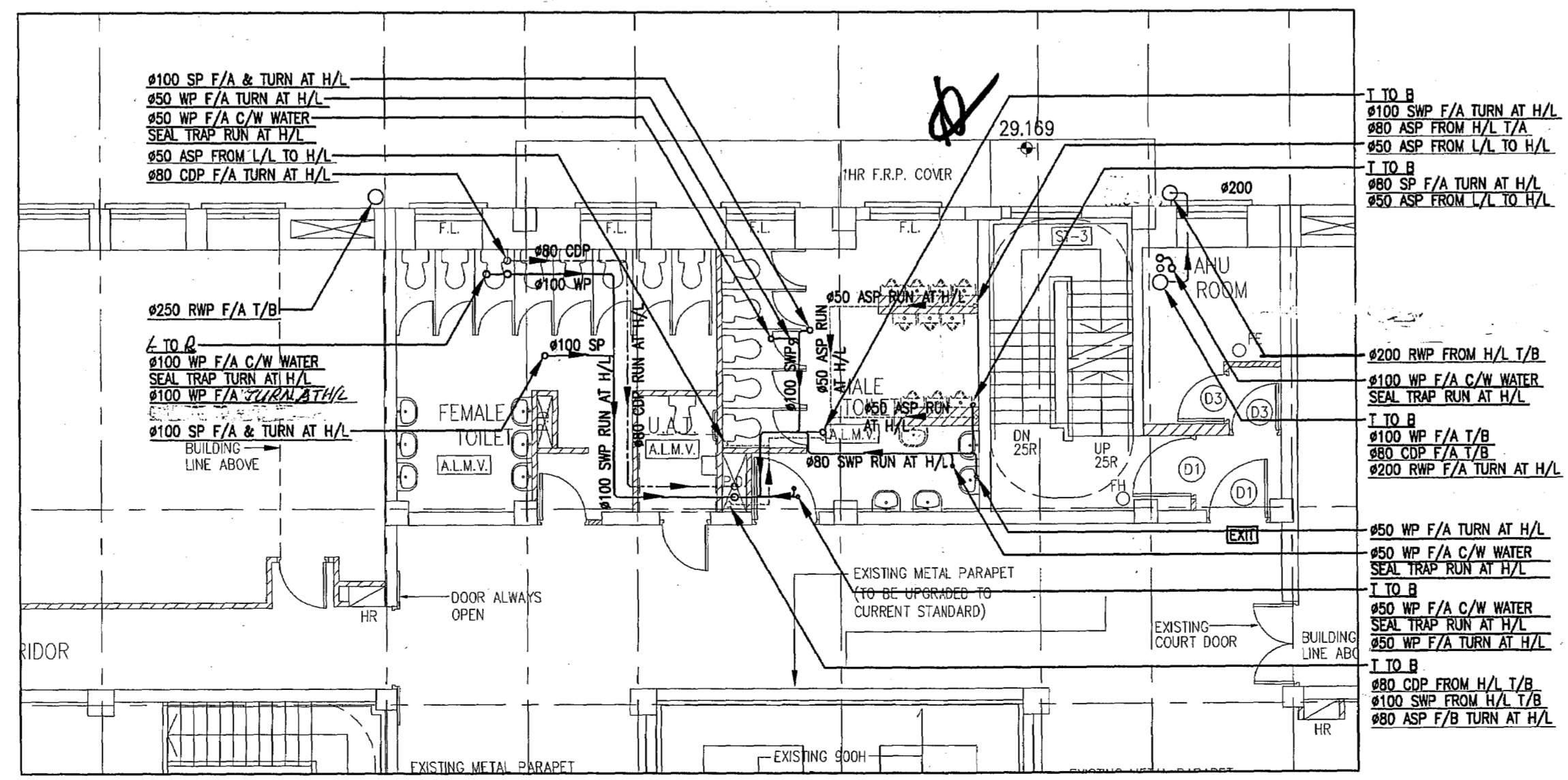
PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE
 DRAINAGE LAYOUT FOR SECOND FLOOR PLAN

APPROVALS
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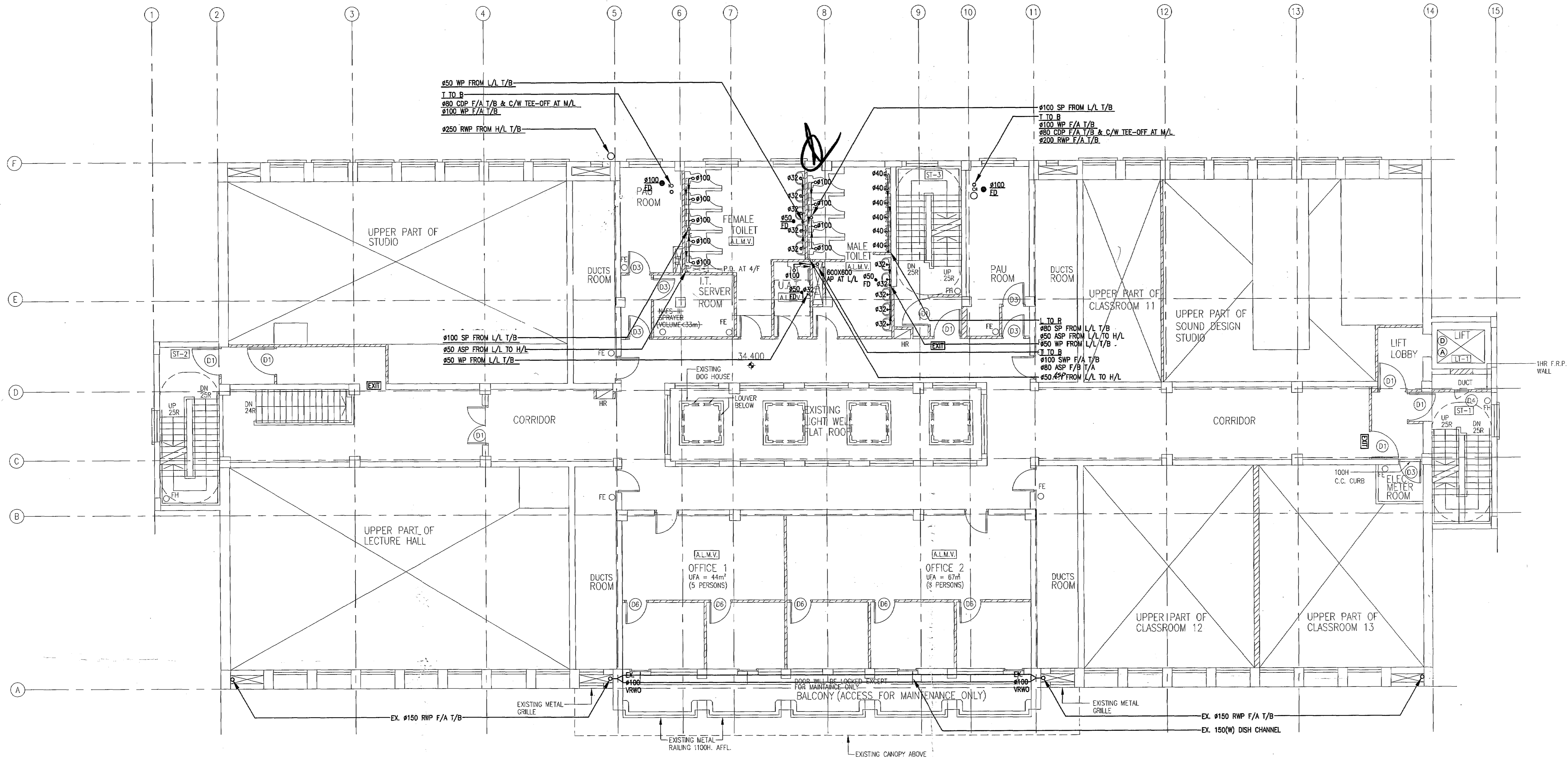
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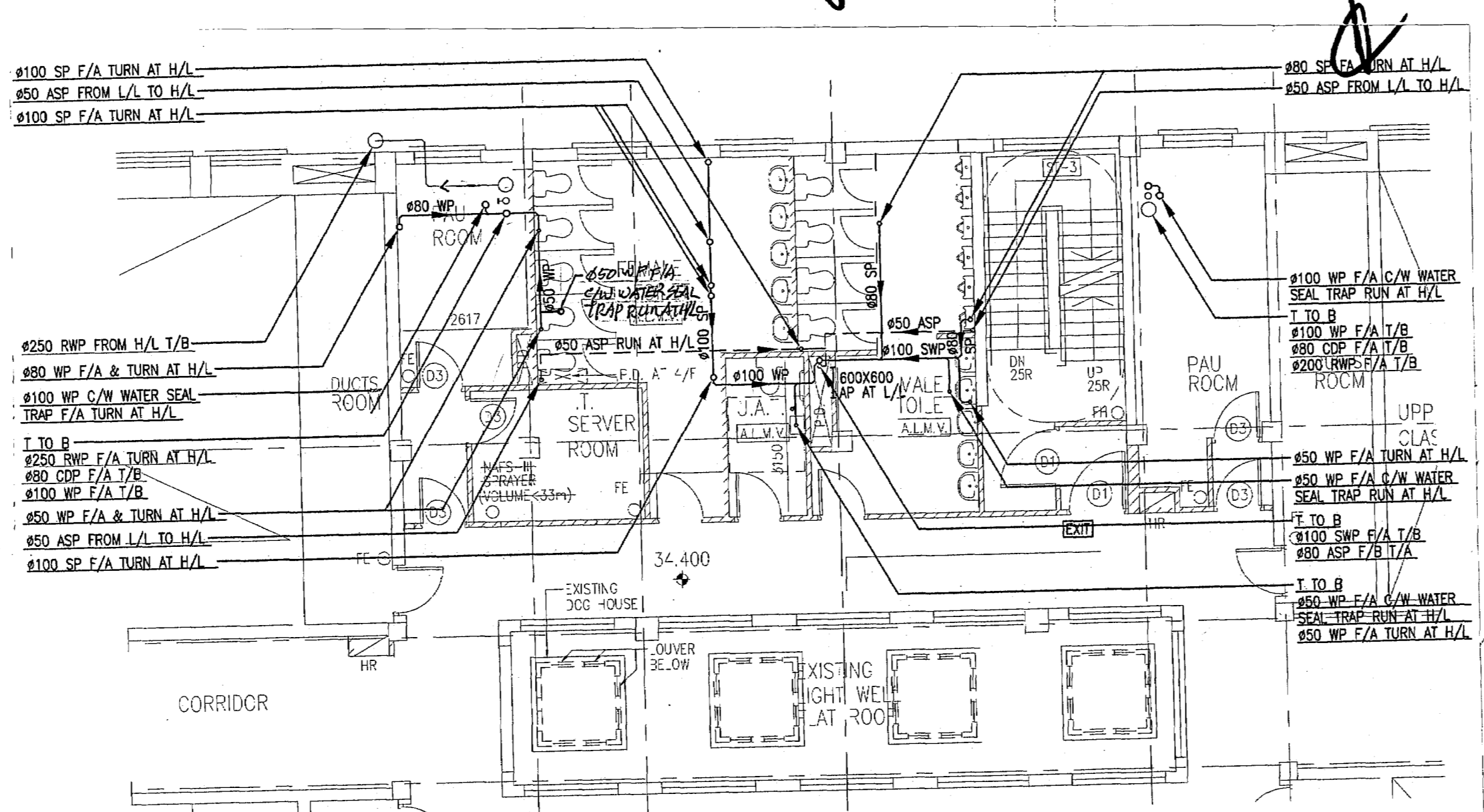


SECOND FLOOR HIGH LEVEL PLAN

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THIRD FLOOR PLAN



THIRD FLOOR HIGH LEVEL PLAN

Plan Approved
 CHENG Wai-ye, Grace
 Building Surveyor
 for BUILDING AUTHORITY
 - 9 JUL 2010

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05/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				

ARCHITECT
LK ARCHITECTS LTD
 VICTOR CHAN
 林陳簡建築師有限公司

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THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

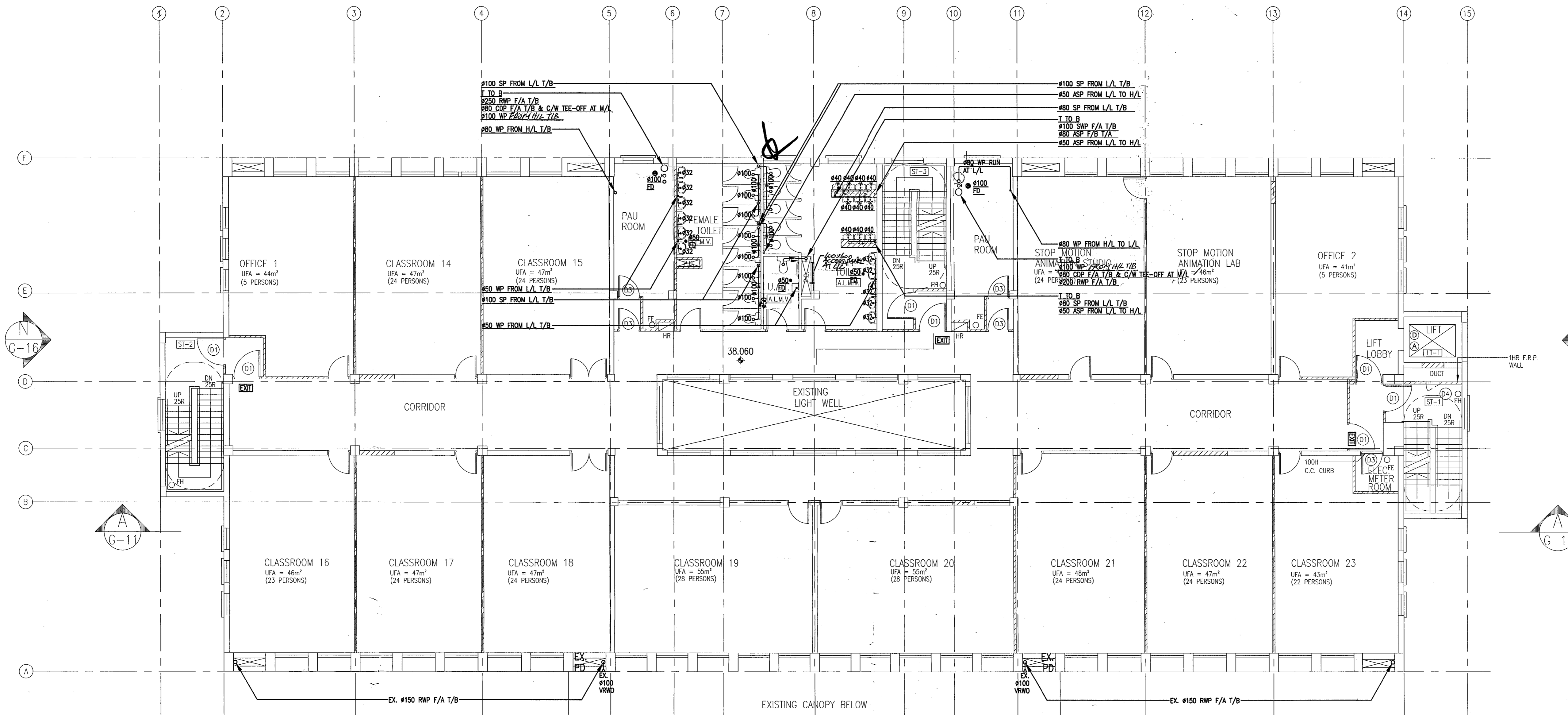
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 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE
 DRAINAGE LAYOUT FOR
 THIRD FLOOR PLAN

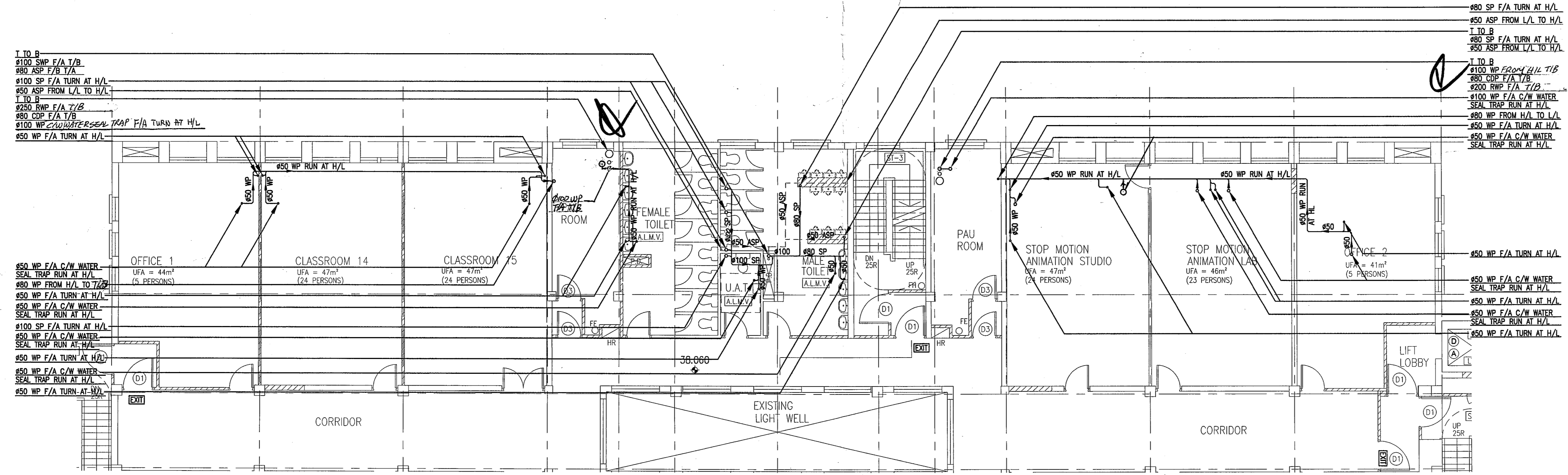
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 BUILDINGS DEPARTMENT



FOURTH FLOOR PLAN



FOURTH FLOOR HIGH LEVEL PLAN

Plan Approved
 CHENG Wai-ye, Grace
 Building Surveyor
 for BUILDING AUTHORITY
 - 9 JUL 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

DATE	NO	REVISION	BY	CHK
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

ARCHITECT

 VICTOR CHAN
 BArch (HONORARY) FROM THE FRSA
 Registered Architect
 PRC Class 1 Registered Architect Qualification
 林陳簡建築師有限公司

M & E CONSULTANT

 THOMAS ANDERSON &
 PARTNERS CONSULTING
 ENGINEERS LTD.

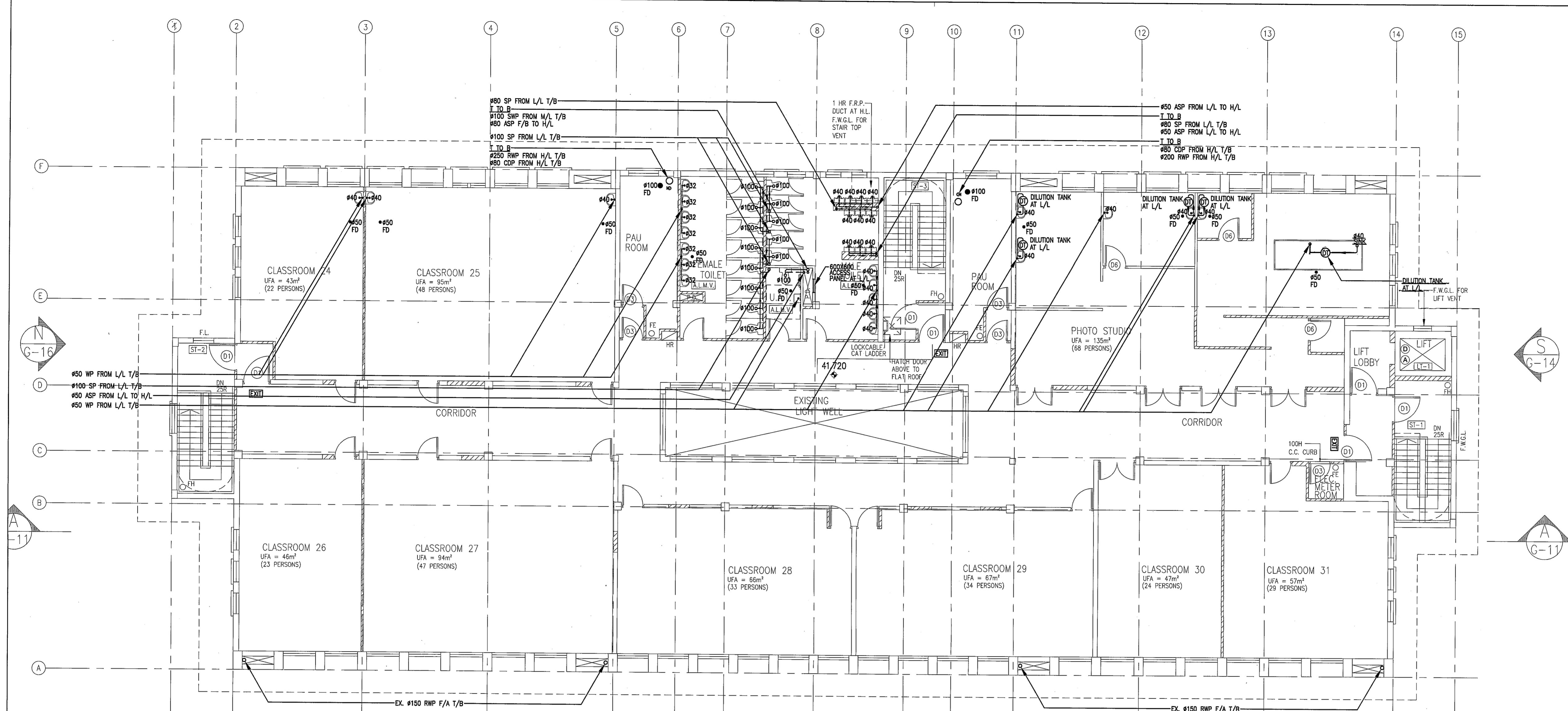
PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO
 ROAD, KLN

TITLE
 DRAINAGE LAYOUT FOR
 FOURTH FLOOR PLAN

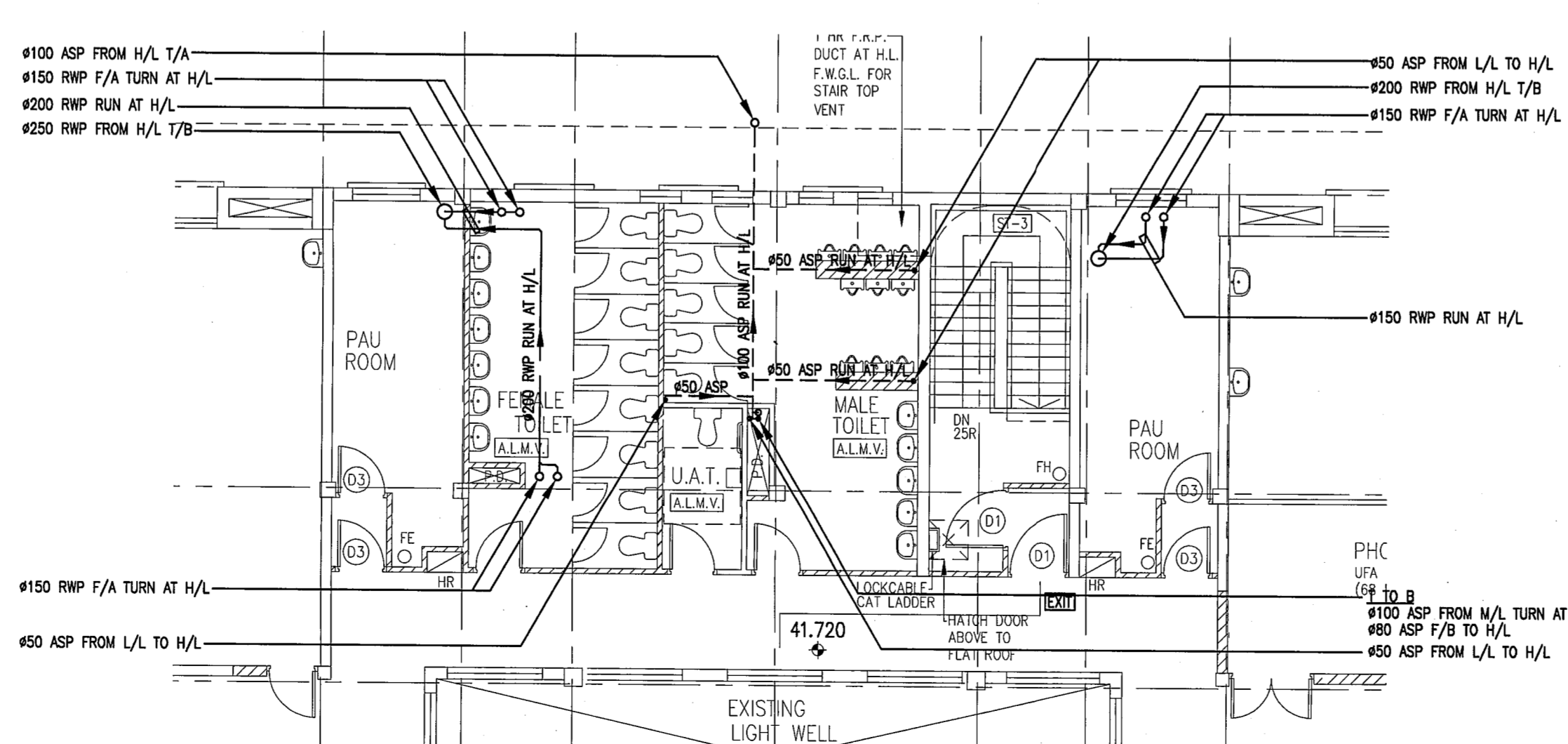
APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/D/L06		
DRAWN BY	DESIGNED BY	CHECKED BY	
KML	CC	AT	
SCALE	DATE	ISSUE	
1:100	JULY, 2009	U1	

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 2010 JUN 10 A 11:52
 R.C.D. Section
 BUILDINGS DEPARTMENT



FIFTH FLOOR PLAN



FIFTH FLOOR HIGH LEVEL PLAN

Plan Approved
Clarice
 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Part II of the Building (Administration) Regulations of the Buildings Ordinance.

09/10	U2	BD 3rd SUBMISSION	CC	WT
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT

LCK
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

M & E CONSULTANT

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT

NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE

DRAINAGE LAYOUT FOR
 FIFTH FLOOR PLAN

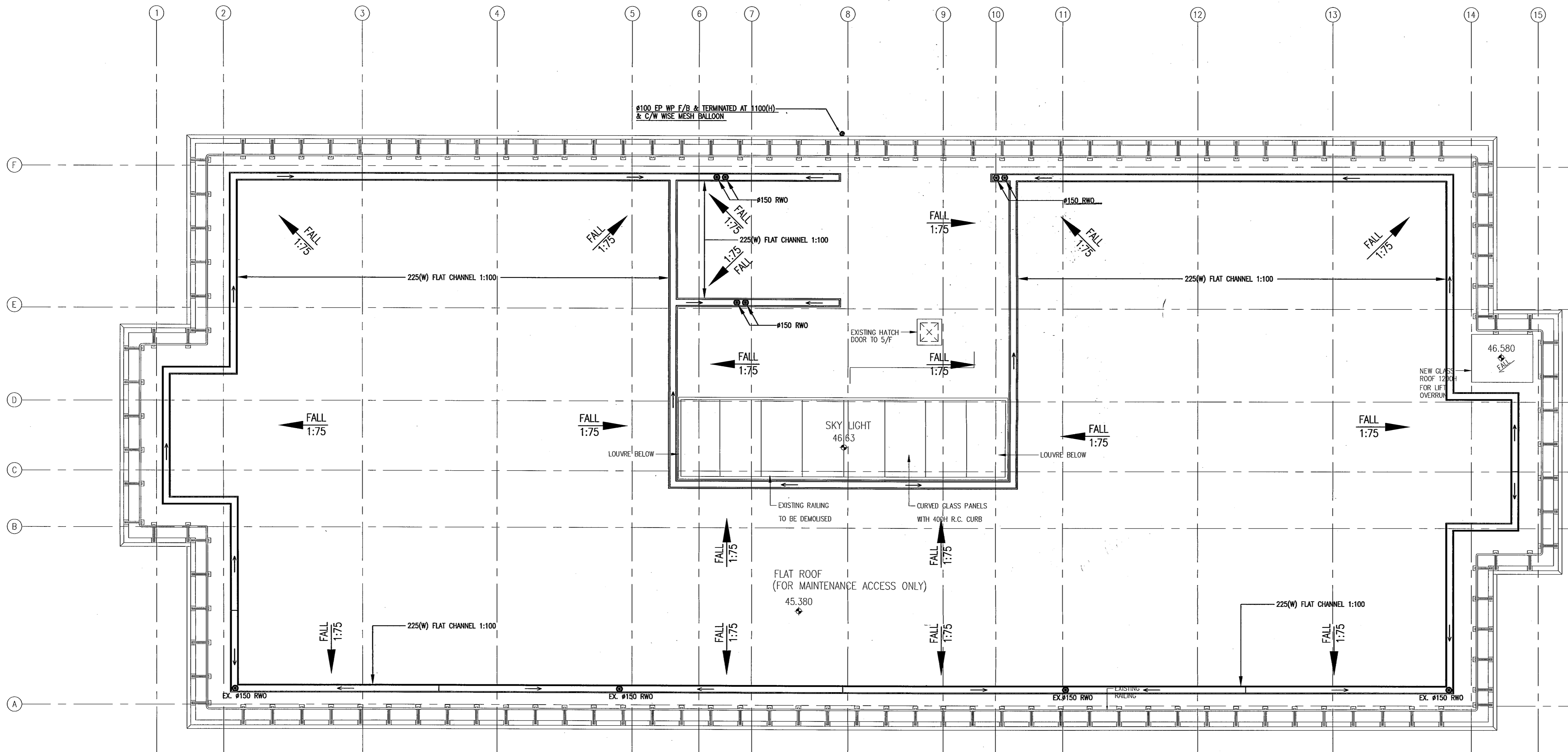
APPROVALS

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/D/LO7

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SCALE	DATE	ISSUE
1:100	JULY, 2009	02

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 2009 SEP -1 A 10:58
 BLDG. CONTROL DEPARTMENT



ROOF PLAN

NUMBER OF RAIN WATER PIPE:
 CATCHMENT AREA = 1230m²
 REQUIREMENT: $\frac{1230}{10} \times 700 = 86,100\text{mm}^2$
 RAIN WATER PIPE: $10 \times \frac{22}{7} \times 150^2 = 707,142\text{mm}^2 > 86,100\text{mm}^2$

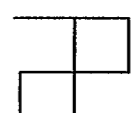
Plan Approved
YU Po-mei, Clarice
 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

DATE	NO	REVISION	BY	CHK
09/10	U2	BD 3rd SUBMISSION	CC	WT
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

REVISIONS

ARCHITECT
Victor Chan
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

M & E CONSULTANT

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

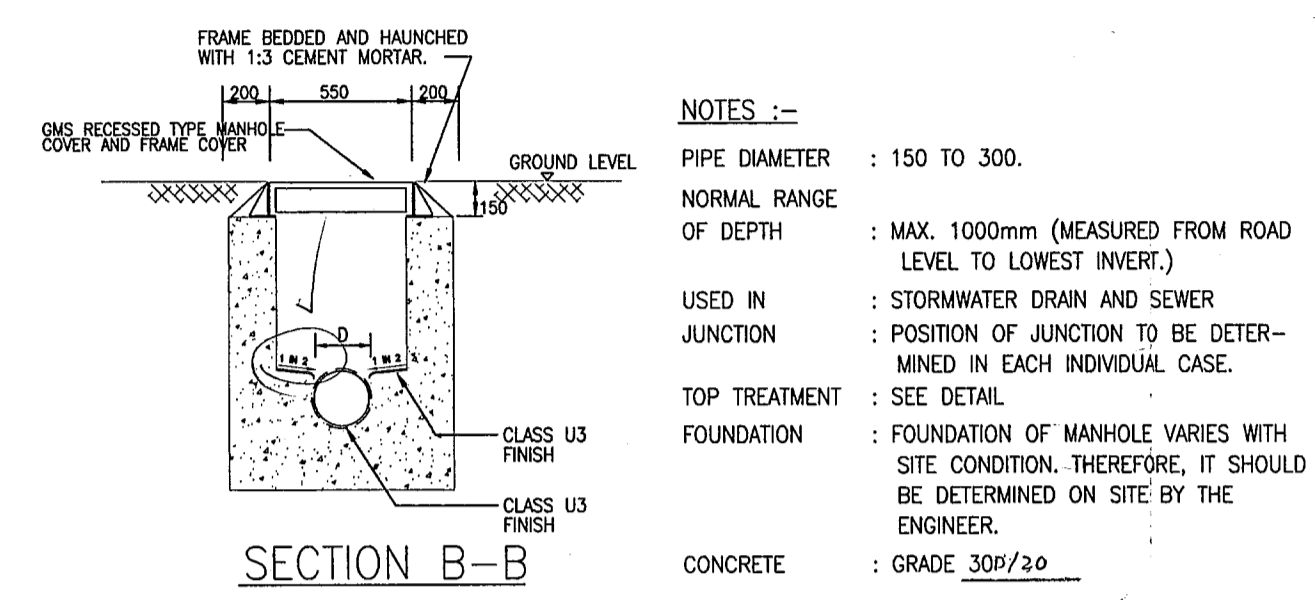
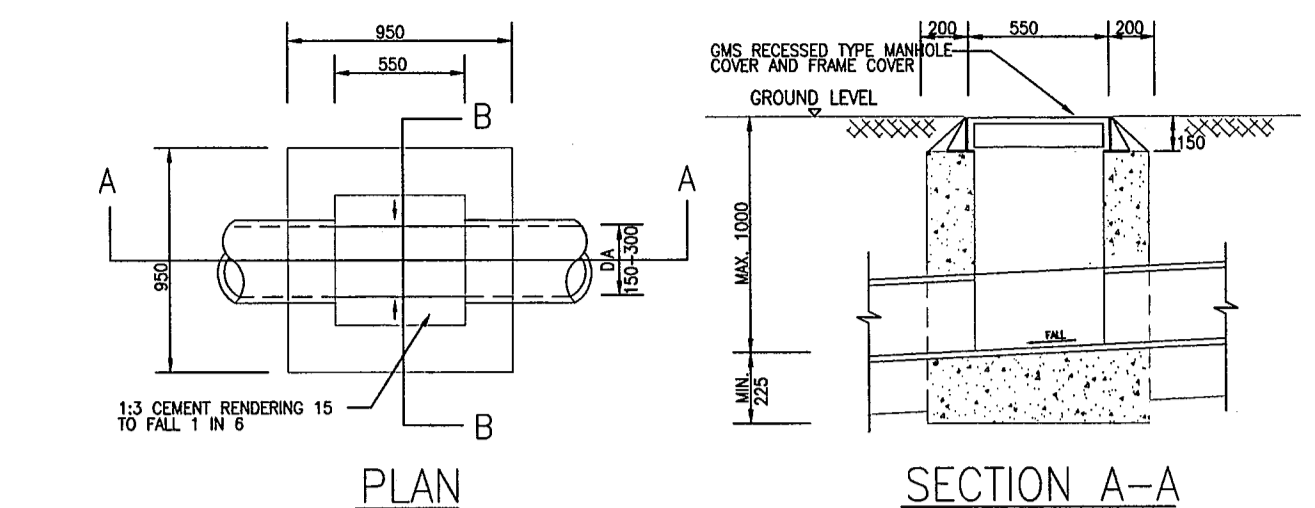
PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE
 DRAINAGE LAYOUT FOR ROOF PLAN

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

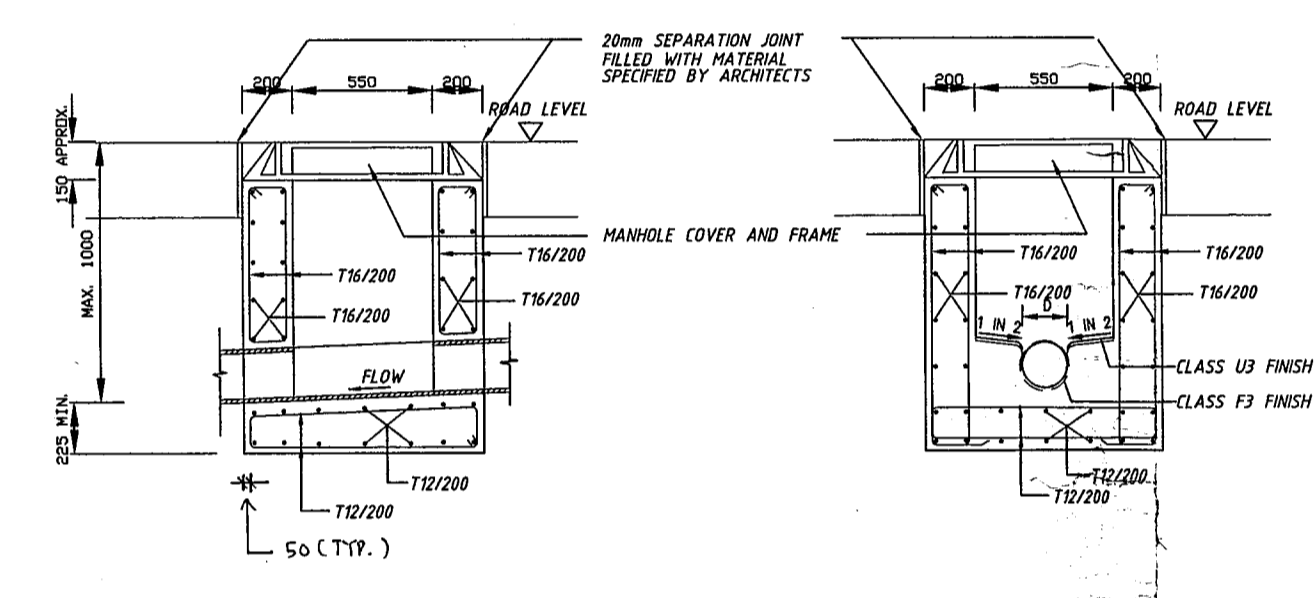
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DRAWN BY KML	DESIGNED BY CC	CHECKED BY AT
SCALE 1:100	DATE JULY, 2009	ISSUE U2

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 R & D Services
 BUILDING DEPARTMENT



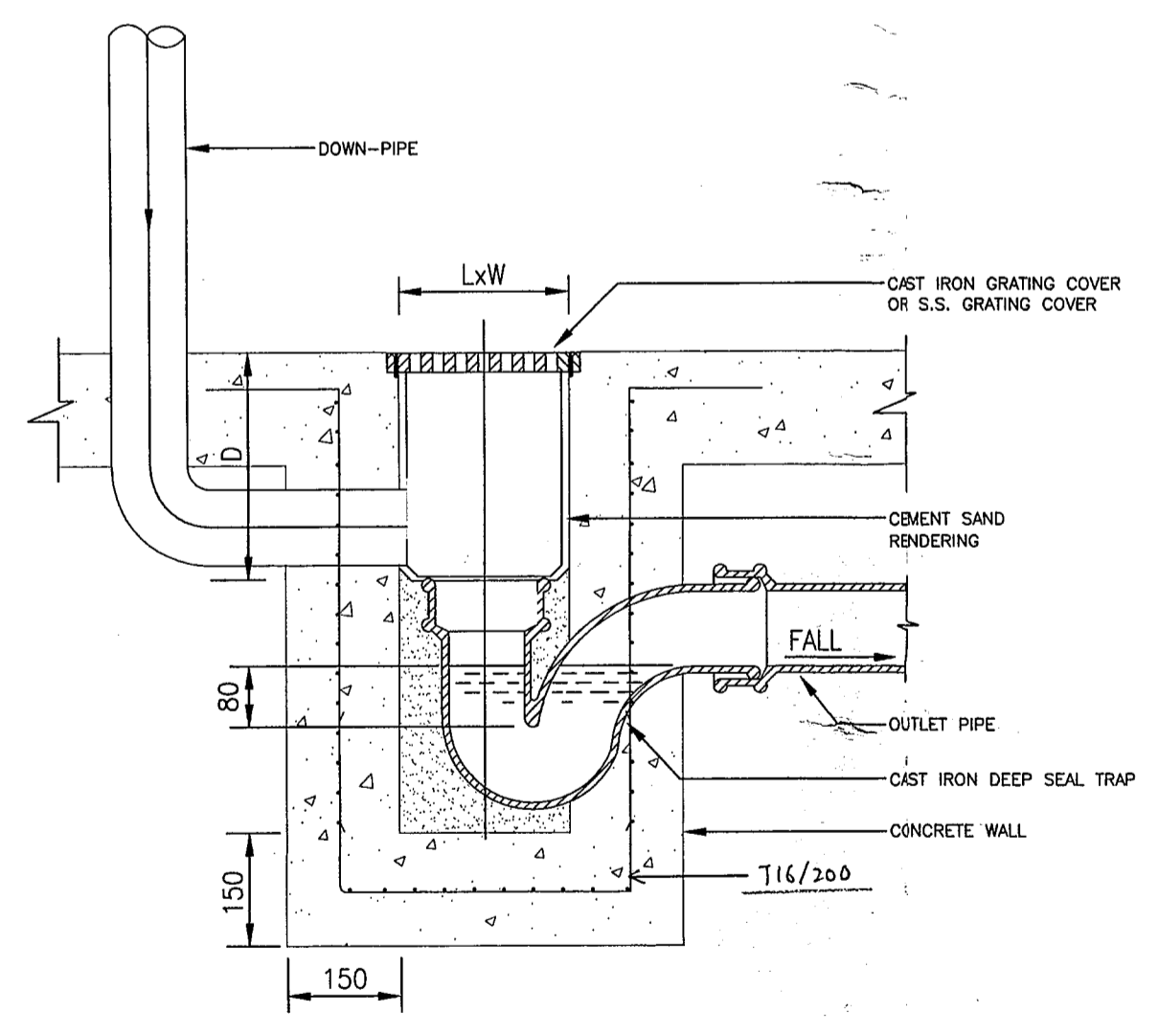
NOTES :-
 PIPE DIAMETER : 150 TO 300.
 NORMAL RANGE OF DEPTH : MAX. 1000mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT.)
 USED IN : STORMWATER DRAIN AND SEWER JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN EACH INDIVIDUAL CASE.
 TOP TREATMENT : SEE DETAIL.
 FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION, THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
 CONCRETE : GRADE 30P/20

MANHOLE TYPE C



R.C. DETAILS OF MANHOLE TYPE C

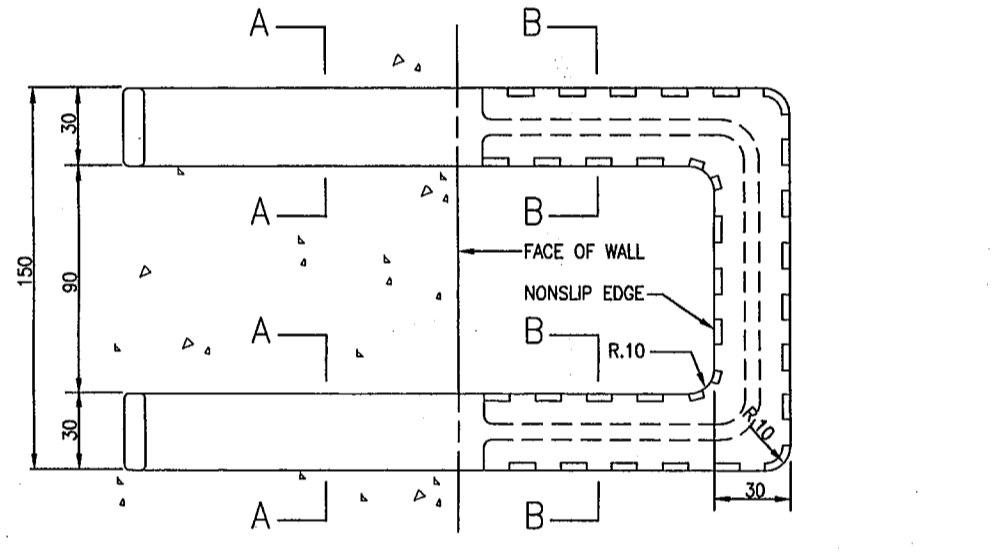
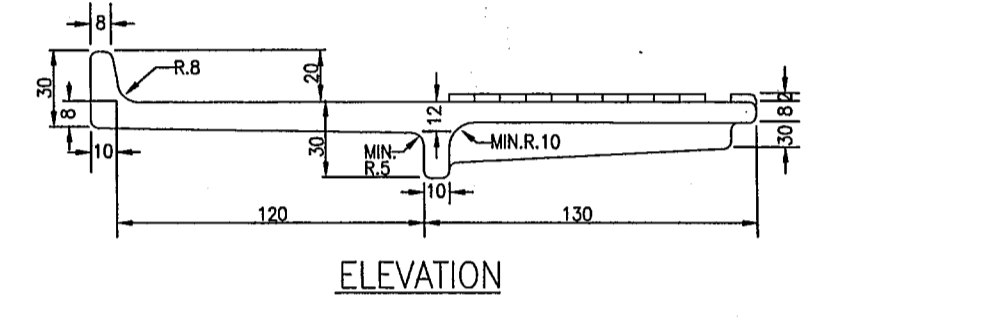
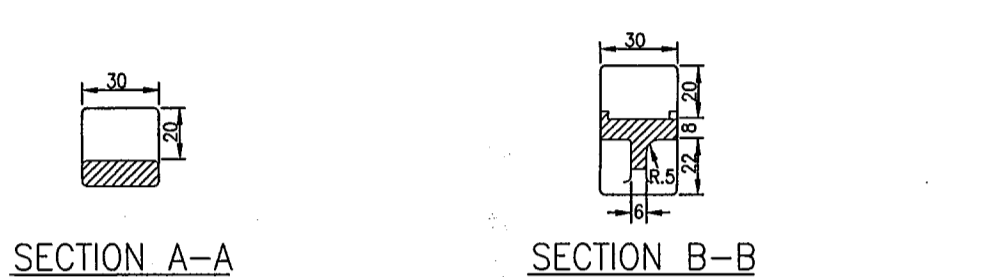
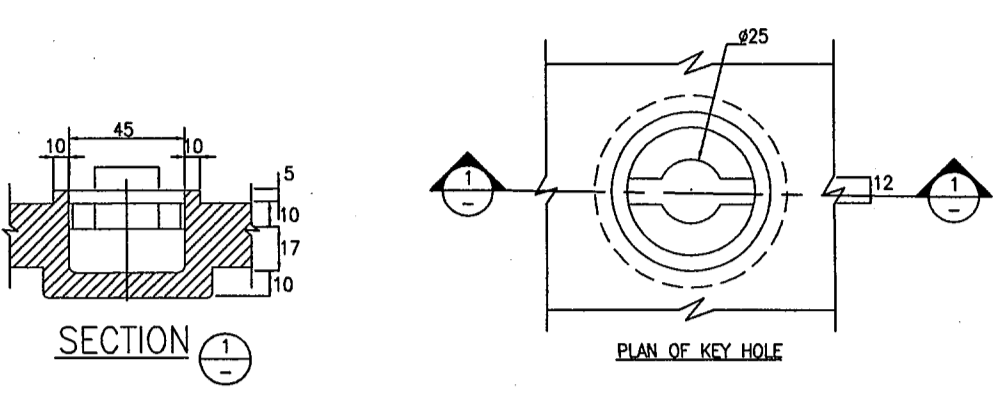
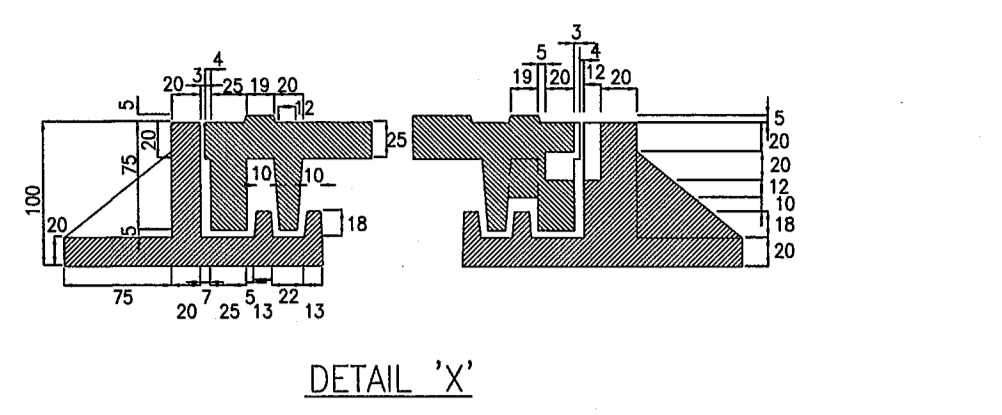
NOTE: 1) MIN. COVER OF REINFORCEMENT IS 50mm.
 2) 'T16' DENOTES HIGH YIELD REINFORCEMENT TO HONG KONG CONSTRUCTION STANDARD CS2.



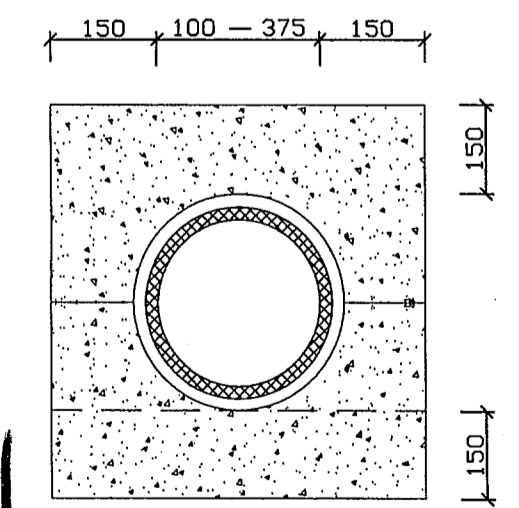
OPEN TRAPPED GULLY (O.T.G.) WITH BACK INLET

NOTES:
 1) 450x450 CLEAR OPENING MANHOLE COVER OR GRATING SHALL BE PROVIDED FOR 600mm DEPTH & OVER OF RAINWATER TRAPPED GULLY. CHROME PLATED BRASS MATERIAL FOR OTHER AREA SUCH AS TOILETS, CHANGING ROOM, RETAIL AREA, CORRIDOR, ETC.
 2) 4NOS. OF FIXING STAINLESS STEEL BOLTS AND SEALED GASKET FOR GULLY COVER OR GRATING SHALL BE PROVIDED FOR SIZE OF 300mm x 300mm AND BELOW.

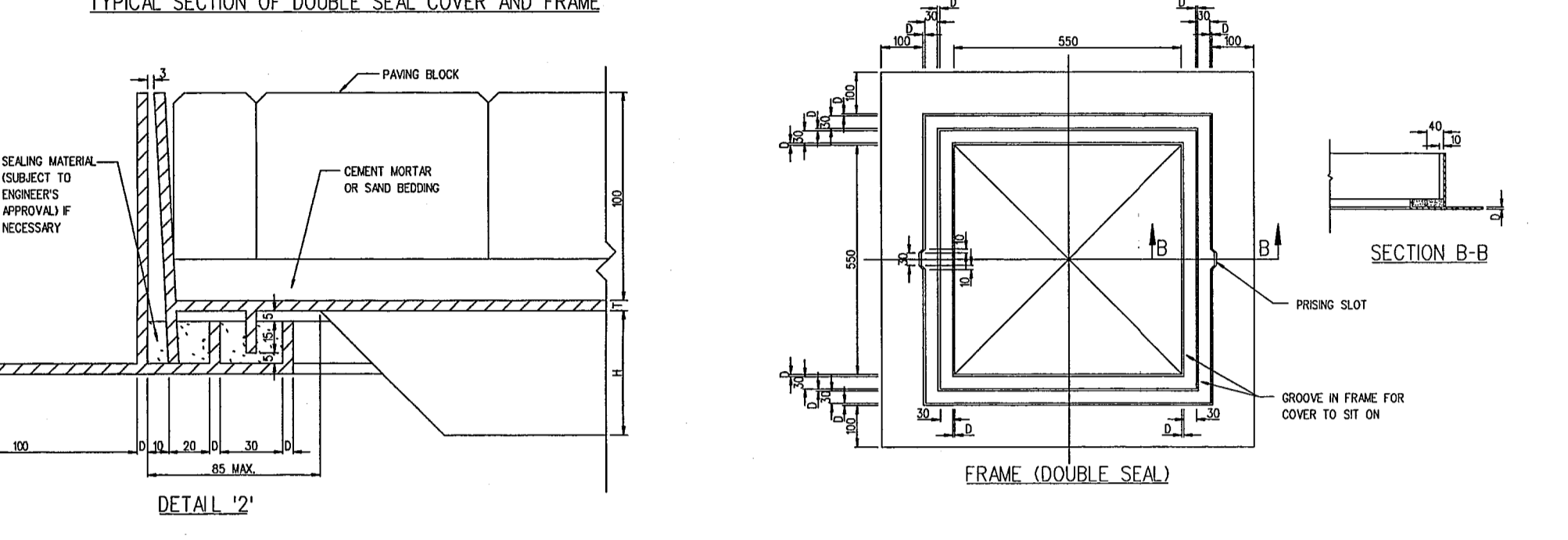
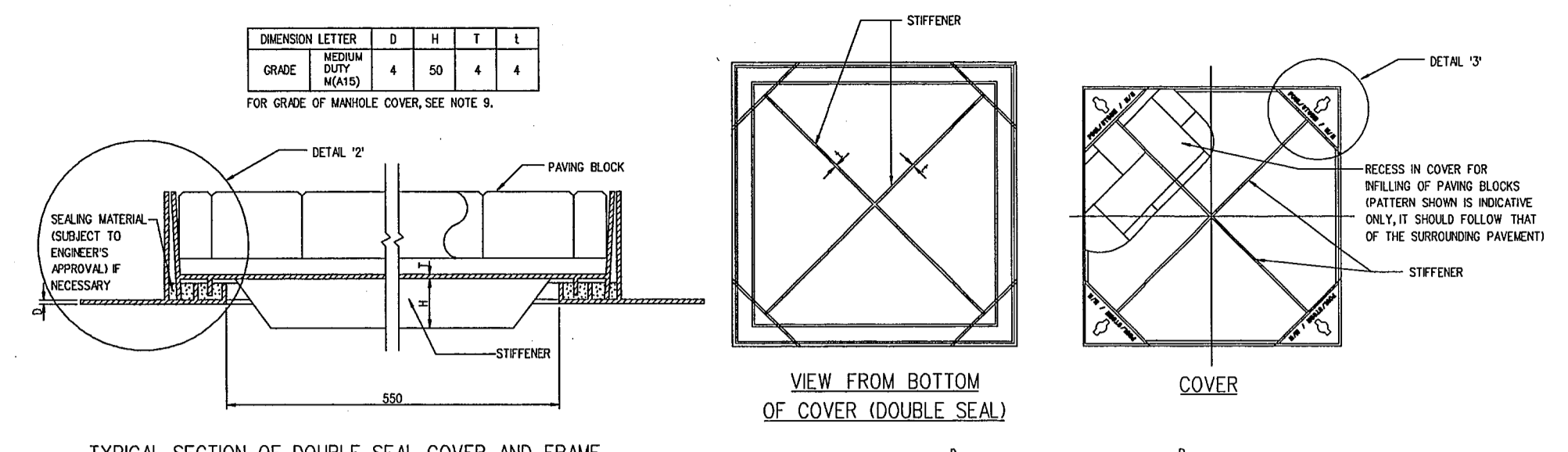
DISCHARGE PIPE SIZE (mm)	L	W	D	GRATING CLEAR OPENING
ø100	225	225	300	225x225
ø150	300	300	300	300x300



STEP IRON



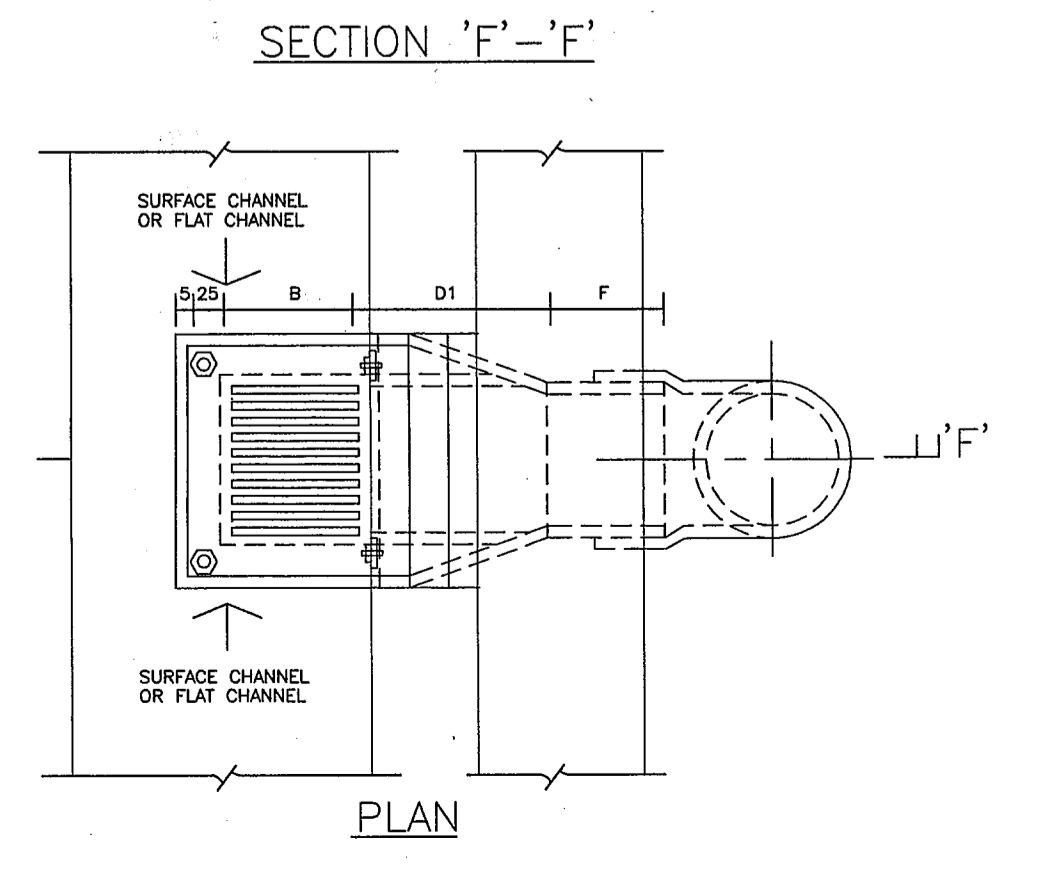
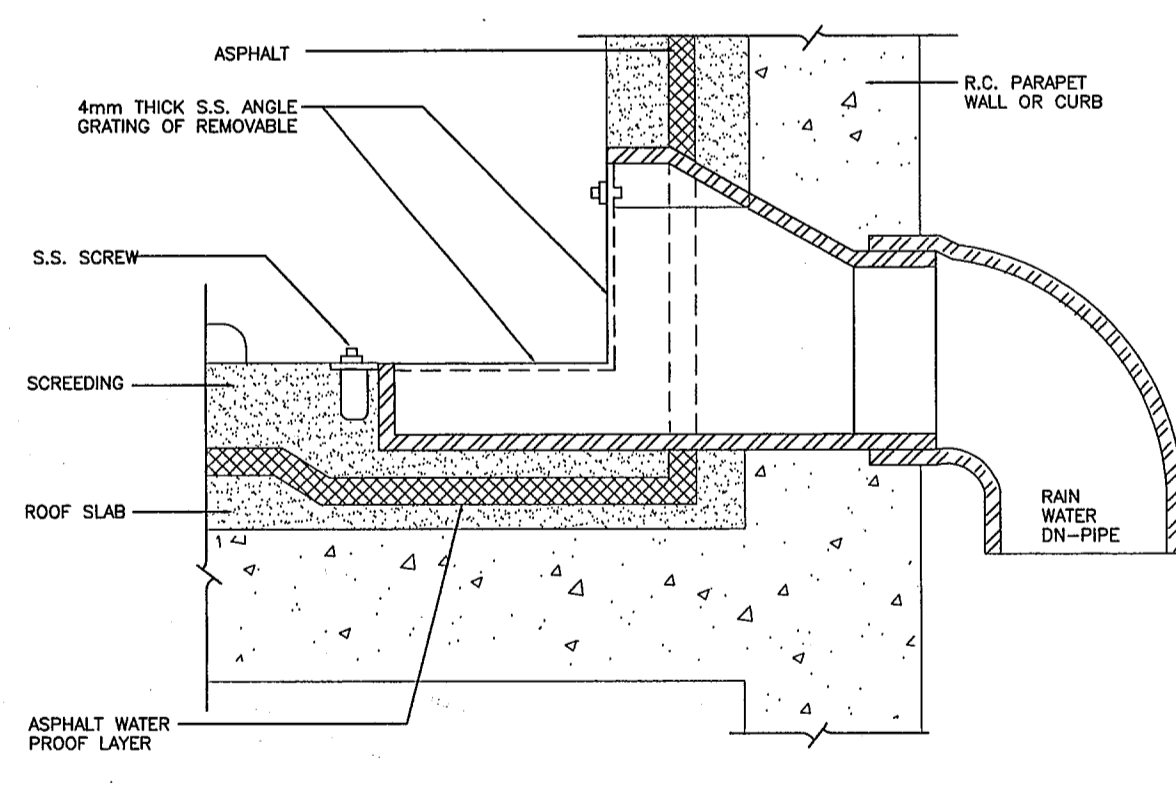
HAUNCH AND SURROUND DETAILS
 TYPE 1
 NOTES:
 1) 300/20 GRADE CONCRETE TO BE USED.
 2) 'T' DENOTES WALL THICKNESS OF PIPE.
 (FOR PIPES TOP LEVEL LESS THAN 0.9m FROM THE ROAD SURFACE AND VITRIFIED CLAY PIPES)



DETAILS FOR RECESSED COVER & FRAME

NOTES:
 1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. COVER AND FRAME SHALL BE PRODUCED IN ACCORDANCE WITH GUIDELINES AS LAID OUT IN BS EN124.
 3. ALL STEEL MEMBERS SHALL BE FABRICATED WITH GRADE 43 STEEL TO BS EN10029-1991, PARTS 1 TO 3 OF BS EN1013-1993 AND BS EN10210-1-1994.
 4. COVER AND FRAME SHALL BE HOT-DIPPED GALVANIZED TO BS EN1461, OR MATERIAL OF BETTER CORROSION RESISTANCE OR DURABILITY SUCH AS STAINLESS STEEL.
 5. ALL WELDS SHALL COMPLY WITH BS 4872.
 6. THE EXTERNAL EDGES OF THE COVER AND INTERNAL FACES OF THE FRAME SHALL BE COATED WITH A NON-SETTING, THICK LUBRICANT, SUCH AS PETROLEUM GEL, IN ORDER TO PREVENT JAMMING THE COVER AND FRAMES DUE TO SAND GRAINS ENTERING THE GAP AFTER FINAL FIXING.
 7. THE RECESSED COVER IS DESIGNED TO ACCOMMODATE PAVING BLOCK UP TO A MAXIMUM THICKNESS OF 80 mm.
 8. THE PAVING BLOCK WITHIN THE RECESSED COVER SHALL BE BEDDED ON SAND OR CEMENT MORTAR. SAND SHALL BE APPLIED TO THE WHOLE COVER WITH COMPACTION.
 9. ABBREVIATION OF IDENTIFICATION MARK AND GRADE OF MANHOLE COVER SHOULD BE ENGRAVED ON THE COVER AS FOLLOWS:

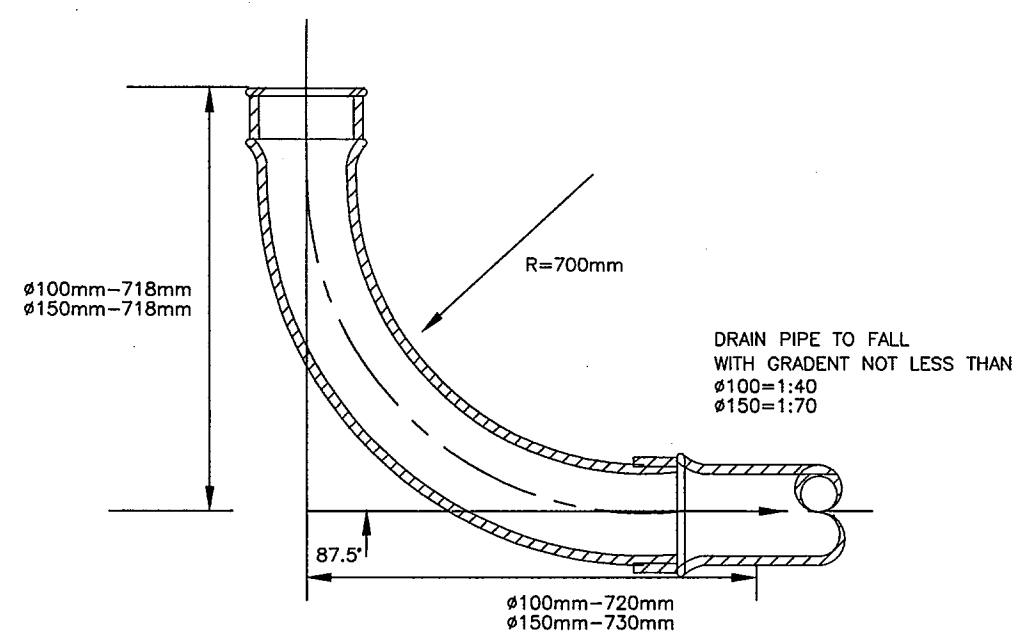
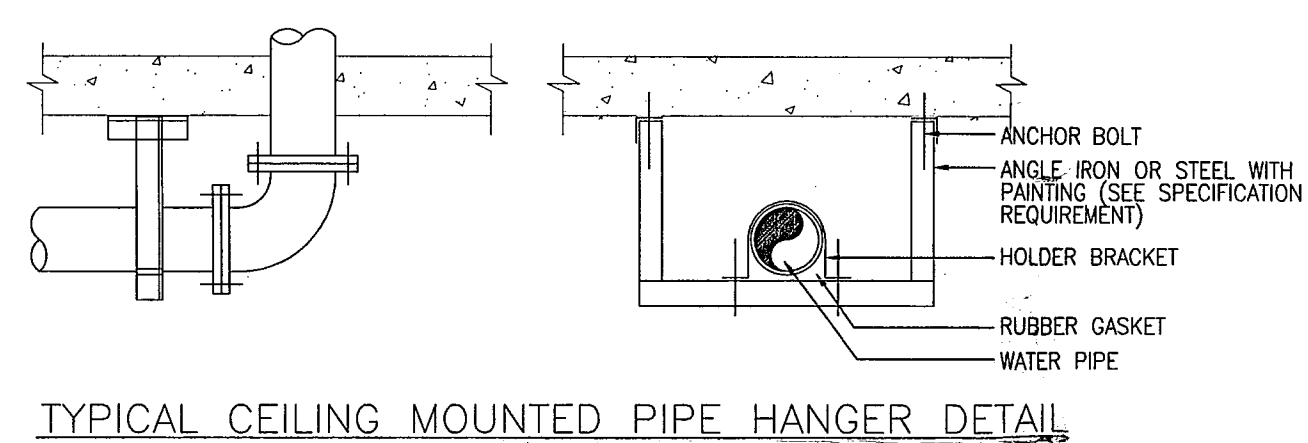
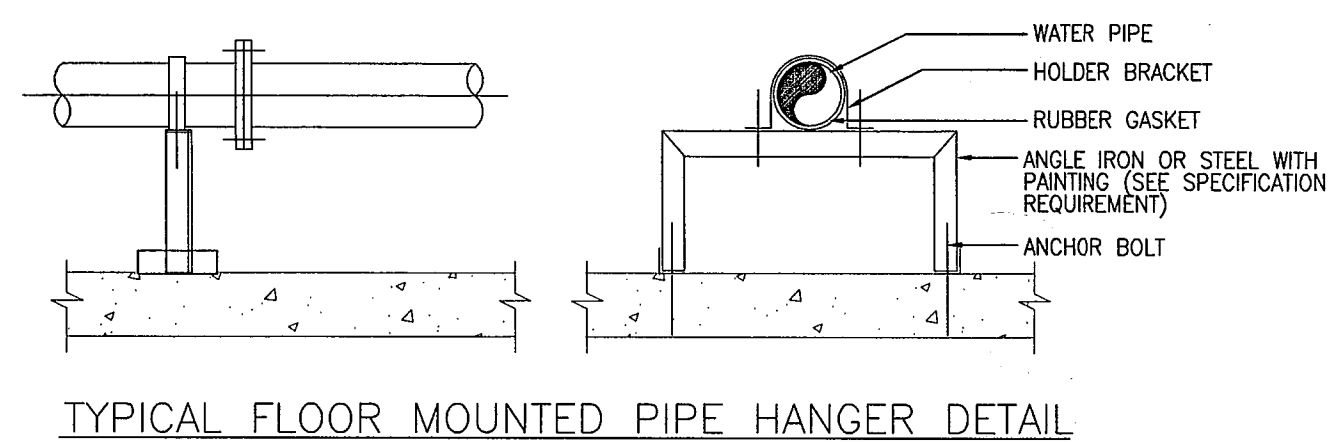
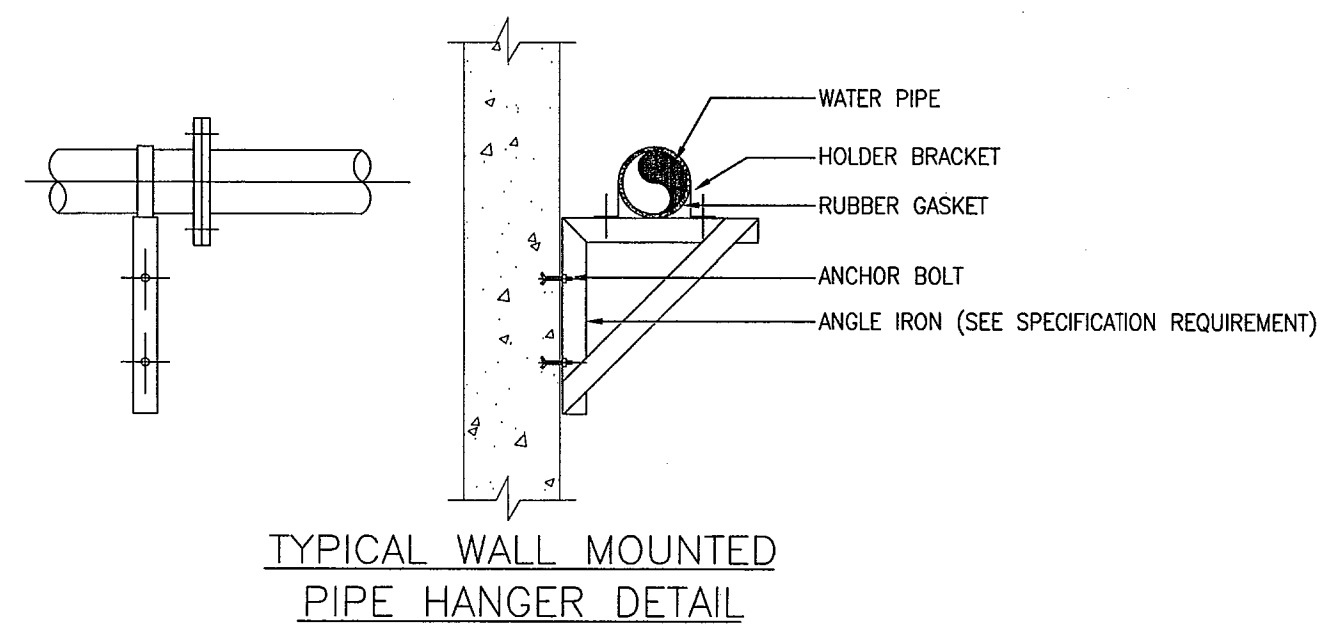
IDENTIFICATION MARK	ABBREVIATION	INDICATION
	FOUL	FOUL SEWER
	STORM	STORMWATER DRAIN
GRADE (DESIGNED TO BS EN124)	M	MEDIUM DUTY (A15) - FOR AREA USED BY PEDESTRIANS AND PEDAL CYCLISTS ONLY.



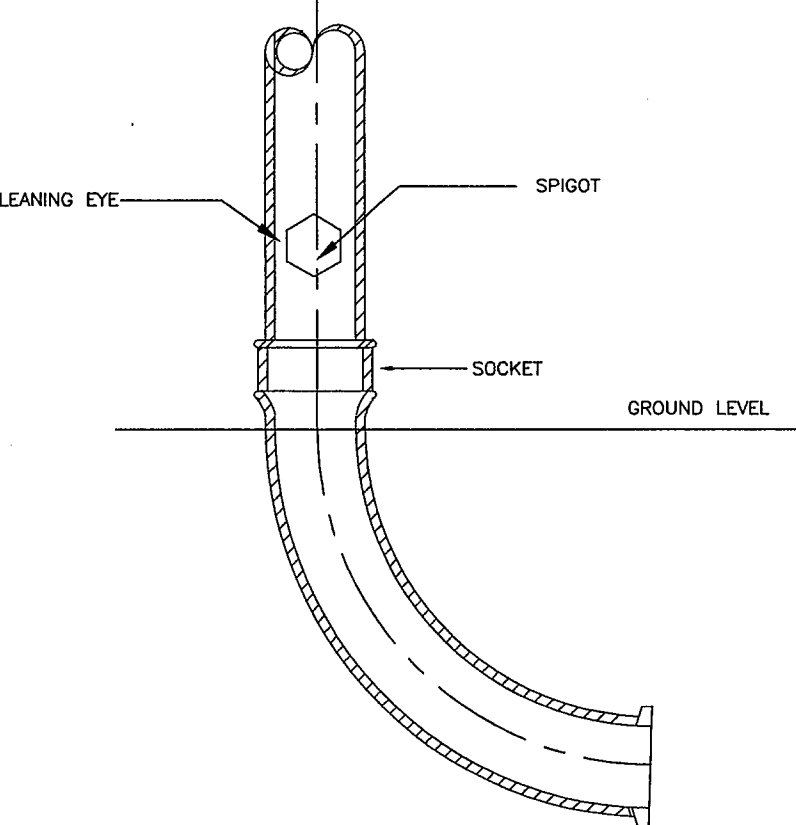
Plan Approved
 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 17 SEP 2009

07/09	UO	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				
ARCHITECT				
 VICTOR CHAN ARCHITECT (PRACTISING) PRC Class 1 Registered Architect Qualification 林陳簡建築師有限公司				
M & E CONSULTANT				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
PROJECT				
NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN				
TITLE				
STANDARD DETAILS FOR DRAINAGE SYSTEM (II)				
APPROVALS				
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
DRAWING NO. 0903/D/M02				
DRAWN BY	DESIGNED BY	CHECKED BY		
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SCALE	DATE	ISSUE		
N.T.S.	JULY, 2009	UO		

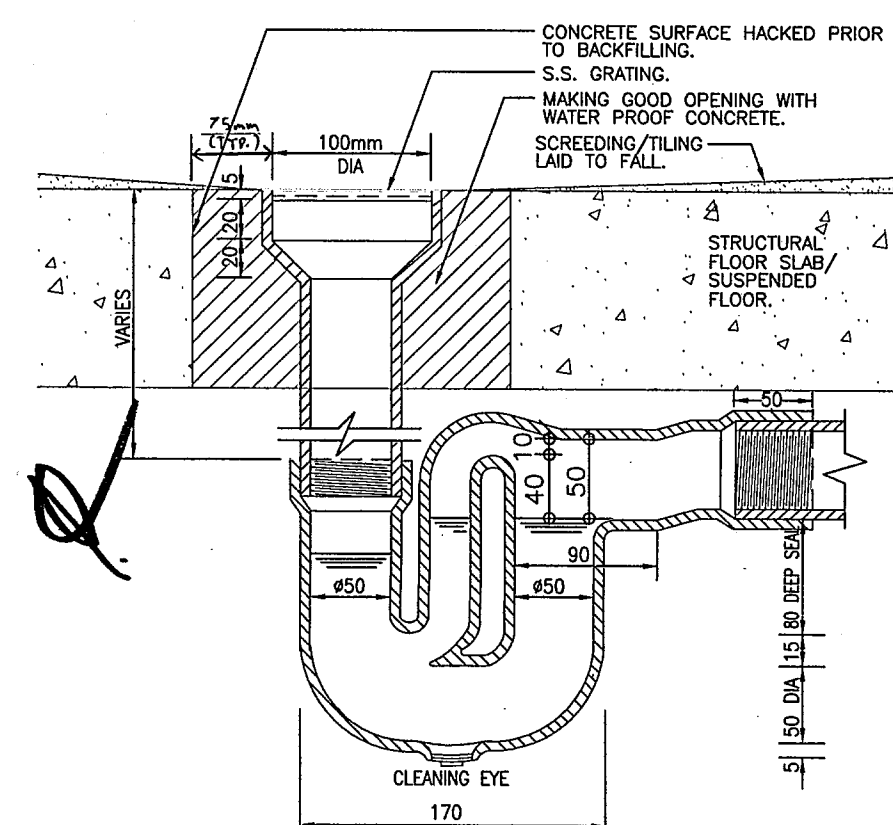
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 R.C.D.S. DIVISION
 BUILDINGS DEPARTMENT



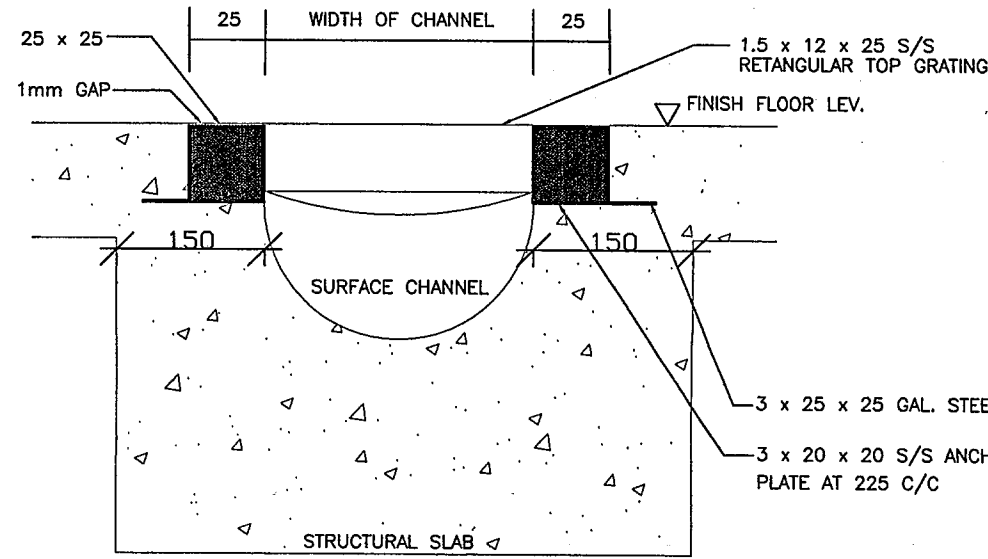
DETAIL OF CAST IRON DRAIN PIPE WITH LARGE RADIUS BEND



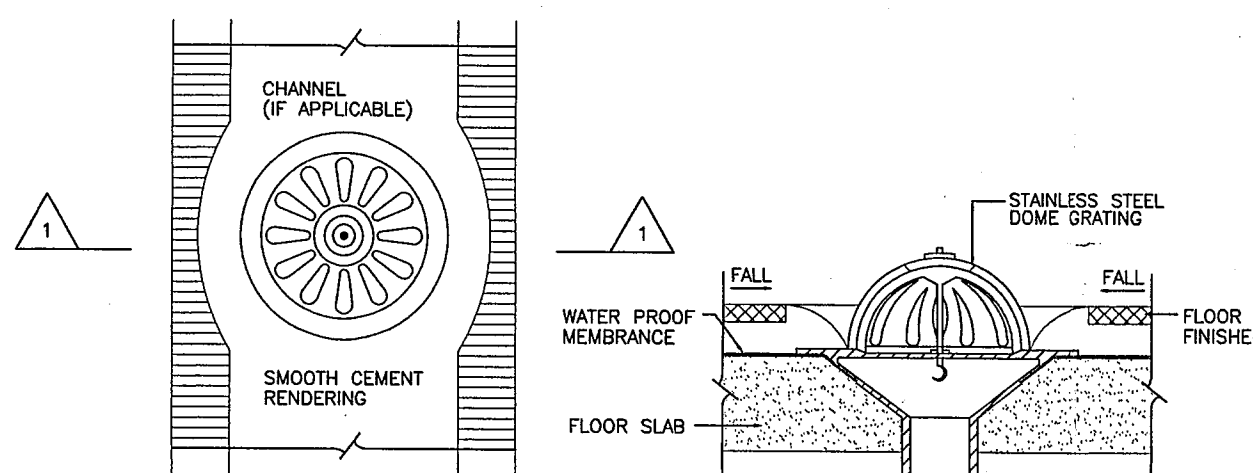
DETAIL OF PIPE CONNECTION FROM ABOVE GROUND TO UNDERGROUND



FLOOR DRAIN WITH ANTI-SYPHON TRAP

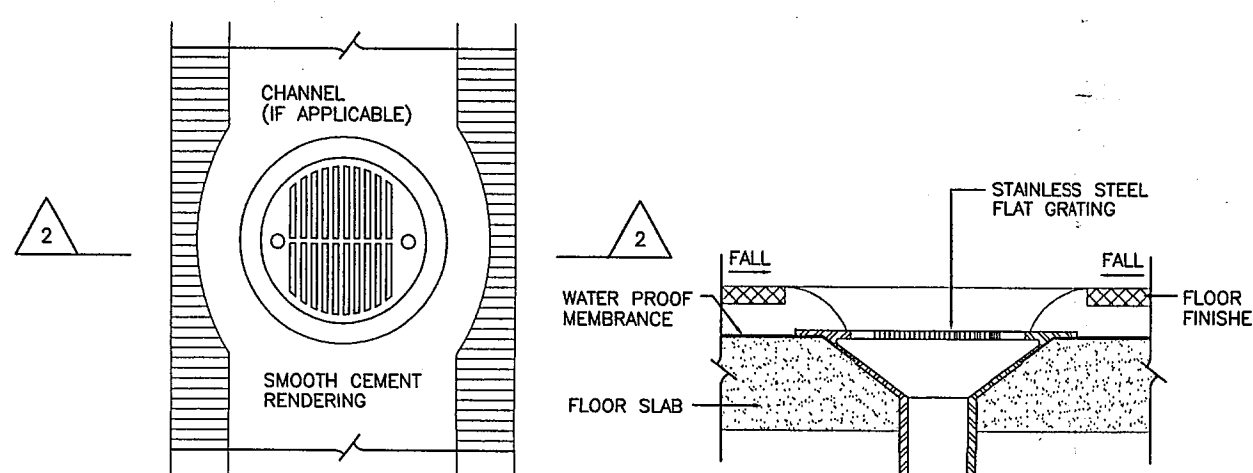


SECTION DETAIL CAST IRON GRATING



PLAN-DOME GRATING

SECTION A



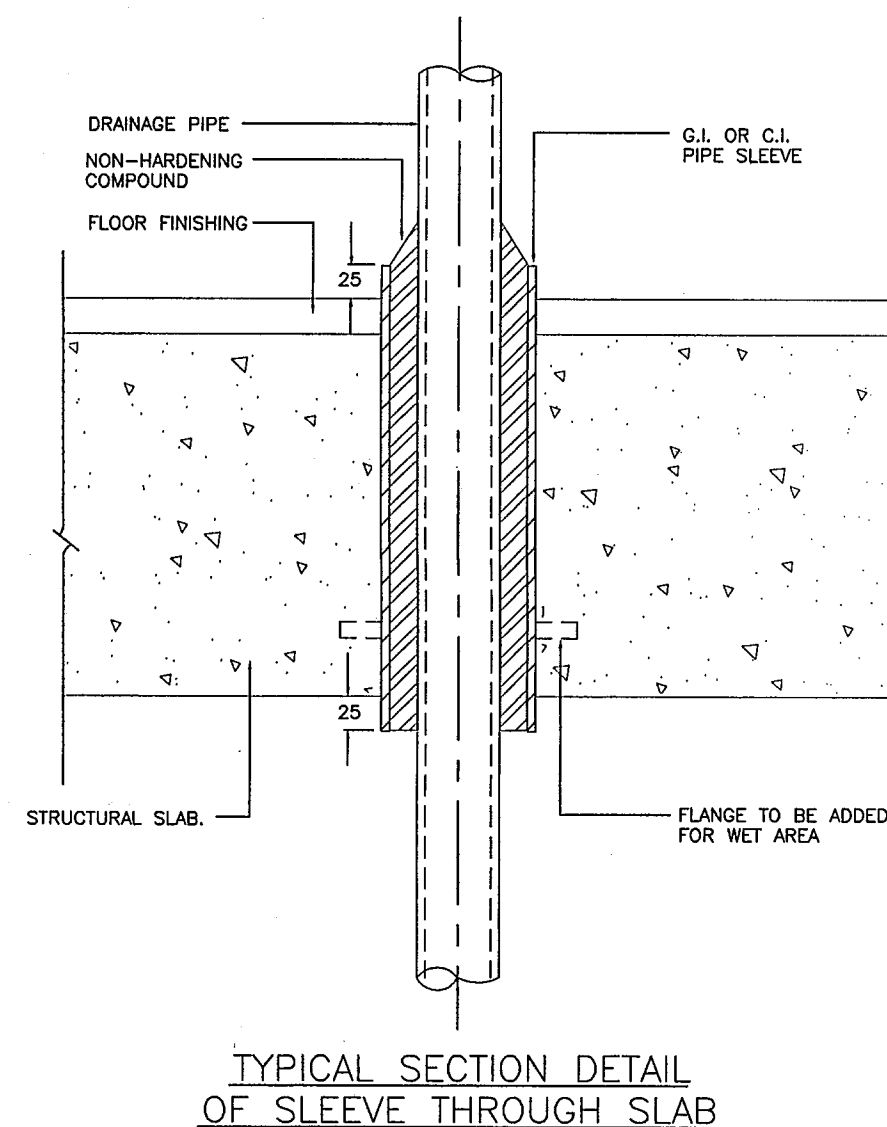
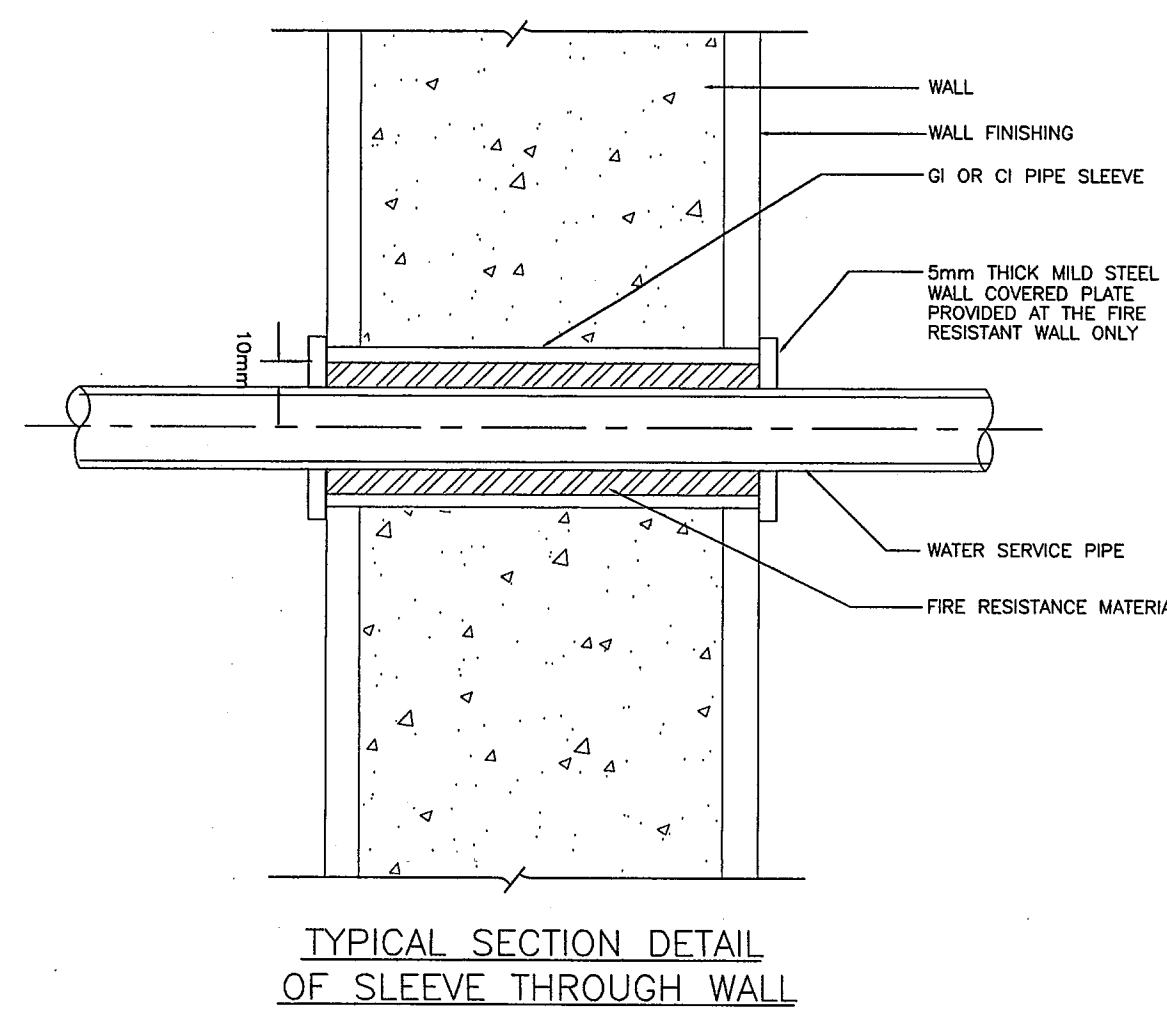
PLAN-FLAT GRATING

SECTION B

- NOTES:
RAINWATER OUTLETS SHALL BE COMPLETE WITH:
1) a) DOME GRATING - INACCESSIBLE FLAT ROOF
- INSIDE 'U' CHANNEL (PAID CONTRACTOR SHALL CHECK THE DEPTH OF U-CHANNEL IS SUFFICIENT BEFORE ORDER THE MATERIAL)
OR
b) FLAT GRATING (MEDIUM DUTY) - WALKWAY (ON SUSPENDED STRUCTURAL SLAB)
(HEAVY DUTY) - DRIVEWAY (ON SUSPENDED STRUCTURAL SLAB)
AND OF:
2) - CAST IRON BODY C/W MEMBRANE CLAMP
- NICKEL BRONZE, CHROME PLATED BRONZE OR STAINLESS STEEL FLAT GRATING FOR ACCESSIBLE PODIUM ROOF, BALCONIES OR PUBLIC ACCESSIBLE AREA
- CAST IRON FLAT GRATING FOR OPEN CARPARK, LOADING/UNLOADING AND SERVICES AREA.
- CAST IRON OR ALUMINIUM DOME GRATING FOR INACCESSIBLE ROOFS, FLAT ROOFS, CANOPIES AND NOT SPECIFIED AREA.

DIAMETER OF RAINWATER PIPE	DIAMETER OF GRATING
65	100
80	150
100	225
150	300

CAST IRON ROUND FLAT & DOME GRATINGS FOR RAINWATER OUTLETS

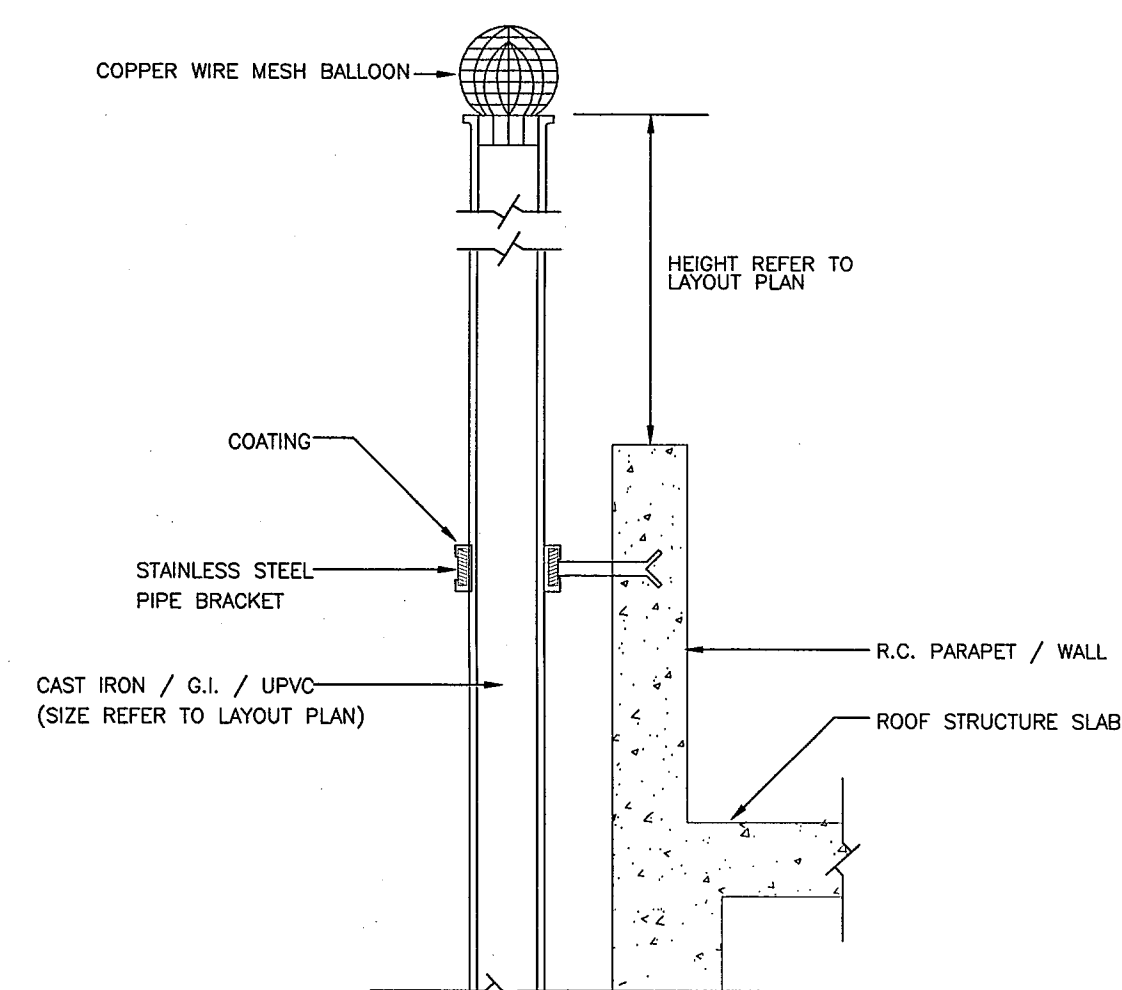


TYPICAL SECTION DETAIL OF SLEEVE THROUGH SLAB

TABLE OF ANGLE GRATING SIZE & OTHERS

A	B	C	D	D1	E	F	REMARKS
67	88	80	65	75	30	50	CONNECTED TO G.I. FITTING
127	150	100	100	110.4	127	127	CONNECTED TO PVC PIPE FITTING
282	150	150	150	166.5	40	103	

ANGLE GRATING RAINWATER OUTLET



TYPICAL DETAIL FOR WALL-MOUNTED VENT PIPE

Plan Approved
YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY
17 SEP 2009

07/09	UO	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				

ARCHITECT

LK ARCHITECTS LTD
VICTOR CHAN
Principal Architect
Professional Architect
PRC Class 1 Registered Architect
林陳簡建築師有限公司

M & E CONSULTANT
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

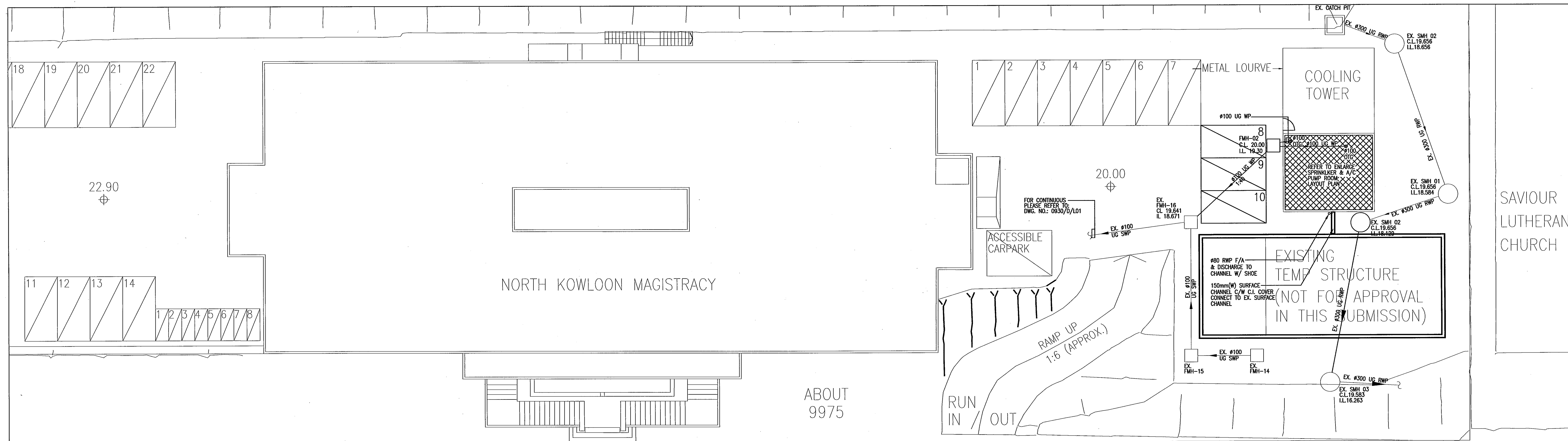
TITLE
STANDARD DETAILS FOR DRAINAGE SYSTEM (I)

APPROVALS
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/D/M01

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BUILDINGS



Plan Approved

YU Po-mei, Clarice

YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY

- 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of FastTrack consent application under regulation 33 of the Building (Administration) Regulations of the B.L.

DATE	NO.	REVISION	BY	CHK
09/10	U2	2nd BD SUBMISSION	CC	WT
06/10	U0	BD SUBMISSION	CC	WT

Victor Chan

VICTOR CHAN
Architectural Practitioner
PRO Class 1 Registered Architect

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THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT

NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

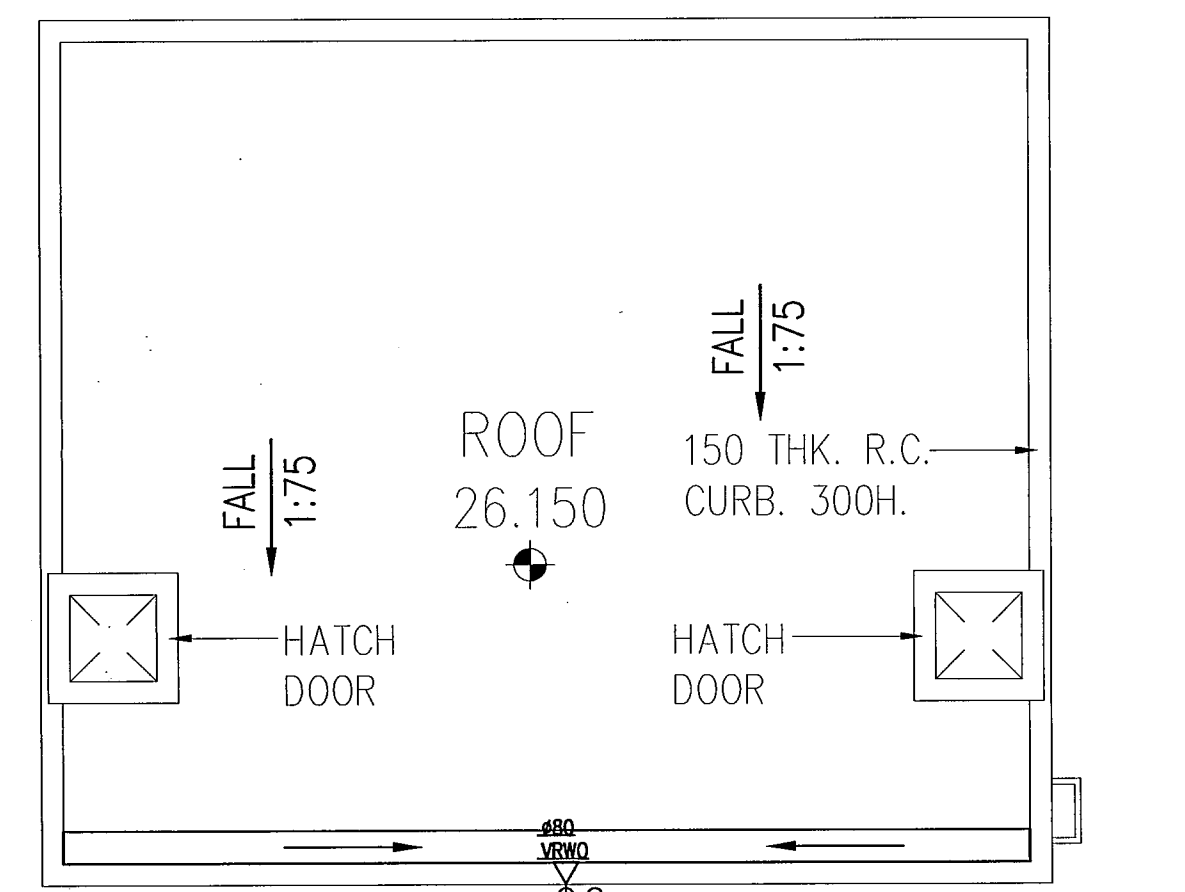
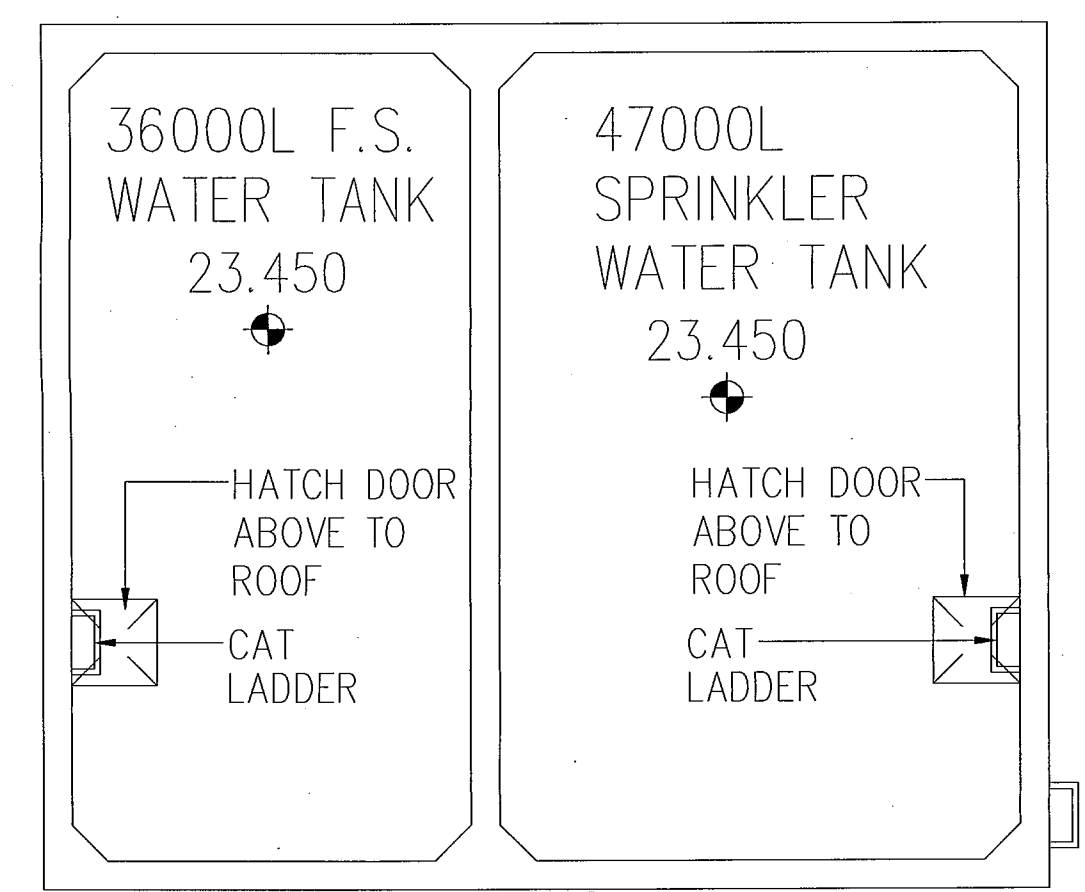
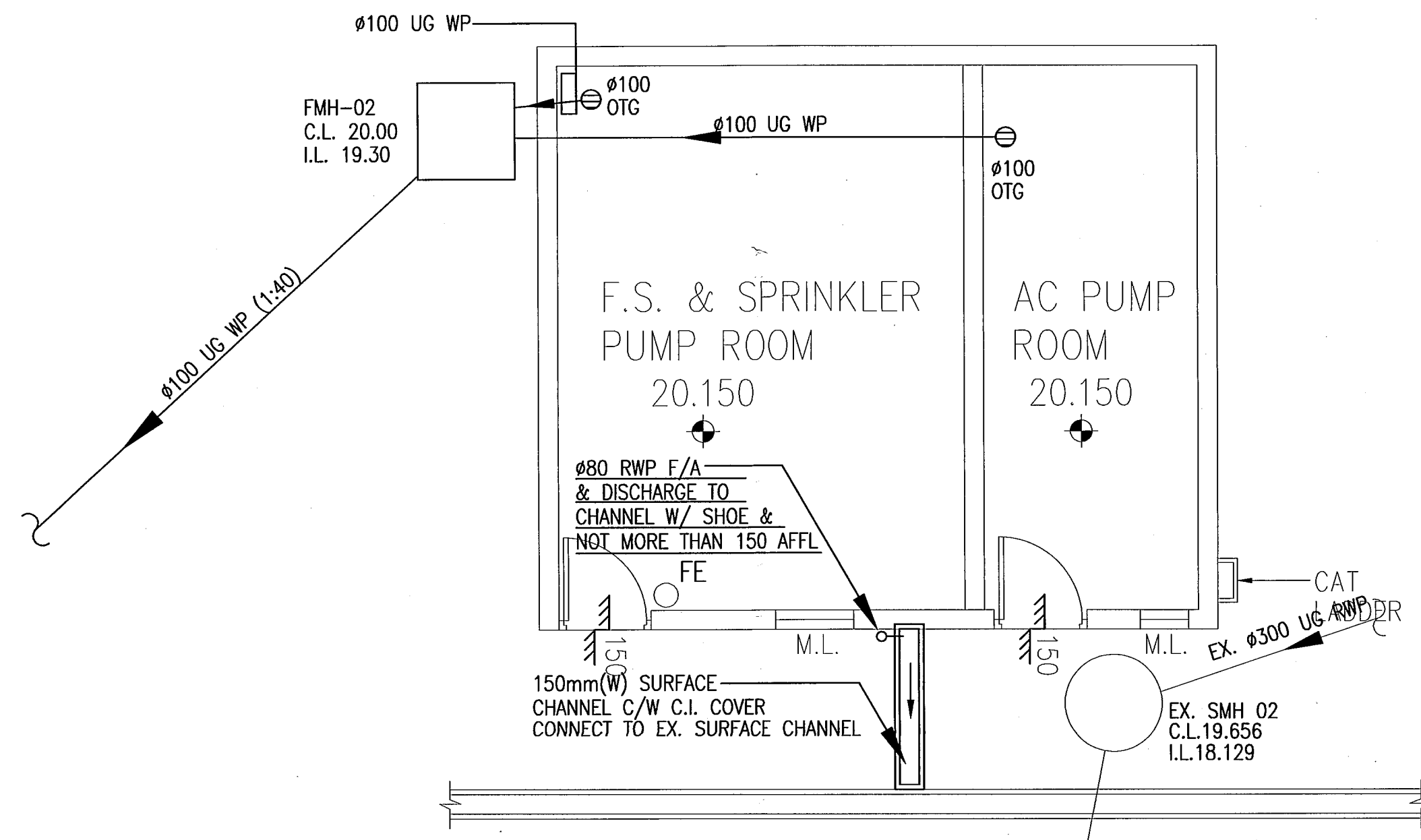
TITLE

DRAINAGE LAYOUT FOR
F.S. & SPRINKLER PUMP ROOM

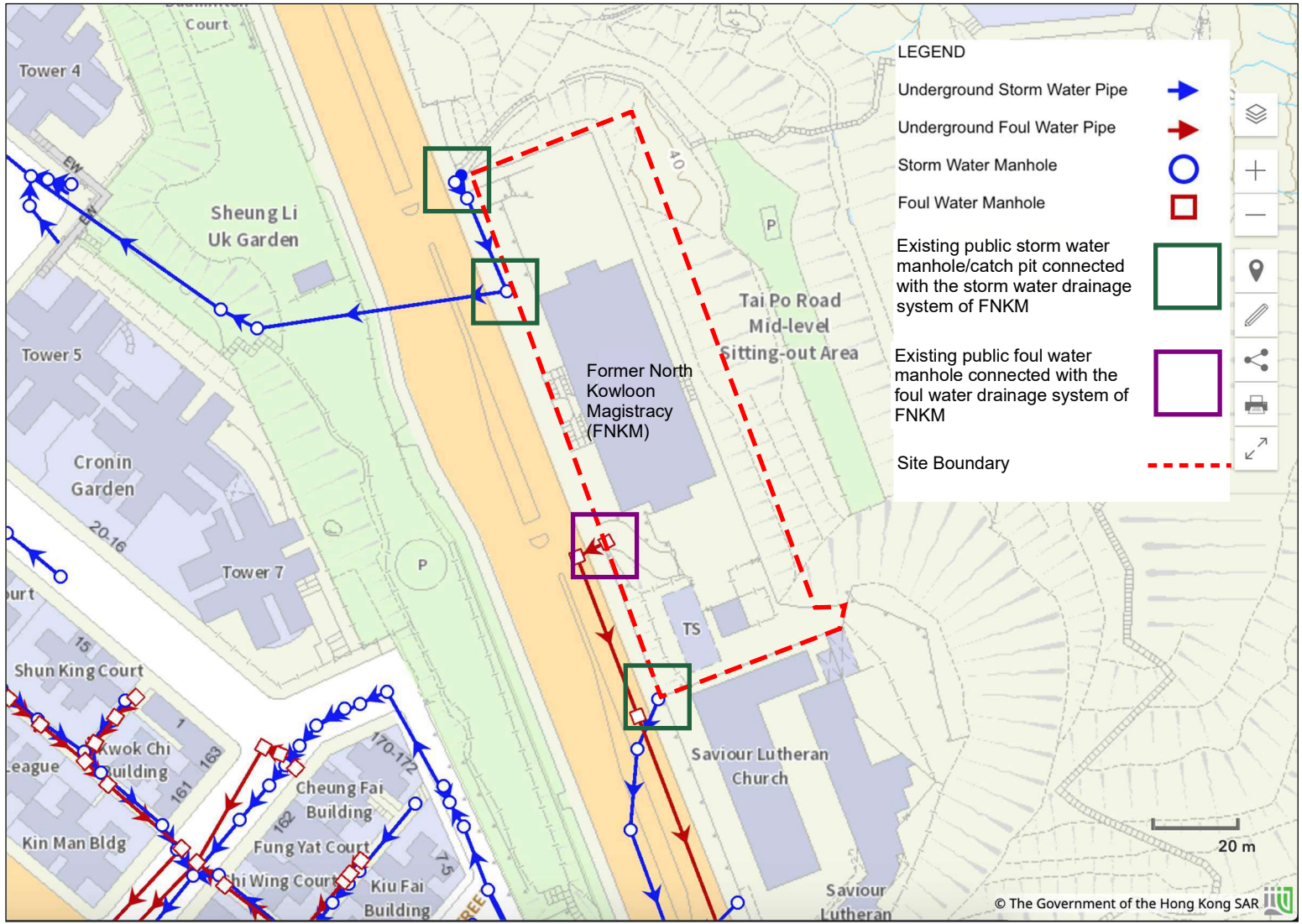
APPROVALS

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

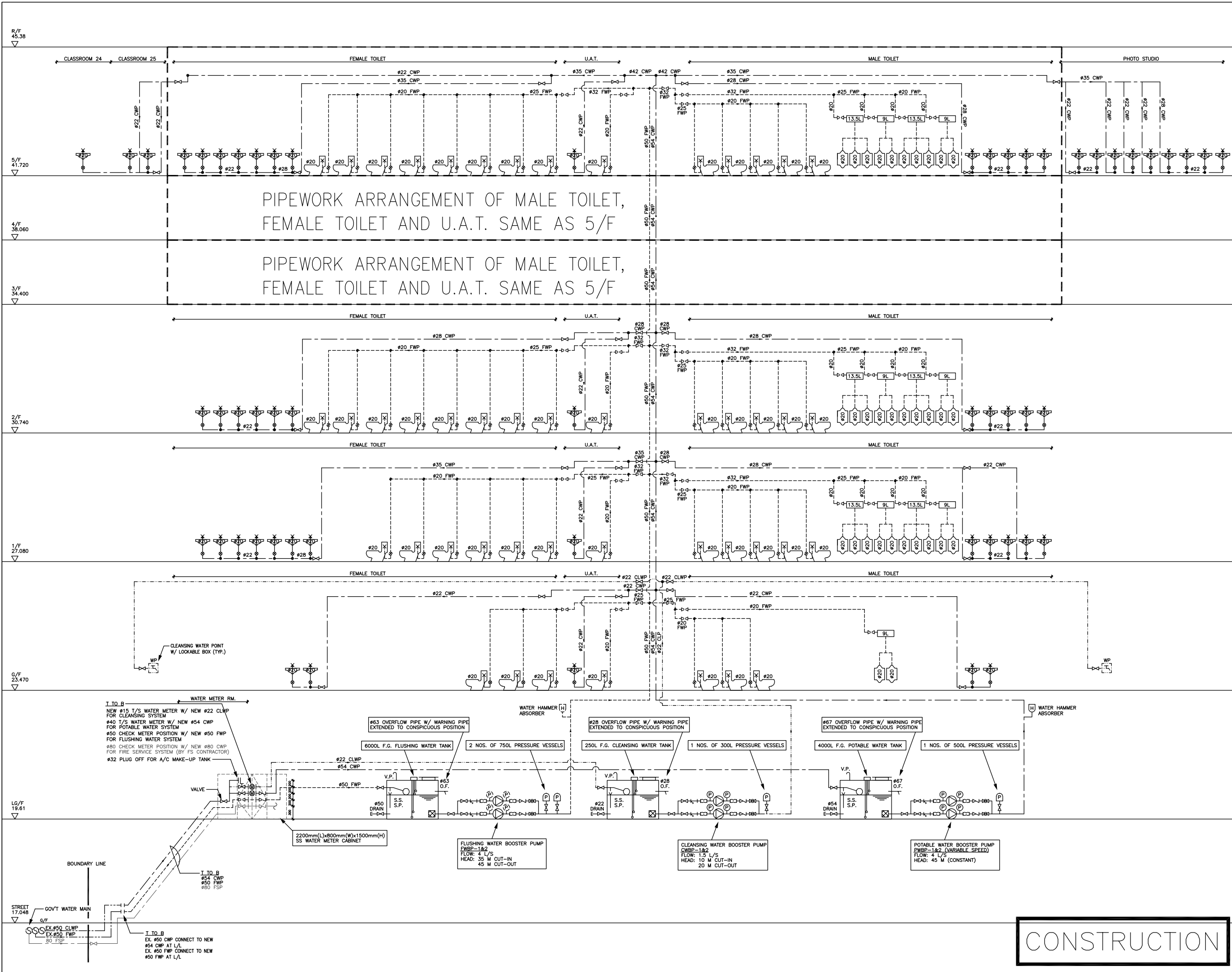
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(DSD's record extracted from GeoInfo Map)



12/09	CO	ISSUE FOR CONSTRUCTION	KML	AT
DATE	NO	REVISION	BY	CHK

CLIENT
SCAD.
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY • EST. 1915
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
 TEL 202-861-4600 FAX 202-872-8530
 SUITE 1306, 248 QUEEN'S ROAD, WINGLAI, HONG KONG
 TEL 2567 4321 FAX 2885 3507

ARCHITECT
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

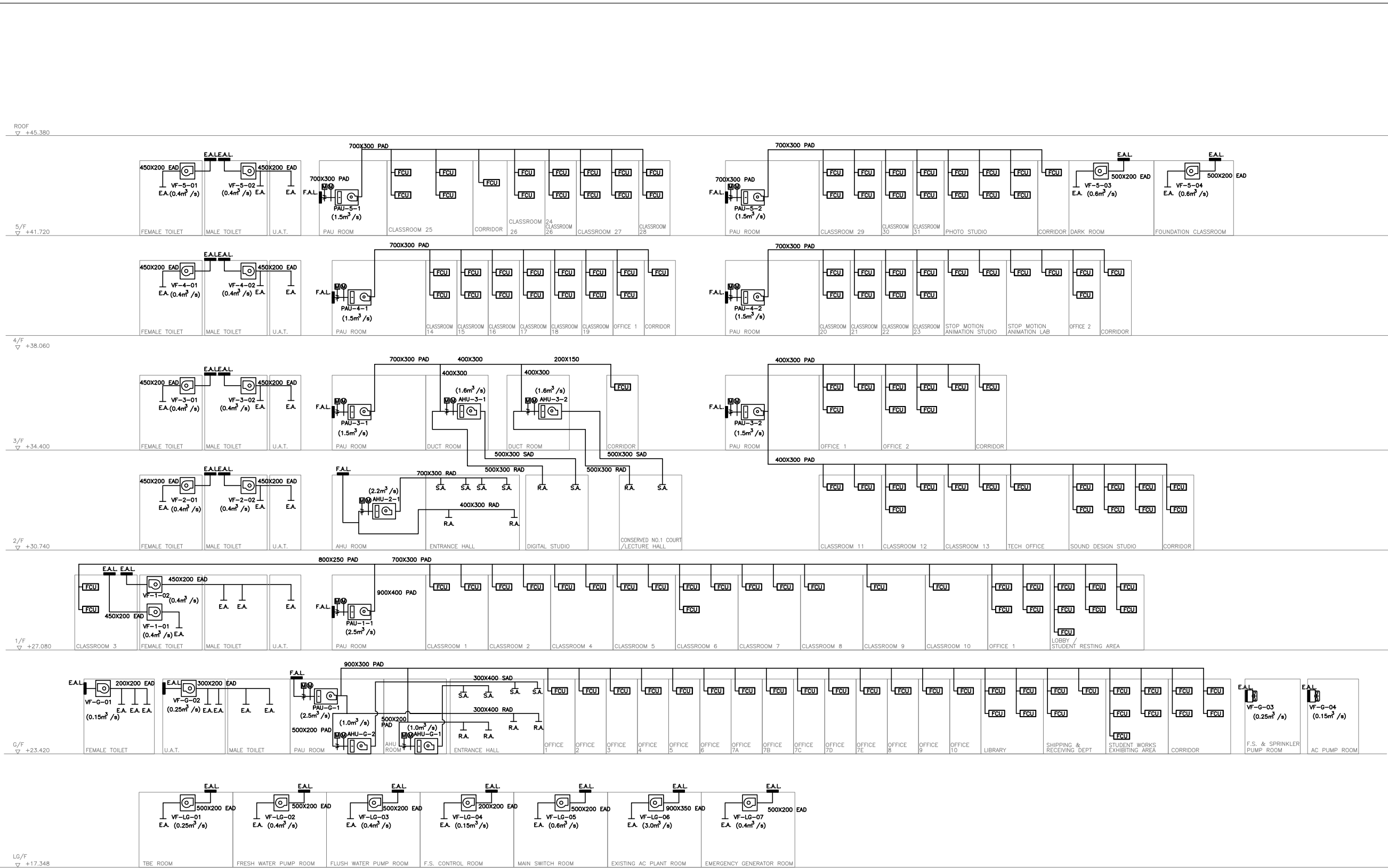
M & E CONSULTANT
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE
 SCHEMATIC DIAGRAM FOR
 PLUMBING SYSTEM

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/P/S01		
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NOTES:
 SHOULD DISCREPANCY BE FOUND BETWEEN LAYOUT PLANS AND SCHEMATIC DIAGRAMS, AIR DUCT SIZES SHOWN ON LAYOUT SHALL FOLLOW.

12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT
DATE	NO	REVISION	BY	CHK

REVISIONS

CLIENT
SCAD
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

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ARCHITECT
LCK ARCHITECTS LTD
 林曉剛建築師有限公司

M & E CONSULTANT

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

TITLE
 ACMV AIR-SIDE DUCTING SCHEMATIC DIAGRAM

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

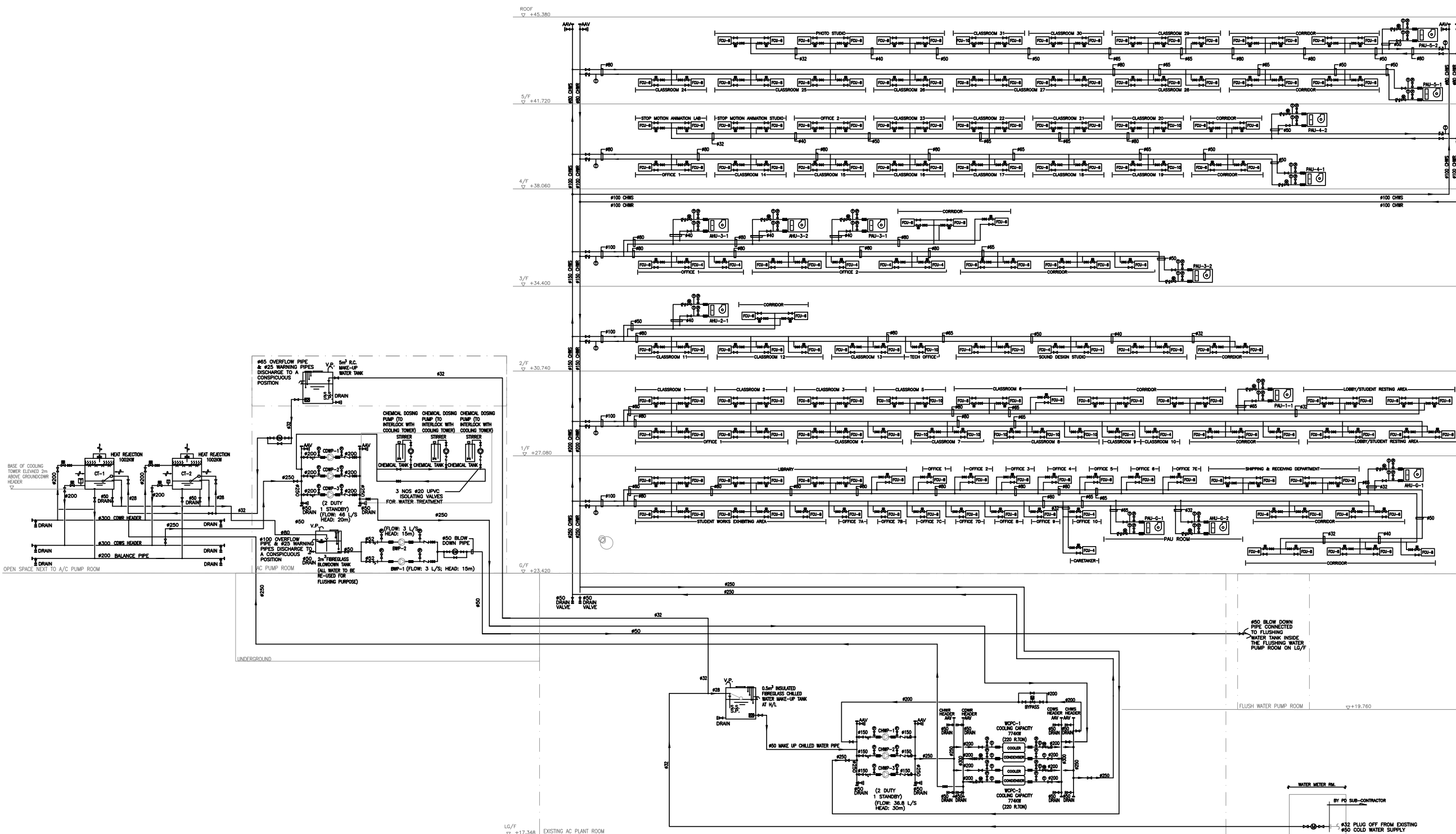
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DRAWN BY	DESIGNED BY	CHECKED BY	
AS	AS	AT	
SCALE	DATE	ISSUE	
N.T.S.	SEP., 2009	CO	

CONSTRUCTION

ACMV AIR-SIDE DUCTING SCHEMATIC DIAGRAM

NOTES:

1. SHOULD DISCREPANCY BE FOUND BETWEEN LAYOUT PLANS AND SCHEMATIC DIAGRAMS, PIPES SIZES SHOWN ON LAYOUT SHALL FOLLOW.



WATER-SIDE PIPING SCHEMATIC DIAGRAM

CONSTRUCTION

DATE	NO	REVISION	BY	CHK
12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT

CLIENT
SCAD.
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY • EST. 1915
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
 TEL 202-861-4600 FAX 202-872-8530
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
 TEL 2867 4321 FAX 2885 3507

ARCHITECT
LCK ARCHITECTS LTD
 林業簡建築師有限公司

M & E CONSULTANT
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

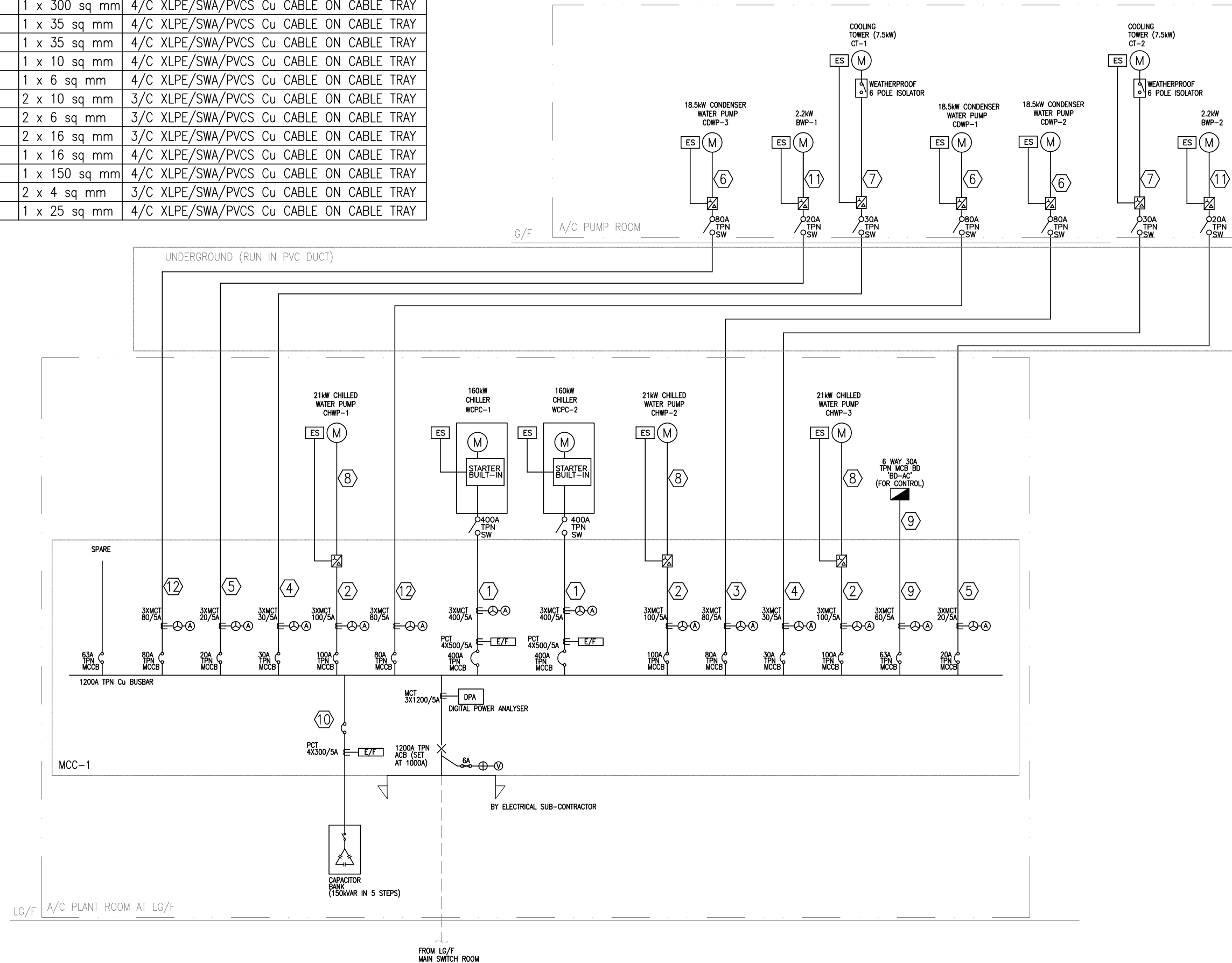
TITLE
 ACMW WATER-SIDE PIPING SCHEMATIC DIAGRAM

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/AC/S02	
DRAWN BY AS	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009
	ISSUE CO

CABLE SCHEDULE

CABLE NO.	CABLE SIZE	CABLE TYPE
1	1 x 300 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
2	1 x 35 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
3	1 x 35 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
4	1 x 10 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
5	1 x 6 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
6	2 x 10 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
7	2 x 6 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
8	2 x 16 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
9	1 x 16 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
10	1 x 150 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
11	2 x 4 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
12	1 x 25 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY



DATE	NO	REVISION	BY	CHK
12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT
		REVISION		

REVISIONS

CLIENT
SCAD.
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY • EST. 1915
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
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ARCHITECT
LQK
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 林業建築師有限公司

M & E CONSULTANT

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

TITLE
 POWER DISTRIBUTION SCHEMATIC DIAGRAM
 FOR MOTOR CONTROL CENTRE

APPROVALS

 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/AC/S05		
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AS	AS	AT	
SCALE	DATE	ISSUE	
N.T.S.	SEP., 2009	CO	

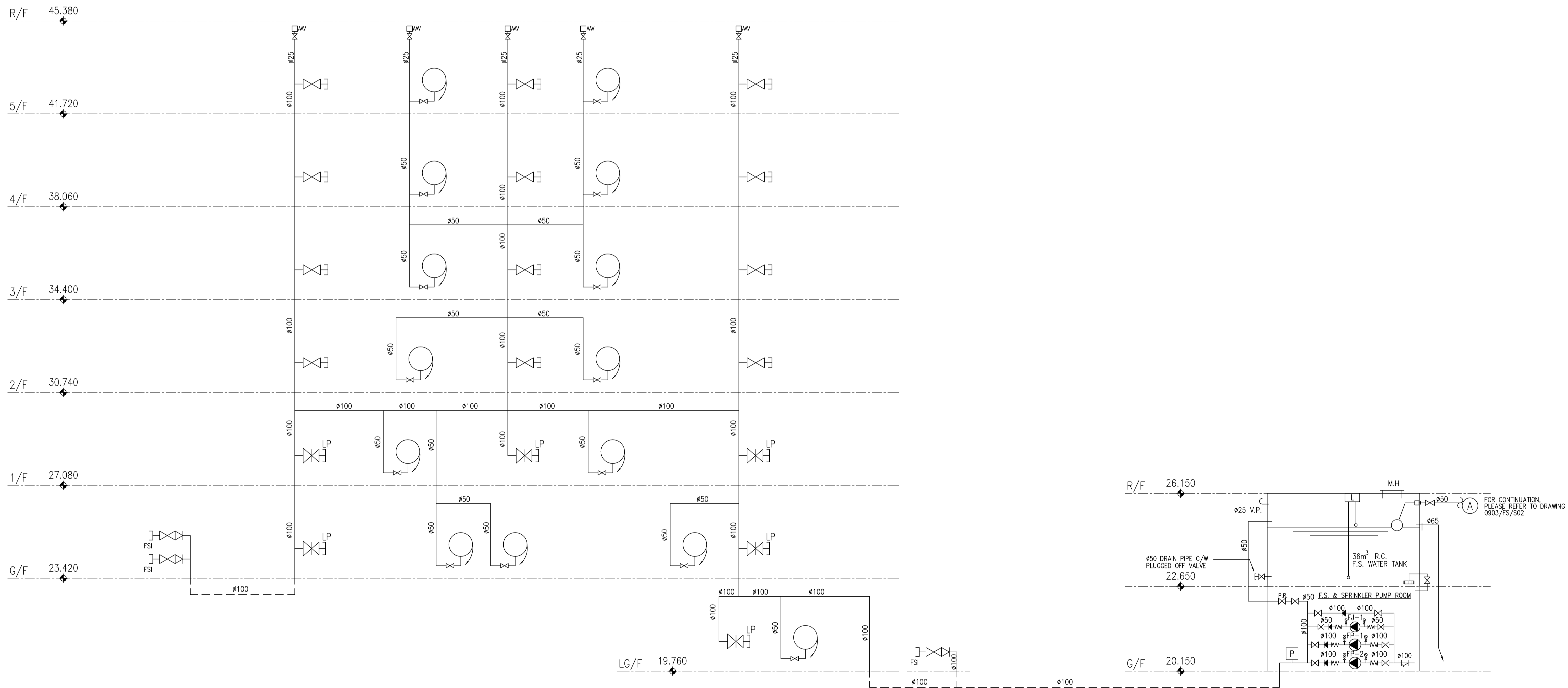
CONSTRUCTION

POWER DISTRIBUTION SCHEMATIC DIAGRAM FOR MOTOR CONTROL CENTRE

PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
Ø150mm & BELOW, (ABOVE-GROUND PIPWORK)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) MEDIUM GRADE
ABOVE Ø150mm, (ABOVE-GROUND PIPWORK)	DUCTILE IRON PIPES AND FITTINGS TO BS EN545:2002, CLASS N12 COLD BITUMEN COATED EXTERNALLY AND INTERNALLY TO BS 3416:1991 TYPE II
Ø150mm & BELOW, (UNDERGROUND PIPEWORK OR WORKING PRESSURE >1600KPa)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) HEAVY GRADE
REMARK: ALL UNDERGROUND PIPE SHOULD BE TREATED AND COATED WITH AT LEAST TWO COATS OF BITUMINOUS PAINTS & WRAPPED WITH CORROSION AND WATER RESISTANCE SELF-AMALGAMATING TAPES AND MASTICS.	

PUMP SCHEDULE						
PUMP		PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR	
					SPEED (RPM)	RATING (KW)
FIXED FIRE PUMP	FP-1 FP-2	7.5	900	HORIZONTAL END-SUCTION	2900	37
F.S. JOCKEY PUMP	FJ-1	8	60	VERTICAL MULTI-STAGE	2900	4

REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE
SYSTEM PRESSURE AND OF MINIMUM 16 BARS.



SCHEMATIC DIAGRAM FOR FIRE HYDRANT AND HOSE REEL SYSTEM

CONSTRUCTION

DATE	NO	REVISION	BY	CHK
12/09	C0	ISSUE FOR CONSTRUCTION	BL	AT
09/09	T0	ISSUE FOR TENDER	BL	AT

REVISIONS

CLIENT
SCAD.
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY EST. 1915
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
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 TEL 2867 4321 FAX 2865 3507

ARCHITECT
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

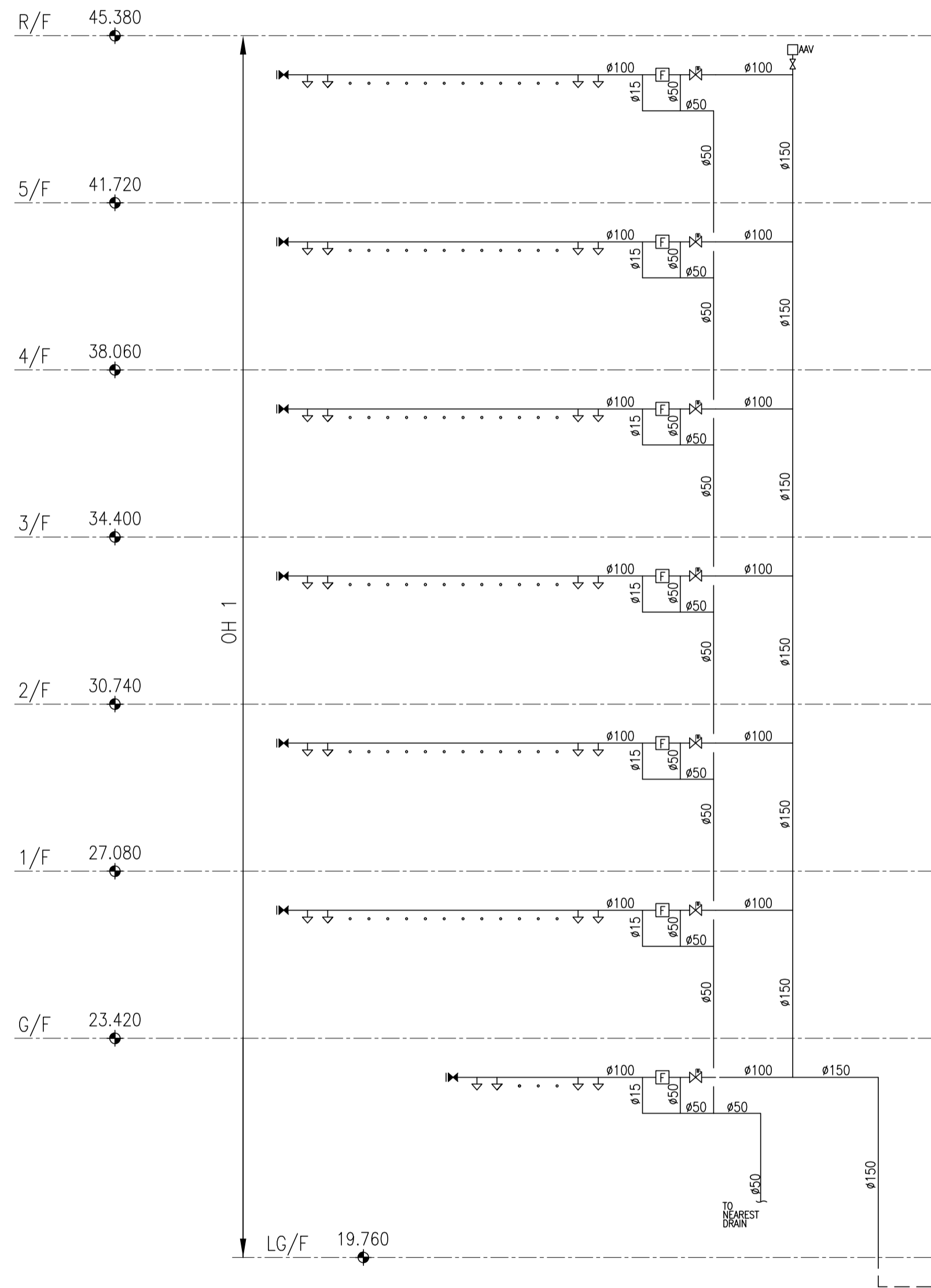
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THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS 292 TAI PO
 ROAD, KLN

TITLE
 SCHEMATIC DIAGRAM FOR
 FIRE HYDRANT & HOSE REEL SYSTEM

APPROVALS
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

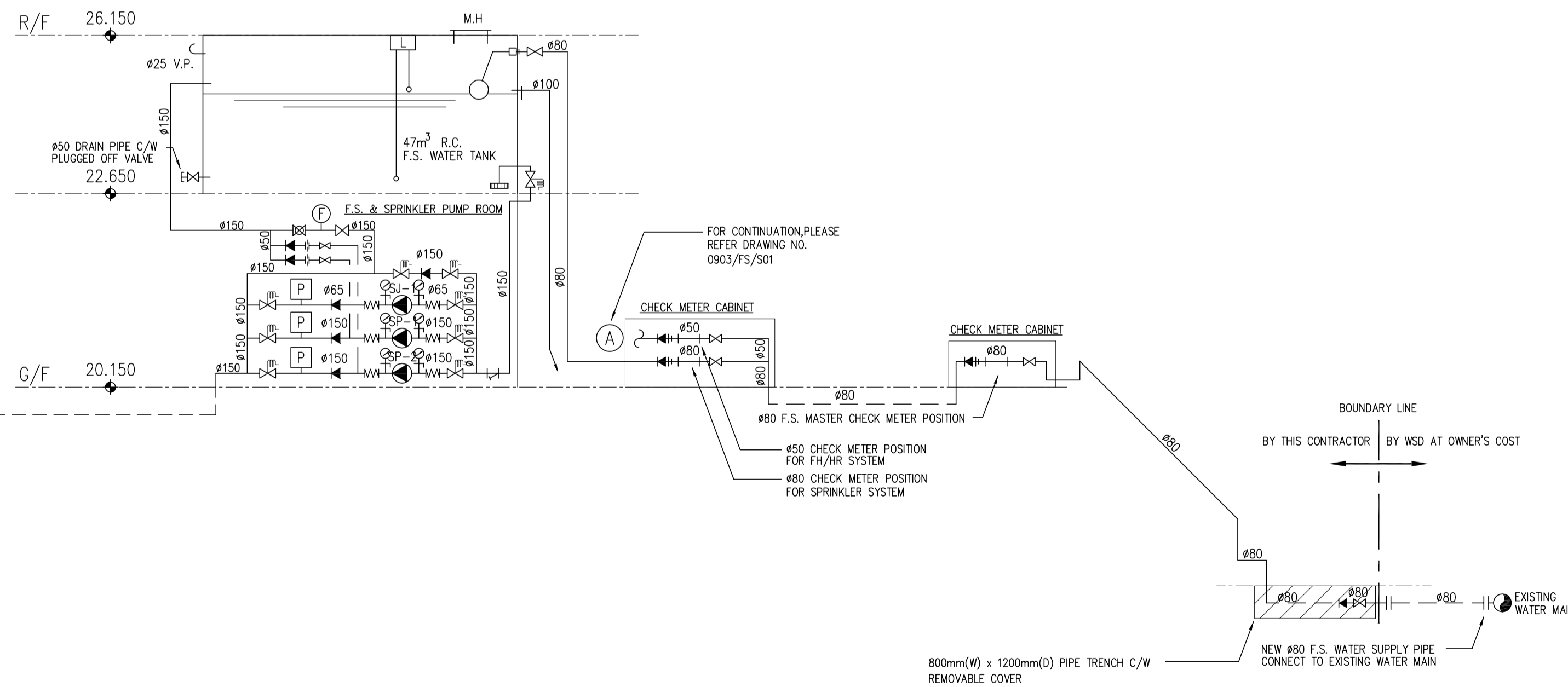
DRAWING NO. 0903/FS/S01		
DRAWN BY YKC	DESIGNED BY BL	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009	ISSUE C0



PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
ø150mm & BELOW, (ABOVE-GROUND PIPWORK)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) MEDIUM GRADE
ABOVE ø150mm, (ABOVE-GROUND PIPWORK)	DUCTILE IRON PIPES AND FITTINGS TO BS EN545:2002, CLASS K12, COLD BITUMEN COATED EXTERNALLY AND INTERNALLY TO BS 3416:1991 TYPE II
ø150mm & BELOW, (UNDERGROUND PIPEWORK OR WORKING PRESSURE >1600KPa)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) HEAVY GRADE
REMARK: ALL UNDERGROUND PIPE SHOULD BE TREATED AND COATED WITH AT LEAST TWO COATS OF BITUMINOUS PAINTS & WRAPPED WITH CORROSION AND WATER RESISTANCE SELF-AMALGAMATING TAPES AND MASTICS.	

PUMP SCHEDULE						
PUMP		PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR	
					SPEED (RPM)	RATING (KW)
SPRINKLER PUMP	SP-1 SP-2	1.9/4.2/4.5	1150/540/375	HORIZONTAL END-SUCTION	2900	15
SPRINKLER JOCKEY PUMP	SJ-1	5.0	45	VERTICAL MULTI-STAGE	2900	2.2

REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE SYSTEM PRESSURE AND OF MINIMUM 16 BARS.



SCHMATIC DIAGRAM FOR SPRINKLER SYSTEM

CONSTRUCTION

12/09	CO	ISSUE FOR CONSTRUCTION	BL	AT
09/09	TO	ISSUE FOR TENDER	BL	AT
DATE	NO	REVISION	BY	CHK

REVISIONS

CLIENT
SCAD.
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT
LEO A DALY EST. 1915
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
TEL 202-861-4600 FAX 202-872-8530
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ARCHITECT
LCK ARCHITECTS LTD
林陳簡建築師有限公司

M & E CONSULTANT
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

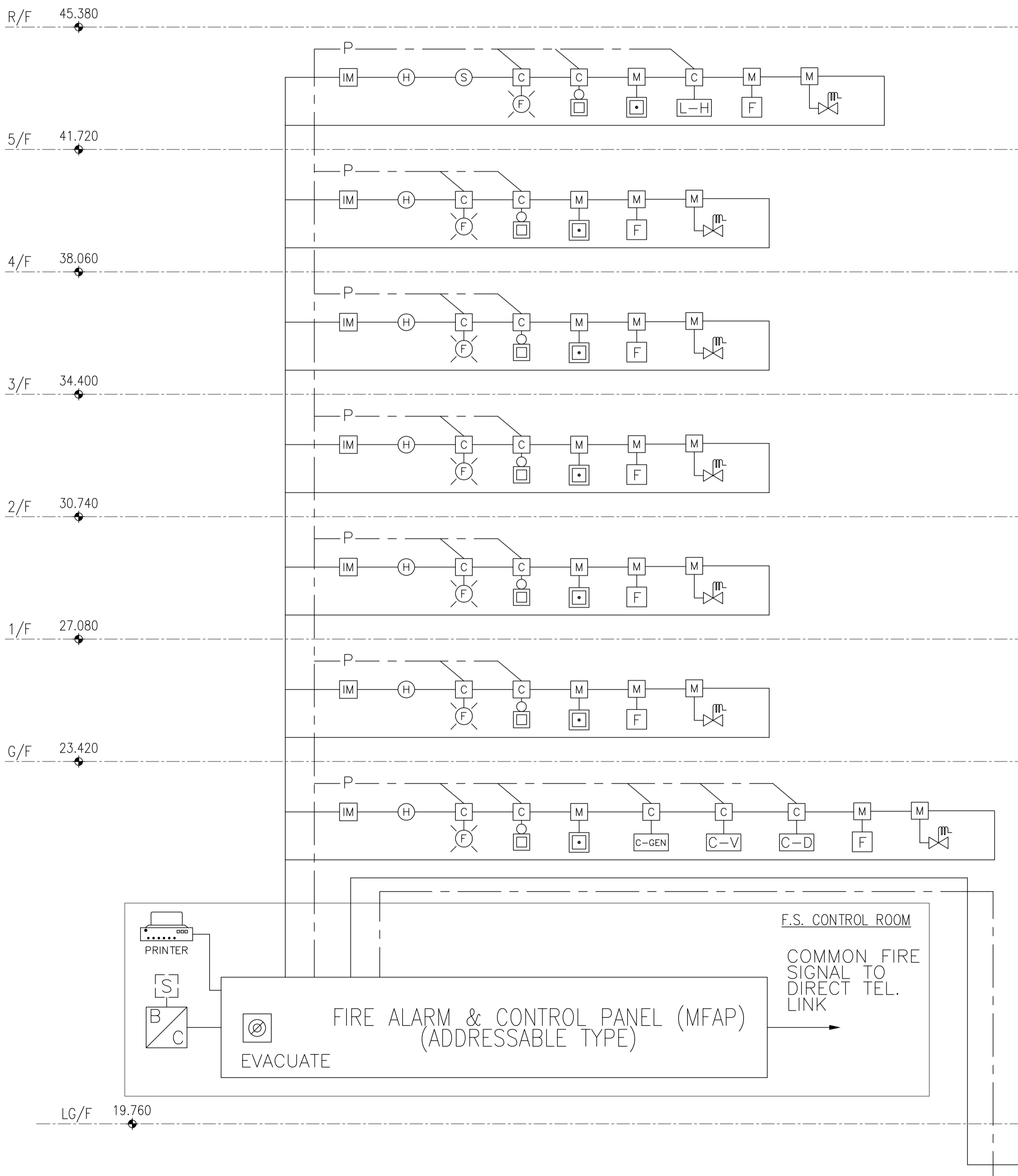
PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS 292 TAI PO
ROAD, KLN

TITLE
SCHEMATIC DIAGRAM FOR
SPRINKLER SYSTEM

APPROVALS
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

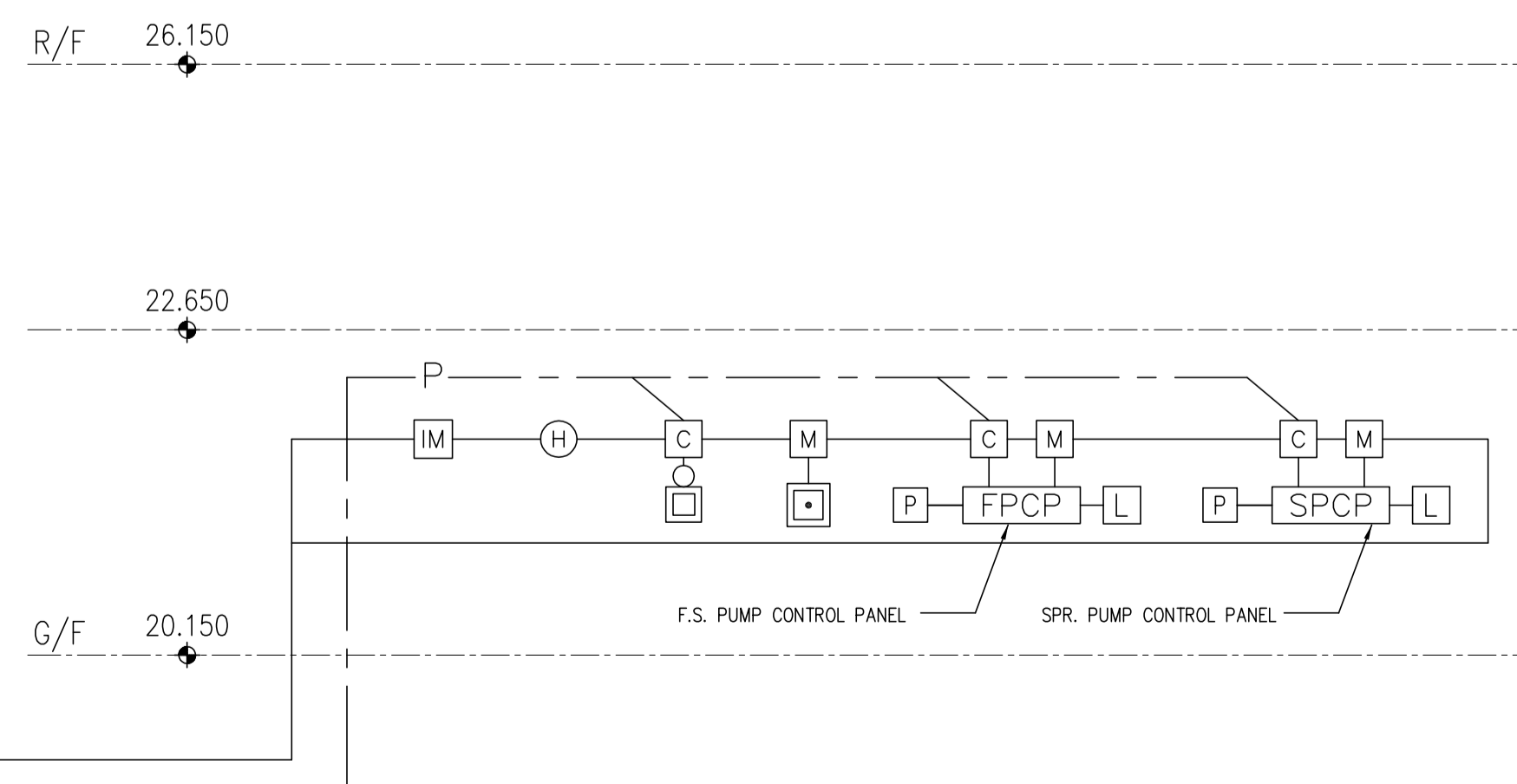
DRAWING NO. 0903/FS/S02		
DRAWN BY YKC	DESIGNED BY BL	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009	ISSUE CO

LED/LCD DISPLAY POINT SCHEDULE FOR MFAP (ADDRESSABLE TYPE)																							
BREAKGLASS UNIT		FIRE DETECTOR		FLOW SWITCH		SUBSIDIARY VALVE		FIRE PUMP (FP/FJ)		SPRINKLER PUMP (SP/SJ)			SPRINKLER / F.S. WATER TANK		EMERGENCY GENERATOR								
ONE ZONE FOR EACH POINT		ONE ZONE FOR EACH DETECTOR		ONE ZONE FOR EACH SWITCH		ONE ZONE FOR EACH VALVE		ONE ZONE FOR EACH PUMP		ONE ZONE FOR EACH PUMP			ONE ZONE FOR EACH TANK		ONE ZONE FOR EACH GENERATOR								
FIRE	FAULT	FIRE	FAULT	FIRE	FAULT	CLOSE	OPEN	POWER SUPPLY ON	POWER SUPPLY FAILURE	PUMP FAILED	PUMP RUNNING	POWER SUPPLY ON	POWER SUPPLY FAILURE			PUMP FAILED	PUMP RUNNING	OVERFLOW ALARM	EMPTY ALARM	POWER SUPPLY FAILURE	GENERATOR FAILED	GENERATOR RUNNING	MCB FAULT
													L1 PHASE	L2 PHASE	L3 PHASE								



NOTES

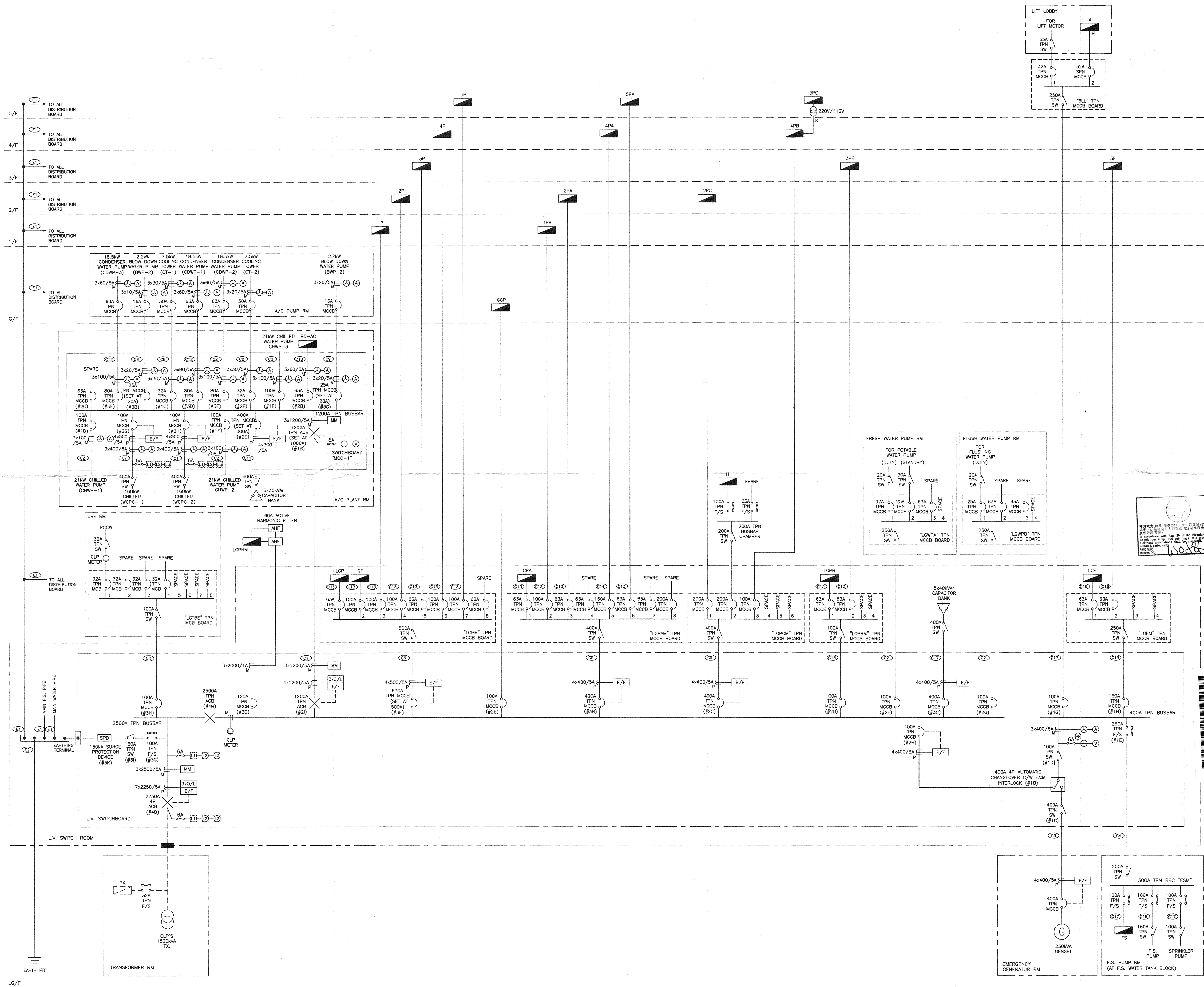
1. THE SYSTEM SHALL BE MICROPROCESSOR BASED ANALOGUE AND ADDRESSABLE TYPE FIRE DETECTION AND ALARM SYSTEM. THIS SCHEMATIC SHOWS CONCEPTUAL DESIGN. THE DETAILED LAYOUT AND WIRING DESIGN SHALL BE PROVIDED BY THIS CONTRACTOR ACCORDING TO MANUFACTURER'S DESIGN AND INSTALLATION MANUAL.
2. ALL SYSTEM COMMUNICATION CABLE WIRING AND 24V D.C. POWER LINES SHALL BE LSHF & FIRE RESISTANT GRADE. ie TO BS6387 CAT CWZ
3. FAULT ISOLATOR MODULES SHALL BE PLACED EVERY 25 SENSING DEVICES TO LIMIT THE NUMBER LOST IN THE EVENT OF A SHORT CIRCUIT.
4. FOR EXACT NUMBERS OF EQUIPMENT INCLUDING BREAKGLASS UNIT AND ALARM BELLS. REFER TO INSTALLATION LAYOUT PLANS.
5. ALL ADDRESSABLE LOOPS SHALL BE BASED ON 4-WIRE CLOSE LOOP CONFIGURATION.
6. THE 24V D.C. POWER SUPPLY LINES FOR CONTROL MODULES/ALARM BELLS/DRY CONTACTS SHALL BE 4-WIRE RING LOOP CIRCUIT ARRANGED IN SUCH A WAY THAT SHORT CIRCUITS, DISCONNECTION OR CIRCUIT FAULT AT A SINGLE POINT IN THE WIRING LOOP SHALL NOT RESULT IN LOSS OF POWER SUPPLY SHALL BE SUPERVISORY MONITORED WITH BUZZER ALARM AT MAIN FIRE ANNUNCIATOR PANEL(S).
7. MONITORING MODULE OR CONTROL MODULE SHALL BE PROVIDED AND CONNECTED TO THE CONVENTIONAL EQUIPMENT OR CONTROLS WHICH ARE NOT ANALOGUE AND ADDRESSABLE TYPE.
8. THE VISUAL FIRE ALARM SIGNALS SHALL BE IN FORM OF WALL-MOUNTED/CEILING MOUNTED STROBES LABELLED 'FIRE ALARM' IN BOTH ENGLISH & CHINESE. THE HEIGHT OF ENGLISH AND CHINESE CHARACTERS SHALL NOT BE LESS THAN 10mm AND 15mm RESPECTIVELY.



SCHEMATIC DIAGRAM FOR MANUAL AND AUTOMATIC FIRE ALARM SYSTEM

CONSTRUCTION

12/09	CO	ISSUE FOR CONSTRUCTION	BL	AT
09/09	TO	ISSUE FOR TENDER	BL	AT
DATE	NO	REVISION	BY	CHK
REVISIONS				
CLIENT				
 HONG KONG CAMPUS NORTH KOWLOON MAGISTRACY BUILDING				
DESIGN ARCHITECT				
 EST. 1915 <small>1201 CONNECTICUT AVENUE, N.W. WASHINGTON, DC 20036 USA TEL: 202-861-4600 FAX: 202-872-8530 SUITE 1306, 249 QUEEN'S ROAD, WANCHAI, HONG KONG TEL: 2867 4321 FAX: 2885 3507</small>				
ARCHITECT				
 林陳簡建築師有限公司				
M & E CONSULTANT				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
PROJECT				
NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN				
TITLE				
SCHEMATIC DIAGRAM FOR MANUAL & AUTOMATIC FIRE ALARM SYSTEM				
APPROVALS				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
DRAWING NO. 0903/FS/S03				
DRAWN BY	DESIGNED BY	CHECKED BY		
YKC	BL	AT		
SCALE	DATE	ISSUE		
N.T.S.	SEP., 2009	CO		



CABLE NO.	CABLE SIZE
C1	2x400mm ² 4/C XLPE/SWA/PVC CABLE
C2	1x35mm ² 4/C XLPE/SWA/PVC CABLE
C3	1x240mm ² 4/C XLPE/SWA/PVC FIRE RESISTING CABLE
C4	1x120mm ² 4/C XLPE/SWA/PVC FIRE RESISTING CABLE
C5	1x240mm ² 4/C XLPE/SWA/PVC CABLE
C6	1x400mm ² 4/C XLPE/SWA/PVC CABLE
C7	1x300mm ² 4/C XLPE/SWA/PVC CABLE
C8	1x10mm ² 4/C XLPE/SWA/PVC CABLE
C9	1x6mm ² 4/C XLPE/SWA/PVC CABLE
C10	1x16mm ² 4/C XLPE/SWA/PVC CABLE
C11	1x150mm ² 4/C XLPE/SWA/PVC CABLE
C12	1x25mm ² 4/C XLPE/SWA/PVC CABLE
C13	4x35mm ² 1/C XLPE/PVC CABLE
C14	4x95mm ² 1/C XLPE/PVC CABLE
C15	4x95mm ² 1/C XLPE/PVC FIRE RESISTING CABLE
C16	4x25mm ² 1/C XLPE/PVC FIRE RESISTING CABLE
C17	4x35mm ² 1/C XLPE/PVC FIRE RESISTING CABLE
C18	4x70mm ² 1/C XLPE/PVC FIRE RESISTING CABLE
E1	25x3mm EARTHING TAPE
E2	25x6mm EARTHING TAPE

LEGEND:

	ISOLATOR		GENERATOR
	SWITCH		CHECK METER
	MCCB		CHANGEOVER SWITCH
	FUSE		MANUAL CHANGEOVER SWITCH
	FUSE SWITCH		CAPACITOR BANKS
	ACB		TRANSFORMER
	PCT		EARTH FAULT INDICATION LIGHT
	MCT		OVER LOAD IDMT. PROTECTOR
	AMMETER SELECTOR		MULTI PURPOSE METER
	AMMETER		MCCB/MCCB BOARD
	VOLTMETER SELECTOR		MCCB PLUG-IN UNIT
	VOLTMETER		
	LINK BOX		

REV	DESCRIPTION	DATE
A	PITC AS-FITTED	JUN 2015

CLIENT
SCAD
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

CONSULTANT ENGINEERS

PROJECT
 PERIODIC INSPECTION, TESTING AND
 CERTIFICATION OF FIXED ELECTRICAL
 INSTALLATION FOR SCAD HONG KONG CAMPUS,
 NORTH KOWLOON BUILDING, SHAMSHUIPO

GTL 金門科技有限公司
GAMMON TECHNOLOGY LTD.
 RM 10, 11/F EASTERN HARBOUR CENTRE
 28 HOI CHAK STREET, QUARRY BAY, HONG KONG
 TEL: 28906350 FAX: (852)28823709

TITLE
 MAIN SCHEMATIC WIRING DIAGRAM
 OF SCAD HONG KONG CAMPUS

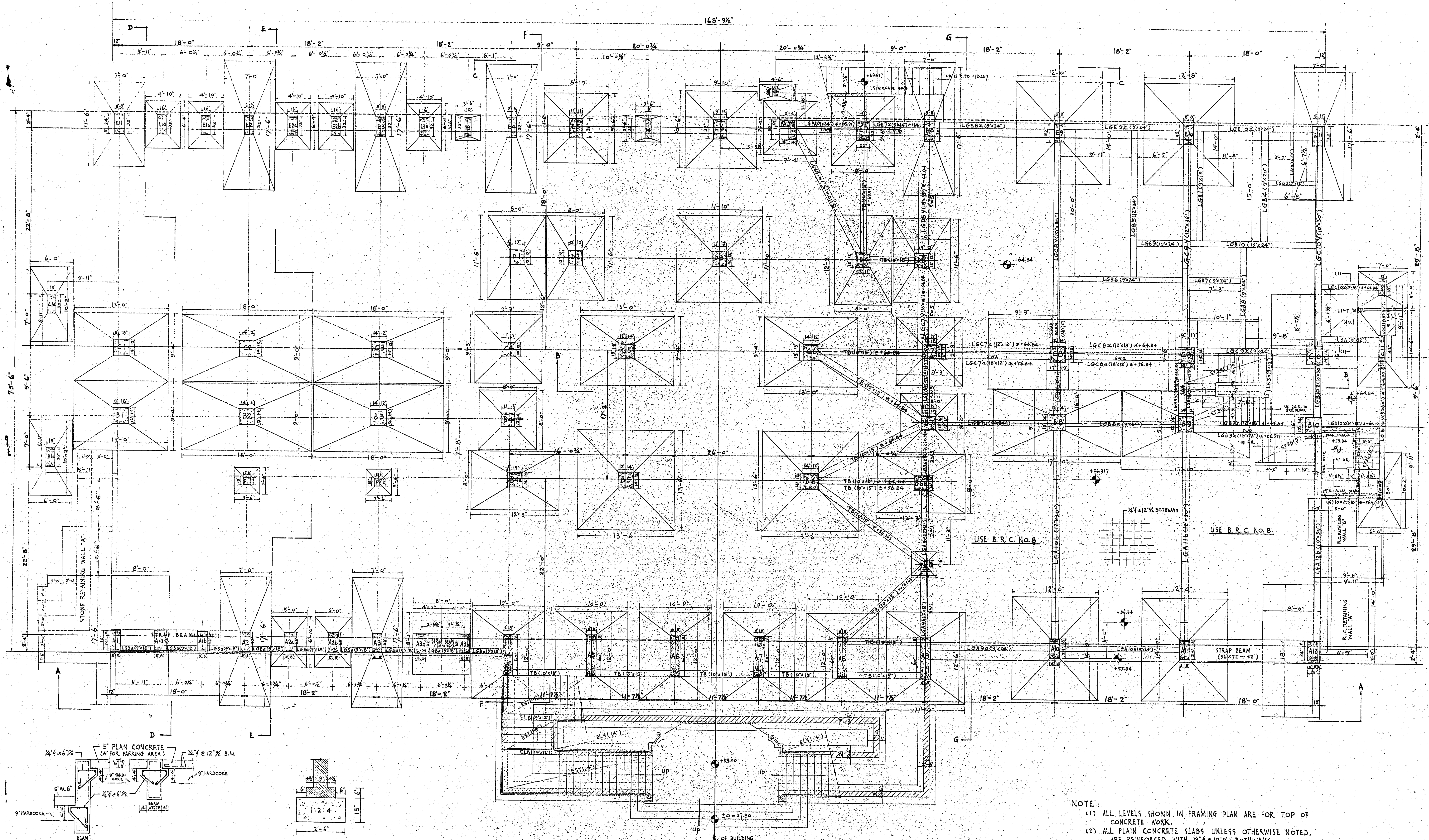
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CHECKED BY ALFEE YEUNG	DATE JUN 2015
DRAWING NO. GTL/SCAD/MS	

Appendix VI(C)

Structural Record Drawings

Appendix VI(C) – Structural Record Drawings
Drawing List

	Drawing No.	Drawing Title
Framing Plans		
1.	S004051	Framing Plan for LG/F
2.	S004052	Framing Plan for G/F
3.	S004053	Framing Plan for 1/F
4.	S004054	Framing Plan for 2/F
5.	S004055	Framing Plan for 3/F
6.	S004056	Framing Plan for 4/F
7.	S004057	Framing Plan for 5/F
8.	S004057A	Framing Plan for Roof
9.	0907/AFR/01	A&A Framing Plan for LG/F
10.	0907/AFR/02	A&A Framing Plan for G/F
11.	0907/AFR/03	A&A Framing Plan for 1/F
12.	0907/AFR/04	A&A Framing Plan for 2/F
13.	0907/AFR/05	A&A Framing Plan for 3/F
14.	0907/AFR/06	A&A Framing Plan for 4/F
15.	0907/AFR/07	A&A Framing Plan for 5/F
16.	0907/AFR/08	A&A Framing Plan for Roof



TYPICAL DETAILS SHOWING BRACKETS SUPPORTING GROUND FLOOR AND LOWER GROUND FLOOR PLAN CONCRETE SLAB

TYPICAL SECTION OF 9" BRICK WALL FOOTING

S004051

- NOTE:
- (1) ALL LEVELS SHOWN IN FRAMING PLAN ARE FOR TOP OF CONCRETE WORK.
 - (2) ALL PLAIN CONCRETE SLABS UNLESS OTHERWISE NOTED, ARE REINFORCED WITH $\frac{1}{2}$ " ϕ 12% BOTHWAYS.
 - (3) ALL PLAIN CONCRETE SLABS ARE TO BE SUPPORTED BY BRACKETS AS SHOWN IN TYPICAL DETAILS.
 - (4) SW1, SW2, SW6 DENOTE R.C. SCREEN WALLS.
 - (5) ALL CEMENT CONC. WORKS TO BE 1:2:4 MIX, UNLESS OTHERWISE NOTED.
 - (6) REFER TO ARCHITECTURAL DRAWINGS FOR:
 - (a) POSITIONS OF HOLES FOR ALL PLUMBING SERVICES.
 - (b) POSITIONS OF DUCTS FOR ELECTRIC CABLES.

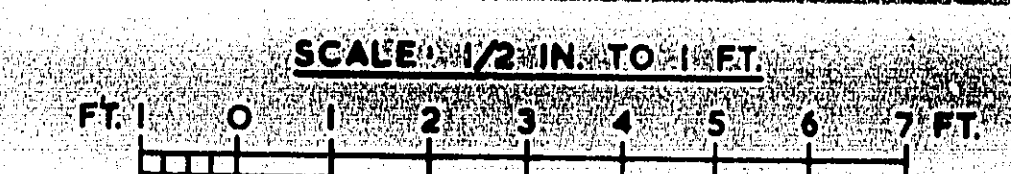
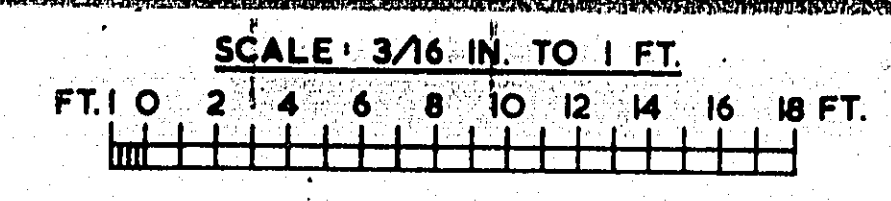
NORTH KOWLOON MAGISTRACY - TAI PO ROAD

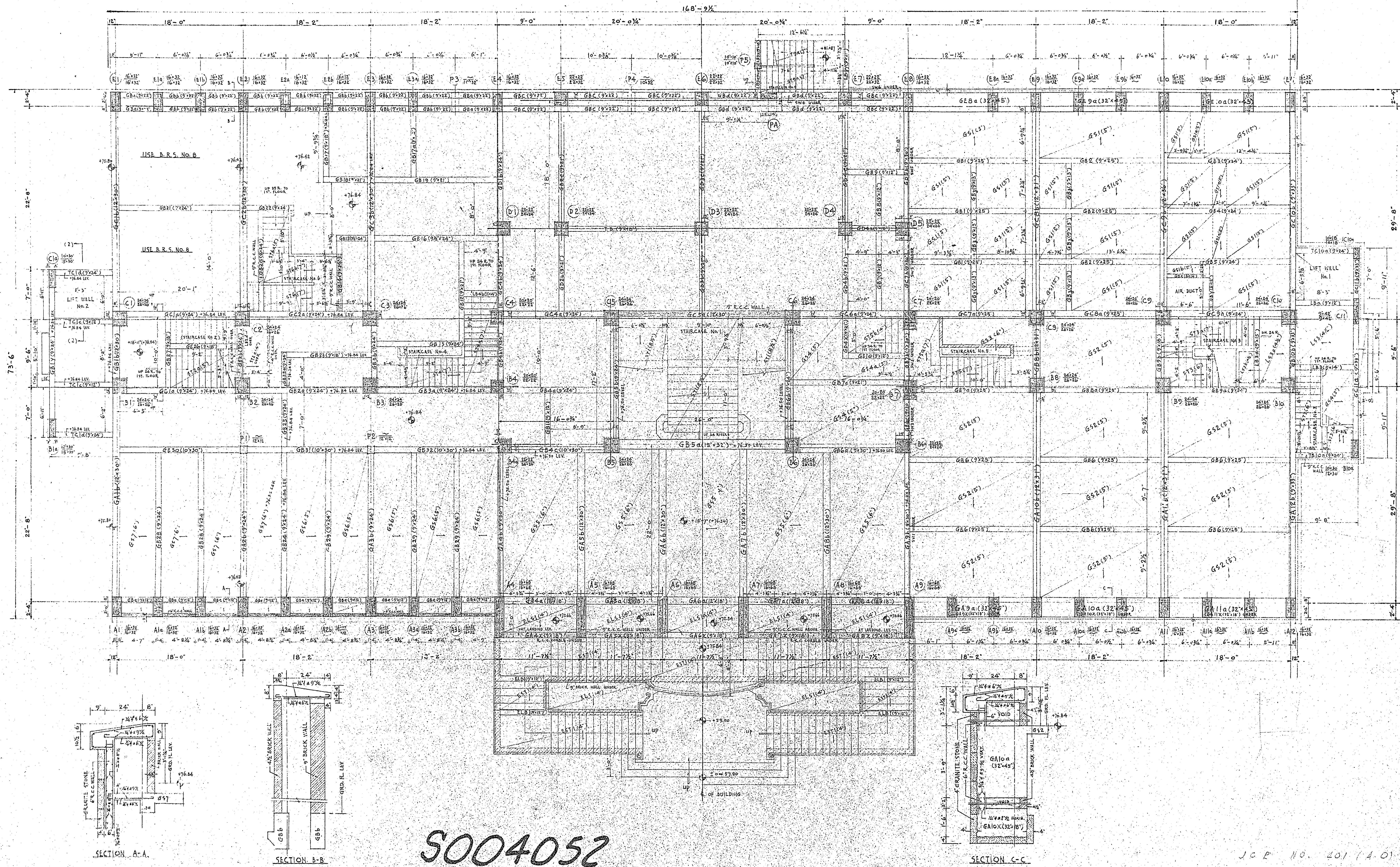
LOWER GROUND FLOOR R.C.C. FRAMING PLAN

SCALE: $\frac{3}{16}" = 1'-0"$
 $\frac{1}{2}" = 1'-0"$

PALMER & TURNER
 ARCHITECTS & ENGINEERS
 HONG KONG

APPROVED	DRAWN	DATE	DRG. NO.
CHECKED	ARCHITECT	JULY 1958	119
DESIGNED	DATE		EI





NORTH KOWLOON MAGISTRACY — TAI PO ROAD

GROUND FLOOR R. C. C. FRAMING PLAN

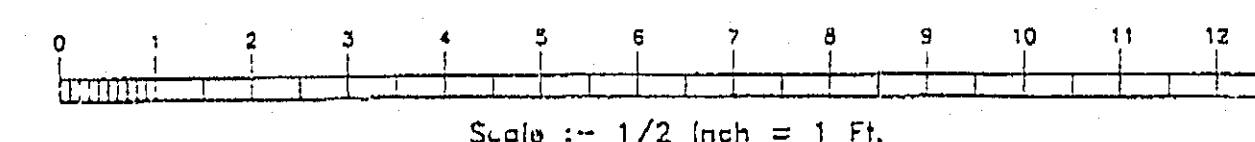
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1/2" = 1'-0"

PALMER & TURNER
ARCHITECTS & ENGINEERS
HONG KONG

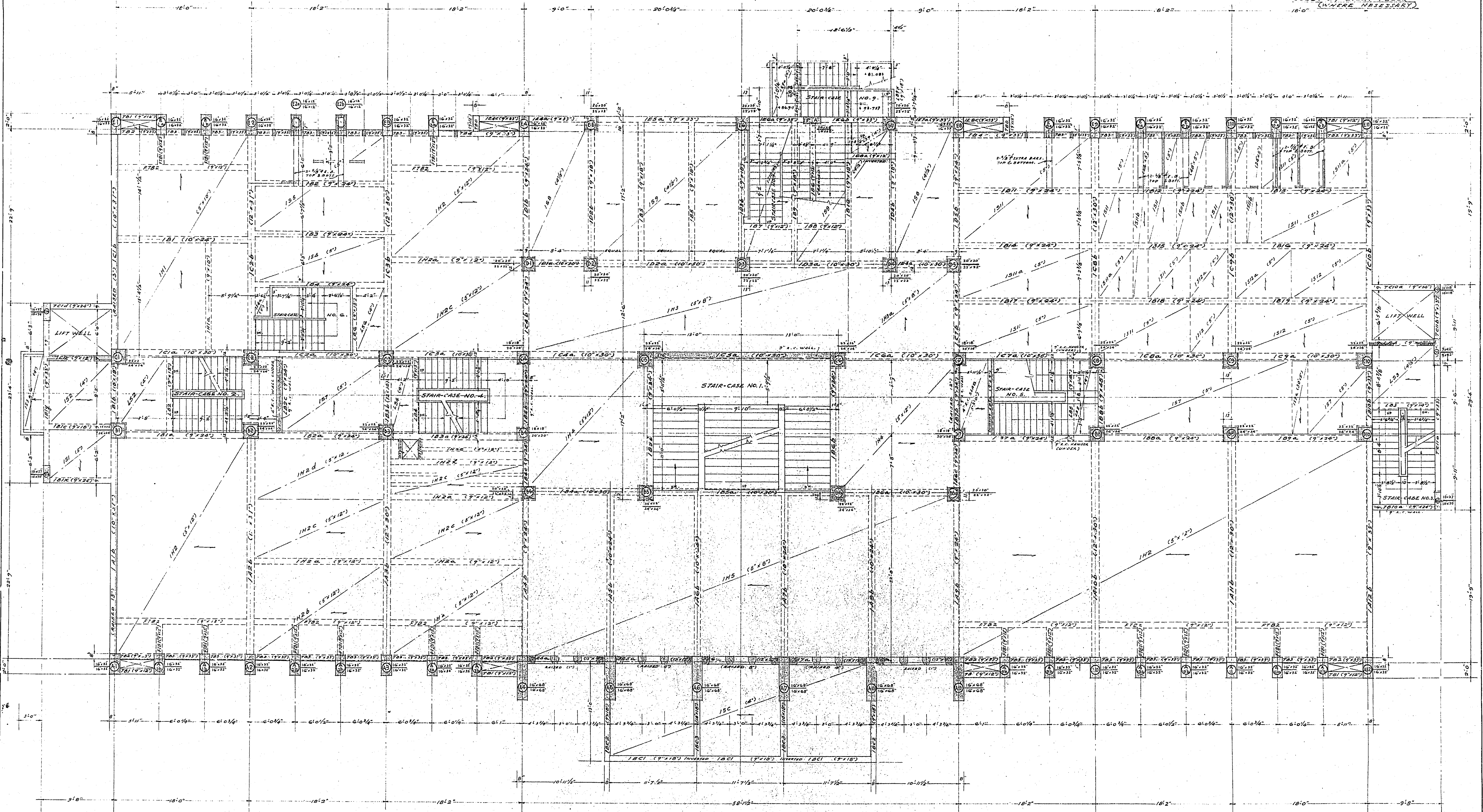
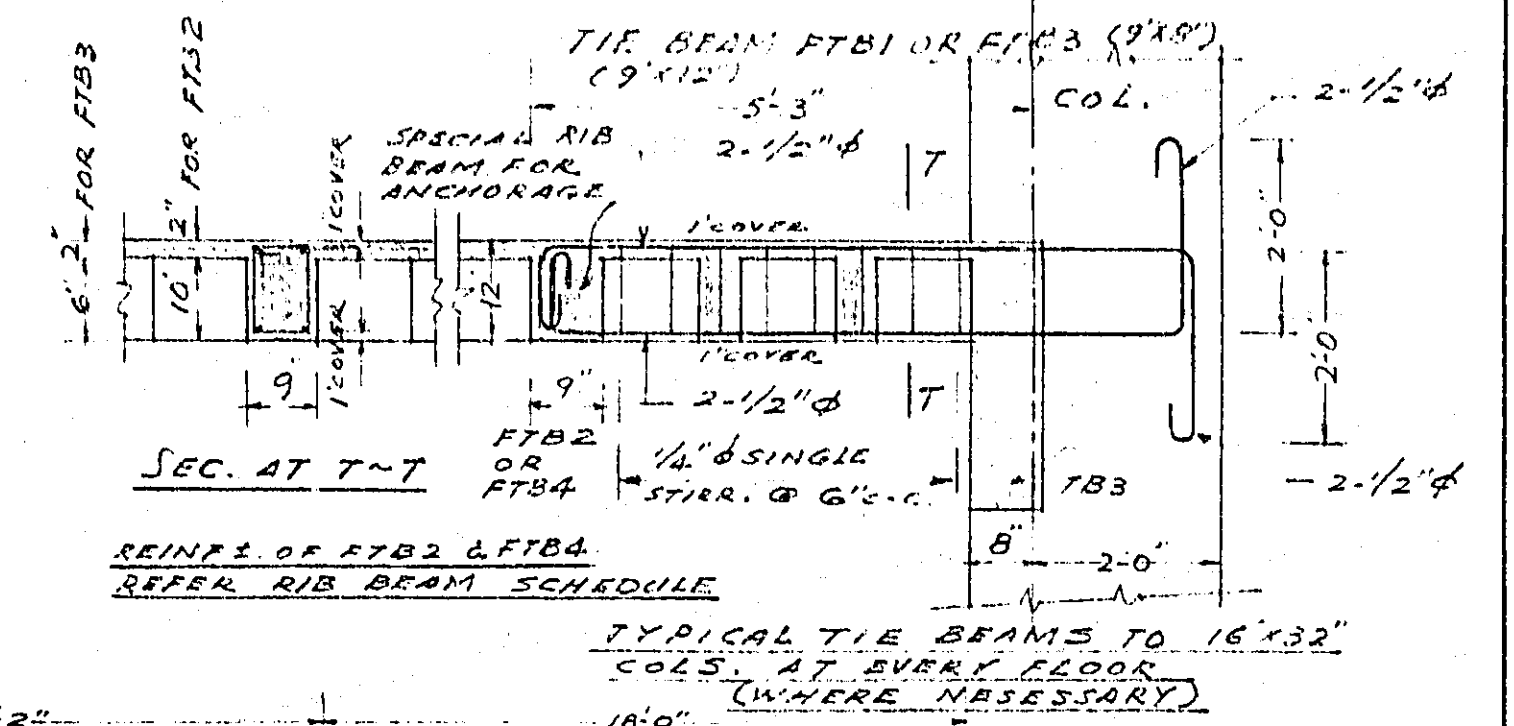
APPROVED
CHECKED
DESIGNED

DRAWN
ARCHITECT
DATE
JULY 1958

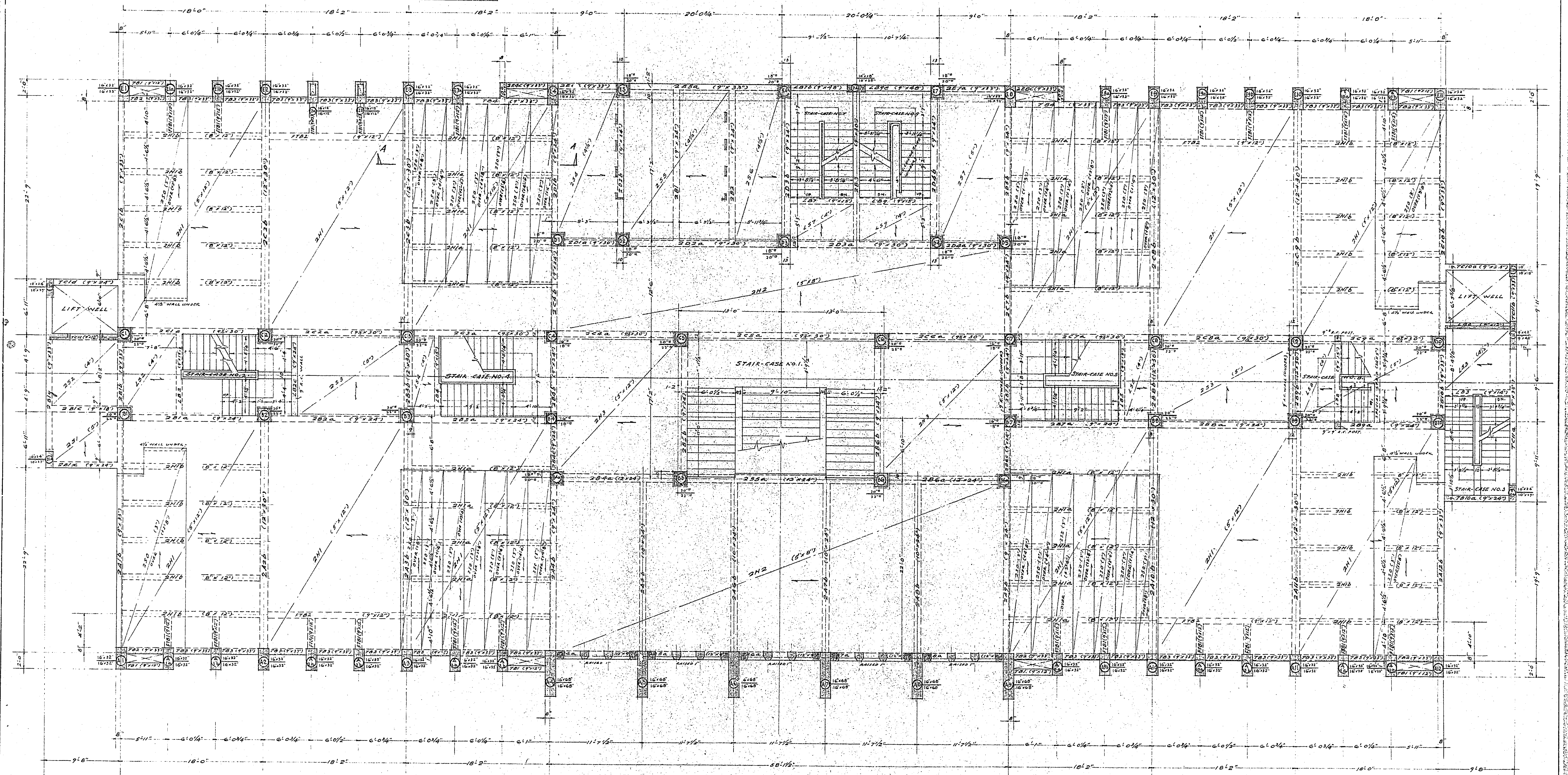
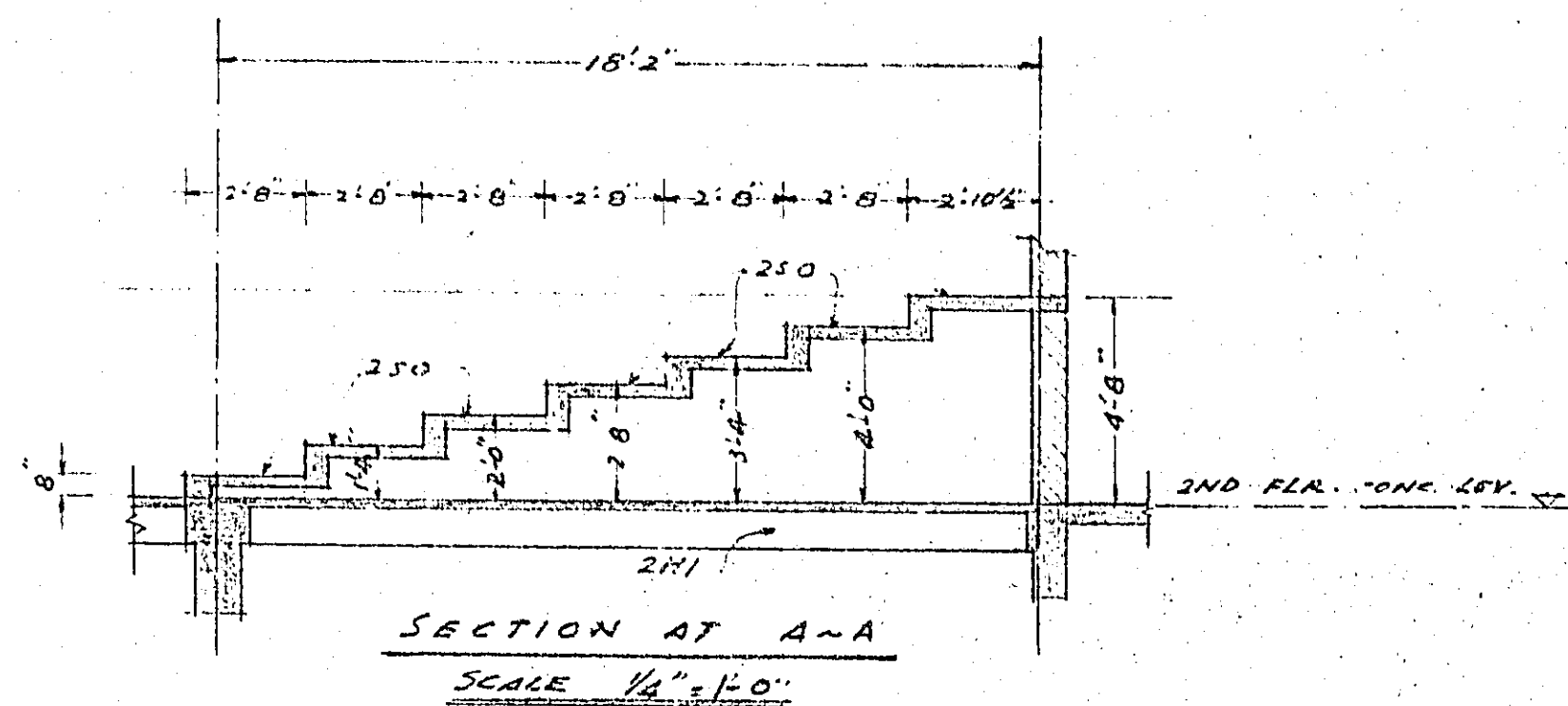
DRG. NO.
119
E2



5004053



NORTH KOWLOON MAGISTRACY TAI PO ROAD		FIRST FLOOR R. C. C. FRAMING PLAN.		SCALE 3/16" = 1'-0"	PALMER & TURNER ARCHITECTS & ENGINEERS HONG KONG		103 NO. 201 (A.O)	
APPROVED		DRAWN	J. S. Au	DRG. NO.				
CHECKED		ARCHITECT		119/				
DESIGNED		DATE	28-8-58	1/E3				



5004054

NORTH KOWLOON MAGISTRACY TAI PO ROAD

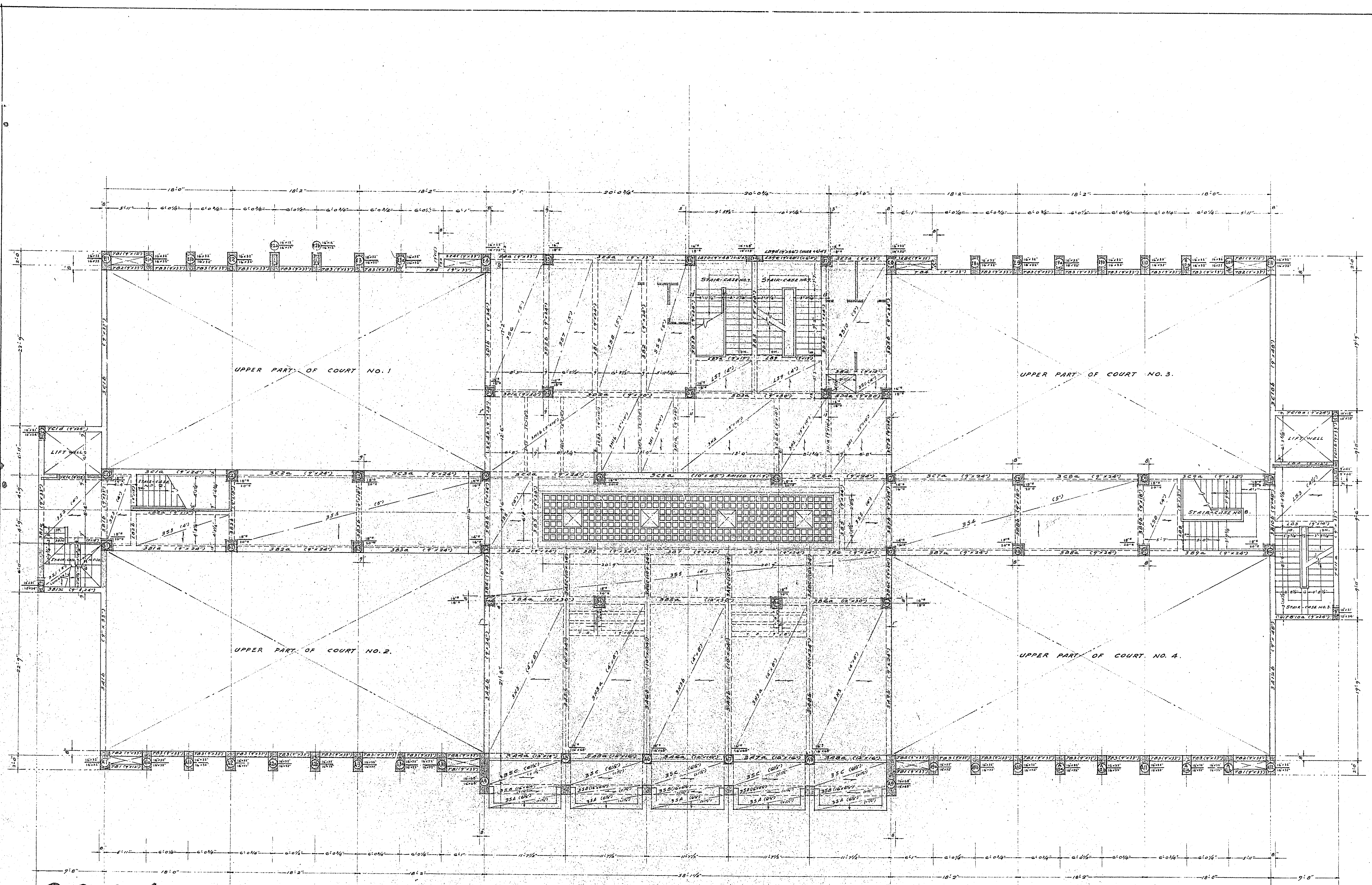
SECOND FLOOR R.C.C. FRAMING PLAN.

SCALE 3/16" = 1'-0"

PALMER & TURNER
ARCHITECTS & ENGINEERS
HONG KONG.

JOB NO. 401 (A.D.)

APPROVED	DRAWN	Y.S. Au	DRG. NO.
CHECK'D	ARCHITECT		119/EA
DESIGNED	DATE	9-9-58.	



S004055

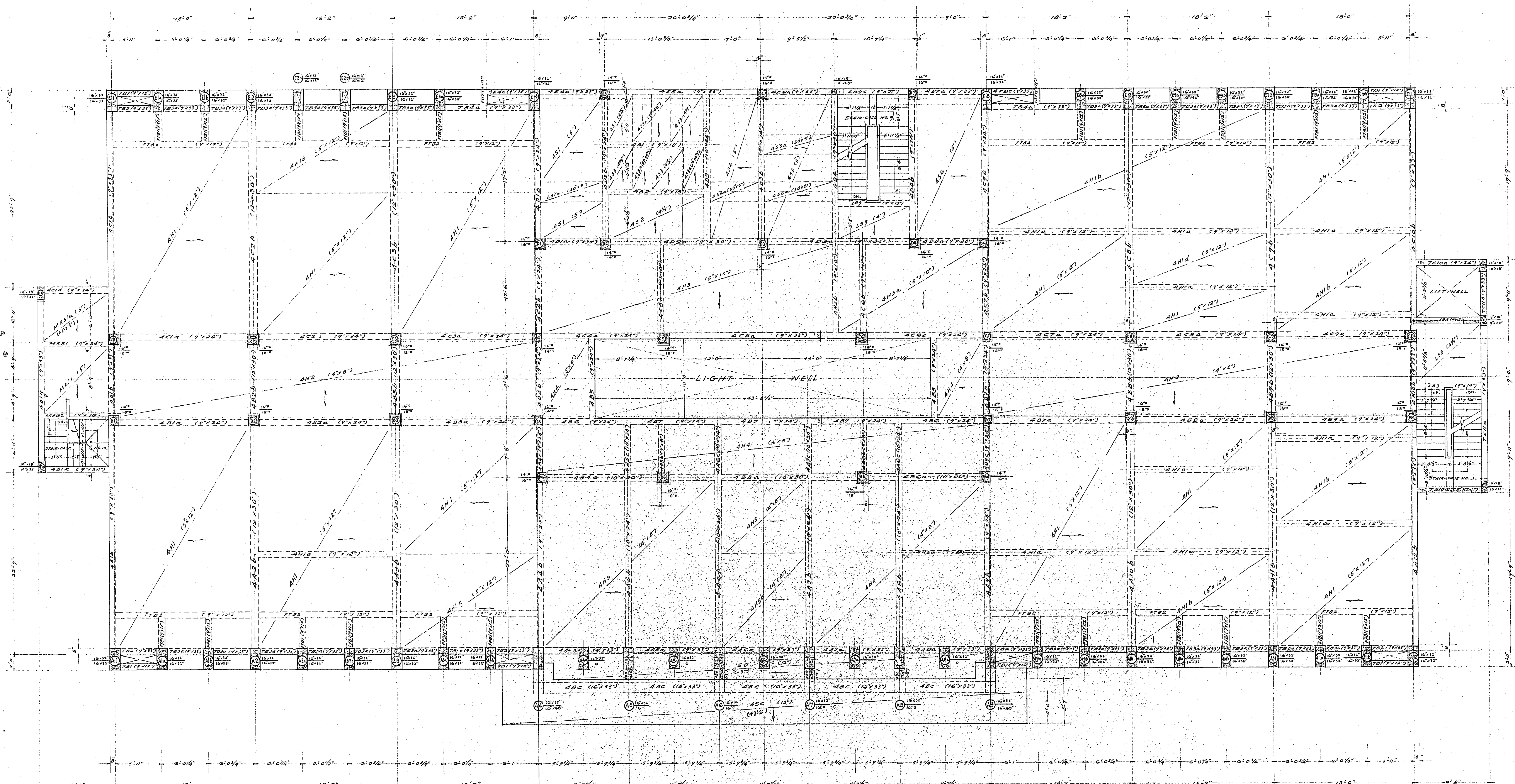
NORTH KOWLOON MAGISTRACY TAI PO ROAD THIRD FLOOR R. C. C. FRAMING PLAN.

SCALE 1/16" = 1'-0"

PALMER & TURNER
ARCHITECTS & ENGINEERS
HONG KONG.

APPROVED	DRAWN	J.S.C.	DRG. NO.
CHECKED	ARCHITECT		119/E5
DESIGNED	DATE	9-58.	

JOB NO. 461 (A.O.)



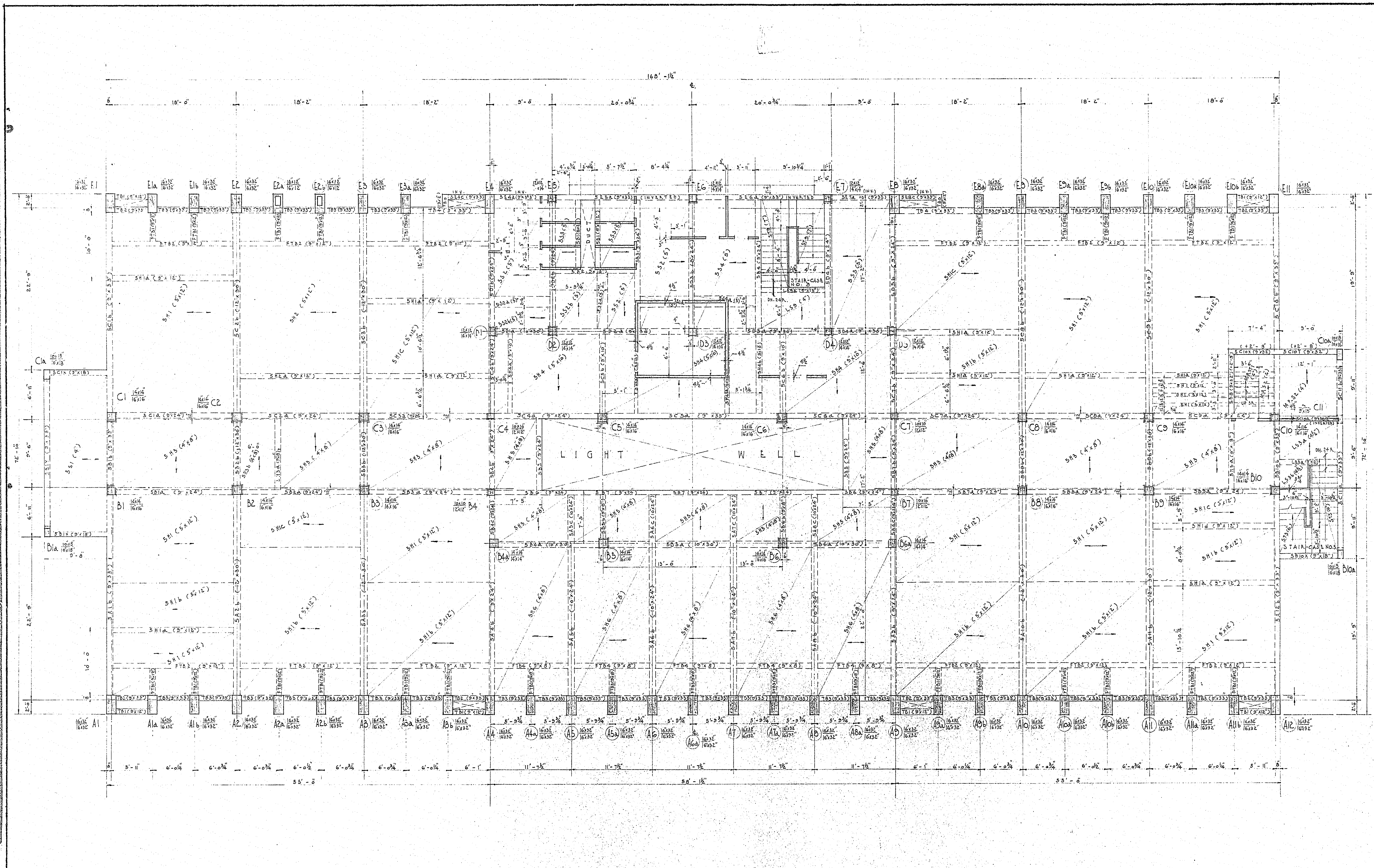
5004056

JOB NO. 401 (A.C.)

NORTH KOWLOON MAGISTRACY TAI PO ROAD FOURTH FLOOR R. C. C. FRAMING PLAN.

SCALE 3/16" = 1'-0"

PALMER & TURNER		APPROVED	DRAWN	Y.S. Au	DRG. NO.
ARCHITECTS & ENGINEERS		CHECKED	ARCHITECT		117/E6
HONG KONG.		DESIGNED	DATE	9-58	



S004057

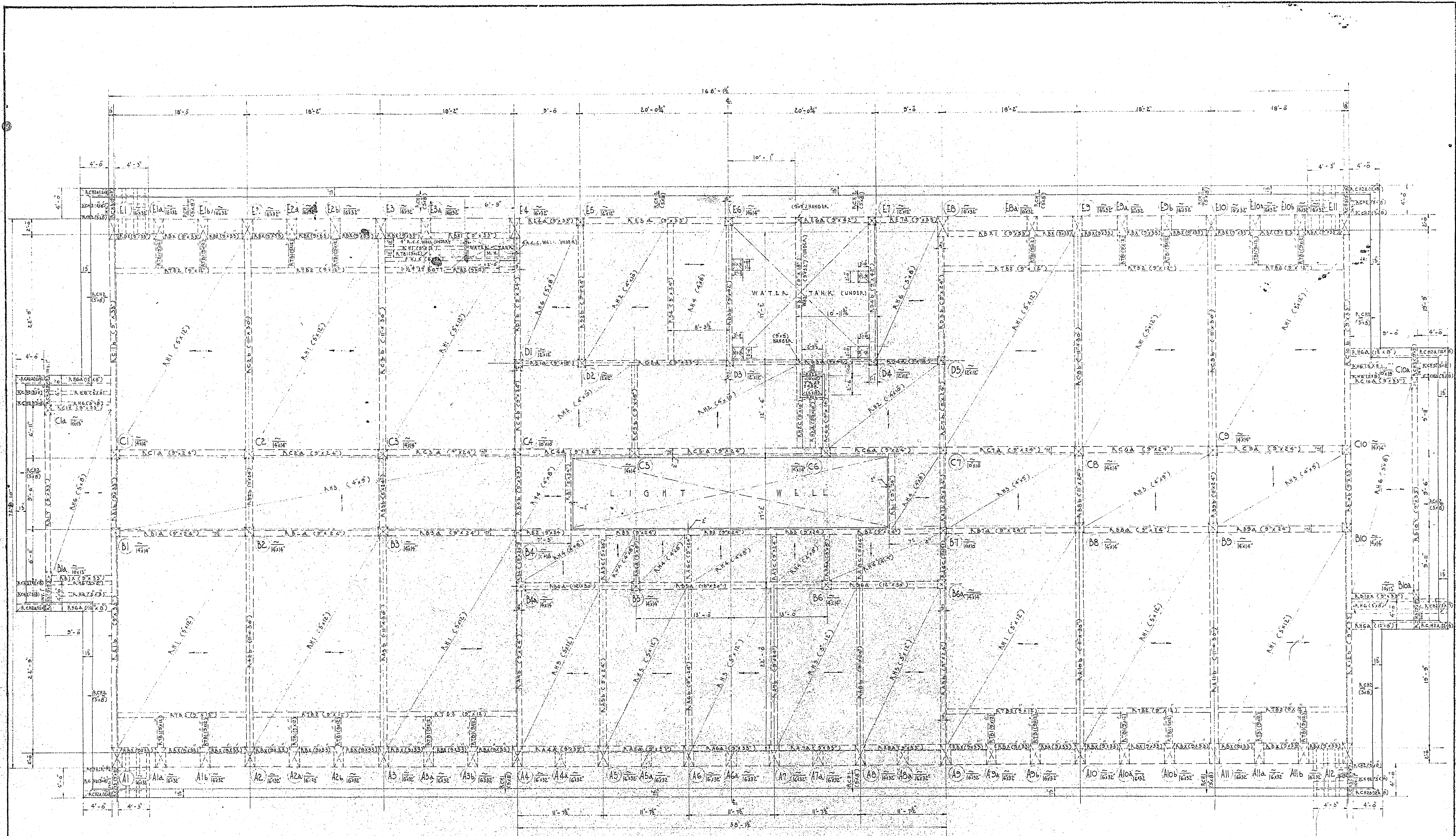
NORTH KOWLOON MAGISTRACY TAI PO ROAD 5TH FLOOR R.C.C. FRAMING PLAN

SCALE: 3/16" = 1'-0"

YALMER & TURNER
ARCHITECTS & ENGINEERS
HONG KONG

JOB NO. 401 (A.O.)

APPROVED	DRAWN	DRG. NO.
CHECKED	ARCHITECT	119/ET
DESIGNED	DATE	16 SEPT. - 50



S004057A

JOB NO 401 (A.O.)

NORTH KOWLOON MAGISTRACY TAI PO ROAD ROOF R.C.C. FRAMING PLAN

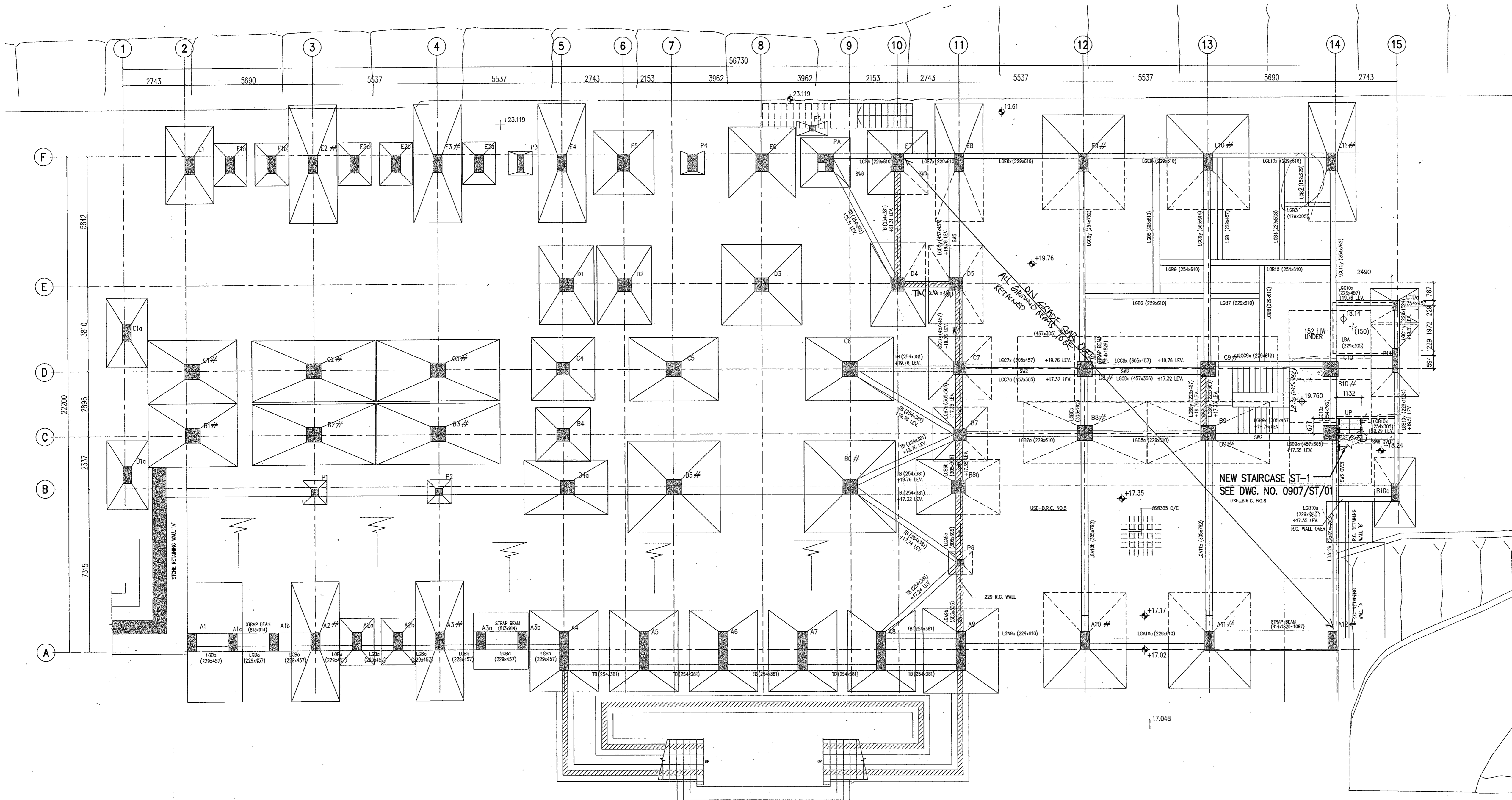
SCALE: 3/8" = 1'-0"

PALMER & TURNER
ARCHITECTS & ENGINEERS
HONG KONG

APPROVED	DRAWN	PKG NO.
CHECKED	ARCHITECT	119
DESIGNED	DATE	8-SEPT-59
		E.B.

Notes:
Do not scale drawings. All dimension must be verified of the work by the contractor. This drawing & design are copyright and no portion may be reproduced without the written permission of JMK Consulting Engineers Ltd.

- Notes:
1. Framing plan for approval of new works - coloured area only.
 2. All existing structural information are for reference only which dimensions shall be verified on site in later submission.
 3. Imposed Load for new works (STAIRCASE) 3.0 kPa.



LG/F FRAMING PLAN

Plan Approved
[Signature]
LEE Yun-choi
Chief Structural Engineer
for BUILDING AUTHORITY
19 OCT 2009

Revision	Date	Description	By	Checked

Client
SCAD FOUNDATION (HK) LTD

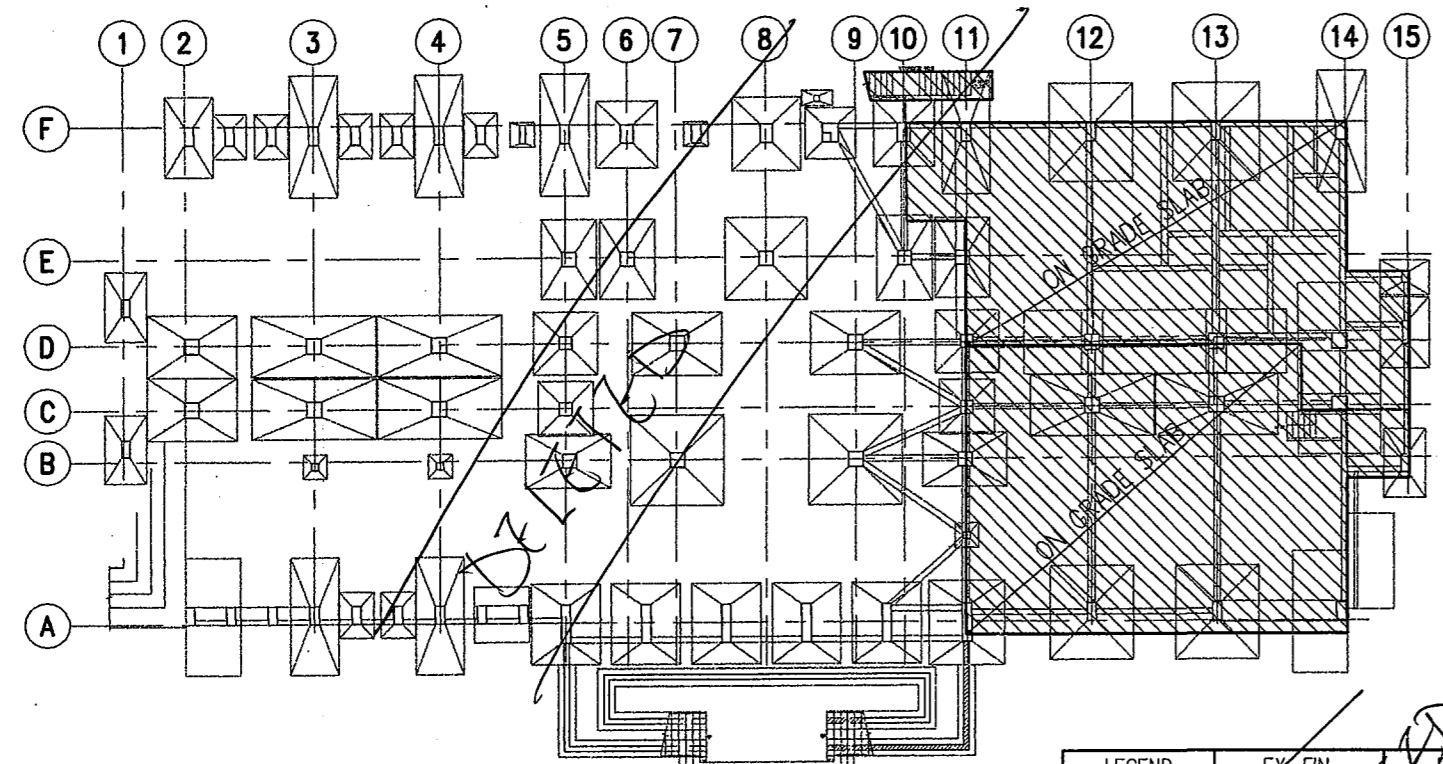
Architect
LCK ARCHITECTS LTD

Project
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

Title
A & A FRAMING PLAN
FOR LG/F
(FOR NEW WORKS).

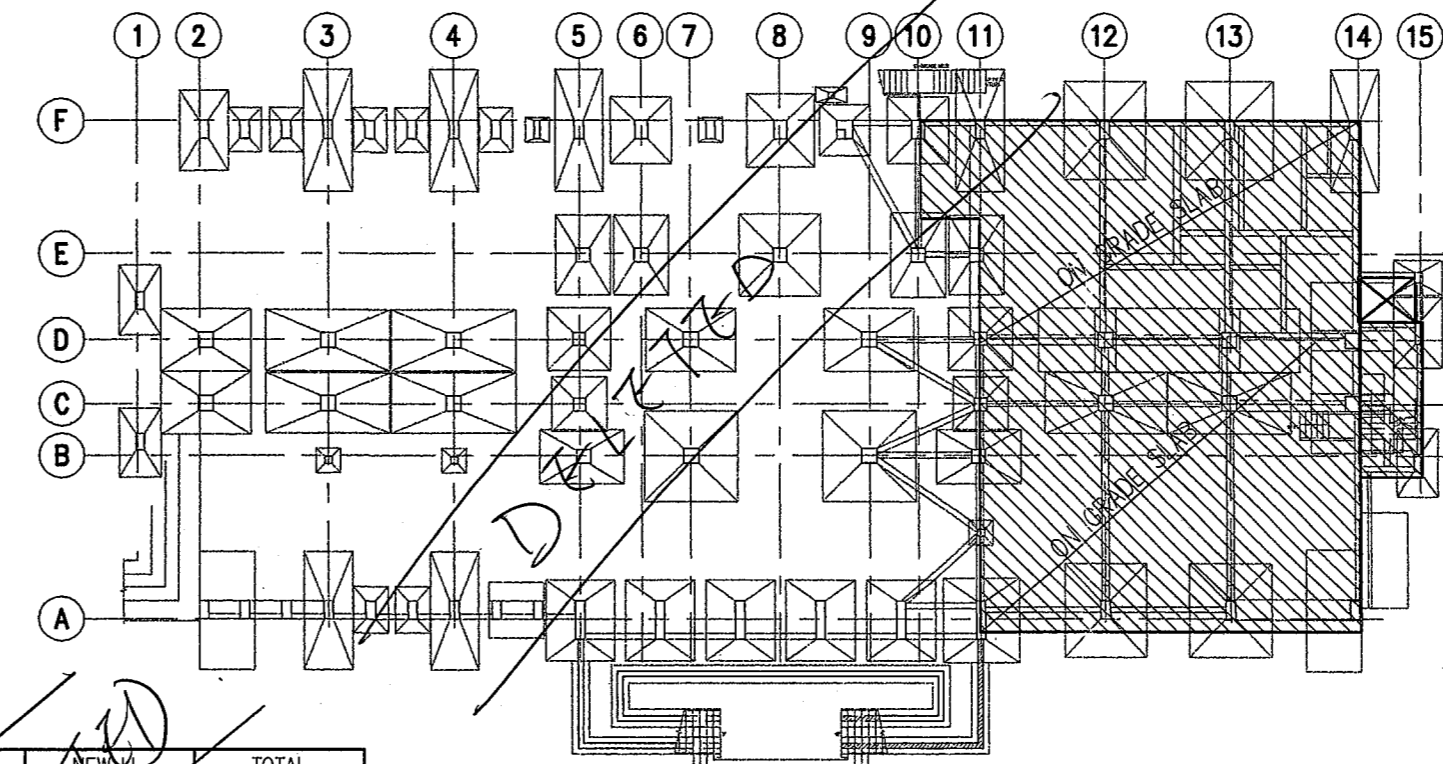
Dwg. No. 0907/AFR/01

JMK
JMK CONSULTING ENGINEERS LTD.



EXISTING LG/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. I.L.		TOTAL
	lb/ft ²	kPa	lb/ft ²	kPa	
	18	0.86	100	4.79	5.65



NEW LG/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW I.L.		TOTAL
	lb/ft ²	kPa	lb/ft ²	kPa	
	0.86	0.04	5.0	0.24	5.80

[Signature]
Helen Kwan Po Jen
B.Sc. Eng. CEng. FStruct. E, FHKIE,
RPE, Registered Structural Engineer

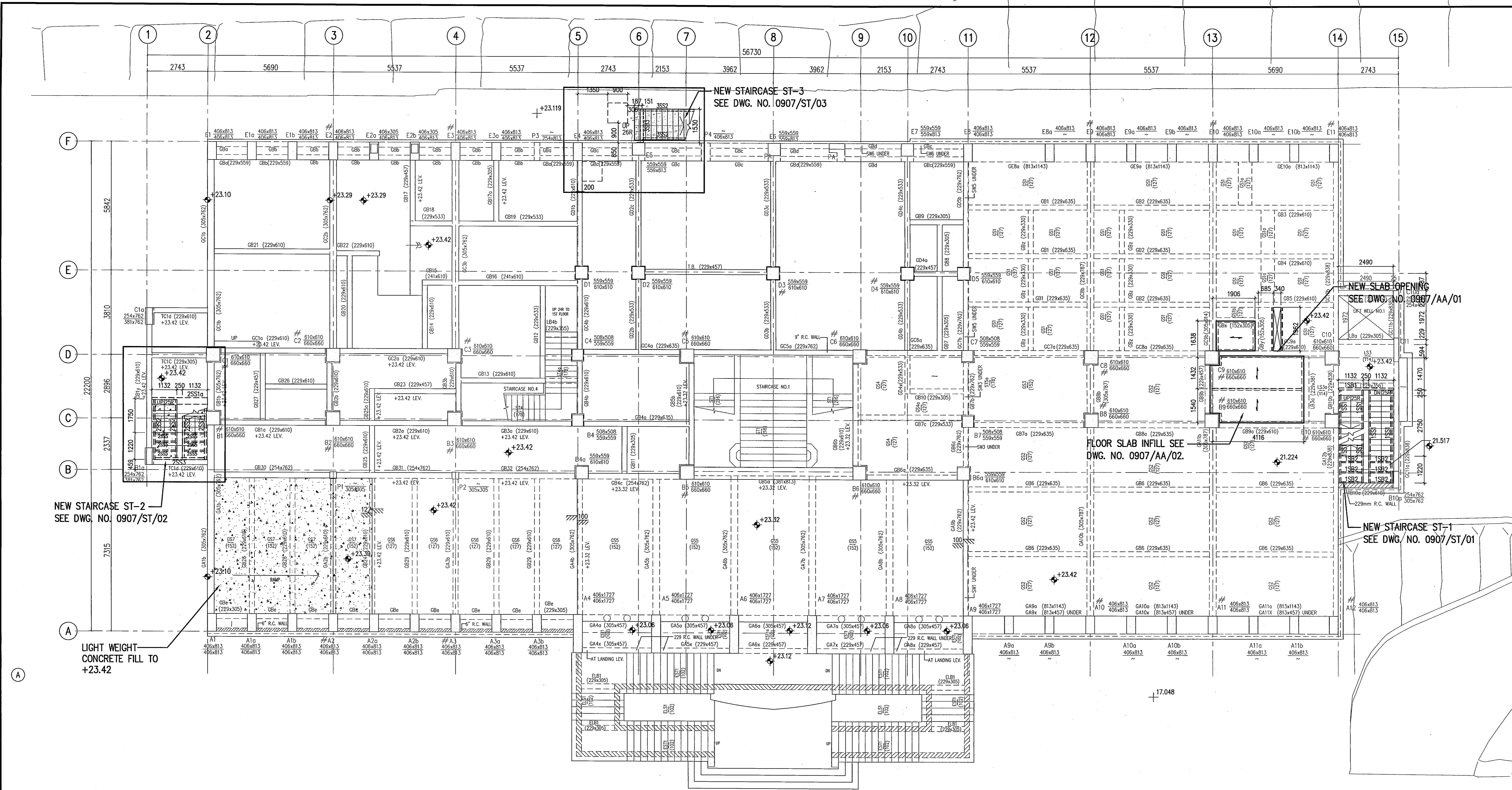
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 R.D. SECTION
 BUILDINGS DEPARTMENT
 PLOT SCALE: 1:100
 A1 841x594

Notes:
Do not scale drawings. All dimension must be verified at the work by the contractor. This drawing & design are copyright and no portion may be reproduced without the written permission of JMK Consulting Engineers Ltd.

- NOTES:**
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 - IMPOSED LOAD FOR NEW WORKS (STAIRCASE) 3.0 kPa.

LEGEND:

LIGHT WEIGHT CONCRETE FILL FOR ST2 (DENSITY = 7kg/m³)



G/F FRAMING PLAN

Revision	Date	Description	By	Checked
B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Name	Initial
In Charge	H.KWAN
Design Checked	H.KWAN
Designed	N. LAM
Draw Checked	K.YEUNG
Drawn	F. WONG

Date: APR 2009 Scale: 1:100 CAD. Ref: 0907AFR02B

Client
SCAD
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect
LEO A DALY EST. 1915
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
TEL 202-861-4800 FAX 202-872-8530
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
TEL 2567 4321 FAX 2885 3507

Executive Architect
LCK ARCHITECTS LTD
林陳簡建築師有限公司

Project
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

Title
A & A FRAMING PLAN
FOR LG/F
(FOR NEW WORKS)

Drsg. No. 0907/AFR/02 Rev. B
JMK
JMK CONSULTING ENGINEERS LTD.

LEGEND

EX. FIN.	EX. LL.	TOTAL
lb/ft ² kPa	lb/ft ² kPa	lb/ft ² kPa
18 0.86	100 4.79	118 5.65
18 0.86	50 2.40	68 3.26
18 0.86	55 2.63	73 3.49
19 0.86	135 6.42	153 7.28
18 0.86	470 22.5	488 23.36

LEGEND

ACTUAL FIN.	NEW LL.	TOTAL
(kPa)	(kPa)	(kPa)
0.80	5.6	5.65
0.80	3.0	3.26

AMENDED PLAN

"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helmut Kwan Po Jun
Helmut Kwan Po Jun
B.A.Sc., P.Eng., C.Eng., F.I.S.T.R.U.C.E., F.H.K.E.
R.P.E. Registered Structural Engineer

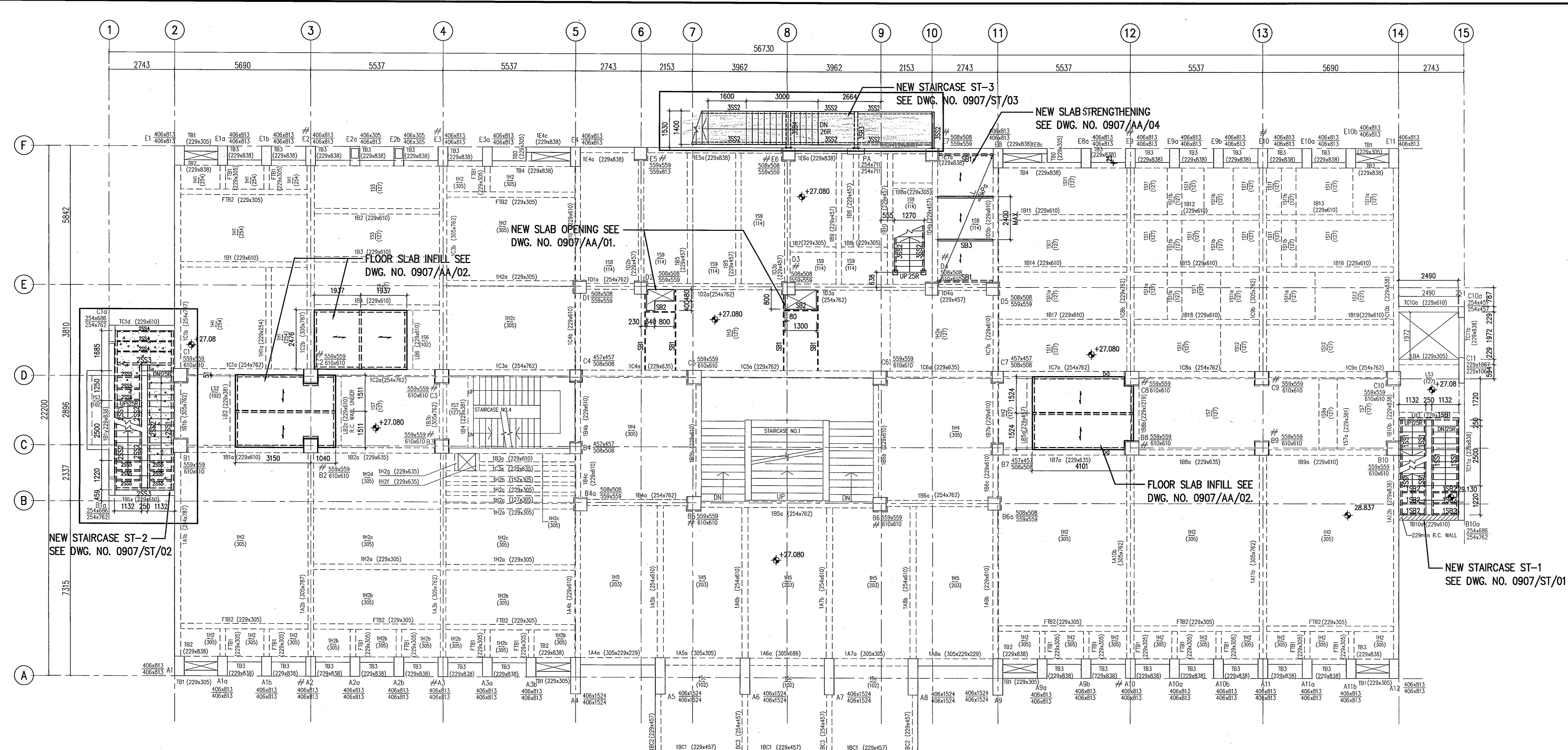
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2010 JUN 15 P 5:12
B. & A. SYSTEMS
BUILDING DEPARTMENT

PLOT SCALE: 1:250 TAI PO ROAD, KLN

Notes:
Do not scale drawings. All dimension must be verified at the work by the contractor. This drawing & design are copyright and no portion may be reproduced without the written permission of JMK Consulting Engineers Ltd.

- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.

LEGEND:
LIGHT WEIGHT CONCRETE FILL FOR ST2 (DENSITY = 7kg/m³)



1/F FRAMING PLAN

Plan Approved
CHAN Wai-tai
Senior Structural Engineer
for BUILDING AUTHORITY
12 JUL 2010

B	JUN 2010	TALLY WITH CBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

In Charge	H.KWAN	Name		Initial
Design Checked	H.KWAN			
Designed	N. LAM			
Draw Checked	K.YEUNG			
Drawn	F. WONG			
Date	APR 2009	Scale	1:100	CAD. Ref. 0907AFR03B

Client: SCAD
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect: LEO A DALY
EST. 1915
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
TEL 202-861-4600 FAX 202-872-8530
SUITE 1308, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
TEL 2567-4321 FAX 2585-3507

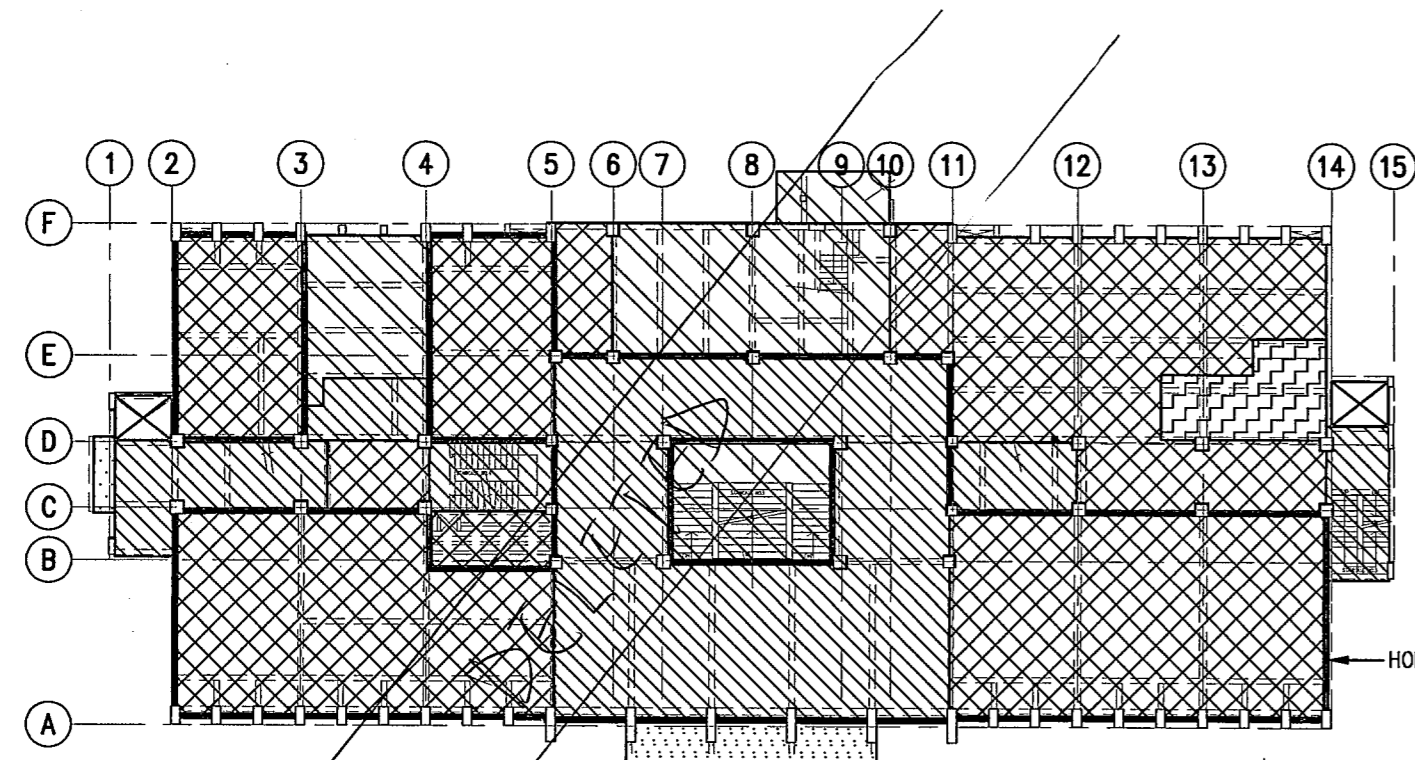
Executive Architect: LCK ARCHITECTS LTD
林陳簡建築師有限公司

Project: NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

Title: A & A FRAMING PLAN FOR 1/F (FOR NEW WORKS)

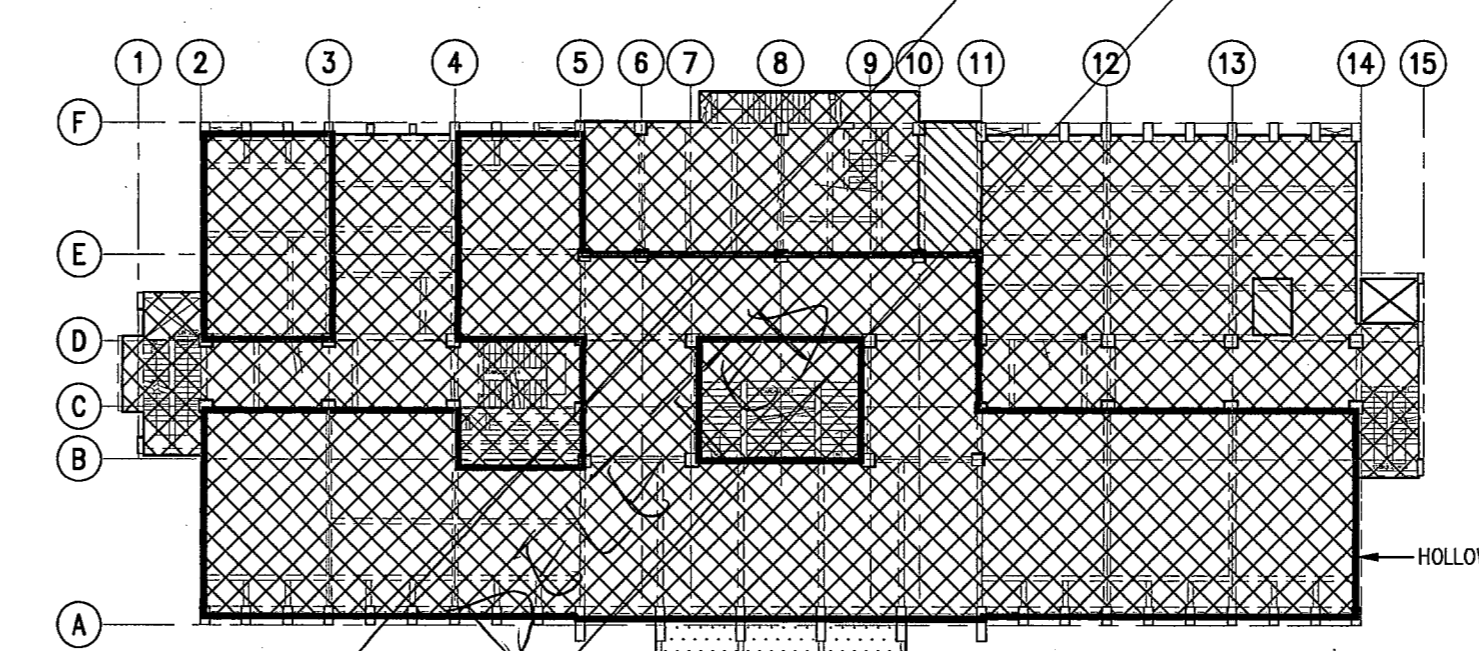
Dwg. No.	0907/AFR/03	Rev.	B
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JMK CONSULTING ENGINEERS LTD.



EXISTING 1/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/r ²	kPa	lb/r ²	kPa	lb/r ²	kPa
[Hatching]	18	0.86	150	7.18	168	8.04
[Hatching]	18	0.86	100	4.79	118	5.65
[Hatching]	18	0.86	50	2.40	68	3.26
[Hatching]	18	0.86	15	0.72	33	1.58
[Hatching]	18	0.86	7	0.34	25	1.20



NEW 1/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	(kPa)	(kPa)	(kPa)	(kPa)	(kPa)	(kPa)
[Hatching]	0.80	3.80	5.0	3.0	8.80	4.20
[Hatching]	0.80	3.80	0.72	0.34	4.56	2.18

AMENDED PLAN

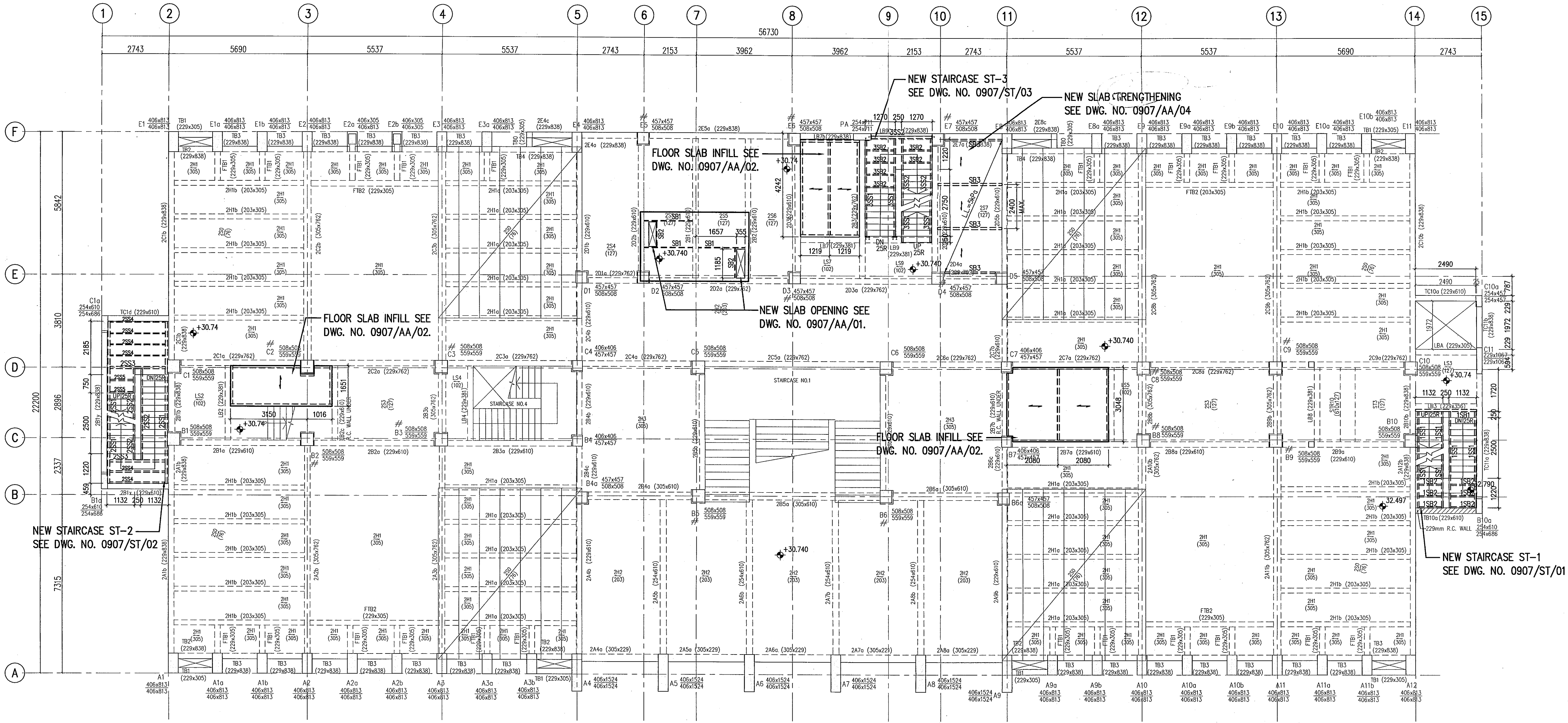
"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helene Kwan Po Yan
RASC, PEng, CEng, FIStructE, PHKIE
RPE, Registered Structural Engineer

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R & D SECTION
SUPERVISOR DEPARTMENT

Notes:
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- NOTES:
1. FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 2. ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 3. UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



2/F FRAMING PLAN

Plan Approved
AZ
CHAN Wai-tai
Senior Structural Engineer
for BUILDING AUTHORITY
12 JUL 2010

B	JUN 2010	TALLY WITH GRP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

Client
SCAD
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect
LEO A DALY • EST. 1915
1201 CONNECTICUT AVENUE, N.W., WASHINGTON, DC 20036 USA
TEL 202-861-4800 FAX 202-872-8530
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
TEL 2567 4321 FAX 2885 3507

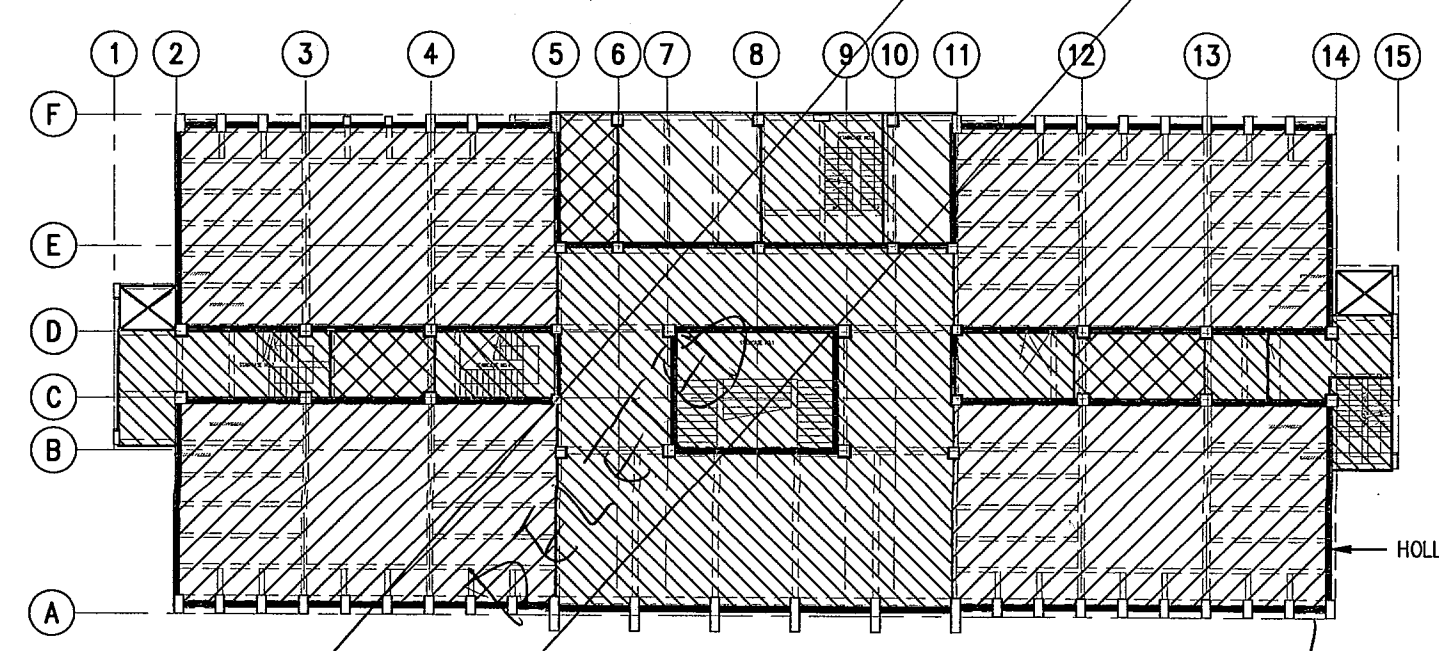
Executive Architect
LCK ARCHITECTS LTD
林陳簡建築師有限公司

Project
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

Title
A & A FRAMING PLAN
FOR 2/F
(FOR NEW WORKS)

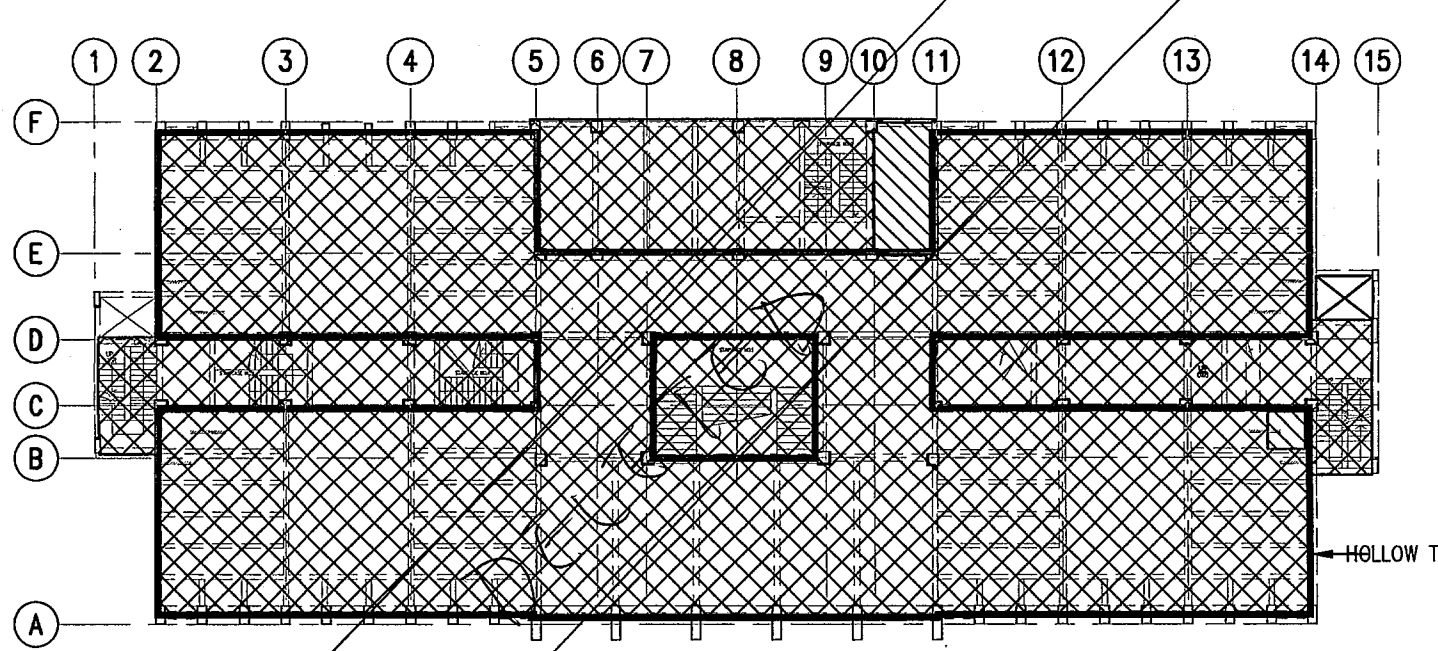
Dwg. No.	0907/AFR/04	Rev.	B
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JMK CONSULTING ENGINEERS LTD.



EXISTING 2/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft ²	kPa	lb/ft ²	kPa	lb/ft ²	kPa
	18	0.86	0	0	18	0.86
	18	0.86	90	4.79	108	5.65
	18	0.86	50	2.87	78	3.73
	18	0.86	50	2.40	68	3.26
	18	0.86	57	2.73	75	3.59



NEW 2/F LOADING DIAGRAM

LEGEND	ACTUAL FIN. (kPa)	NEW FIN. (kPa)	TOTAL (kPa)
	0.80	0.00	0.80
	0.80	3.00	3.26

AMENDED PLAN

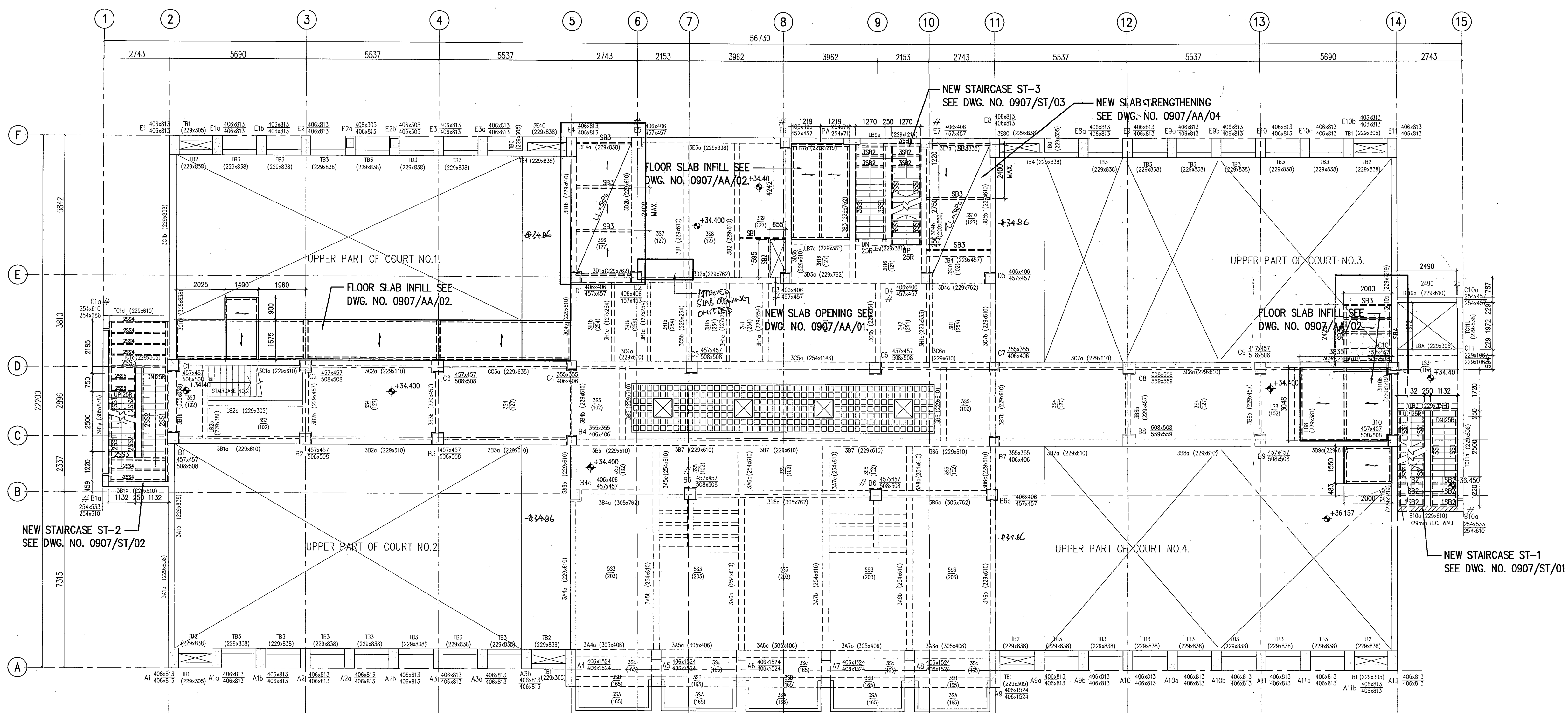
"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helen Kwan Po Jen
Helen Kwan Po Jen
B.A.Sc. P.Eng. C.Eng. F.R.S.M. F.H.K.I.E.
R.P.E. Registered Structural Engineer

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B.L.D. SECTION
BUILDING DEPARTMENT
PLOT SCALE: 1:200 TAI PO ROAD, KLN

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- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



3/F FRAMING PLAN

Plan Approved
 CHAN Wai-tai
 Senior Structural Engineer
 for BUILDING AUTHORITY
 12 JUL 2010

B	JUN 2010	TALLY WITH CRP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked
In Charge		Name		Initial
Design Checked		H.KWAN		
Designed		N. LAM		
Draw Checked		K.YEUNG		
Drawn		F. WONG		
Date	APR 2009	Scale	1:100	CAD. Ref. 0907AFR05B

Client
SCAD
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

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 SUITE 1306, 248 QUEEN'S ROAD, WANCAI, HONG KONG
 TEL 2567 4321 FAX 2885 3507

Executive Architect
LCK
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

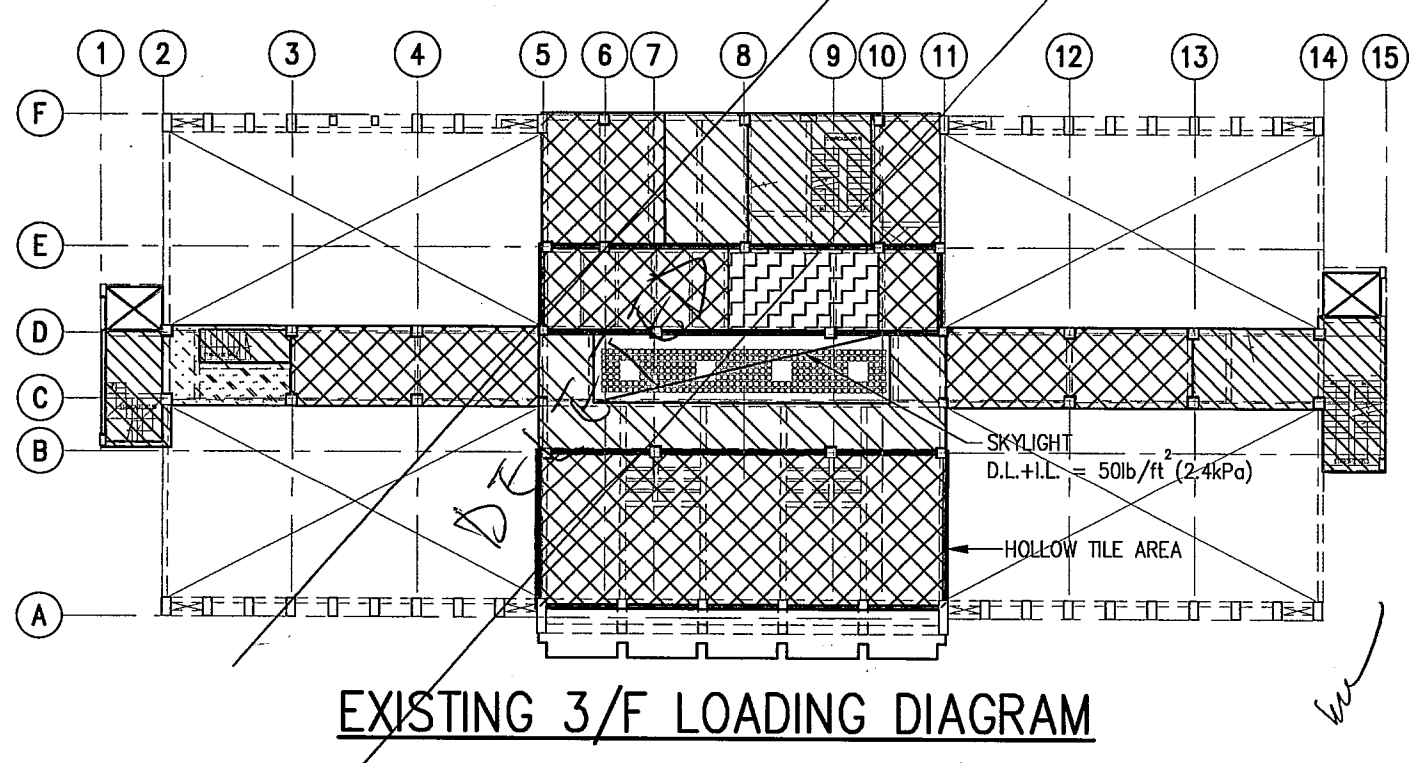
Project
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

Title
A & A FRAMING PLAN FOR 3/F (FOR NEW WORKS)

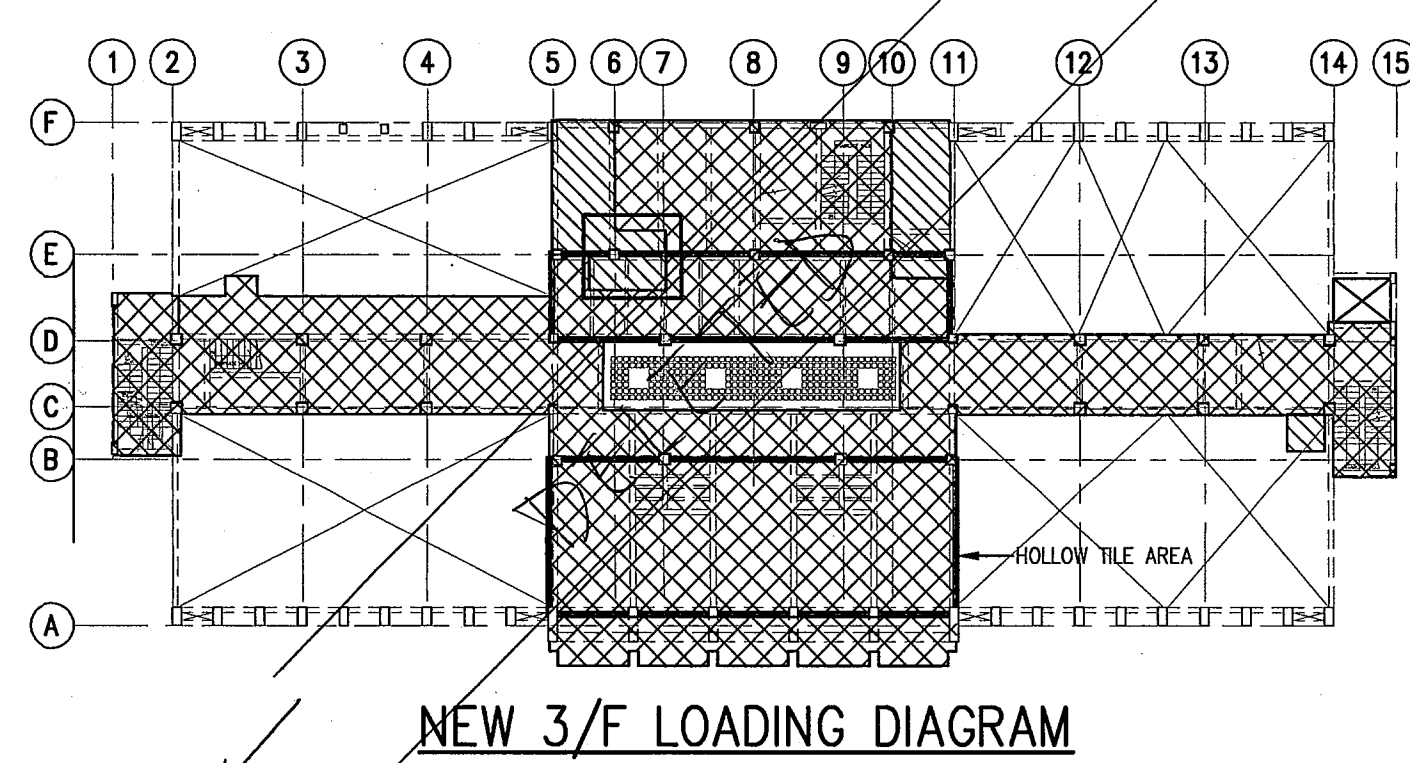
Dr. No. 0907/AFR/05

Rev. **B**

JMK
 JMK CONSULTING ENGINEERS LTD.



EXISTING 3/F LOADING DIAGRAM



NEW 3/F LOADING DIAGRAM

AMENDED PLAN

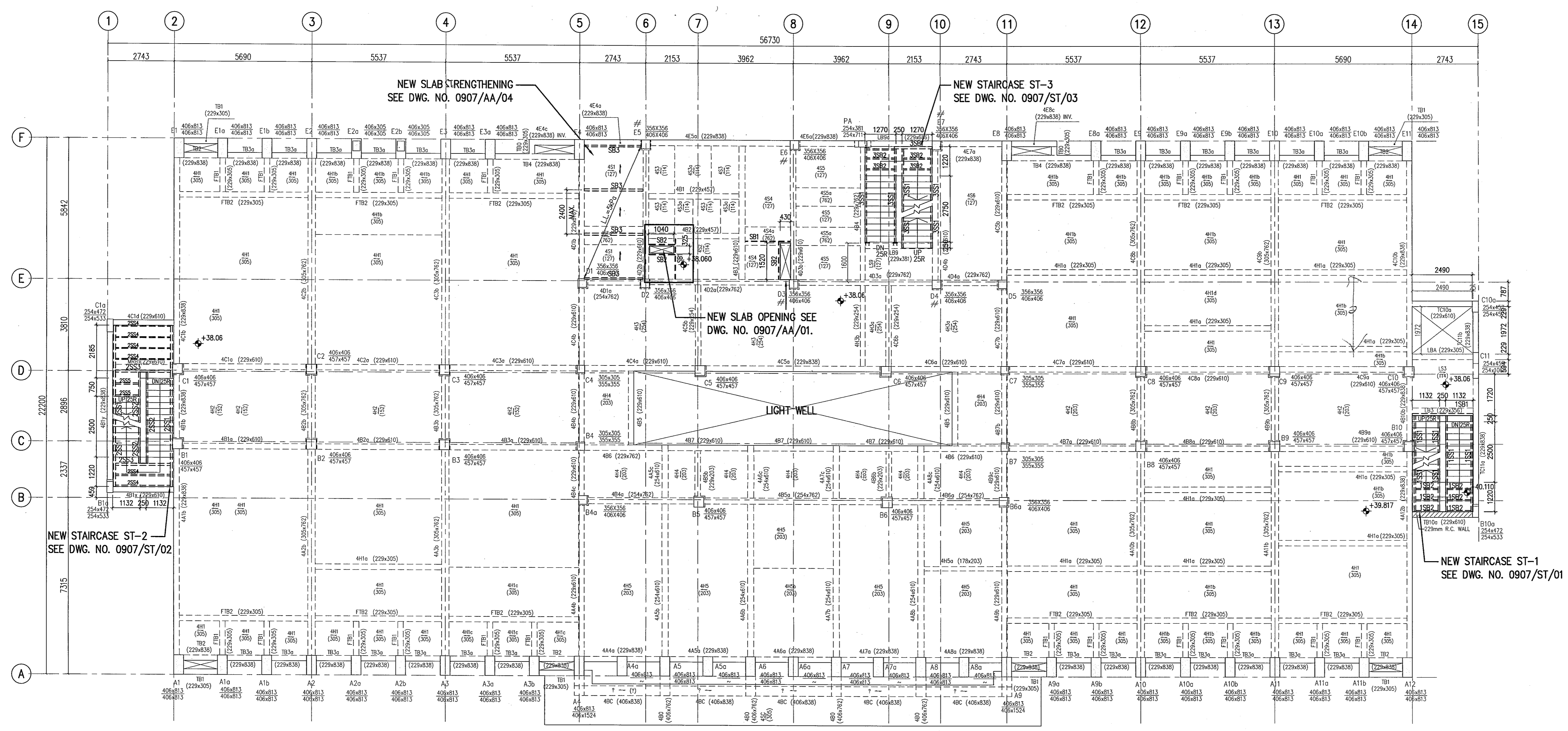
"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helen Ryan Po Jun
 Helen Ryan Po Jun
 B.A.Sc. P.Eng. C.Eng. F.R.S.M. F.H.K.E.
 R.P.E., Registered Structural Engineer

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 B.D. CHAN
 BUILDING DEPARTMENT
 PLAT SCALE: 292 TAI PO ROAD, KLN

Notes:
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- NOTES:**
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



4/F FRAMING PLAN

Plan Approved
CHAN Wai-tai
Senior Structural Engineer
for BUILDING AUTHORITY
12 JUL 2010

B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Revision	Date	Description	By	Checked

Name	Initial
In Charge	H.KWAN
Design Checked	H.KWAN
Designed	N. LAM
Draw Checked	K.YEUNG
Drawn	F. WONG

Date	Scale	CAD. Ref.
APR 2009	1:100	0907AFR06B

Client
SCAD
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect
LEO A DALY EST. 1915
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
TEL 202-861-4600 FAX 202-872-8530
SUITE 1308, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
TEL 2567 4321 FAX 2865 3507

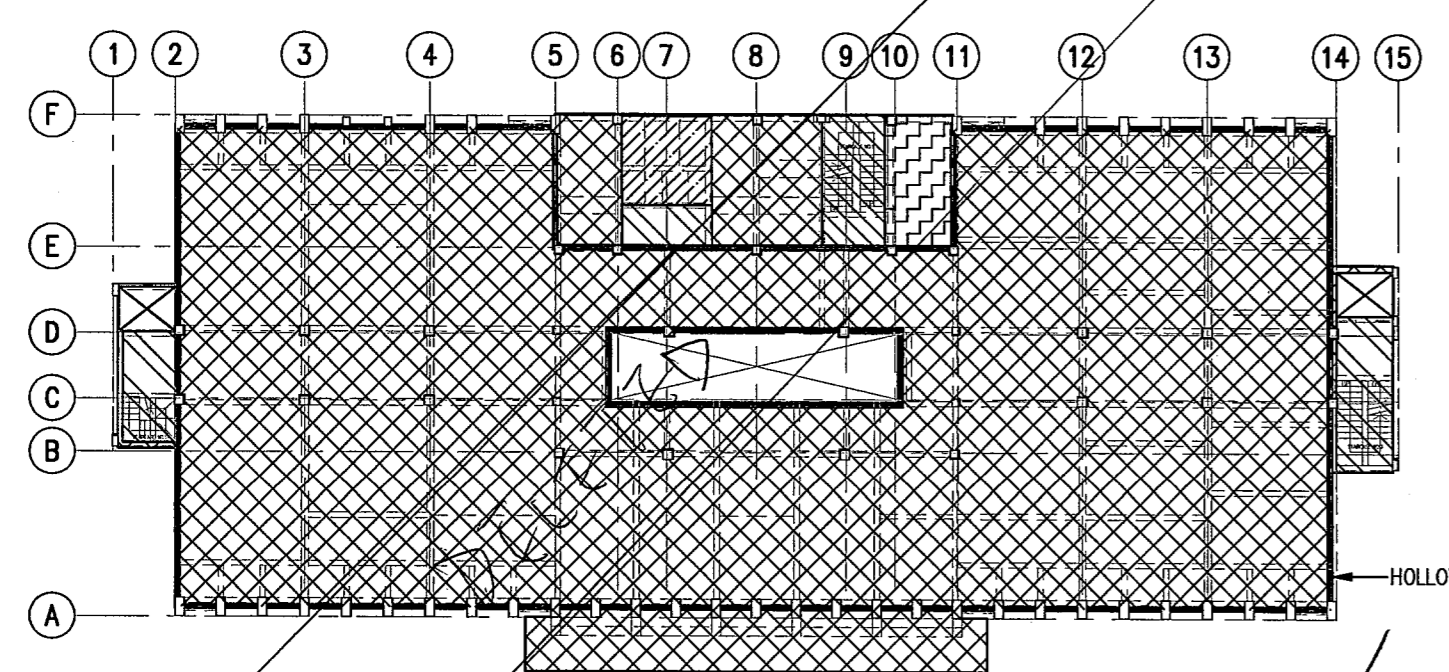
Executive Architect
LCK ARCHITECTS LTD
林陳簡建築師有限公司

Project
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

Title
A & A FRAMING PLAN FOR 4/F (FOR NEW WORKS)

Drw. No. 0907/AFR/06

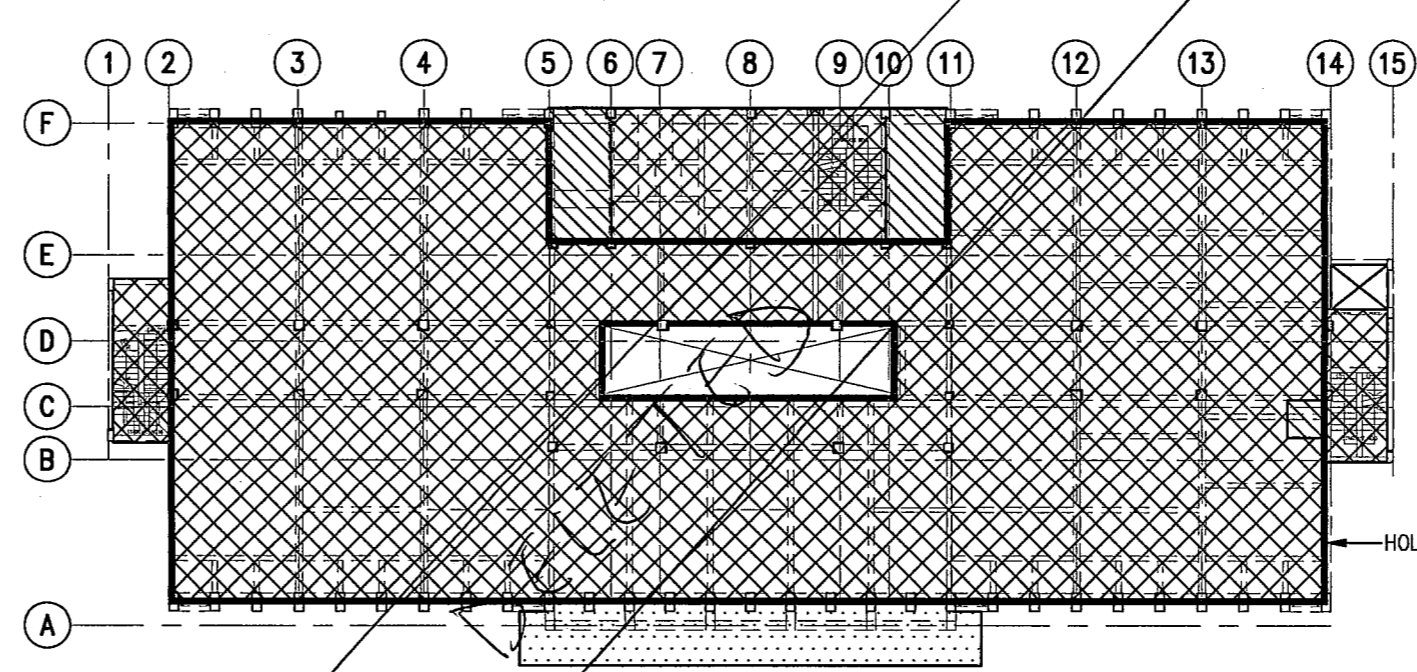
JMK
JMK CONSULTING ENGINEERS LTD.



EXISTING 4/F LOADING DIAGRAM

LEGEND

	EX. FIN.	EX. LL.	TOTAL
	lb/ft ²	kPa	lb/ft ² kPa
[Pattern]	18	0.86	159 7.18
[Pattern]	18	0.86	100 4.79
[Pattern]	18	0.86	50 2.40
[Pattern]	18	0.86	67 3.21
[Pattern]	18	0.86	62 2.97
[Pattern]	18	0.86	80 3.83



NEW 4/F LOADING DIAGRAM

LEGEND

	ACTUAL FIN.	NEW LL.	TOTAL
	kPa	kPa	kPa
[Pattern]	0.80	5.0	5.65
[Pattern]	0.80	3.0	3.26
[Pattern]	0.86	0.75	1.61

AMENDED PLAN

"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

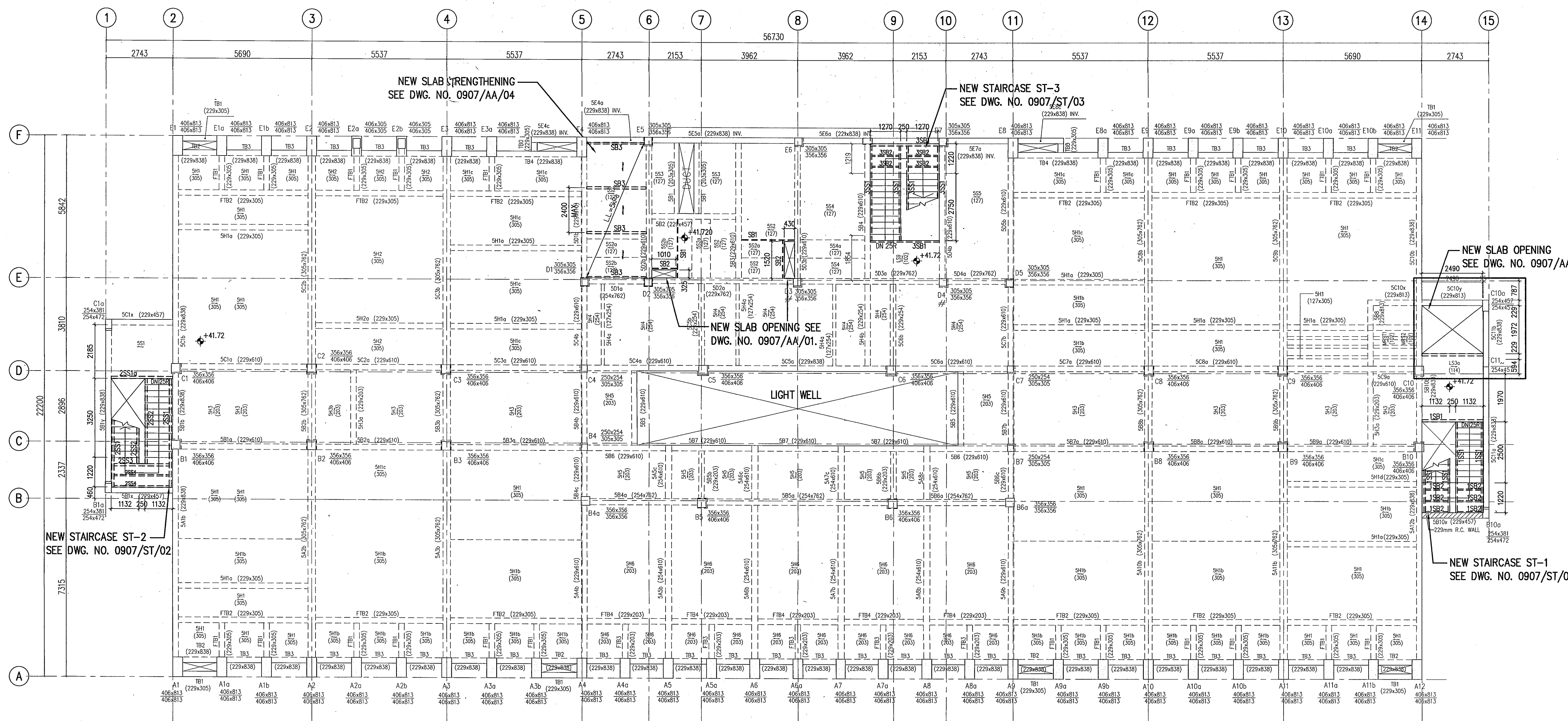
Helen Kwan Po Jun
Helen Kwan Po Jun
RASC, PEng, CEng, FStructE, FHKIE,
RPE Registered Structural Engineer

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2009 JUN 15 P 5:12
R. & B. DESIGN
ARCHITECTS

Notes:
Do not scale drawings. All dimension must be verified at the work by the contractor. This drawing & design are copyright and no parties may be reproduced without the written permission of JMK Consulting Engineers Ltd.

NOTES:

1. FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
2. ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
3. UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



5/F FRAMING PLAN

Plan Approved

 CHAN Wai-tai
 Senior Structural Engineer
 for BUILDING AUTHORITY
 12 JUL 2010

B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Revision	Date	Description	By	Checked
		Name		Initial
		In Charge	H.KWAN	
		Design Checked	H.KWAN	
		Designed	N. LAM	
		Draw Checked	K.YEUNG	
		Drawn	F. WONG	
	Date	Scale	1:100	CAD. Ref. 0907AFR07B

Client
SCAD
 HONG KONG CAMPUS
 NORTH KOWLOON MAGISTRACY BUILDING

Design Architect
LEO A DALY EST. 1915
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
 TEL 202-861-4600 FAX 202-872-8530
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG
 TEL 2567 4321 FAX 2885 3507

Executive Architect

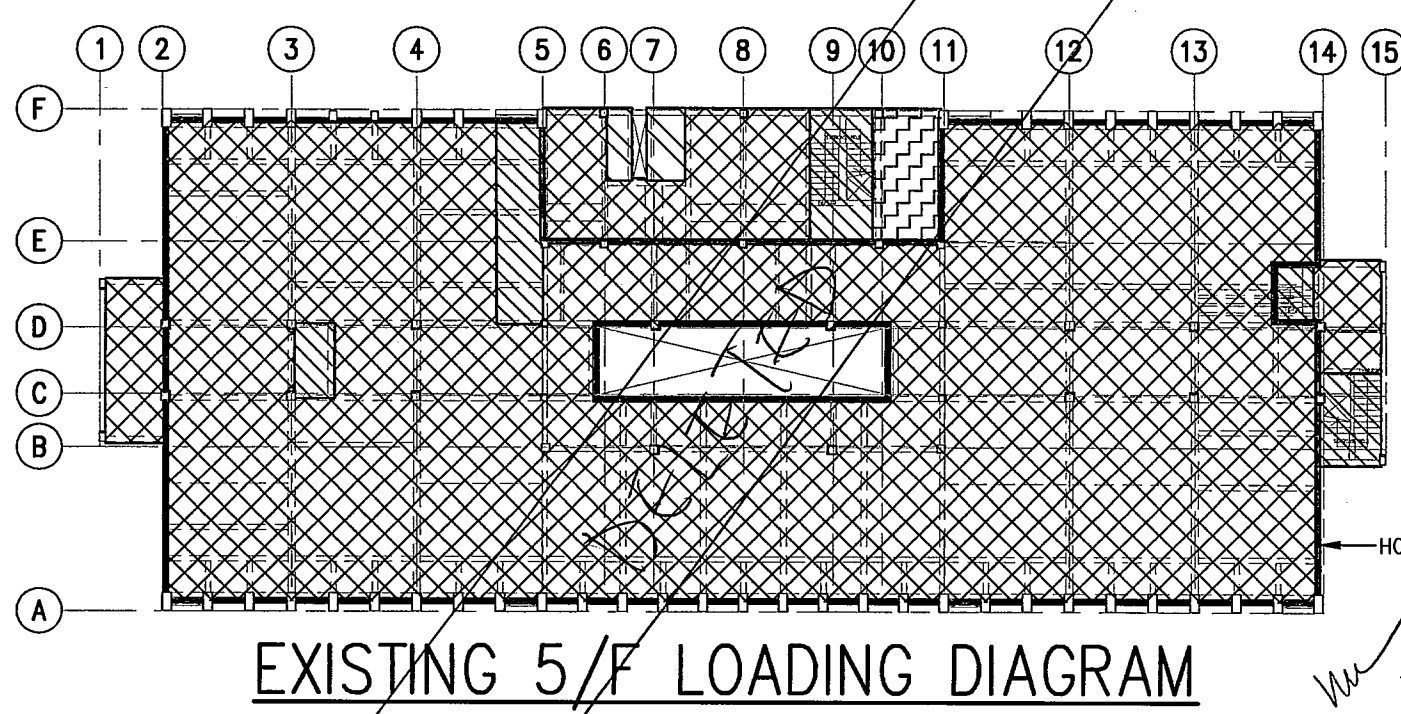
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

Project
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

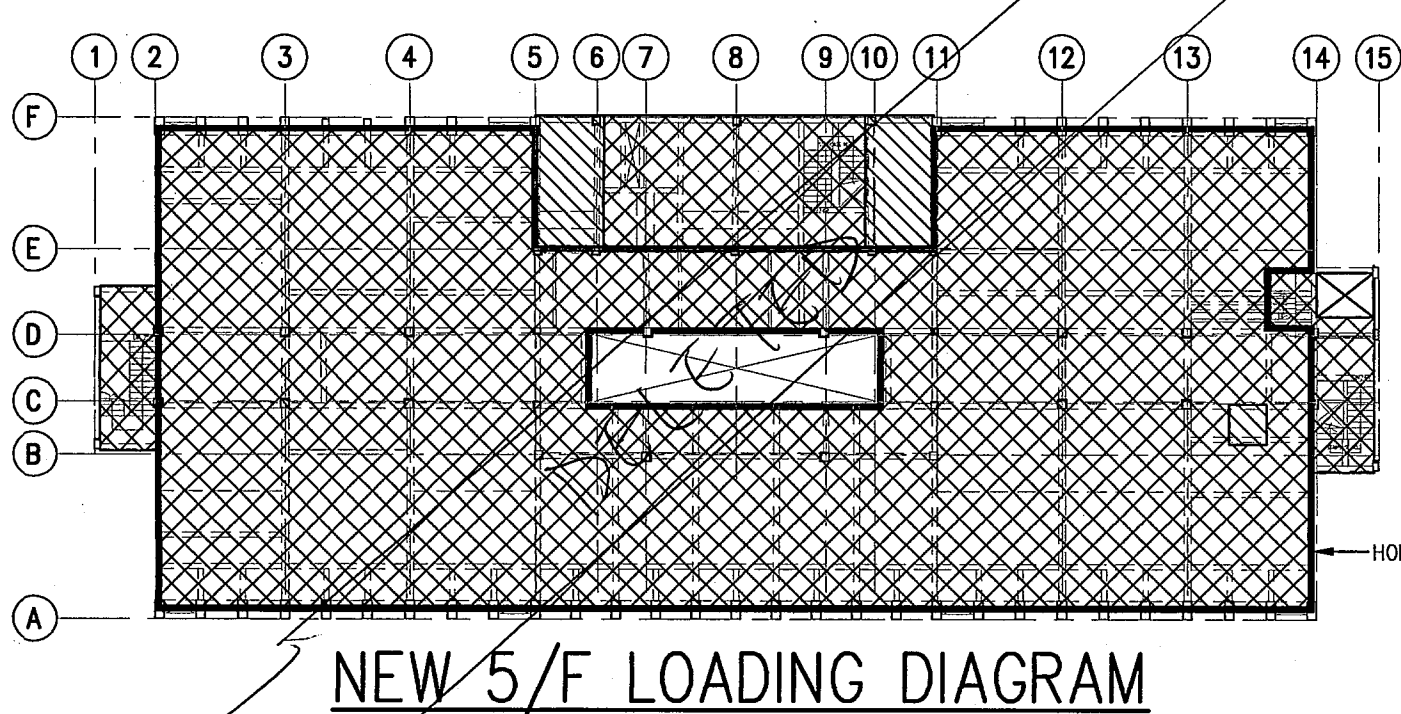
Title
A & A FRAMING PLAN FOR 5/F (FOR NEW WORKS)

Drg. No. **0907/AFR/07**

JMK
 JMK CONSULTING ENGINEERS LTD.



LEGEND	EX. FIN.		EX. I.L.		TOTAL	
	lb/ft²	kPa	lb/ft²	kPa	lb/ft²	kPa
	18	0.86	150	7.18	168	8.04
	18	0.86	108	5.29	126	6.15
	18	0.86	90	4.41	108	5.29
	18	0.86	67	3.21	85	4.07



LEGEND	ACTUAL FIN.		NEW I.L.		TOTAL	
	kPa	kPa	kPa	kPa	kPa	kPa
	0.80	0.80	5.0	5.0	5.65	5.65
	0.80	0.80	3.0	3.0	3.26	3.26

AMENDED PLAN

"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helen Kwan P.Eng.
 B.Eng. P.Eng. C.Eng. F.Eng. F.Eng. F.Eng. F.Eng. F.Eng.
 RPE, Registered Structural Engineer

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 2010 JUN 15 P 5:12
 R.I.P. Section
 B.L.V. ENGINEERING DEPARTMENT
 PLOT SCALE : 292 TAI PO ROAD, KLN

Notes:
Do not scale drawings. All dimension must be verified at the work by the contractor. This drawing & design are copyright and no portion may be reproduced without the written permission of JMK Consulting Engineers Ltd.

- NOTES:**
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
 - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
 - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 0.75 kPa.

Plan Approved
CHAN Wai-tai
Senior Structural Engineer
for BUILDING AUTHORITY
12 JUL 2010

B	JUN 2010	TALLY WITH CSP SUBMITTED ON 04/05/2010		
	JUN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

In Charge	Name	Initial
Design Checked	H.KWAN	
Designed	N. LAM	
Draw Checked	K.YEUNG	
Drawn	F. WONG	

Date	Scale	CAD. Ref.
APR 2009	1:100	0907AFR08B

Client
SCAD
HONG KONG CAMPUS
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect
LEO A DAILY EST. 1915
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA
TEL 202-861-4600 FAX 202-872-8530
SUITE 1306, 248 QUEEN'S ROAD, WANCAL, HONG KONG
TEL 2867 4321 FAX 2885 3507

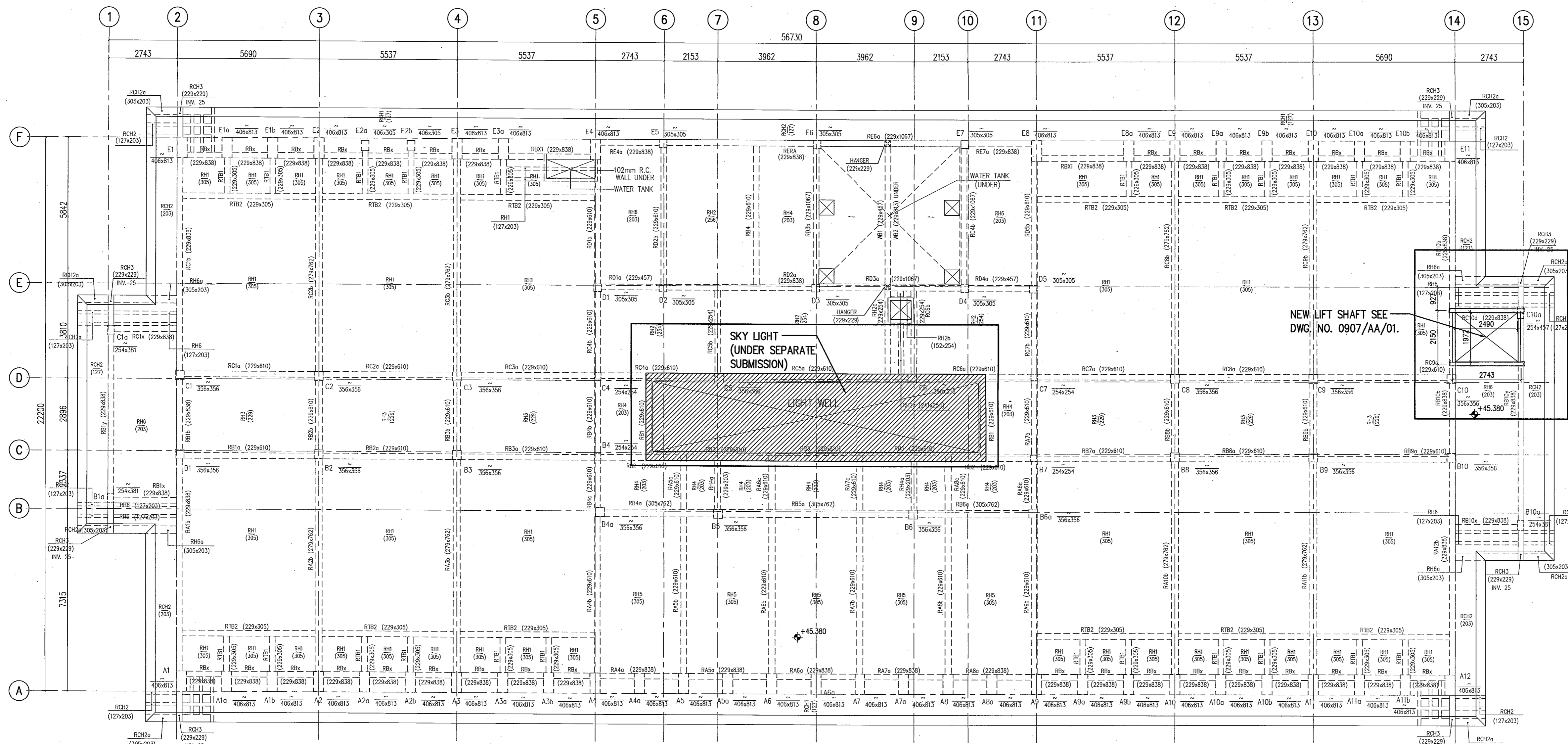
Executive Architect
LCK ARCHITECTS LTD
林陳簡建築師有限公司

Project
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

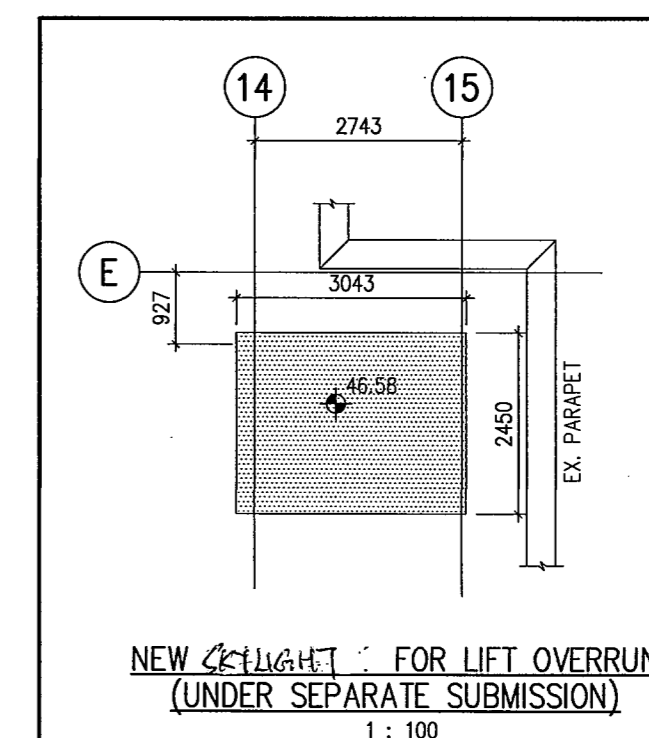
Title
A & A FRAMING PLAN
FOR ROOF
(FOR NEW WORKS)

Dwg. No.	Rev.
0907/AFR/08	B

JMK
JMK CONSULTING ENGINEERS LTD.

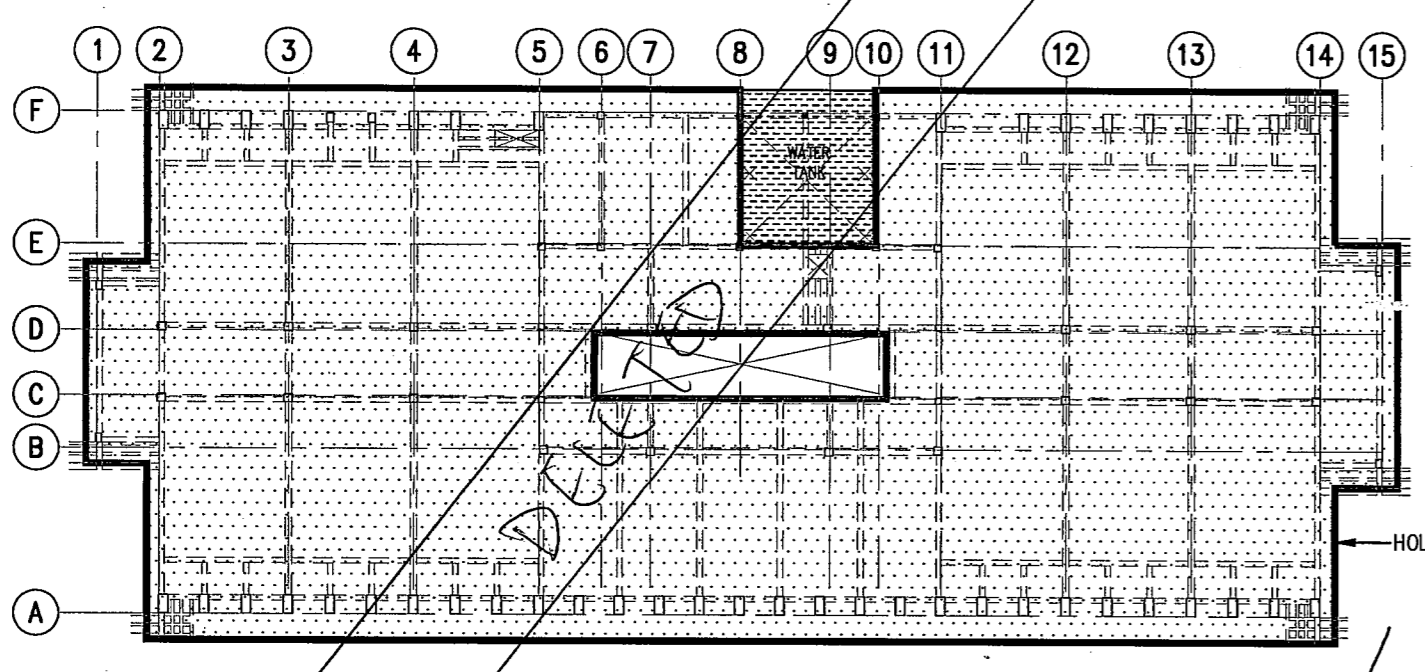


ROOF FRAMING PLAN

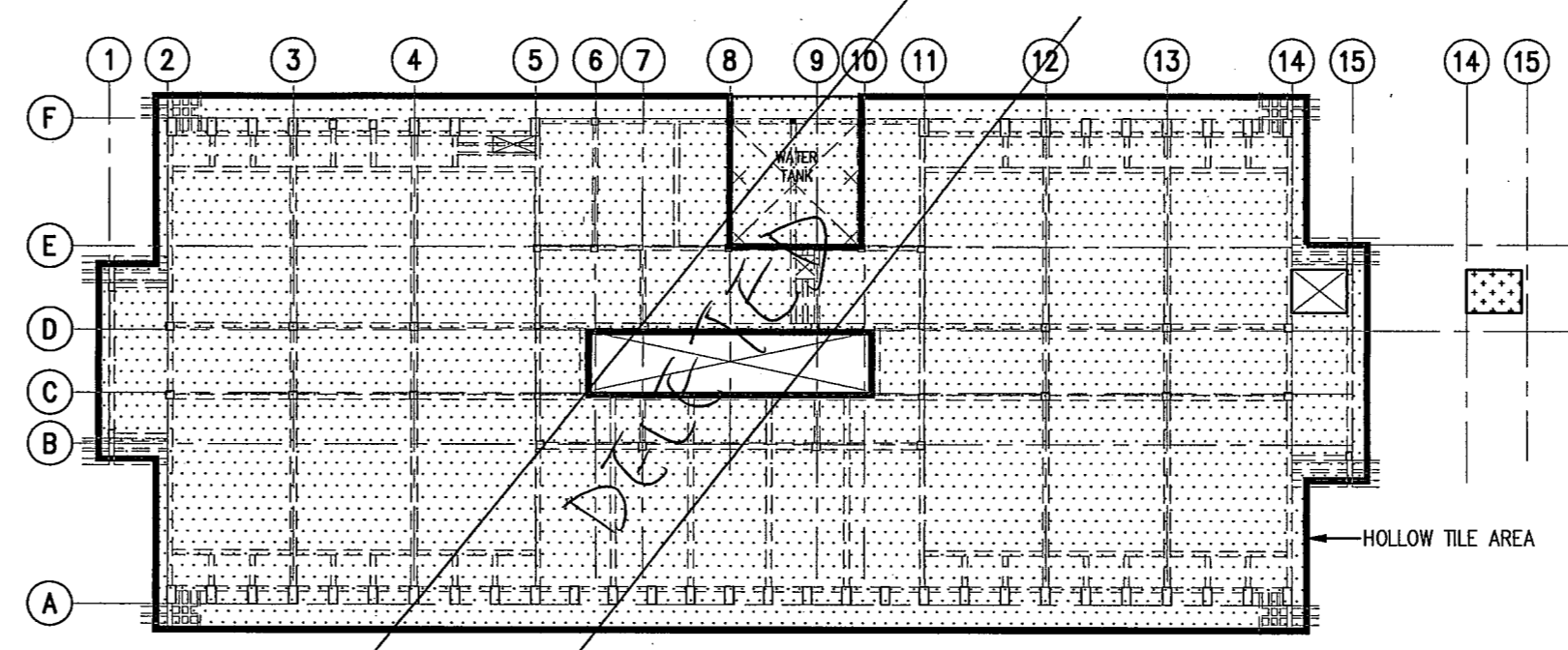


NEW SKYLIGHT FOR LIFT OVERRUN (UNDER SEPARATE SUBMISSION)
1:100

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft ²	kPa	lb/ft ²	kPa	lb/ft ²	kPa
	40	1.87	15	0.72	55	2.64
	15	0.86	50	1.44	48	2.3



EXISTING ROOF LOADING DIAGRAM



NEW ROOF LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	kPa	kPa	kPa	kPa	kPa	kPa
	1.87	0.86	0.75	1.50	2.64	2.30

AMENDED PLAN

"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helei Kwan Po Jan
Helei Kwan Po Jan
B.A.Sc., P.Eng., C.Eng., F.I.Struct.E., F.H.K.S.E.
R.P.S. Registered Structural Engineer

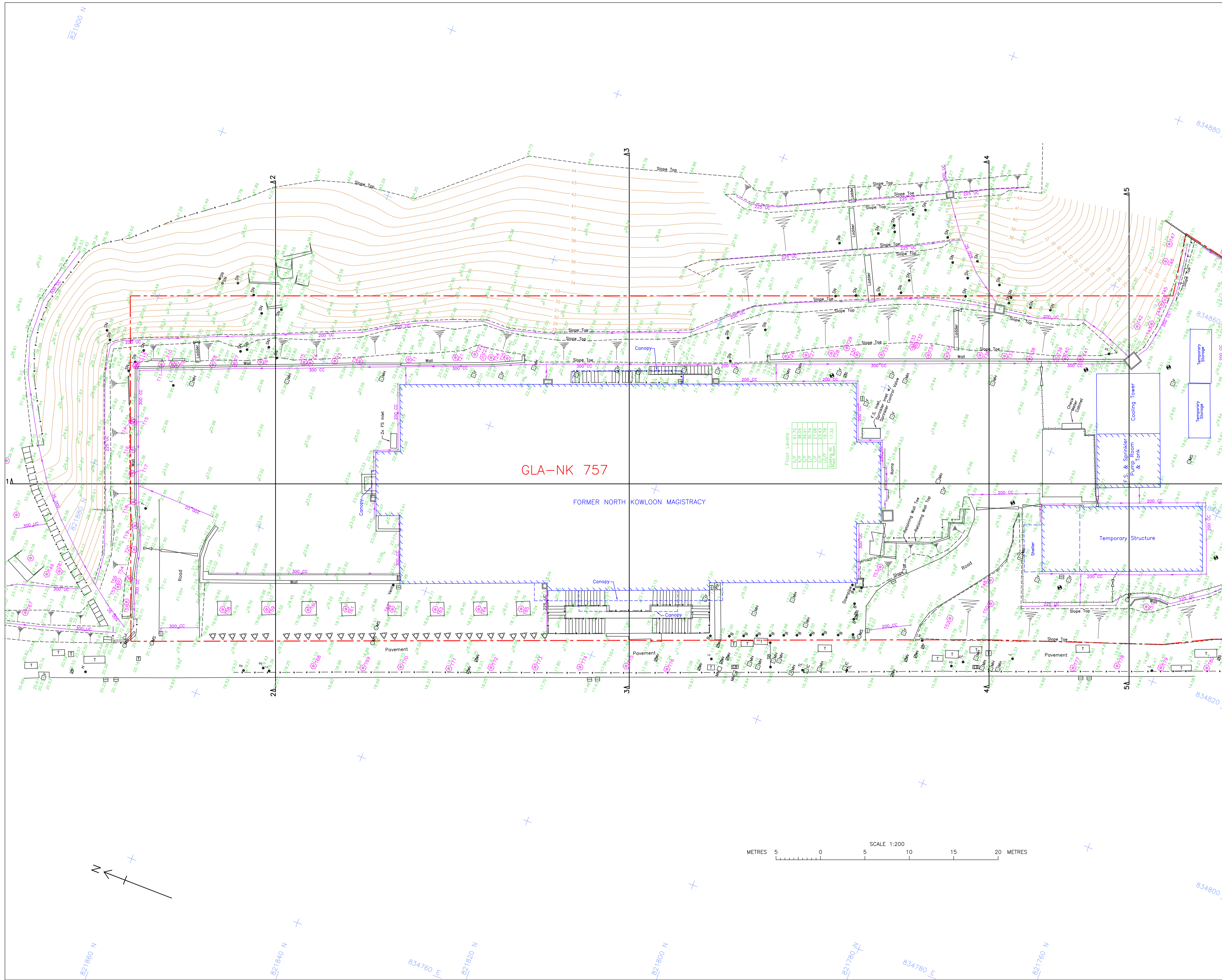
RECEIVED BY
2009 JUN 15 P 5:12
BUILDING DEPARTMENT
PLOT SCALE : 292 TAI PO ROAD, KLN

Appendix VI(D)

Topographic Survey Plan

Appendix VI(D) – Topographic Survey Drawings
Drawing List

	Drawing No.	Drawing Title
1.	HC-15181/01 Sheet 1	Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon
2.	HC-15181/01 Sheet 2	Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon
3.	HC-15181/01 Sheet 3	Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon
4.	HC-15181/02	Block Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon



- Notes : -
- All levels are in meters above P.D.
 - Grid lines are in H.K. Metric Grid 1980.
 - Elevations of kerb are referred to the bottom of kerb.
 - Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

- Legend :
- Foul Water Manhole
 - Storm Water Manhole
 - Manhole
 - Covered Channel And Invert Level
 - U-Channel And Invert Level
 - Stepped Channel And Invert Level
 - Gully/Grating
 - Catch Pit
 - Fire Hydrant
 - Valve Fire
 - Valve Water
 - Valve Gas
 - Concrete Bollard
 - Telecom Manhole
 - Pit
 - Slope
 - Tree & Tree Number
 - Lamp Post
 - Sign Pole
 - Telephone Pole
 - Soil Nail
 - Sign Board
 - Borehole
 - Gate
 - Fence
 - Railing
 - Pipeline
 - Retaining Wall
 - Building Line
 - GLA Boundary

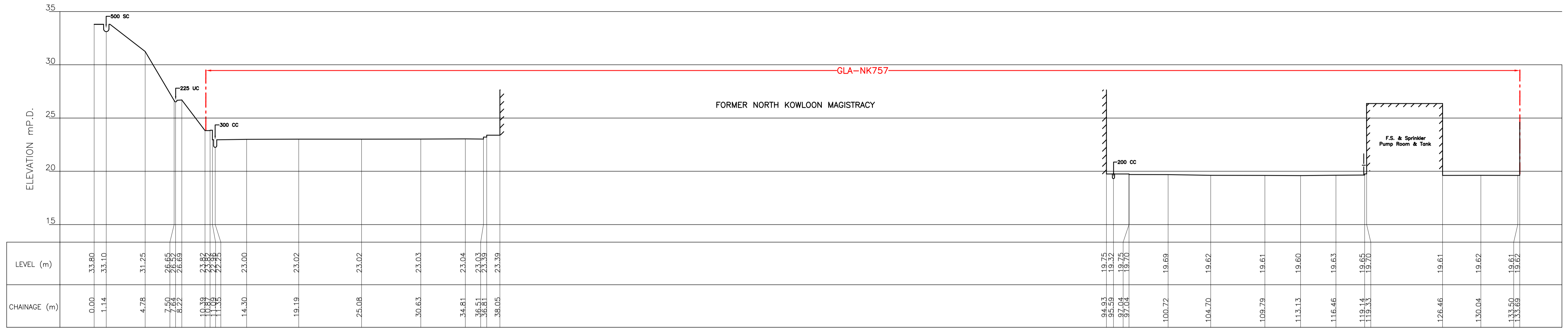
Drawing title
 Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon.

Drawing no. HC-15181/01	Date May 2020	Scale 1:200 A1 Street
	Checked by KO C C	Drawn by A KONG

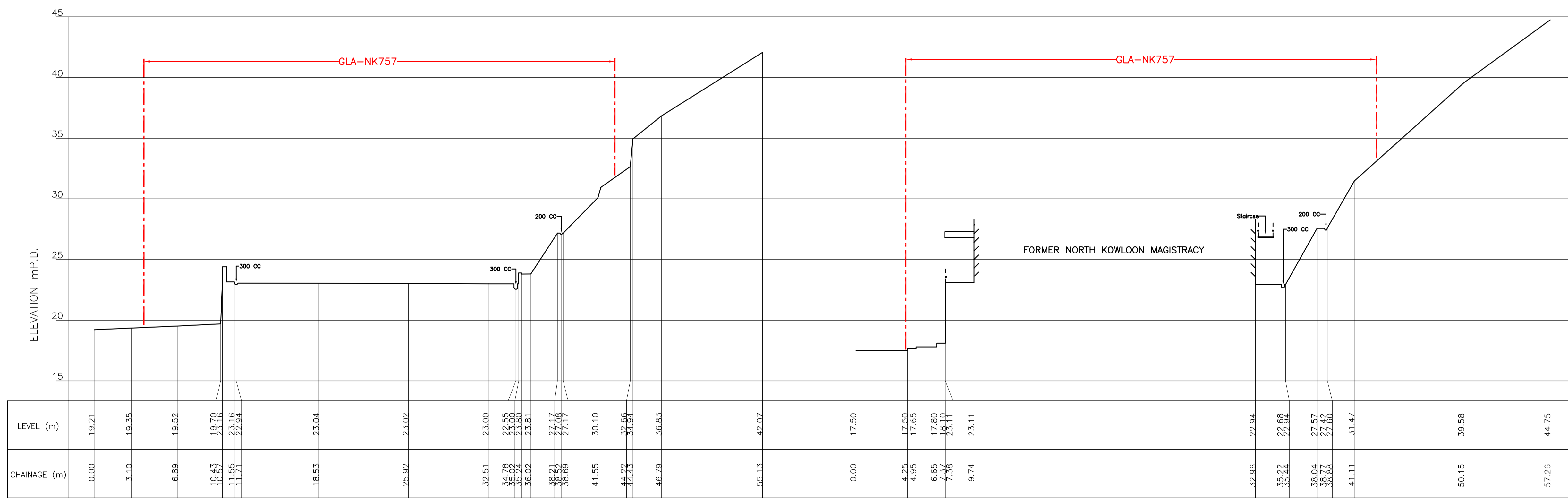
Sheet 1 of 3

Government Department
 ARCHITECTURAL SERVICES DEPARTMENT

Surveyor
 HENRY CHAN SURVEYORS LTD.
 Authorized Land & Hydrographic Surveyors
 Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.
 Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netigator.com

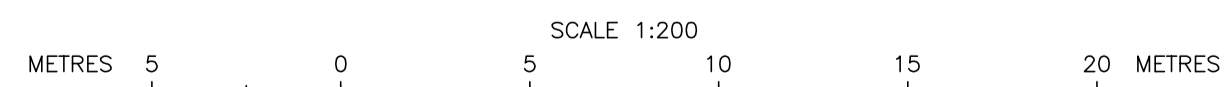


Section 1-1



Section 2-2

Section 3-3



Notes : -

- All levels are in meters above P.D.
- Grid lines are in H.K. Metric Grid 1980.
- Elevations of kerb are referred to the bottom of kerb.
- Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

--- GLA Boundary

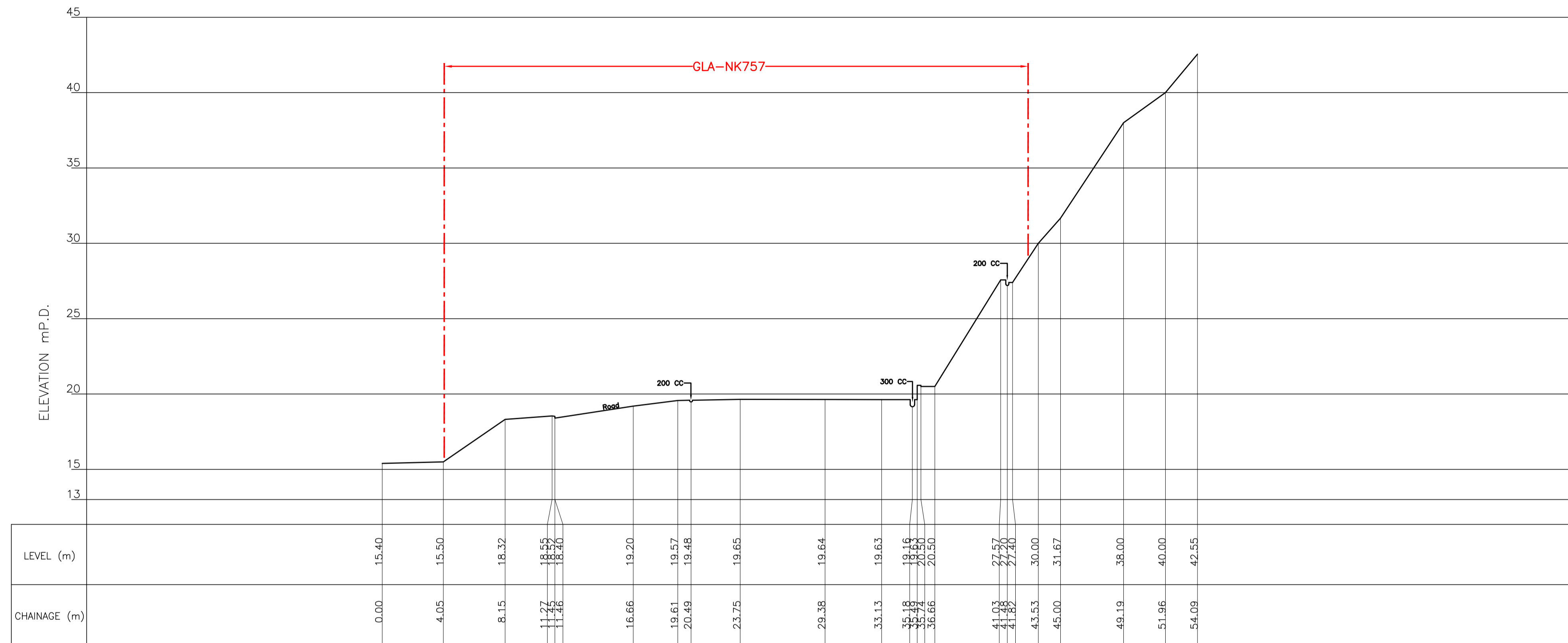
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Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon.

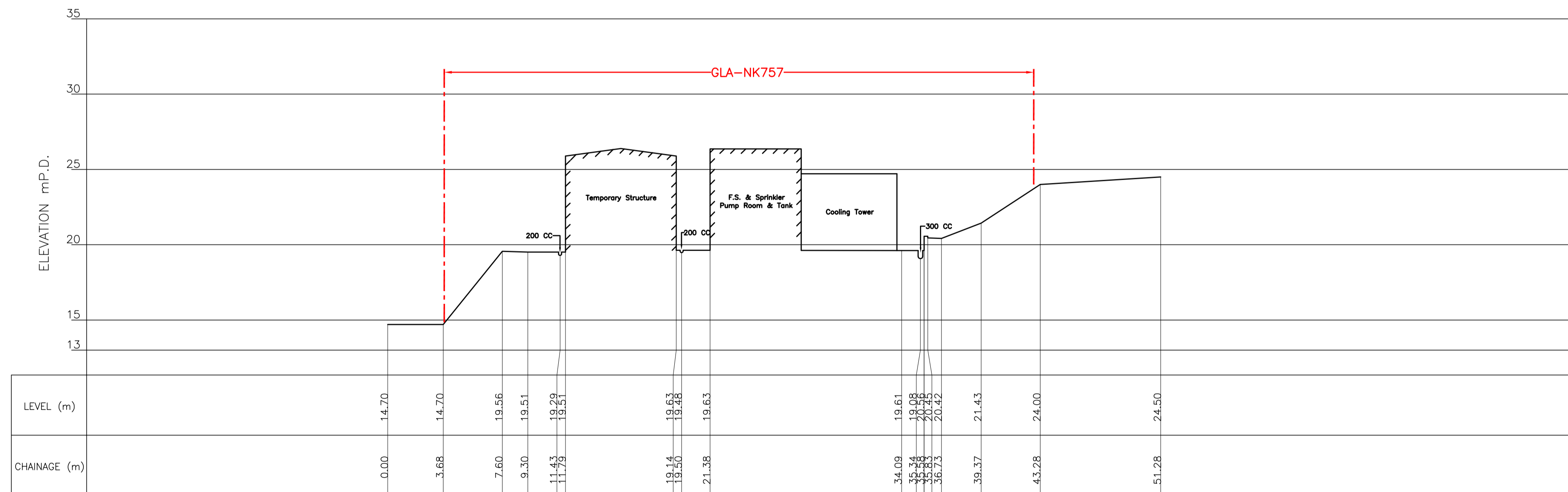
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	Checked by	Drawn by
Sheet 2 of 3	KO C C	A KONG

Government Department
ARCHITECTURAL SERVICES DEPARTMENT

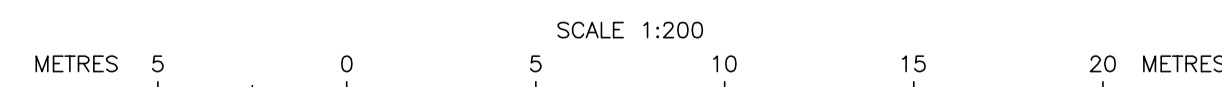
Surveyor
HENRY CHAN SURVEYORS LTD.
Authorized Land & Hydrographic Surveyors
Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.
Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com



Section 4-4



Section 5-5



Notes : -

- All levels are in meters above P.D.
- Grid lines are in H.K. Metric Grid 1980.
- Elevations of kerb are referred to the bottom of kerb.
- Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

--- GLA Boundary

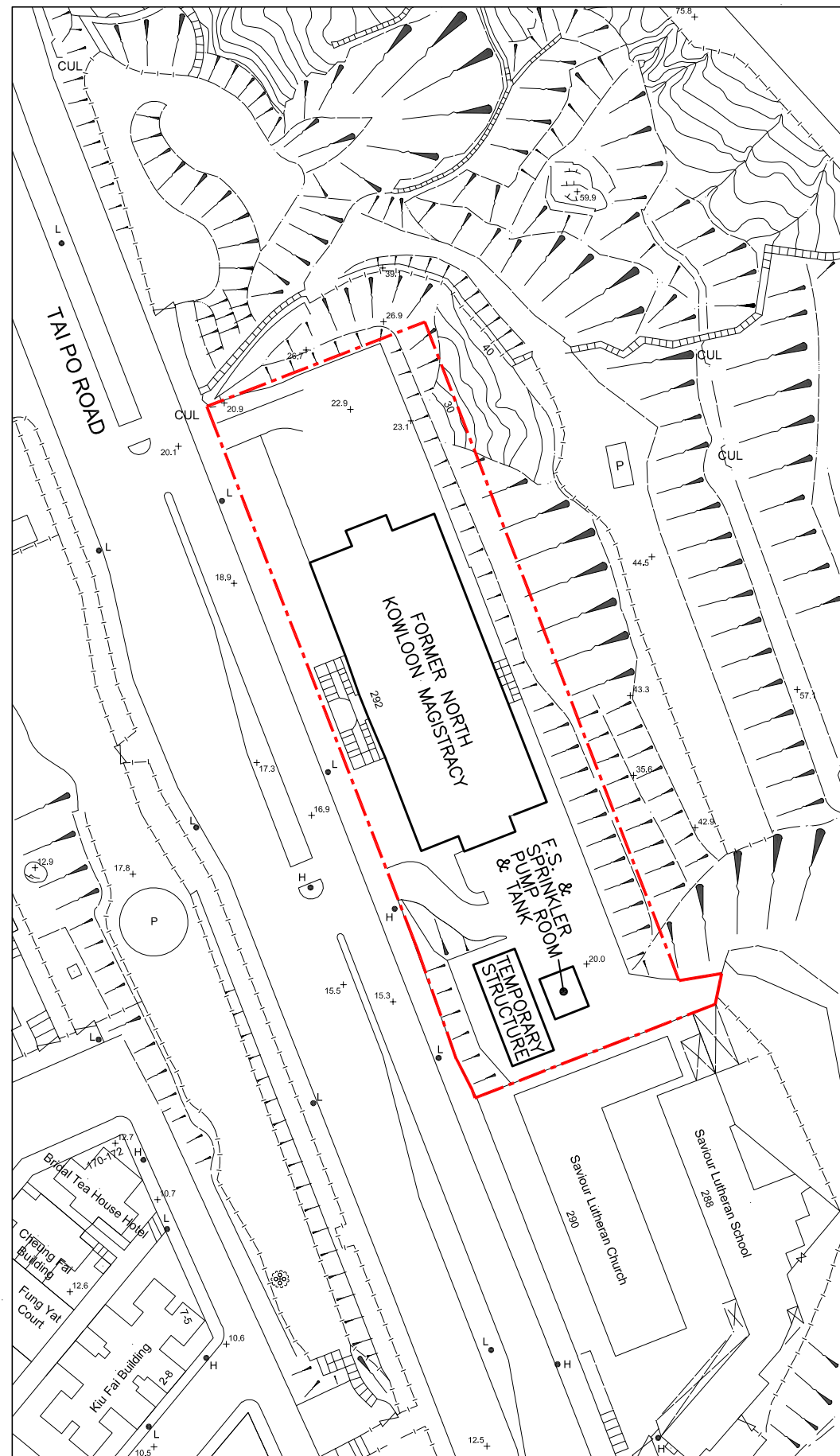
Drawing title

Topographical Survey Plan of
Former North Kowloon
Magistracy, Tai Po Road,
Kowloon.

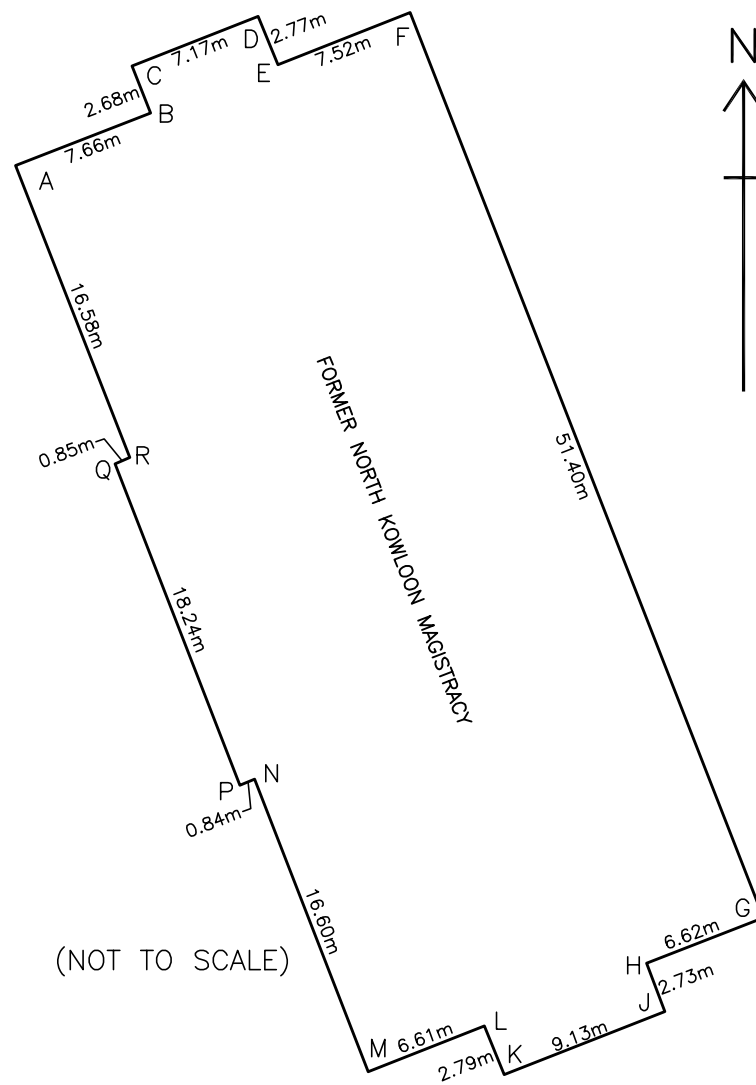
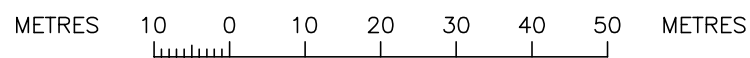
Drawing no.	Date	Scale
HC-15181/01	May 2020	1 : 200
	Sheet 3 of 3	A1 Sheet
	Checked by	Drawn by
	KO C C	A KONG

Government Department
ARCHITECTURAL SERVICES DEPARTMENT

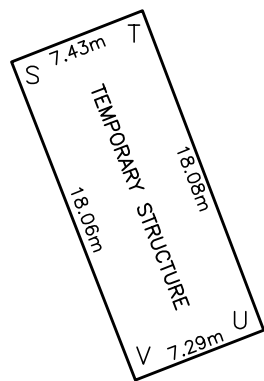
Surveyor
HENRY CHAN SURVEYORS LTD.
Authorized Land & Hydrographic Surveyors
Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.
Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com



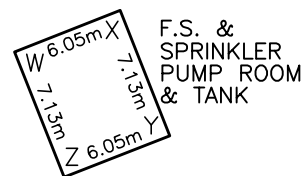
BLOCK PLAN (SCALE 1:1,000)



(NOT TO SCALE)



(NOT TO SCALE)



(NOT TO SCALE)

FORMER NORTH KOWLOON MAGISTRACY

Pt.	N	E
A	821 842.99	834 799.76
B	821 845.75	834 806.91
C	821 848.25	834 805.93
D	821 850.87	834 812.61
E	821 848.31	834 813.66
F	821 851.08	834 820.66
G	821 803.19	834 839.34
H	821 800.79	834 833.17
J	821 798.23	834 834.13
K	821 794.89	834 825.64
L	821 797.47	834 824.58
M	821 795.05	834 818.43
N	821 810.52	834 812.42
P	821 810.21	834 811.64
Q	821 827.21	834 805.03
R	821 827.55	834 805.81

TEMPORARY STRUCTURE

Pt.	N	E
S	821 776.04	834 827.09
T	821 778.76	834 834.00
U	821 761.87	834 840.43
V	821 759.21	834 833.64

F.S. & SPRINKLER PUMP ROOM

Pt.	N	E
W	821 773.66	834 838.11
X	821 775.87	834 843.74
Y	821 769.25	834 846.36
Z	821 767.04	834 840.73



Notes : -

1. All levels are in meters above P.D.
2. Grid lines are in H.K. Metric Grid 1980.
3. Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

--- GLA Boundary

Drawing title

Block Plan of
Former North Kowloon
Magistracy, Tai Po Road,
Kowloon.

Drawing no. HC-15181/02	Date May 2020	Scale As Shown (A3 Sheet)
	Checked by KO C C	Drawn by D POON

Government Department

ARCHITECTURAL SERVICES DEPARTMENT

Surveyor

HENRY CHAN SURVEYORS LTD.
Authorized Land & Hydrographic Surveyors

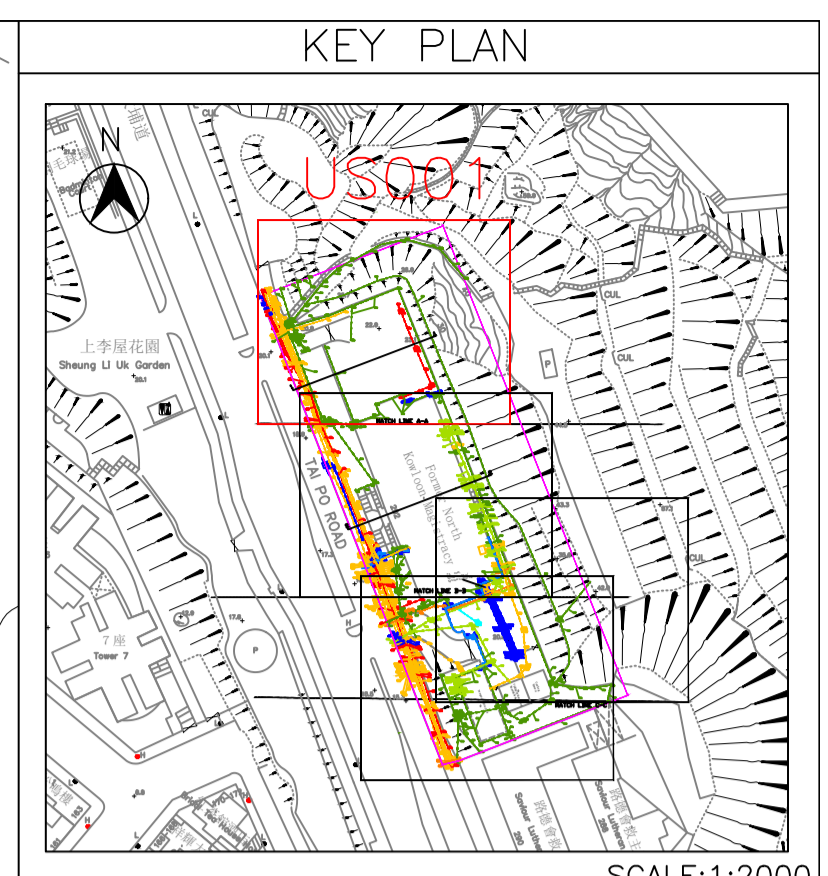
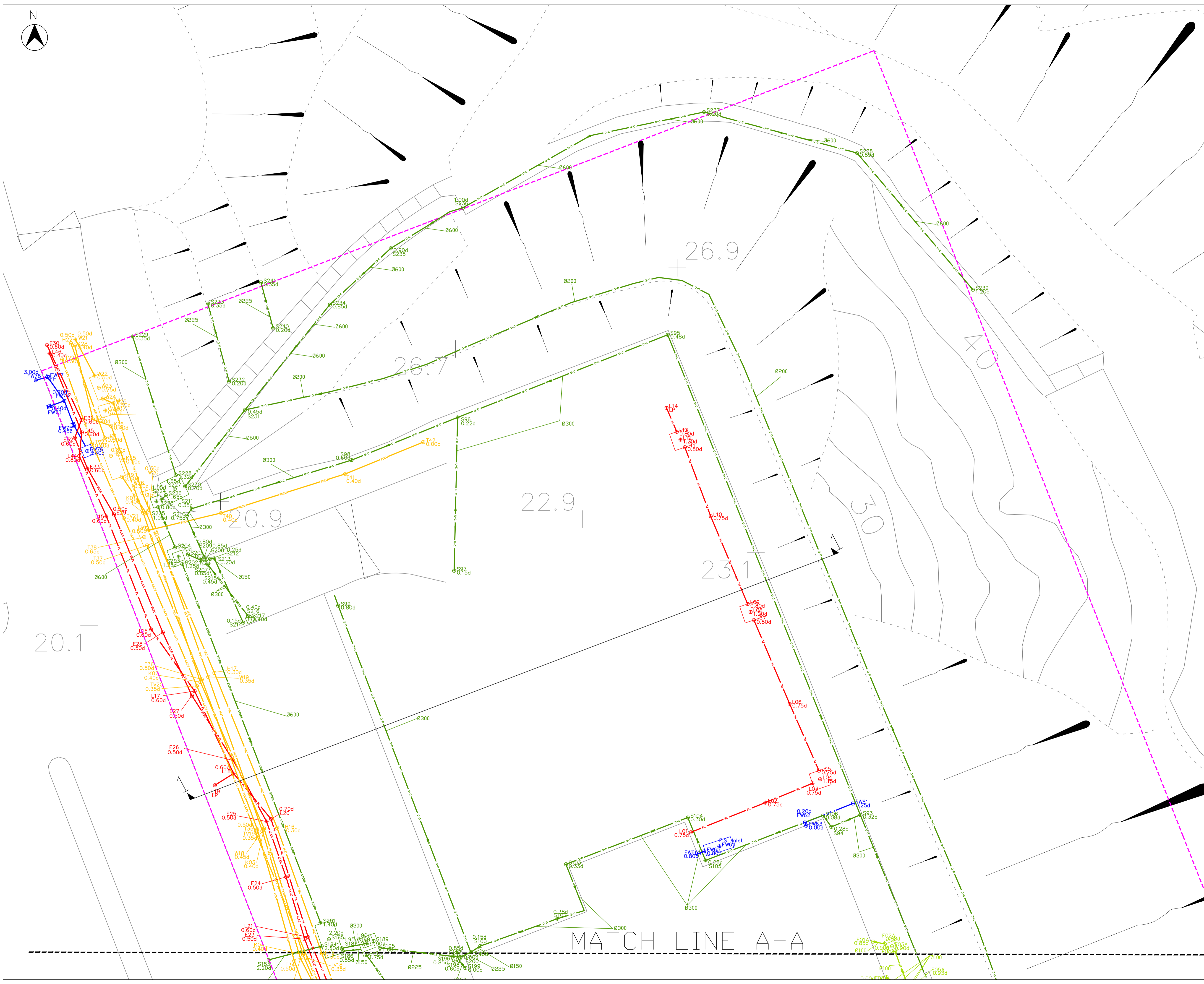
Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.
Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com

Appendix VI(E)

Underground Utilities Survey Plans

Appendix VI(E) – Underground Utilities Survey Drawings
Drawing List

	Drawing No.	Drawing Title
1.	FS/SPJ-168-20/US001	Underground Utilities Survey Drawing at Former North Kowloon Magistracy
2.	FS/SPJ-168-20/US002	Underground Utilities Survey Drawing at Former North Kowloon Magistracy
3.	FS/SPJ-168-20/US003	Underground Utilities Survey Drawing at Former North Kowloon Magistracy
4	FS/SPJ-168-20/US004	Underground Utilities Survey Drawing at Former North Kowloon Magistracy
5	FS/SPJ-168-20/US005	Underground Utilities Survey Drawing at Former North Kowloon Magistracy
6	FS/SPJ-168-20/US006	Underground Utilities Survey Drawing at Former North Kowloon Magistracy



- NOTES :
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
 3. CO-ORDINATES ARE RELATED TO HONG KONG METRIC GRID 1980.
 4. LEVELS ABOVE P.D. ARE SHOWN AS POSITIVE.
 5. LEVELS BELOW P.D. ARE SHOWN AS NEGATIVE.
 6. THE DEPTHS ARE MEASURED ON THE TOP OF THE UNDERGROUND UTILITIES, EXCEPT THE DEPTHS OF DRAINAGE AND SEWERAGE PIPELINE ARE MEASURED FROM COVER LEVEL TO INVERT LEVEL.
 7. UTILITIES ARE NOT SHOWN TO SCALE AND THE CENTRE LINES OF THE UTILITIES ARE SHOWN.

Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility
 Point Ref. No. and Depth to Invert Level

Fresh Water Main
 Soil Water Pipe
 Electric Cable
 Public Lighting Cable
 ATC (E&M) Cable
 Gas Pipe
 Foul Water Sewer
 Storm Water Drain
 Telecom Cable
 Cable TV Cable
 U-Channel
 Step Channel
 Un-Identified
 GPR Transverse
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER
 STORM WATER MANHOLE COVER
 FOUL WATER MANHOLE CHAMBER
 FOUL WATER MANHOLE COVER

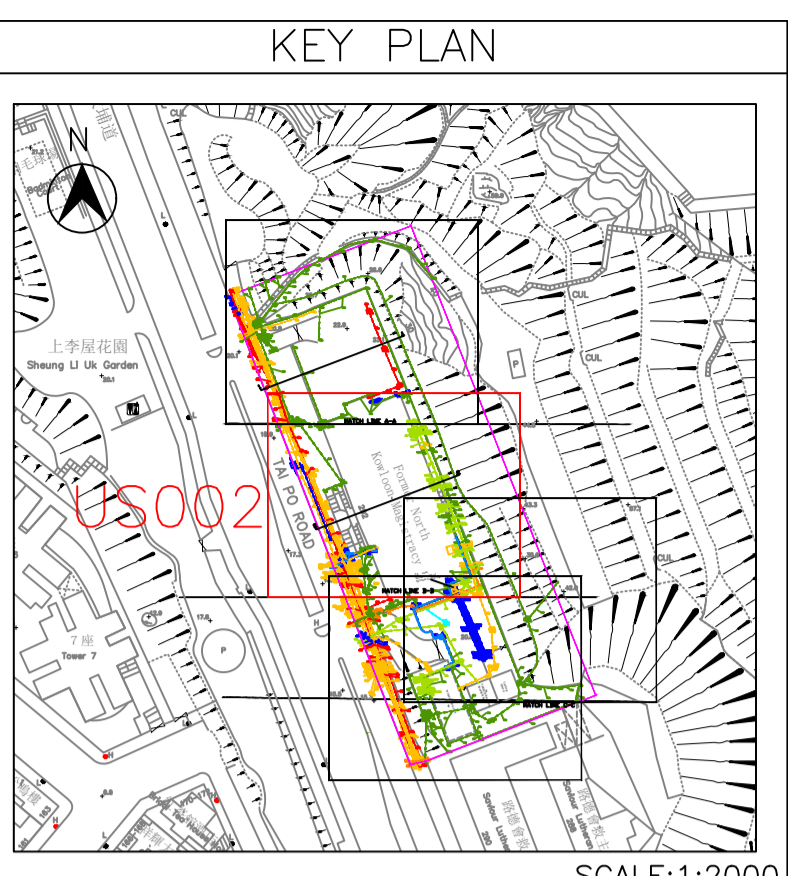
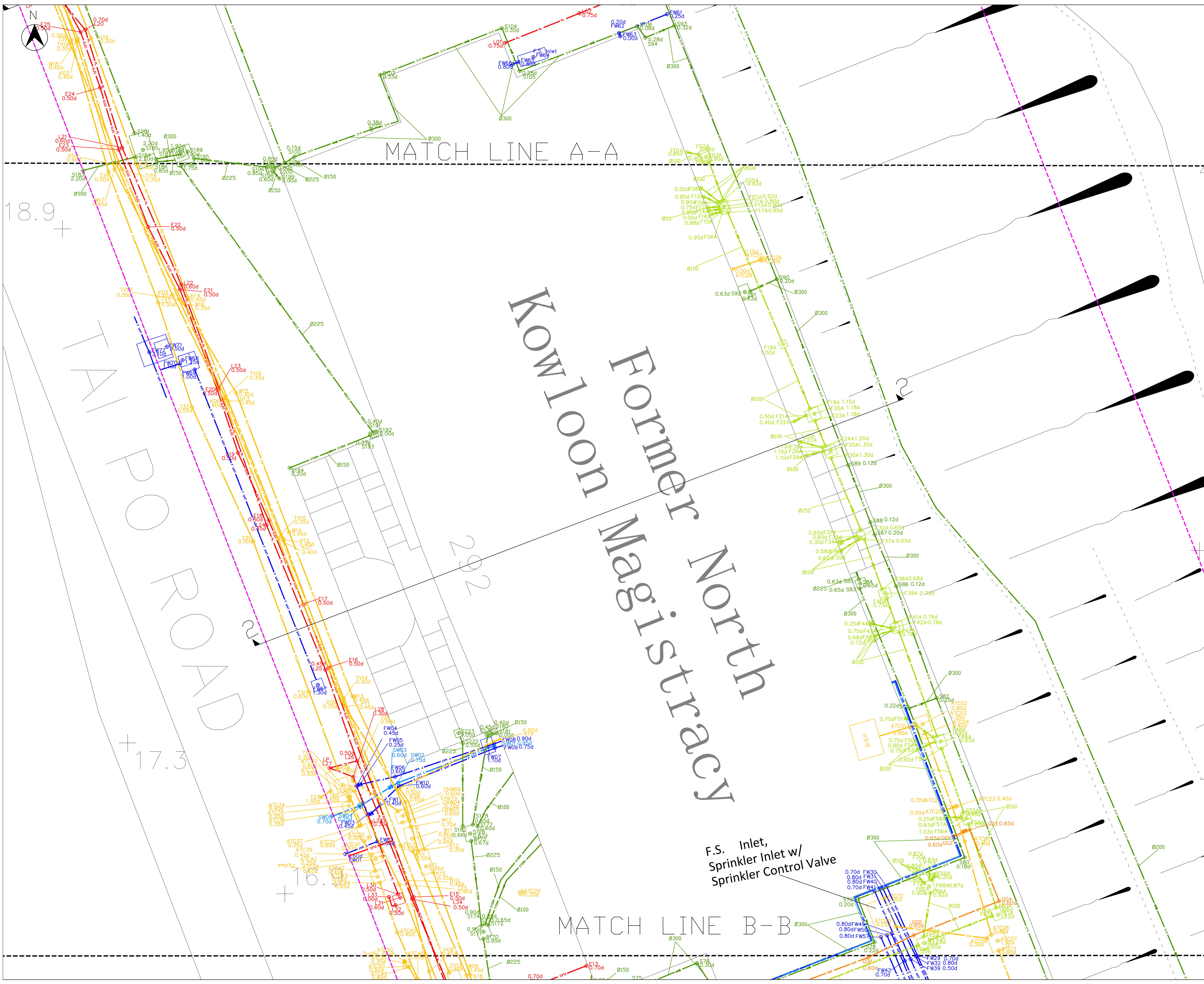
Client:
John HY Yip Surveyors Ltd.

Drawing Title:
**Underground Utilities Survey
Drawing at Former North
Kowloon Magistracy**

Prepared By:
**FORWIN FORWIN Site Investigation
Engineering Ltd.**

DRG. NO. 圖紙編號	FS/SPJ-168-20/US001	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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- NOTES :
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Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
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	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility
 Point Ref. No. and Depth to Invert Level

Fresh Water Main
 Soil Water Pipe
 Electric Cable
 Public Lighting Cable
 ATC (E&M) Cable
 Gas Pipe
 Foul Water Sewer
 Storm Water Drain
 Telecom Cable
 Cable TV Cable
 U-Channel
 Step Channel
 Utility Boundary
 GPR Transverse
 Contract Survey Boundary

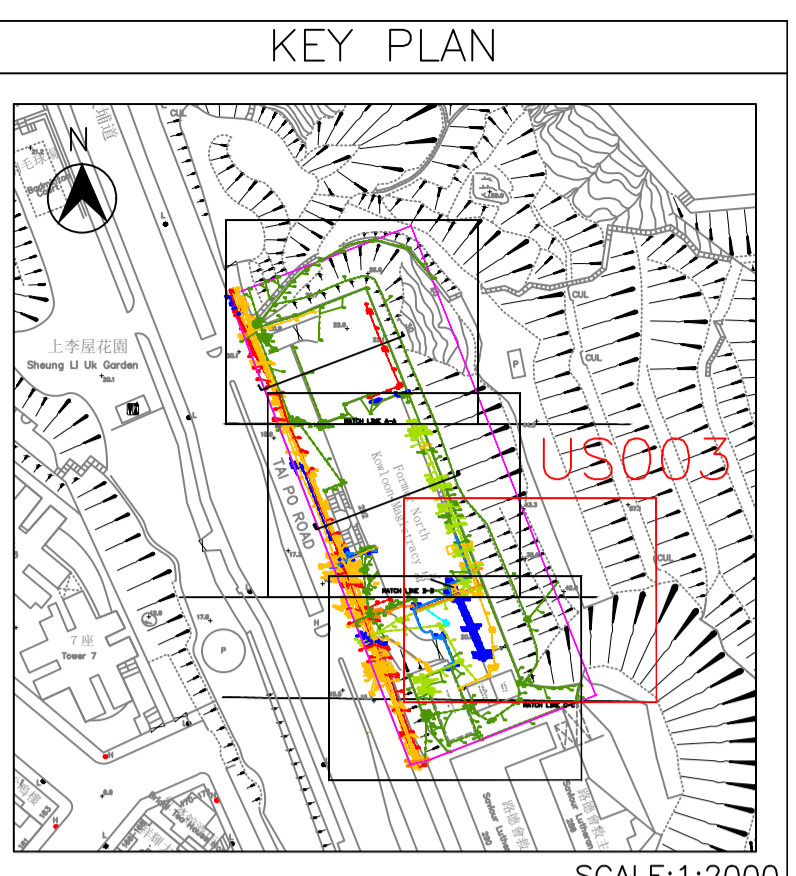
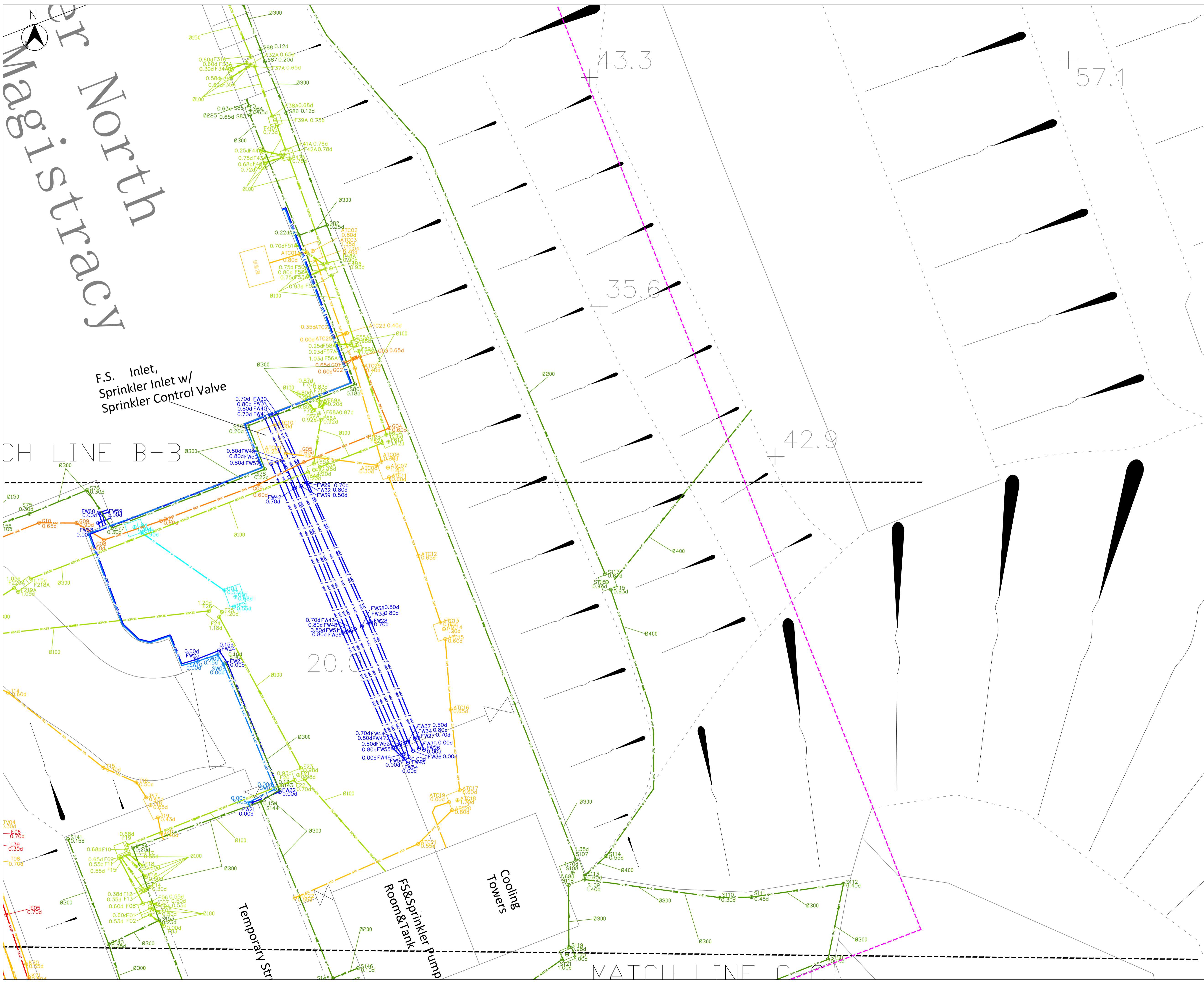
STORM WATER MANHOLE CHAMBER
 STORM WATER MANHOLE COVER
 FOUL WATER MANHOLE CHAMBER
 FOUL WATER MANHOLE COVER

Client: **John HY Yip Surveyors Ltd.**

Drawing Title: **Underground Utilities Survey Drawing at Former North Kowloon Magistracy**

Prepared By: **FORWIN FORWIN Site Investigation Engineering Ltd.**

DRG. NO. 圖紙編號	FS/SPJ-168-20/US002	REV. 版次	03
DESIGNATION	INITIAL	Date	
APPROVED BY	Simon Cheung, Project Manager	02-07-2020	
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020	
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020	
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	02-07-2020	
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SCALE:1:2000

- NOTES :
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
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 7. UTILITIES ARE NOT SHOWN TO SCALE AND THE CENTRE LINES OF THE UTILITIES ARE SHOWN.

Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKBN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	U-CHANNEL		FENCE LINE / RAILING
	RETAINING WALL		FREE STANDING WALL
	SLOPE		SLOPE

Point Ref. No. and Depth to Top of Utility
 Point Ref. No. and Depth to Invert Level

Fresh Water Main
 Soil Water Pipe
 Electric Cable
 Public Lighting Cable
 ATC (E&M) Cable
 Gas Pipe
 Foul Water Sewer
 Storm Water Drain
 Telecom Cable
 Cable TV Cable
 U-Channel
 Step Channel
 Utility Boundary
 GPR Transverse
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER
 STORM WATER MANHOLE COVER
 FOUL WATER MANHOLE CHAMBER
 FOUL WATER MANHOLE COVER

Client:
John HY Yip Surveyors Ltd.

Drawing Title:
**Underground Utilities Survey
Drawing at Former North
Kowloon Magistracy**

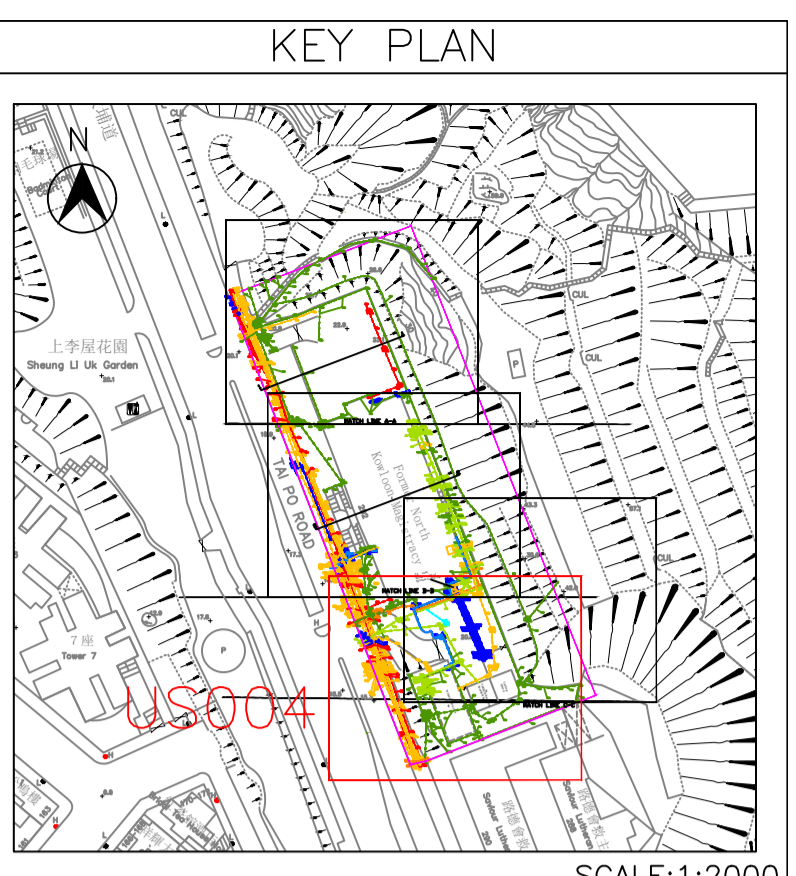
Prepared By:
**FORWIN FORWIN Site Investigation
Engineering Ltd.**

DRG. NO. / 圖紙編號: FS/SPJ-168-20/US003
 REV. 03

APPROVED BY	DESIGNATION	INITIAL	Date
Simon Cheung, Project Manager			02-07-2020
Lin Xiao Qiang (CP01455)			02-07-2020
Kenny Au, Assistant Engineer			02-07-2020

SCALE: 1:100 (A1)
 DATE OF DRAWING ISSUE: 02-07-2020

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- NOTES :
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
 3. CO-ORDINATES ARE RELATED TO HONG KONG METRIC GRID 1980.
 4. LEVELS ABOVE P.D. ARE SHOWN AS POSITIVE.
 5. LEVELS BELOW P.D. ARE SHOWN AS NEGATIVE.
 6. THE DEPTHS ARE MEASURED ON THE TOP OF THE UNDERGROUND UTILITIES, EXCEPT THE DEPTHS OF DRAINAGE AND SEWERAGE PIPELINE ARE MEASURED FROM COVER LEVEL TO INVERT LEVEL.
 7. UTILITIES ARE NOT SHOWN TO SCALE AND THE CENTRE LINES OF THE UTILITIES ARE SHOWN.

Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility
 Point Ref. No. and Depth to Invert Level
 Fresh Water Main
 Soil Water Pipe
 Electric Cable
 Public Lighting Cable
 ATC (E&M) Cable
 Gas Pipe
 Foul Water Sewer
 Storm Water Drain
 Telecom Cable
 Cable TV Cable
 U-Channel
 Step Channel
 Line-Identify
 GPR Transverse
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER
 STORM WATER MANHOLE COVER
 FOUL WATER MANHOLE CHAMBER
 FOUL WATER MANHOLE COVER

Client: **John HY Yip Surveyors Ltd.**

Drawing Title: **Underground Utilities Survey Drawing at Former North Kowloon Magistracy**

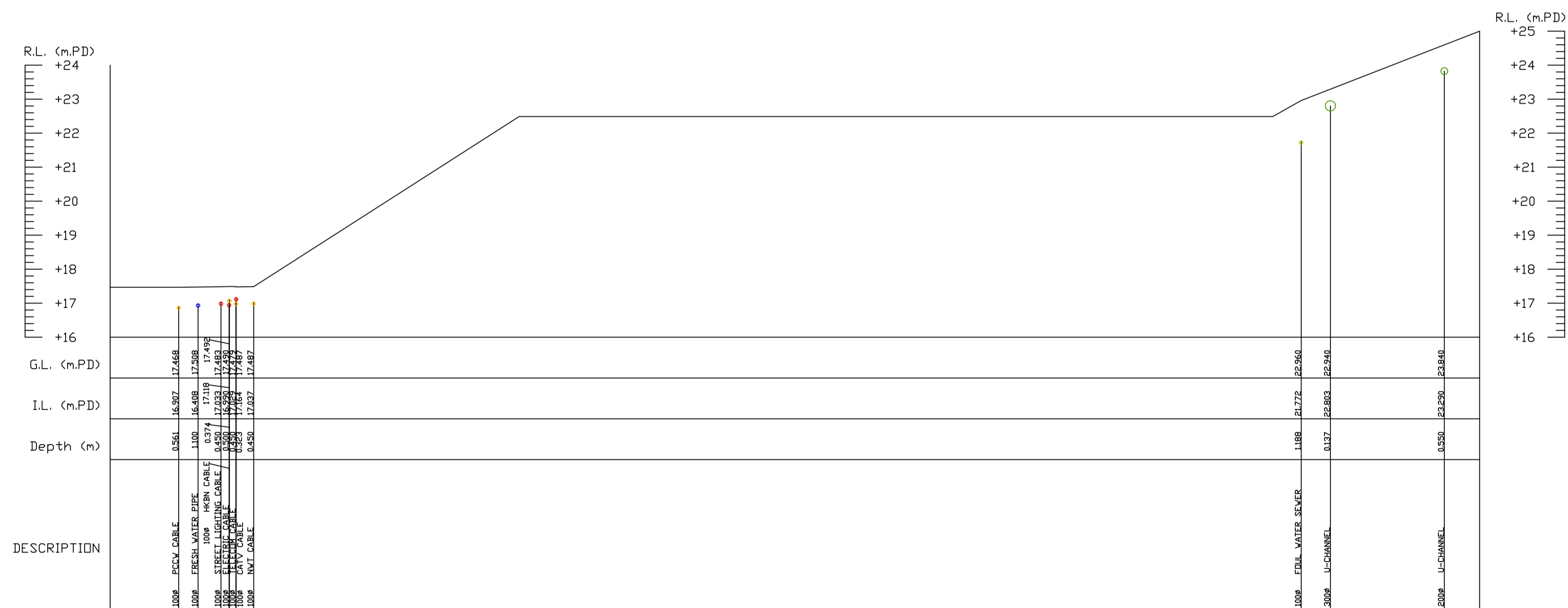
Prepared By: **FORWIN FORWIN Site Investigation Engineering Ltd.**

DRG. NO. 圖紙編號	FS/SPJ-168-20/US004	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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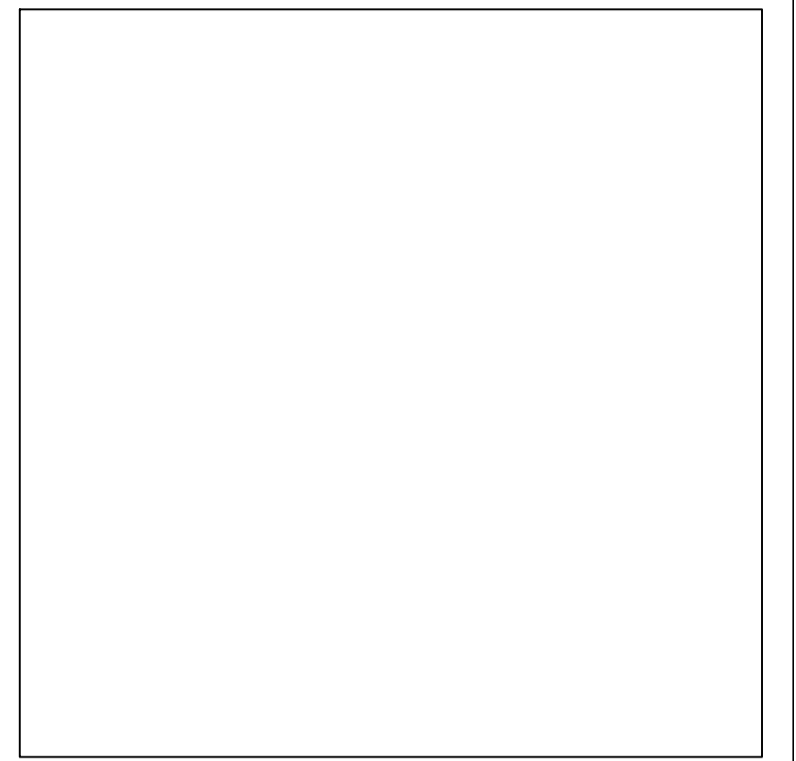


SECTION 1-1
SCALE 1 : 100



SECTION 2-2
SCALE 1 : 100

KEY PLAN



NOTES :

- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
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- LEVELS ABOVE P.D. ARE SHOWN AS POSITIVE.
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- UTILITIES ARE NOT SHOWN TO SCALE AND THE CENTRE LINES OF THE UTILITIES ARE SHOWN.

Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCCW PIT		VALVE PIT
	CATV PIT		WM WATER METER
	HGN PIT		WP WATER POINT
	HKEC PIT		LP LAMP POST
	HGC PIT		EP ELECTRIC POST
	NWT PIT		TP TELEPHONE POST
	WT&T PIT		TL TRAFFIC LIGHT
	TELEPHONE KIOSK		CAM ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		EM ELECTRIC METER
	STORM WATER MANHOLE		EC ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		EB ELECTRIC BOX
	SEPTIC TANK		L PUBLIC LIGHTING CABLE PIT
	GULLY		LPB LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	RETAINING WALL		FREE STANDING WALL
	SLOPE		SLOPE

	Point Ref. No. and Depth to Top of Utility
	Point Ref. No. and Depth to Invert Level
	Fresh Water Main
	Salt Water Pipe
	Electric Cable
	Public Lighting Cable
	ATC (E&M) Cable
	Gas Pipe
	Foul Water Sewer
	Storm Water Drain
	Telecom Cable
	Cable TV Cable
	U-Channel
	Step Channel
	Un-Identify
	GPR Transverse
	Contract Survey Boundary

	STORM WATER MANHOLE CHAMBER
	STORM WATER MANHOLE COVER
	FOUL WATER MANHOLE CHAMBER
	FOUL WATER MANHOLE COVER

Client:

John HY Yip Surveyors Ltd.

Drawing Title:

Underground Utilities Survey
Drawing at Former North
Kowloon Magistracy

Prepared By:

FORWIN FORWIN Site Investigation
Engineering Ltd.

DRG.NO. FS/SPJ-168-20/US005 REV. 03
圖紙編號

DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qing (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020

SCALE 1:100 (A1) DATE OF DRAWING ISSUE 02-07-2020
比例 圖出日期

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Drain Water Main (DW) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Public Lighting Cable (C) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Telecom Cable (T) table with columns: Point, Company, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Foot Water Sewer (F) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Storm Water Drain (S) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

ATC Cable (ATC) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Electric Cable (E) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Gas Pipe (G) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

CATV Cable (V) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Unskidully Utility (U) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

San Water Main (SW) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

San Water Main (SW) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

CATV Cable (V) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

- NOTES: 1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED. 2. ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (P.D.)...

- LEGENDS: TRAFFIC BOLLARD, GAS VALVE, FIRE HYDRANT, ATC PIT, WATER PIT, WATER METER, WATER POINT, LAMP POST, ELECTRIC POST, TELEPHONE POST, TRAFFIC LIGHT, TRAFFIC SIGNAL, TELEPHONE KIOSK, TELEPHONE CONTROLLER, STORM WATER MANHOLE, ELECTRIC BOX, SEPTIC TANK, PUBLIC LIGHTING CABLE PIT, LAMP POST BOX, UNCLASSIFIED PIT, INVERT LEVEL OF EXISTING U-CHANNEL, FENCE LINE / RAILING, FREE STANDING WALL, SLOPE, Point Ref. No. and Depth to Top of Utility, Point Ref. No. and Depth to Invert Level, Fresh Water Main, Sewer, Electric Cable, Public Lighting Cable, ATC (CATV) Cable, Foul Water Sewer, Storm Water Drain, Telecom Cable, Storm Water Cable, U-Channel, Siphon, Sump, Sump Transverse, Contract Survey Boundary, STORM WATER MANHOLE COVER, FOU-L WATER MANHOLE COVER, FOU-L WATER MANHOLE COVER

Client: John HY Yip Surveyors Ltd. Drawing Title: Underground Utilities Survey Drawing at Former North Kowloon Magistracy. Prepared By: FORWIN FORWIN Site Investigation Engineering Ltd. DRG. NO.: FS/SPJ-168-20/US006. REV. 03. Includes a table with columns: DESIGNATION, INITIAL, Date.

Appendix VI(F)

Building Record Plans from Buildings Department

Appendix VI(F) – Building Record Plans from Buildings Department
Drawing List

	Drawing No.	Drawing Title
1.	G-1	Location Plan, Notes & Schedules
2.	G-2	Block Plan & E.V.A. Plan
3.	G-3	Lower Ground Floor Plan
4.	G-4	Ground Floor Plan
5.	G-5	First Floor Plan
6.	G-6	Second Floor Plan
7.	G-7	Third Floor Plan
8.	G-8	Fourth Floor Plan
9.	G-9	Fifth Floor Plan
10.	G-10	Roof Plan
11.	G-11	Section A-A
12.	G-12	Section B-B
13.	G-13	West Elevation
14.	G-14	South Elevation
15.	G-15	East Elevation
16.	G-16	North Elevation
17.	G-17	Calculations (Site Coverage, Plot Ratio & Compartmentation)

Remark:

The drawings provided in this appendix are the approval plans from Buildings Department under the Batch I Revitalisation Scheme in 2010. The drawings are for reference only and may not reflect the as-built arrangement.

PROVISION OF EXIT DOORS & EXIT ROUTES FROM ROOM OR STOREY. Table with columns: LOCATION, USE, USABLE FLOOR AREA (m²), FACTOR (m²/PERSON), CAPACITY OF ROOM OR STOREY (STUDENT, STAFF), MIN. NO. OF DOORS FROM ROUTES OR EXIT ROUTES FROM STOREYS (REQ'D, PROV'D), MIN. TOTAL WIDTH IN mm (EXIT DOOR, EXIT ROUTE, EXIT DOOR, EXIT ROUTE), MIN. WIDTH IN mm OF EACH (EXIT DOOR, EXIT ROUTE).

DISCHARGE VALUE CALCULATIONS FOR STAIRCASES IN A SPRINKLERED BUILDING. Table with columns: STAIR NO., WIDTH OF EACH STAIR (mm), STOREYS SERVED, NO. OF STOREYS SERVED, DISCHARGE VALUE, TOTAL DISCHARGE VALUE, NO. OF PERSONS TO BE DISCHARGED.

SCHEDULE OF SANITARY FITMENTS. Table with columns: NO. OF PERSON, NO. OF FITMENTS REQUIRED (W.C., BASIN, URINAL, BATH/SHOWER), NO. OF FITMENTS PROVIDED (FLOOR, W.C., BASIN, URINAL), and a note about UNI-SEX ACCESSIBLE TOILET.

- NOTES: 1. TOTAL NOS. OF STUDENT = 1387 (M = 693 F = 694) TOTAL NOS. OF STAFF = 22 (M = 22 F = 0). 2. SANITARY FITMENT PROVISION FOR STAFF, WILL ADOPT "OFFICE" PROVISION ACCORDING TO BUILDING (STANDARDS OF SANITARY FITMENTS, PLUMBING, DRAINAGE WORKS AND LATERINES) REGULATION, REG. 5. 3. SANITARY FITMENT PROVISION FOR STUDENT WILL COMPLY WITH EDUCATION REGULATIONS - FIRST SCHEDULE, PARA 1. 4. UNI-SEX ACCESSIBLE TOILET TO BE PROVIDED ON EACH FLOOR FROM G/F - 5/F. TOTAL 6 NOS. OF UNI-SEX ACCESSIBLE TOILET ARE PROVIDED.

GENERAL NOTES:

- All brick and masonry works shall be built in 1:3 cement mortar. All R.C.C. works shall be built in designed mix to comply with (C) R 1990 unless otherwise stated. Structural plans and calculation will be submitted separately. Drainage plans and details to be submitted separately. Clear height between structural floor level to the underside of beam shall be 2300mm minimum. Clear height between structural floor level to the underside of slab (soffit) shall be 3000mm minimum for new classrooms and 2500mm minimum for other area unless otherwise denoted. Clear height between finished floor level to the underside of beam in staircases and protected lobbies shall be 2000mm minimum. All staircases of 1050mm wide or more shall be provided with handrails on both sides. All risers of staircases shall be not more than 150mm Treads not less than 250mm. Building planning regulation 72 and design manual barrier free access 2008 to be complied with. All works to comply with current building (construction) regulation. All dimensions shown on all drawings are measured from structural surface unless otherwise specified. Water Authority requirements to be complied with. Education Ordinance and regulations to be complied with. All toilets shall be provided with cement or glazed tile dado to not less than 1200mm high and shall be paved with cement or mosaic tile flooring. The fire resisting walls to rooms which are classified as special hazards shall have an F.R.P. of 2hrs. or 4 hrs. where adjoining required staircases. Artificial lighting and mechanical ventilation shall be provided for toilets without windows to the satisfaction of building authority, the mechanical ventilation being capable of supplying fresh air at a rate of not less than 10 changes of air per hour and comply with requirements in FINAP 30. Every part of an exit route shall be provided with artificial lighting providing a horizontal illuminance at floor level of not less than 30 lux and backed up by an emergency lighting system providing a horizontal illuminance at floor level of not less than 2 lux. The design of the emergency lighting system should comply with the Code of Practice for Minimum Fire Service Installations and Equipment. All windows shall be upgraded to current standard. All steel staircases having a minimum 1 HR, F.R.P. to comply with FRC 1995.

FIRE SERVICES NOTES: (FOR MAGISTRACY BUILDING)

- All existing F.S. systems to be renewed as stated below: A. FH/HR system 1. FH/HR system consisting of hydrants and hose reel at position indicated on plan will be installed in accordance with H.K.F.S.D. Code of Practice as effective from July 2005 to serve the entire building. 2. One no. of new 36,000 litres FH/HR tank will be provided as indicated on plan to serve the FH/HR system. 3. Two fixed fire pumps (Duty / Standby) will be provided at F.S. and sprinkler pump room as indicated on plan. 4. Three nos. of F.S. inlet shall be provided as indicated on plan. 5. Fire hydrant shall be single outlet type and provided at position as indicated on plan, the pressure at any fire hydrant outlet shall be between 350kPa to 850kPa. 6. Fire hose reel and hydrants will be installed at a position so that every part of premises except the F.S. and sprinkler pump room can be reached by length of not more than 30m of hose reel tubing or fire service hose. B. Automatic sprinkler system 1. An automatic sprinkler system will be provided in accordance with the L.P.C. rules BS EN 12845 2003 and FSD C.L. 3/2006 to protect the entire building except all E/M plant rooms, lift shaft, pipe ducts and electrical ducts. 2. One no. of new 47,000 litre water tank will be provided to serve the automatic sprinkler system. The classification of occupancies to be Ordinary Hazard 1. 3. One no. of sprinkler control valve c/w one no. of sprinkler inlet will be provided as indicated on LG/F plan. 4. Direct line to FSOC shall be provided. C. Fire alarm and detection system 1. Manual fire alarm system will be provided in accordance with circular letter no. 1/2002 and BS 5839 : Part 1 : 1988. Manual call point will only be provided as follows: i) At each hose reel point; ii) Adjacent to storey exits (exit point to each staircase); iii) Adjacent to all exits to open air (at G/F only). 2. Fire detection system will be provided in accordance with FSD circular letter no. 1/2002 and BS 5839 : Part 1 : 1988 to cover all area not covered by sprinkler, such as E/M plant rooms and I.T. Server Rooms (with sprinkler). Fire detection system will not be provided for lift shaft, pipe ducts and electrical ducts. 3. Visual fire alarm system in accordance with COP : Design Manual for barrier free access 2008 will be provided. 4. Main manual fire alarm panel will be provided at the Fire Control Centre at LG/F. All fire alarm signals will be connected to FSOC/Chubb centre through direct telephone link. D. Portable fire extinguishers 1. Portable fire extinguishers will be provided as indicated on plan.

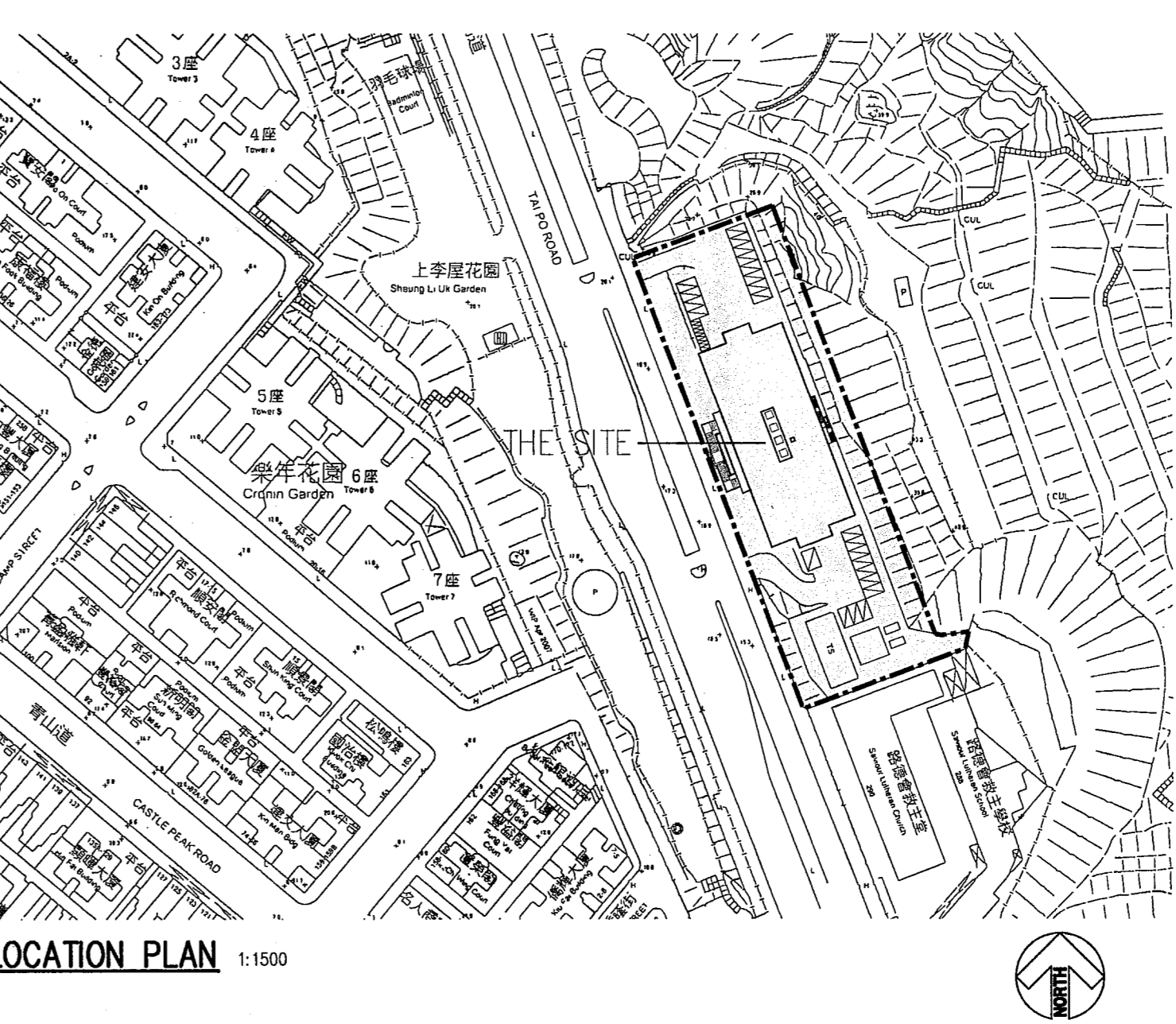
E. Other Requirement

- 1. Any intended storage of use of the dangerous goods as defined in Chapter 295 of the Laws of Hong Kong will be notified to the Director of Fire Services. 2. When a ventilation / air conditioning control system to a building is provided, it shall be stop mechanically induced air movement within a designated fire compartment. 3. A secondary electrical supply from emergency generator of sufficient capacity will be provided to maintain all essential services such as operation of fire service system and fireman's lifts in the event of normal power failure. 4. Emergency Generator Room will be provided as indicated on plan and standard requirements shall be fully complied with. 5. All electrical circuits are to be protected by miniature circuit breakers in lieu of conventional re-wireable fuses. 6. Emergency lighting will be provided and complied with BS 5266: Part 1 and BS En 1838. 7. Sufficient exit sign and direction signs to ensure that all exit routes from any floor within the buildings are clearly indicated as required by the configuration of staircase serving the buildings. 8. Lift marked 'A' will be arranged as fireman's lift. Such lift is to be provided with suitable switch to enable the FSD personnel to obtain complete control in the event of emergency and to be clearly indicated on the outside. 9. Audio / visual advisory system will not be provided. 10. All linings for acoustic and thermal insulation purposes in ductings and concealed locations shall be of Class 1 or 2 Rate of Surface Spread of Flame as per British Standard 476: Part 7 or its international equivalent, or be brought up to that standard by use of an Approved fire retardant product. 11. All linings for acoustic, thermal insulation and decorative purposes within protected means of escape shall be of Class 1 or 2 Rate of Surface Spread of Flame as per British Standard 476: part 7 or its international equivalent, or be brought up to that standard by use of an Approved fire retardant product. 12. A 42 kg MFP will be provided in the IT Service Room on G/F. 13. A 1500 KVA Dry type or Silicon fluid-filled type transformer to be used in LG/F Transformer Room. 14. 1 HR FRP Fire Damper to be activated by signal from fire detection system.

SEPARATION BETWEEN REQUIRED STAIRCASE AND ADJOINING SPECIAL HAZARD TO HAVE 4HR FRP. REMARK: # NOT LESS THAN 1% OF VERTICAL REINFORCEMENT.

SCHEDULE OF DRAWINGS

Table with columns: DRAWING NO., DRAWING TITLE, REV. 1-17 including LOCATION PLAN, NOTES & SCHEDULES, BLOCK PLAN & E.V.A. PLAN, LOWER GROUND FLOOR PLAN, GROUND FLOOR PLAN, FIRST FLOOR PLAN, SECOND FLOOR PLAN, THIRD FLOOR PLAN, FOURTH FLOOR PLAN, FIFTH FLOOR PLAN, ROOF PLAN, SECTION A-A, SECTION B-B, WEST ELEVATION (FRONT), SOUTH ELEVATION, EAST ELEVATION (REAR), NORTH ELEVATION, CALCULATIONS (SITE COVERAGE, PLOT RATIO & COMPARTMENTATION).



LEGEND / ABBREVIATION

- (D1) 1/2 HR. F.R.P. SELF-CLOSING DOOR W/ W.G. VISION PANEL. (D2) 1/2 HR. F.R.P. SELF-CLOSING DOOR. (D3) 1 HR. F.R.P. SELF-CLOSING DOOR. (D4) 1/2 HR. F.R.P. ACCESS PANEL. (D5) DOOR W/ PANIC BOLT. (D6) DOOR W/ PLAIN GLASS UPPER PANEL. DIRECTION OF ARROW ON ALL STAIRCASES TO SHOW 'UP' EXCEPT OTHERWISE SPECIFIED. EXISTING/PROPOSED FINISHED LEVEL. PROPOSED STRUCTURAL LEVEL. FIREMAN'S LIFT (MIN. NET C&R SIZE = 1.35m x 1.1m W/ MIN. RATED LOAD OF 600kg). ACCESSIBLE LIFT (MIN. NET C&R SIZE = 1.35m x 1.1m W/ CLEAR DOOR WIDTH = 720mm). F.H. O FIRE HYDRANT. H.R. O HOSE REEL. [EXT] EXIT SIGN. F.E. O 4.5kg CO2 FIRE EXTINGUISHER. [W.C.] WATER CLOSET. [UR] URINAL. [BAS] BASIN. [AL.M.V.] ARTIFICIAL LIGHTING & MECHANICAL VENTILATION. C.D. CABLE DUCT. P.D. PIPE DUCT. F.W.G.L. FIXED WIRED GLASS LOUVRE. M.L. METAL LOUVRE. F.L. 1/2 HR. F.R.P. FIXED CLEAR GLASS WINDOW WITH INSULATION. U.A.T. UNI-SEX ACCESSIBLE TOILET.

COLOUR INDICATION

- R.C.C. WORK. SOLID CONCRETE BLOCK. WOOD WORK. METAL WORK. TILE WORK. CEMENT RENDERING. HARDCORE. SANITARY FITTING.

Plan Approved YIM Yuen-ling Senior Building Surveyor for BUILDING AUTHORITY 16 AUG 2010

Approval and revision table with columns: NO., REVISIONS, DATE, DRAWN BY, CHECK BY. Includes entries for BD 7th Amendment and other approvals.

Plan Approved YIM Yuen-ling Senior Building Surveyor for BUILDING AUTHORITY 12 AUG 2010

PROJECT NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

DRAWING TITLE: LOCATION PLAN, NOTES & SCHEDULES.

Table with columns: DRAWN, CHECKED, APPROVED, DATE, SCALE, JOB NO., DRAWING NO., REV. DRAWN: KAN, CHECKED: E.Y., APPROVED: W.T., DATE: 4 MAY 09, SCALE: 1:100 (A1), JOB NO.: 09002, DRAWING NO.: G-1, REV.: F.

LCK ARCHITECTS LTD 林陳簡建築師有限公司

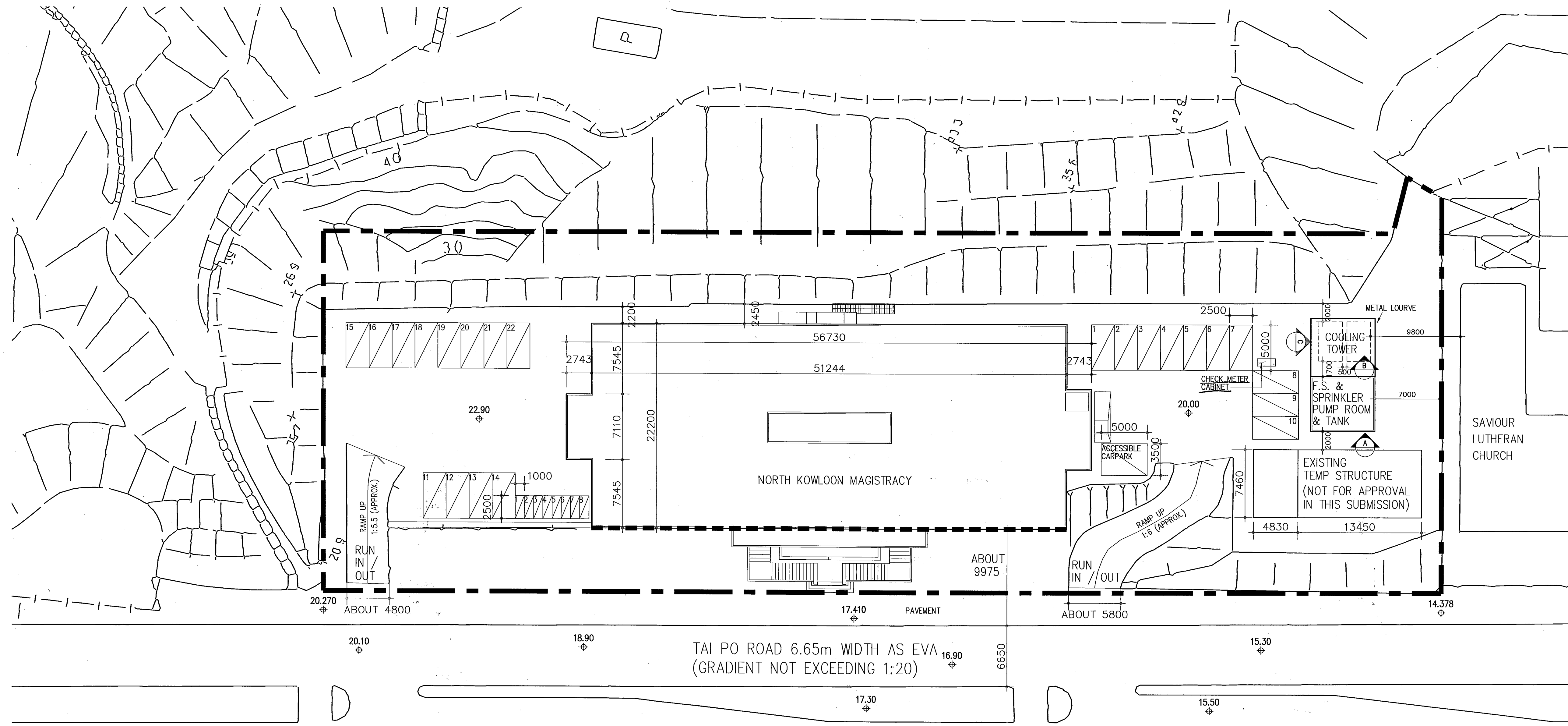
VICTOR CHAN 陳錦仁建築師 REGISTERED ARCHITECT AP

SCHEDULE OF FIRE RESISTANCE PERIOD FOR ELEMENT OF CONSTRUCTION - BUILDING (CONSTRUCTION) (AMENDMENT) REGULATIONS 1996. Table with columns: LOCATION, USE, CLASS, COMPARTMENT OF BUILDING, F.R.P. REQ. (HOURS), MIN. DIMENSION OF ELEMENTS OF CONSTRUCTION (R.C. SLAB, R.C. BEAM, R.C. COLUMN/RIGID, R.C. WALL), THICKNESS, COVER TO STEEL.

CARPARKING PROVISION

Table with columns: BUS / LOADING UNLOADING, LGV LOADING UNLOADING, PRIVATE C.P., MOTORCYCLE C.P., ACCESSIBLE C.P., VALUES: 0, 0, 22, 8, 1.

The works shown on these plans are Type II work in respect of which consent is applied for the purpose of Fast Track consent application under regulation 53 of the Building (Administration) Regulations



B.D. REF.	22-3 / 3021 / 09(HU)PTII
F.S.D. REF.	FPB
W.G.O. REF.	

NOTES:
 DO NOT SCALE DRAWINGS.
 ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
 ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
C	BD 8TH AMENDMENT	6.9.10	R.M.	W.T.
B	BD 5TH AMENDMENT APPROVAL	10.5.10		
B	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
BD	3RD AMENDMENT APPROVED	16.11.09		
A	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

FOR B.D. USE ONLY

Plan Approved
YU Po-mei
 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 BLOCK PLAN & E.V.A. PLAN

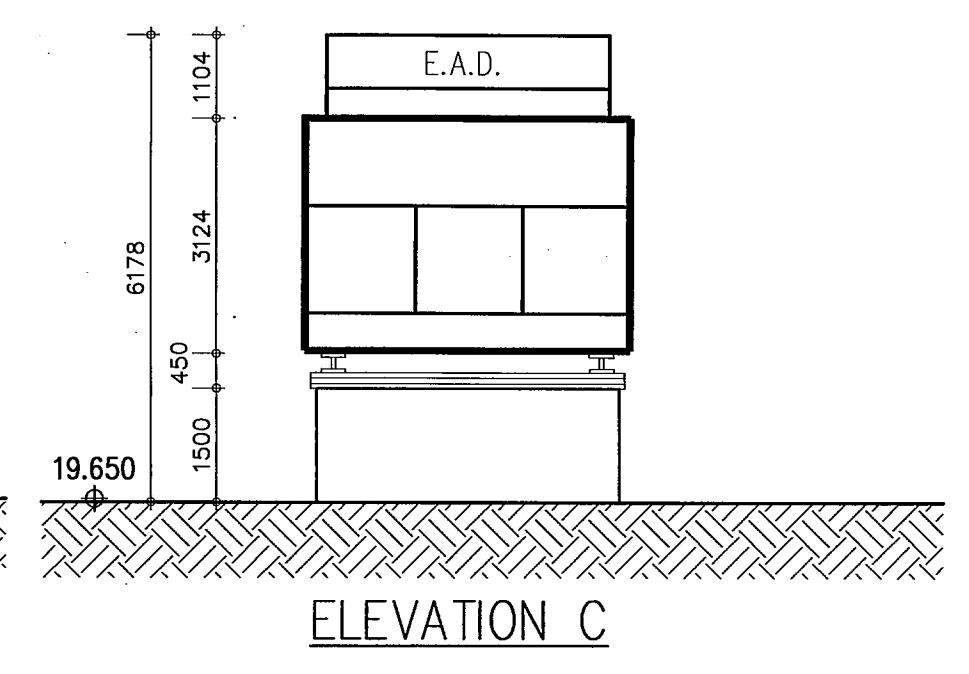
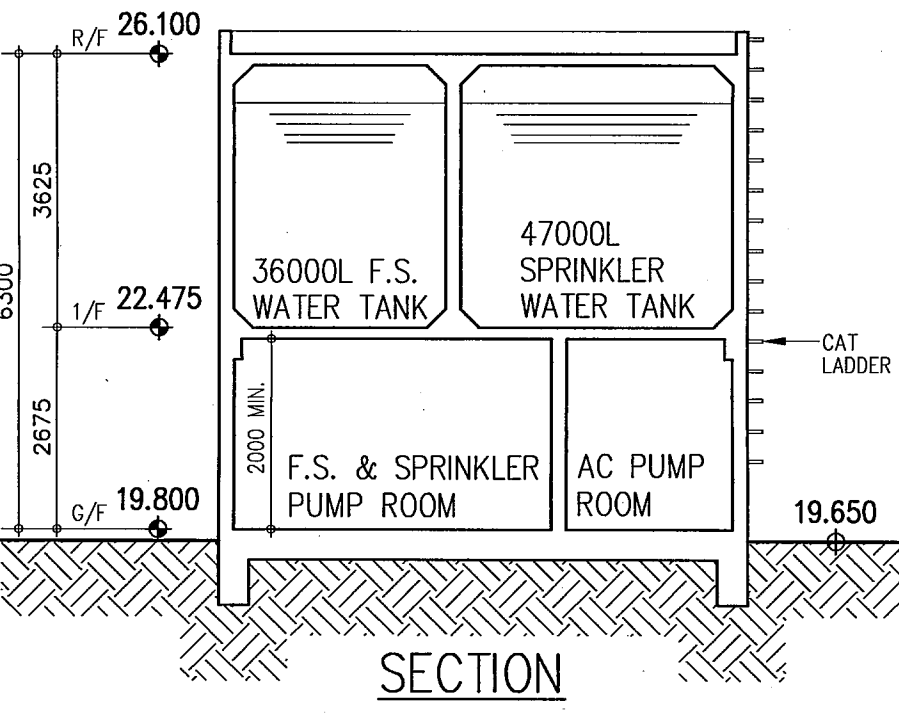
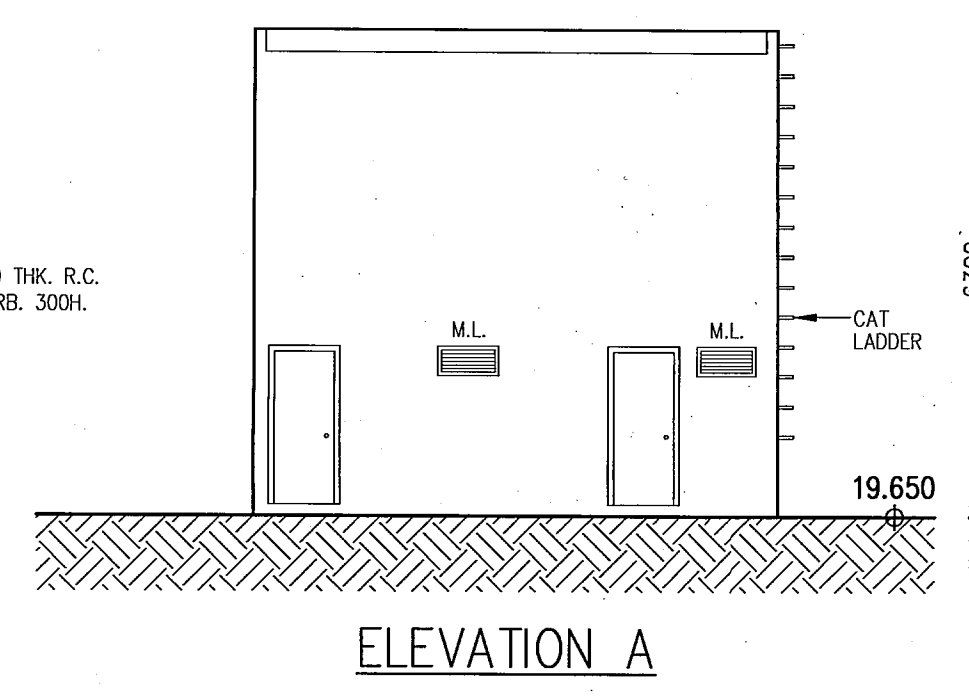
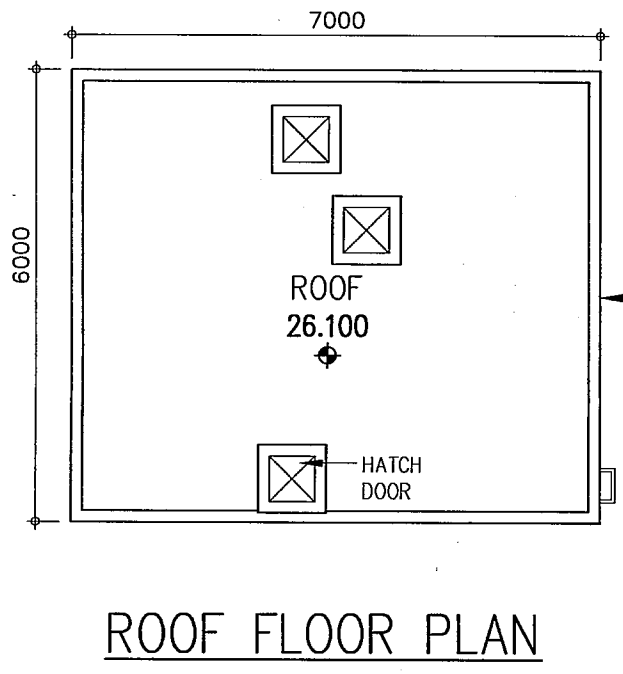
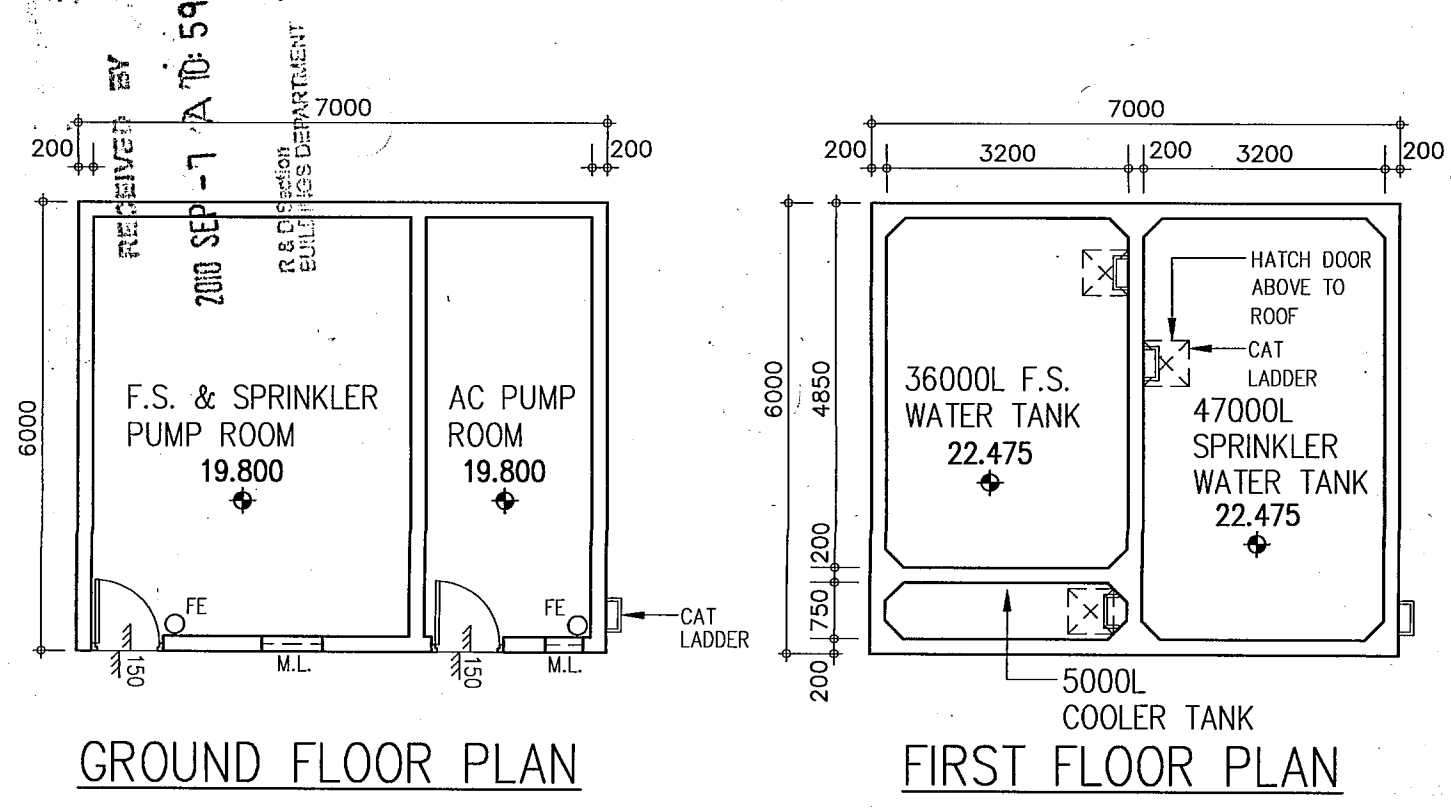
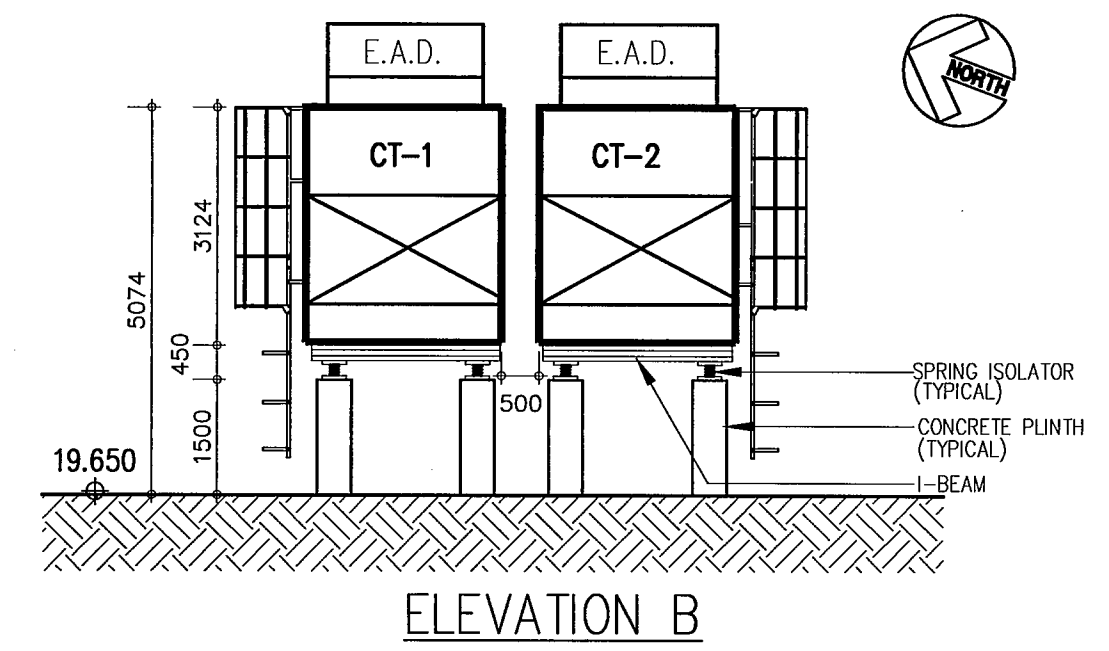
DRAWN	KAN	
CHECKED	E.X.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:250 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-2	C

LCK
LCK ARCHITECTS LTD
 林陳簡建築師有限公司

VICTOR CHAN
 陳國仁建築師
 註冊建築師

CALCULATIONS ON MAJOR FACADE SERVED BY E.V.A.
 TOTAL LENGTH OF FACADE SERVED BY E.V.A.
 = 51,244 m
 TOTAL LENGTH OF ALL THE PERIMETER WALLS
 = (56,730 + 22,200) x 2 = 157,860 m
 PERCENTAGE OF FACADE SERVED BY E.V.A.
 = 51,244 / 157,860 x 100% = 32.5% > 25%

BLOCK PLAN & E.V.A. PLAN
 1:250

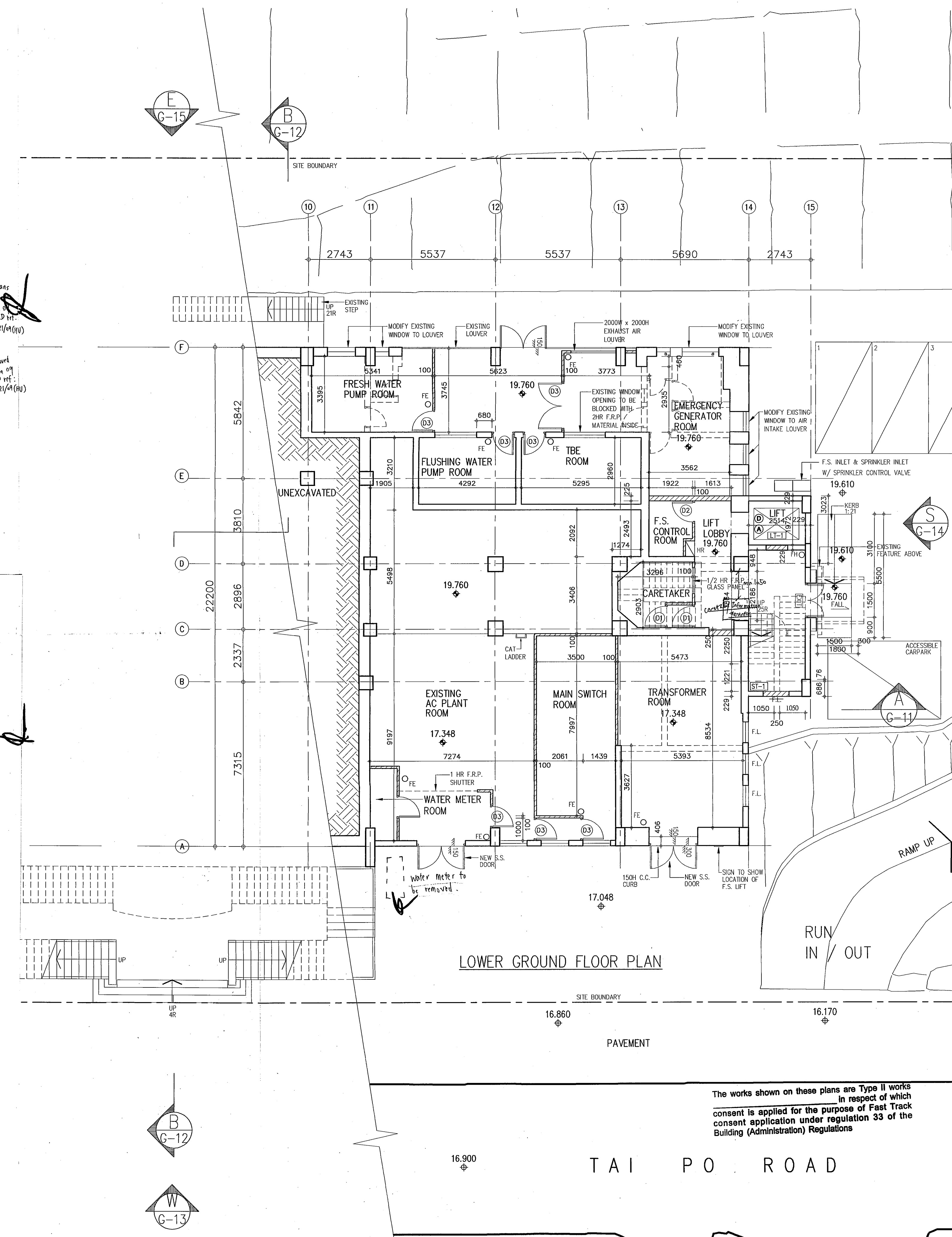


F.S. & SPRINKLER PUMP ROOM
 1:100

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

Permit No. & Issue Date	Description	Granted Condition
HK 336/2009(MOD) 26 June 2009	(A) B(A)R 29(1A) to permit exemption from payment of fees for the processing of plans. (B) B(P)R 30 to permit the reduction/omission in standard of natural lighting and ventilation in all ancillary offices. (C) B(P)R 36 to permit the reduction/omission in standard of natural lighting and ventilation in all toilets.	The said works to be carried out in accordance with Plans approved on 26 Jun 09 under BD ref: 22-3/3021/09 (HU) (i) Artificial lighting and mechanical ventilation on fresh air supply at a rate of not less than 1.1L/s/m ² or 10L/person for all ancillary office and 10 air changes per hour for all toilets to be provided to the satisfaction of the Building Authority. (ii) The fresh air intake should be placed where the air is free from contamination or odour. The location of fresh air intake should meet the following requirements: 1. It should not be located within 5m from other sources of contamination such as exhaust outlets of the building or adjacent buildings, traffic, car parks, unloading bays, refuse chutes/refuse rooms, evaporative cooling towers, emergency generators, plumbing vents, kitchens, and toilets. 2. It should not be located below ground level or close to cooling towers. 3. It should face away from potential pollution sources. 4. It should be protected from rain entrainment, and covered by a screen to prevent the entry of birds, rodents, and extraneous articles. (iii) The said works to be carried out in accordance with plans approved on 26 Jun 09 under BD ref: 22-3/3021/09 (HU) Permanent artificial lighting system with 30 lux min lighting level backed up by an emergency lighting system providing a horizontal illuminance at floor level of not less than 2 lux. The design of the emergency lighting system should comply with the COP for minimum FS installation & equipment.
HK 481/2009(MOD) 17 September 2009	(a) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 28(1) & 29(2) to permit the provision of cleaning access to be other than cleaning eyes. (b) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 44(4) to permit protection of cast iron pipes to be other than asphaltic coating. (c) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 50(2) to permit jointing of cast iron pipes to be other than lead caulking.	The said works to be carried out in accordance with plans approved on 17 Sep 09 under BD ref: 22-3/3021/09 (HU).

HK 291/2010(MOD) 28 May 2010	B(A)R 33(1) for prior approval and consent to minor amendments of Building, Structure and Drainage Works to the following approved plans: (i) Building (A&A) Amendment (ii) Building (A&A) Amendment (iii) Building (A&A) Amendment (iv) Building (A&A) Amendment (v) Building (A&A) Amendment (vi) Building (A&A) Amendment (except skylight) (vii) Drainage (A&A) Structural (A&A) and External Water Tank (Structural (A&A) and External Water Tank Amendment	(a) This permit is only applicable to minor amendments as described in para. 20 of PN/AM/BA-19. (b) AP/RSE should ensure that the minor amendments comply with the building regulations and the requirements of concerned government departments and the lease conditions prior to execution of the works. (c) The amendments are required to be clearly documented and deposited in the site office. Approved Date: 28.5.2010 13.8.2009 16.11.2009 10.2.2010 17.9.2009 14.10.2009 11.2.2010.
375/2010(MOD) 30 June 2010	(A) B(C)R 8(2)(b) to permit the protective barriers along the flights of the internal staircases at Entrance Hall & Lobby/Student Resting Areas from G/F to 2/F to be maintained at their existing height of not less than 0.9m. (B) B(C)R 8(2)(c) to permit the existing construction of the above-said protective barriers as to inhibit the passage of articles more than 130mm in their smallest dimension.	This modification is given in recognition of the undertaking from the applicant dated 28 June 2010. The internal staircases and adjoining Entrance Hall and Lobby/Student Resting Areas should be used in a manner as indicated on the approved plans and the said undertaking letter. The said works to be carried out in accordance with plans approved on 30 June 2010 under BD ref. no. BD 22-3/3021/09 (HU)
481/2010(MOD) 16 August 2010	(A) B(C)R 8(2)(b) to permit the protective barriers along the flights of the external staircases adjacent Tai Po Road to be maintained at their existing height of not less than 0.9m. (B) B(C)R 8(2)(c) to permit the existing construction of the above-said protective barriers as to inhibit the passage of articles more than 150mm in their smallest dimension. (C) B(C)R 8(3) to permit the lowestmost 150mm of protective barriers at the outer edges of landings at the above-said staircases not built solid. (D) B(C)R 35 to permit the internal areas of Common Area & Library at G/F less than 150mm above the level of the external ground.	This modification is given in recognition of the undertaking from the applicant dated 9 August 2010 & 12 August 2010. The external staircases adjacent Tai Po Road should be used in a manner as indicated on the approved plans and the said undertaking letter. The said works to be carried out in accordance with plans approved on 16 August 2010 under BD ref. no. BD 22-3/3021/09 (HU) (i) Provision of additional drainage channels, each with at least 2 no. of drainage outlets. (ii) Provision of a fall, not less than 1:80 on the flat roof or external ground sloping away from the adjoining intermunitable floor areas. (iii) The said works to be carried out in accordance with plans approved on 16 Aug 10 under BD ref no. BD 22-3/3021/09 (HU)



B.D. REF.
B.D. 22-3 / 3021 / 09(HU)P11

F.S.D. REF.
FPB

W.G. REF.

NOTES:
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LEGEND:
--- EXISTING WORK TO BE REMOVED
--- EXISTING WALL & DOOR TO REMAIN
--- NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
F	BD 8TH AMENDMENT	3.9.10	R.M.	W.L.
	BD 7TH AMENDMENT APPROVAL			
E	BD 7TH AMENDMENT	16.7.10	R.M.	W.L.
	BD 6TH AMENDMENT APPROVAL			
D	BD 6TH AMENDMENT	4.6.10	R.M.	W.L.
	BD 5TH AMENDMENT APPROVAL			
C	BD 5TH AMENDMENT	22.04.10	R.M.	W.L.
	BD 3RD AMENDMENT APPROVED	16.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.L.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.L.
	SUBMISSION APPROVED	6.6.09		

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Plan Approved

YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY
- 8 SEP 2010

PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

DRAWING TITLE
LOWER GROUND FLOOR PLAN

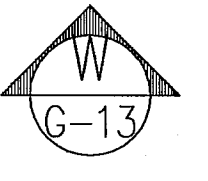
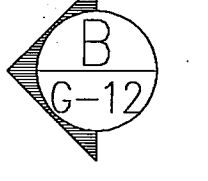
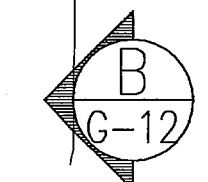
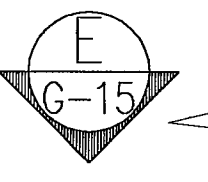
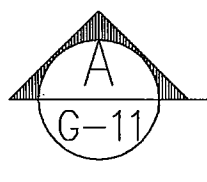
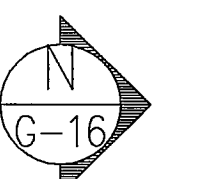
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CHECKED	E.Y.
APPROVED	W.C.
DATE	4 MAY 09
SCALE	1:100 (A1)

JOB NO.	DRAWING NO.	REV.
09002	G-3	F

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

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F.S.D. REF. FPB

W.W.O. REF.

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LEGEND:
--- EXISTING WORK TO BE REMOVED
--- EXISTING WALL & DOOR TO REMAIN
--- NEW WALL & DOOR

H	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
C	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 6TH AMENDMENT APPROVAL			
F	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
E	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVAL	0.02.10		
D	BD 4TH AMENDMENT	5.01.10	KAN	W.T.
	BD 3RD AMENDMENT APPROVAL	16.11.09		
C	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	BD 2ND AMENDMENT APPROVAL	30.9.09		
B	BD 2ND AMENDMENT	04.9.09	KAN	W.T.
	BD 1ST AMENDMENT APPROVAL	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		
NO.	REVISIONS	DATE	DRAWN BY	CHECK BY

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Plan Approved

Clarice

YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY

- 8 SEP 2010

PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

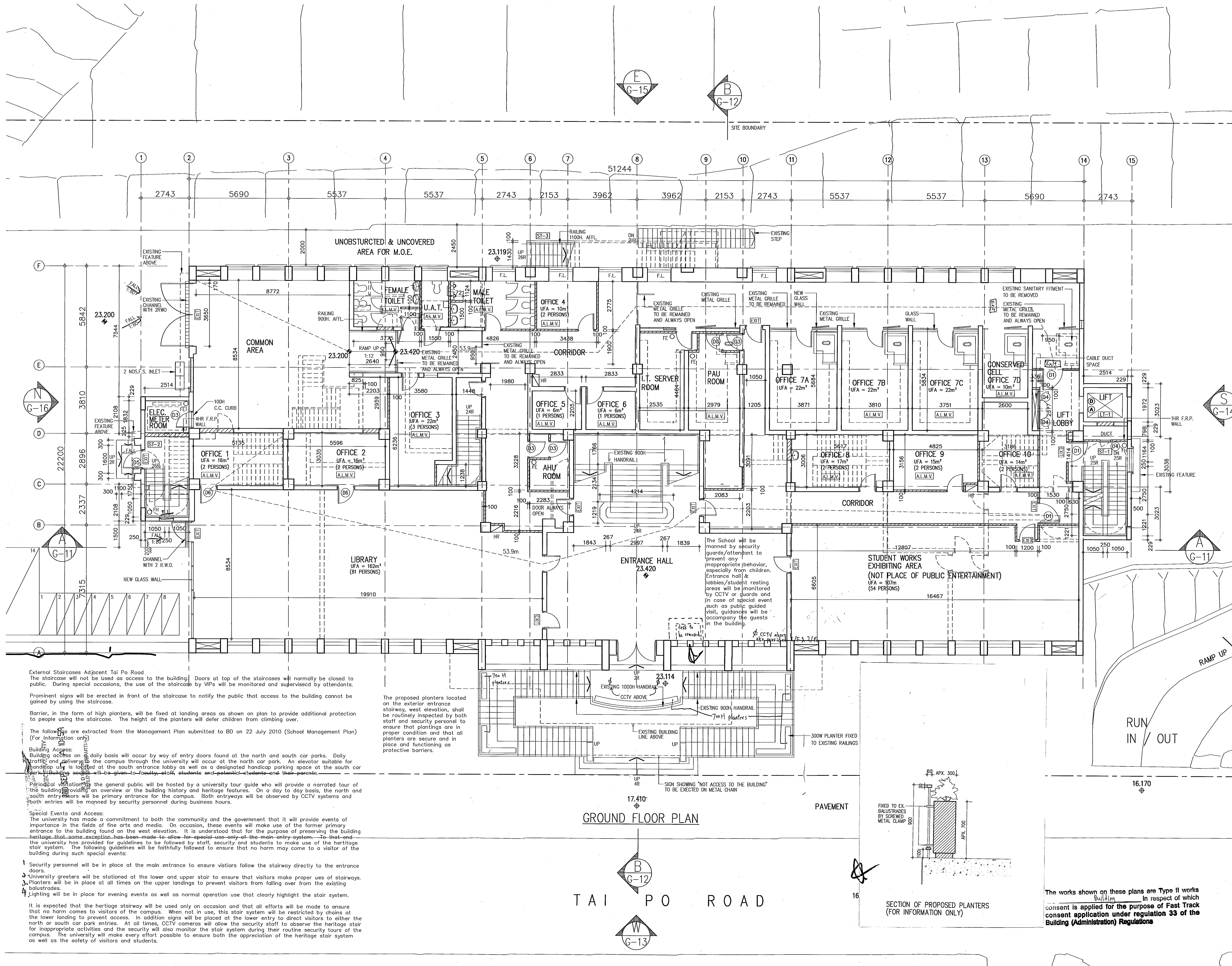
DRAWING TITLE
GROUND FLOOR PLAN

DRAWN	HO
CHECKED	E.Y.
APPROVED	W.T.
DATE	4 MAY 09
SCALE	1:100 (A1)

JOB NO.	DRAWING NO.	REV.
09002	G-4	H

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Victor Chan
VICTOR CHAN
陸維仁建築師



External Staircases Adjacent To Po Road
The staircase will not be used as access to the building. Doors at top of the staircases will normally be closed to public. During special occasions, the use of the staircase by VIPs will be monitored and supervised by attendants.

Prominent signs will be erected in front of the staircase to notify the public that access to the building cannot be gained by using the staircase.

Barrier, in the form of high planters, will be fixed at landing areas as shown on plan to provide additional protection to people using the staircase. The height of the planters will defer children from climbing over.

The following signs are extracted from the Management Plan submitted to BD on 22 July 2010 (School Management Plan) (For information only)

2. Building Access:
Building access on a daily basis will occur by way of entry doors found at the north and south car parks. Daily traffic and deliveries to the campus through the university will occur at the north car park. An elevator suitable for handling use is located at the south entrance lobby as well as a designated handicap parking space at the south car park. Building access will be given to faculty, staff, students and potential students and their parents.

3. Periodical Visitation:
The general public will be hosted by a university tour guide who will provide a narrated tour of the building providing an overview of the building history and heritage features. On a day to day basis, the north and south entry doors will be primary entrance for the campus. Both entryways will be observed by CCTV systems and both entries will be manned by security personnel during business hours.

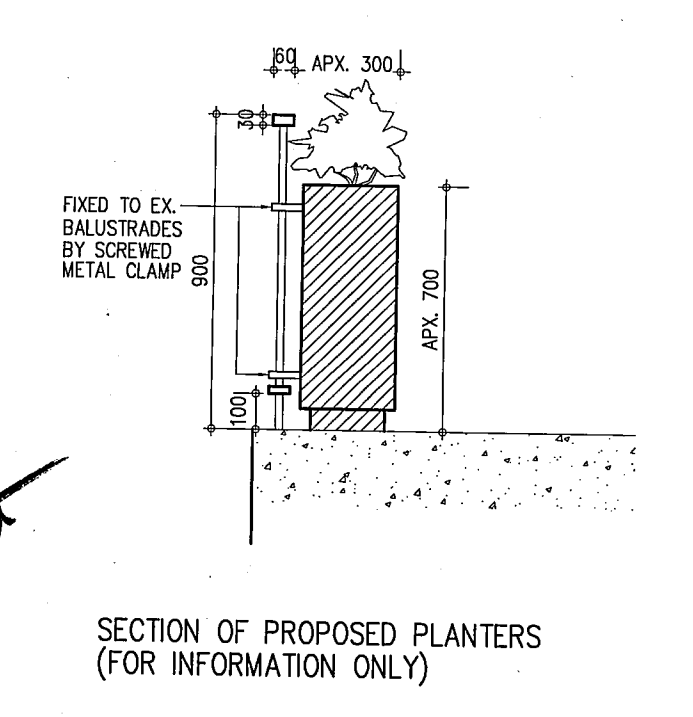
4. Special Events and Access:
The university has made a commitment to both the community and the government that it will provide events of importance in the fields of fine arts and media. On occasion, these events will make use of the former primary entrance to the building found on the west elevation. It is understood that for the purpose of preserving the building heritage that some exception has been made to allow for special-use only of the main entry system. To that end, the university has provided for guidelines to be followed by staff, security and students to make use of the heritage stair system. The following guidelines will be faithfully followed to ensure that no harm may come to a visitor of the building during such special events:

- Security personnel will be in place at the main entrance to ensure visitors follow the stairway directly to the entrance doors.
- University greeters will be stationed at the lower and upper stair to ensure that visitors make proper use of stairways.
- Planters will be in place at all times on the upper landings to prevent visitors from falling over from the existing balustrades.
- Lighting will be in place for evening events as well as normal operation use that clearly highlight the stair system.

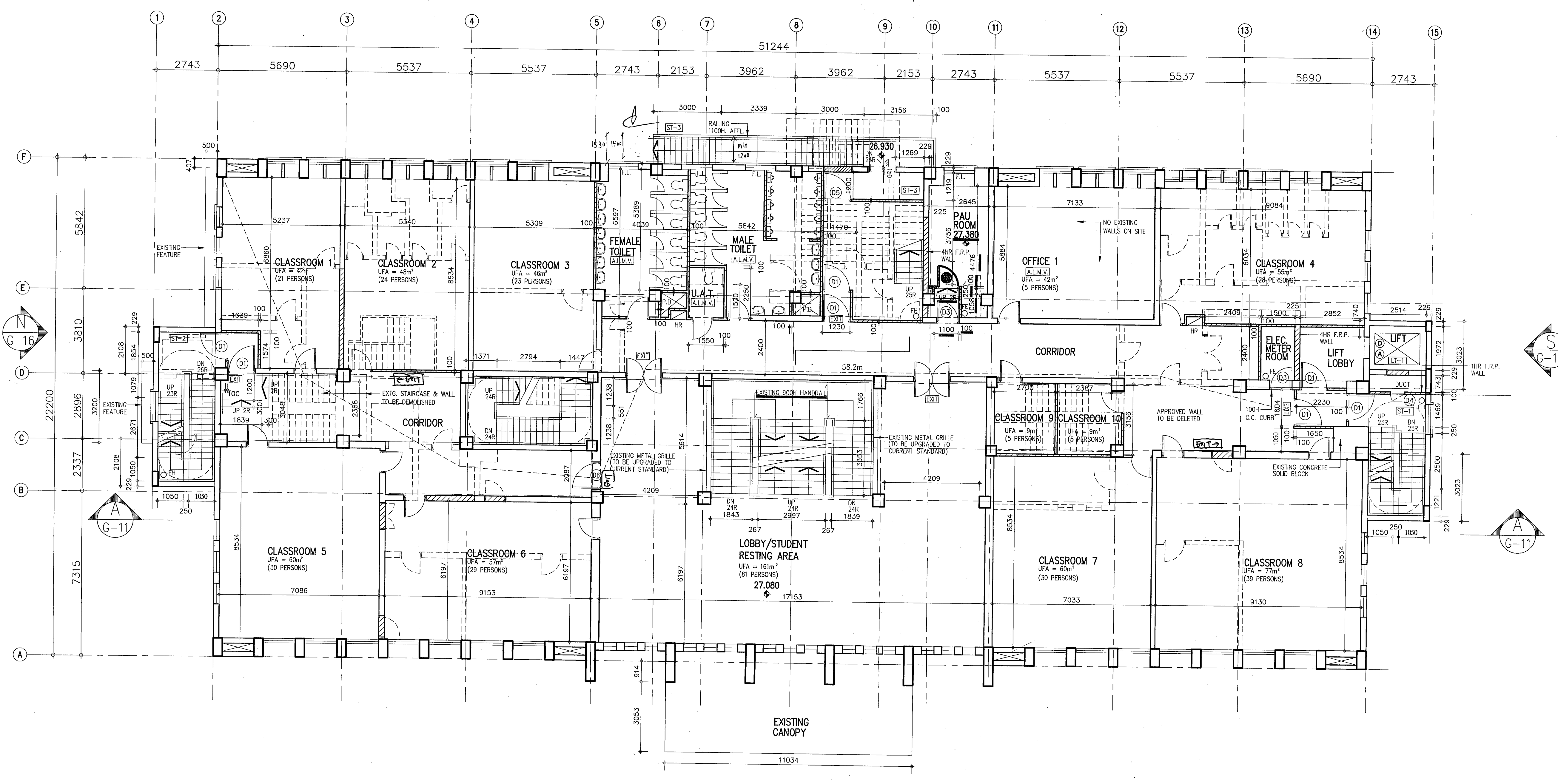
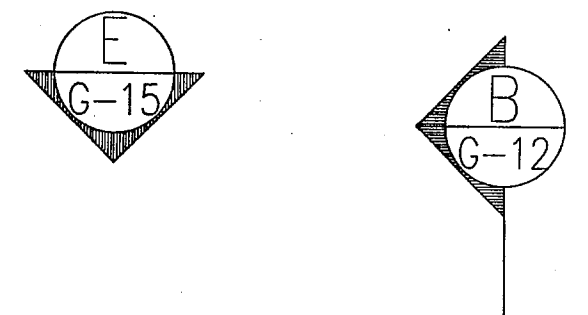
It is expected that the heritage stairway will be used only on occasion and that all efforts will be made to ensure that no harm comes to visitors of the campus. When not in use, this stair system will be restricted by chains at the lower landing to prevent access. In addition signs will be placed at the lower entry to direct visitors to either the north or south car park entries. At all times, CCTV cameras will allow the security staff to observe the heritage stair for inappropriate activities and the security will also monitor the stair system during their routine security tours of the campus. The university will make every effort possible to ensure both the appreciation of the heritage stair system as well as the safety of visitors and students.

The proposed planters located on the exterior entrance stairway, west elevation, shall be routinely inspected by both staff and security personnel to ensure that plantings are in proper condition and that all planters are secure and in place and functioning as protective barriers.

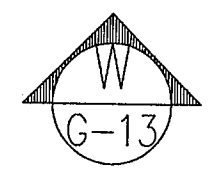
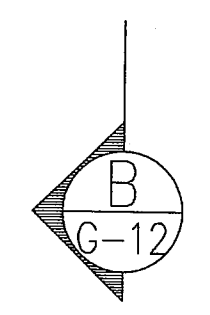
The School will be manned by security guards/attendant to prevent any inappropriate behavior, especially from children. Entrance hall & lobbies/student resting areas will be monitored by CCTV or guards and in case of special event such as public guided visit, guides will accompany the guests in the building.



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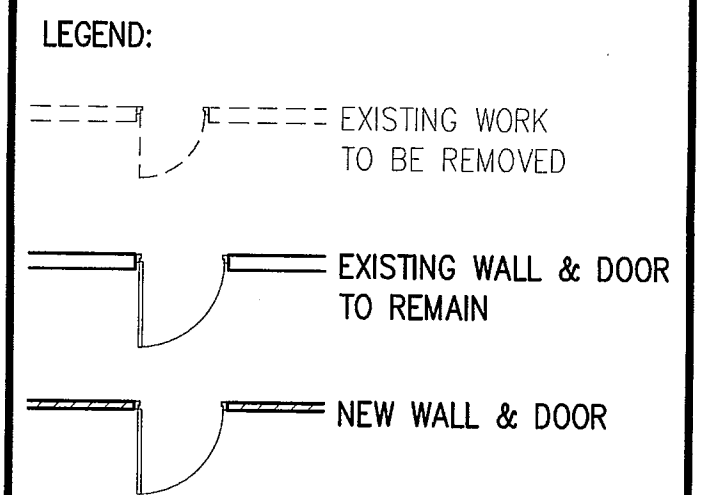


FIRST FLOOR PLAN



B.D. REF.	
F.S.D. REF.	22-3 / 3021 / 09(HU)PTII
FPB	
W.W.D. REF.	

NOTES:
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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
E	BD 6TH AMENDMENT			
D	BD 5TH AMENDMENT APPROVAL	10.5.10	R.M.	W.T.
D	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
D	BD 4TH AMENDMENT APPROVED	10.02.10		
C	BD 4TH AMENDMENT	15.01.10	KAN	W.T.
B	BD 3RD AMENDMENT APPROVED	16.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
B	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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Plan Approved

YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY

30 JUN 2010

PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

DRAWING TITLE
FIRST FLOOR PLAN

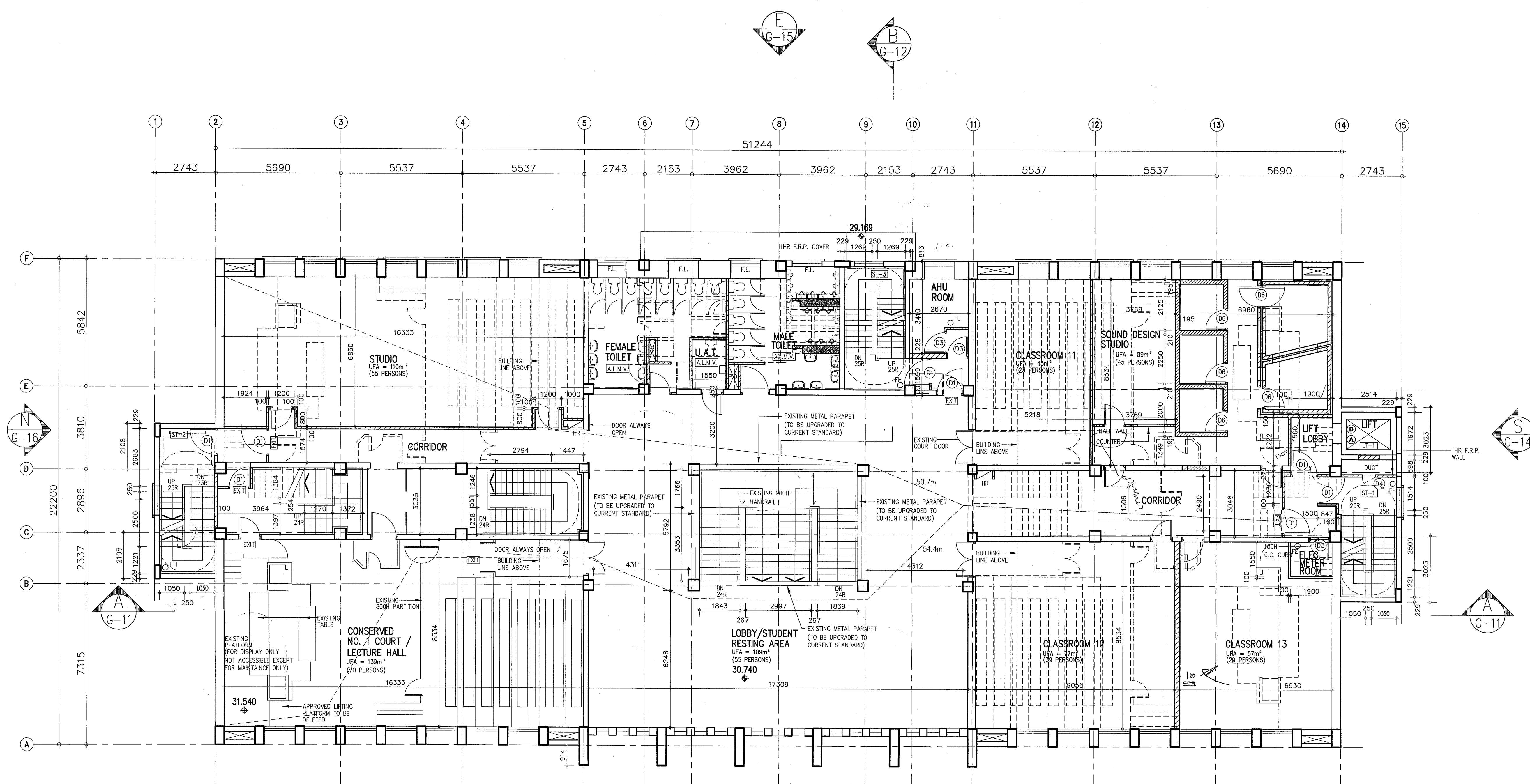
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CHECKED	E.X.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-5	E

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SECOND FLOOR PLAN

B.D. REF.	22-3 / 3021 / 09(HU)PTII
F.S.D. REF.	FPB
W.W.O. REF.	


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LEGEND:
 - - - - - EXISTING WORK TO BE REMOVED
 ———— EXISTING WALL & DOOR TO REMAIN
 ———— NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
E	BD 6TH AMENDMENT			
D	BD 5TH AMENDMENT APPROVAL	10.5.10		
D	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
C	BD 4TH AMENDMENT APPROVED	0.02.10		
C	BD 4TH AMENDMENT	5.01.10	KAN	W.T.
B	BD 3RD AMENDMENT APPROVED	16.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
A	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY

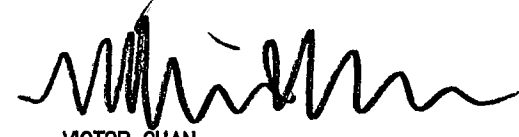
30 JUN 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 SECOND FLOOR PLAN

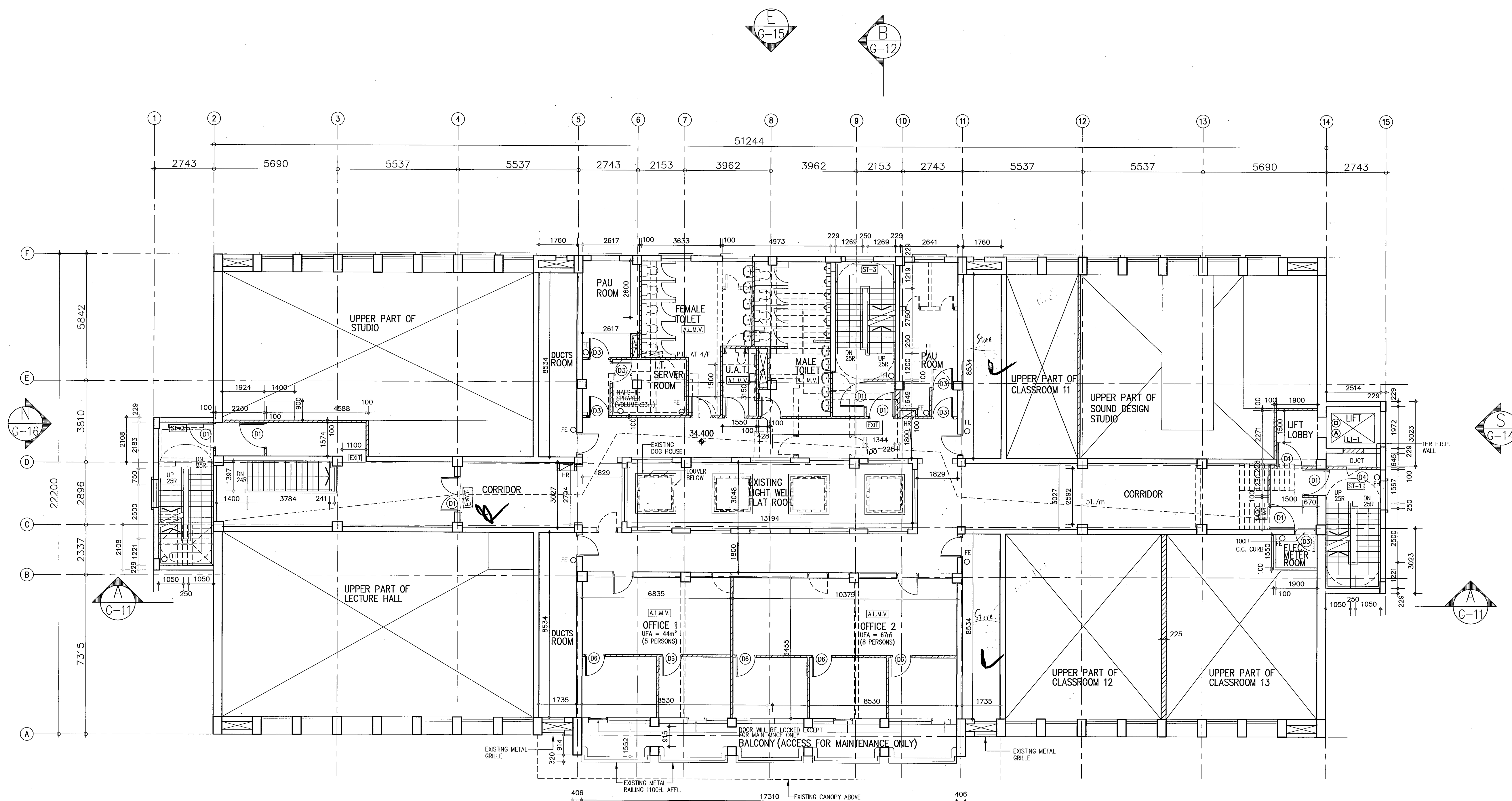
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APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-6	E

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 陳國仁 建築師
 S. ARCHT(S) P. REG. P. REG. P. REG.
 REGISTERED ARCHITECT A.P.

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 2010 JUN -14 P 4: 10
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The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations



THIRD FLOOR PLAN

B.D. REF.
 B.D. 22-3 / 3021 / 09(HU)PT11
 F.S.D. REF.
 FPB
 W.W.O. REF.

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LEGEND:
 --- EXISTING WORK TO BE REMOVED
 --- EXISTING WALL & DOOR TO REMAIN
 --- NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
F	BD 6TH AMENDMENT	6.9.10	R.M.	W.T.
E	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
D	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVED	10.02.10		
C	BD 4TH AMENDMENT	25.01.10	KAN	W.T.
	BD 3RD AMENDMENT APPROVED	26.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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 Plan Approved

 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 THIRD FLOOR PLAN

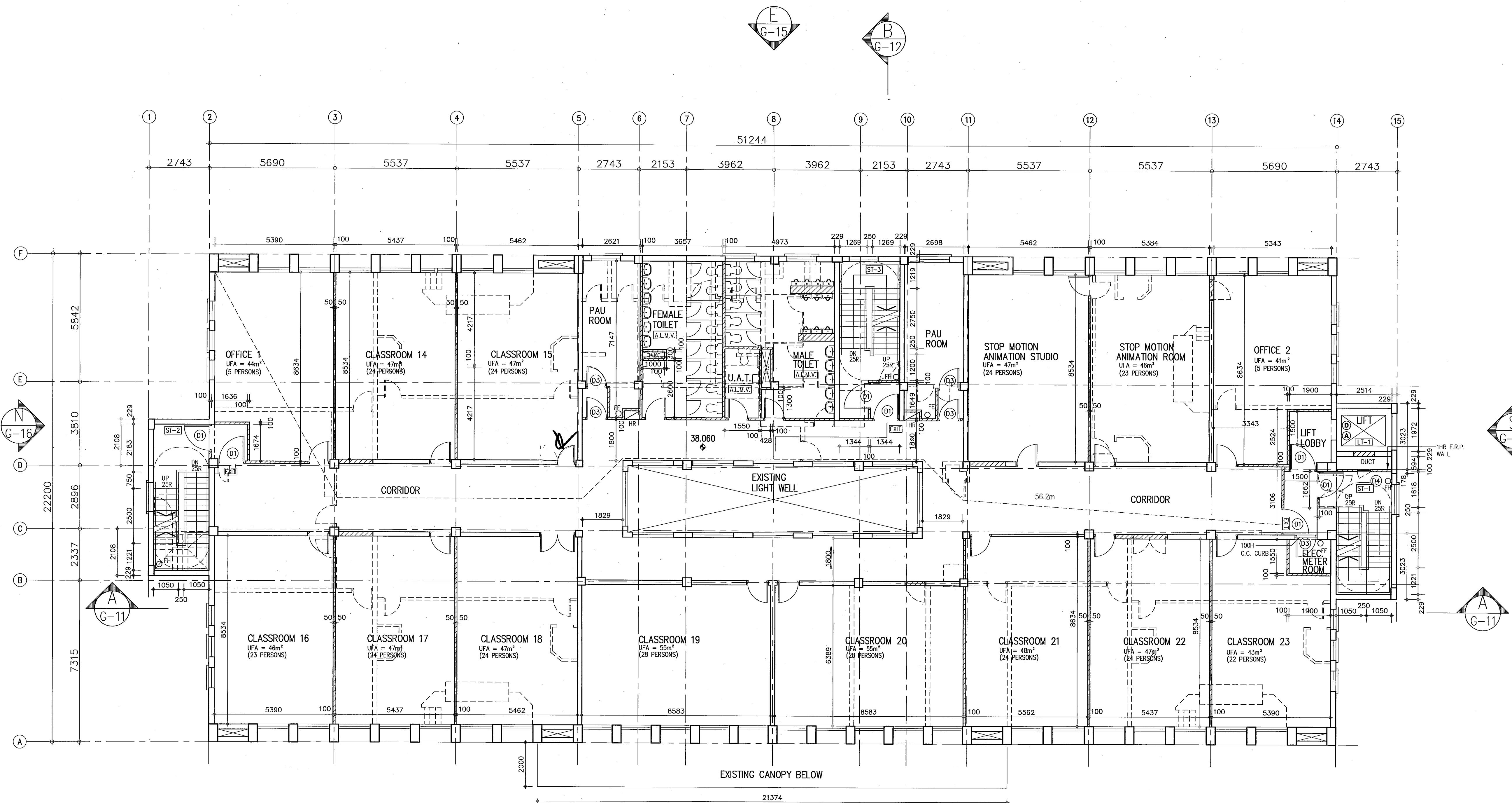
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APPROVED	W.L.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-7	F

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 林陳簡建築師有限公司

VICTOR CHAN
 陳國仁建築師
 REGISTERED ARCHITECT AP

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FOURTH FLOOR PLAN

B.D. REF.	22-3 / 3021 / 09(HU)PTII
F.S.D. REF.	FPB
W.W.O. REF.	

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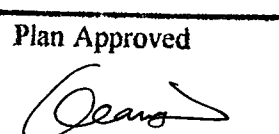
LEGEND:

	EXISTING WORK TO BE REMOVED
	EXISTING WALL & DOOR TO REMAIN
	NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
F	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
E	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 6TH AMENDMENT APPROVAL			
D	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
C	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVED	10.02.10		
B	BD 4TH AMENDMENT	15.01.10	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	8.6.09		

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Plan Approved



YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 FOURTH FLOOR PLAN

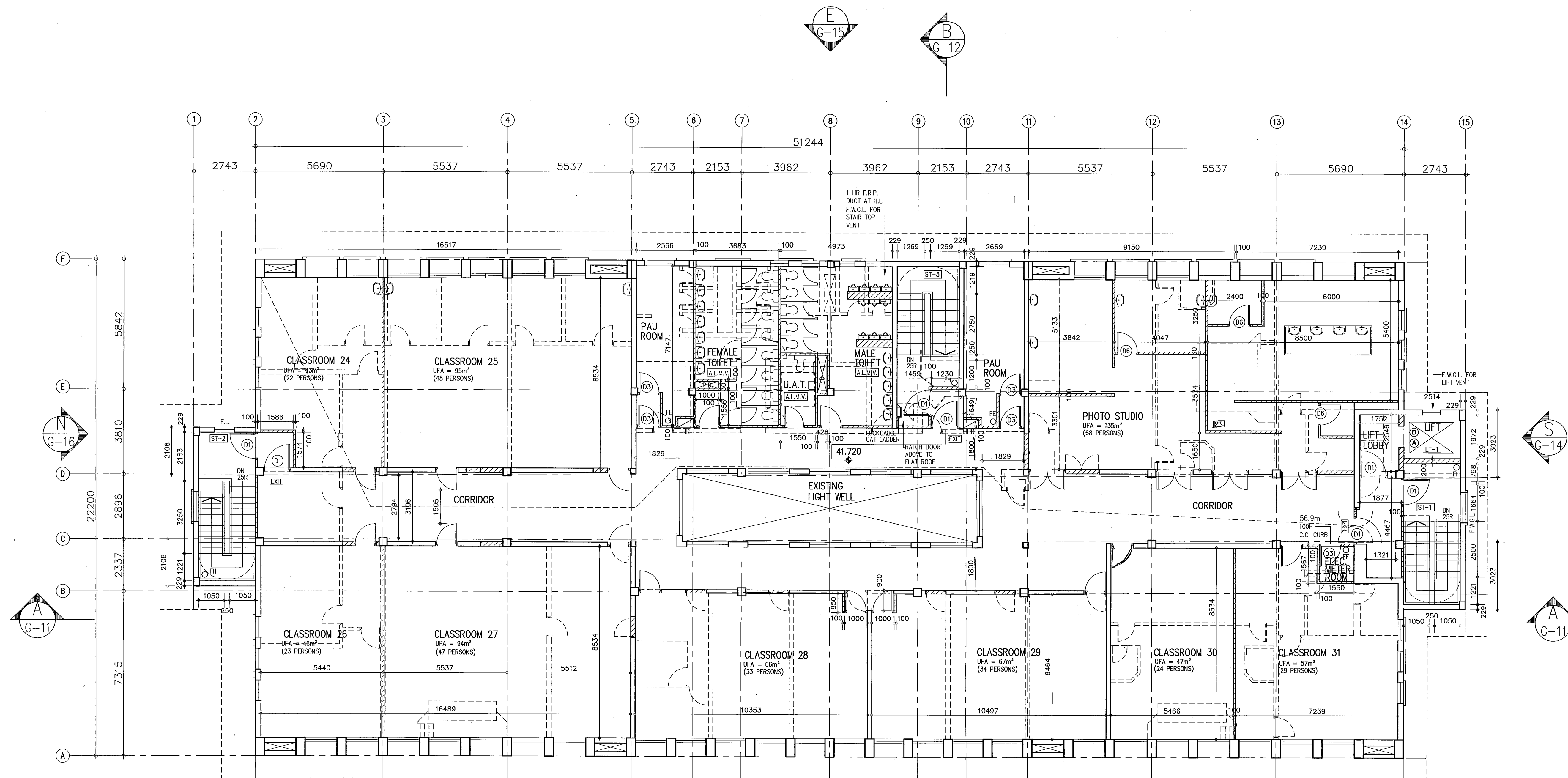
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CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-8	F

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 VICTOR CHAN
 陳國仁建築師
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 REGISTERED ARCHITECT (UK)

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 R.L.D. SECTION
 BUILDINGS DEPARTMENT

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FIFTH FLOOR PLAN

B.D. REF.
 B.D. 22-3 / 3021 / 09(HU)PTII
 F.S.D. REF.
 FPB /
 W.W.O. REF.

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LEGEND:
 --- EXISTING WORK TO BE REMOVED
 --- EXISTING WALL & DOOR TO REMAIN
 --- NEW WALL & DOOR

C	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
B	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 FIFTH FLOOR PLAN

DRAWN	HO
CHECKED	E.Y.
APPROVED	W.T.
DATE	4 MAY 09
SCALE	1:100 (A1)

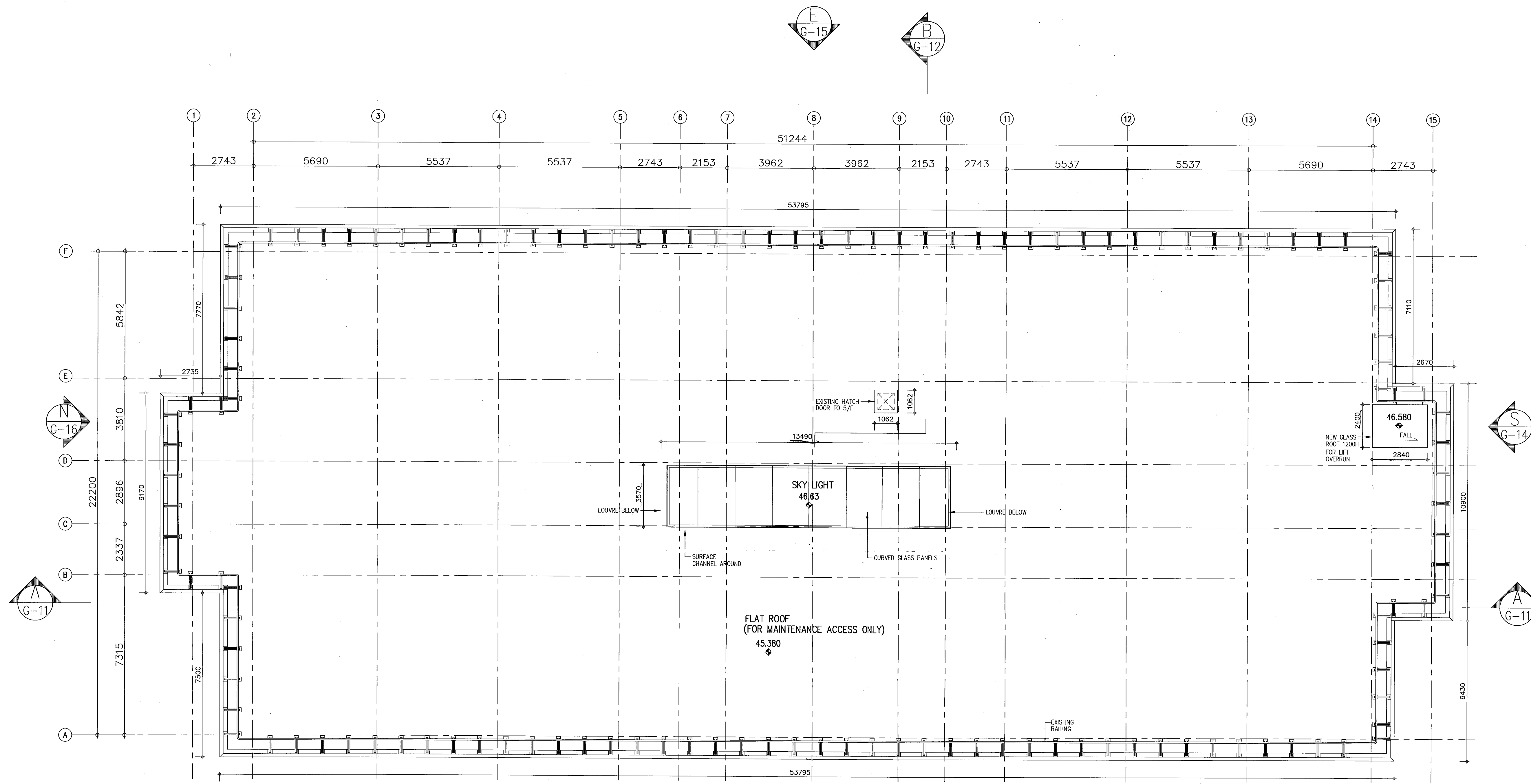
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09002	G-9	C

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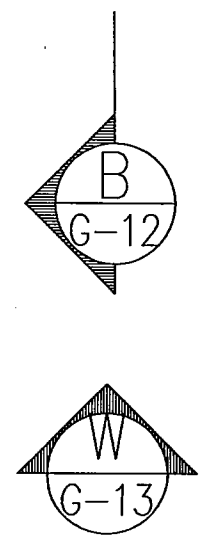
VICTOR CHAN
 陳繼仁建築師
 R. ARCHT. (H.K.) F.R.I.A. R.S.A. F.R.A.S.
 REGISTERED ARCHITECT (H.K.)

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ROOF PLAN



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B.D. APPROVAL PLAN

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F.S.D. REF.	FPB
W.W.G. REF.	

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C	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
B	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
	BD 3RD AMENDMENT APPROVED	16.11.09		
A	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

Plan Approved

 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

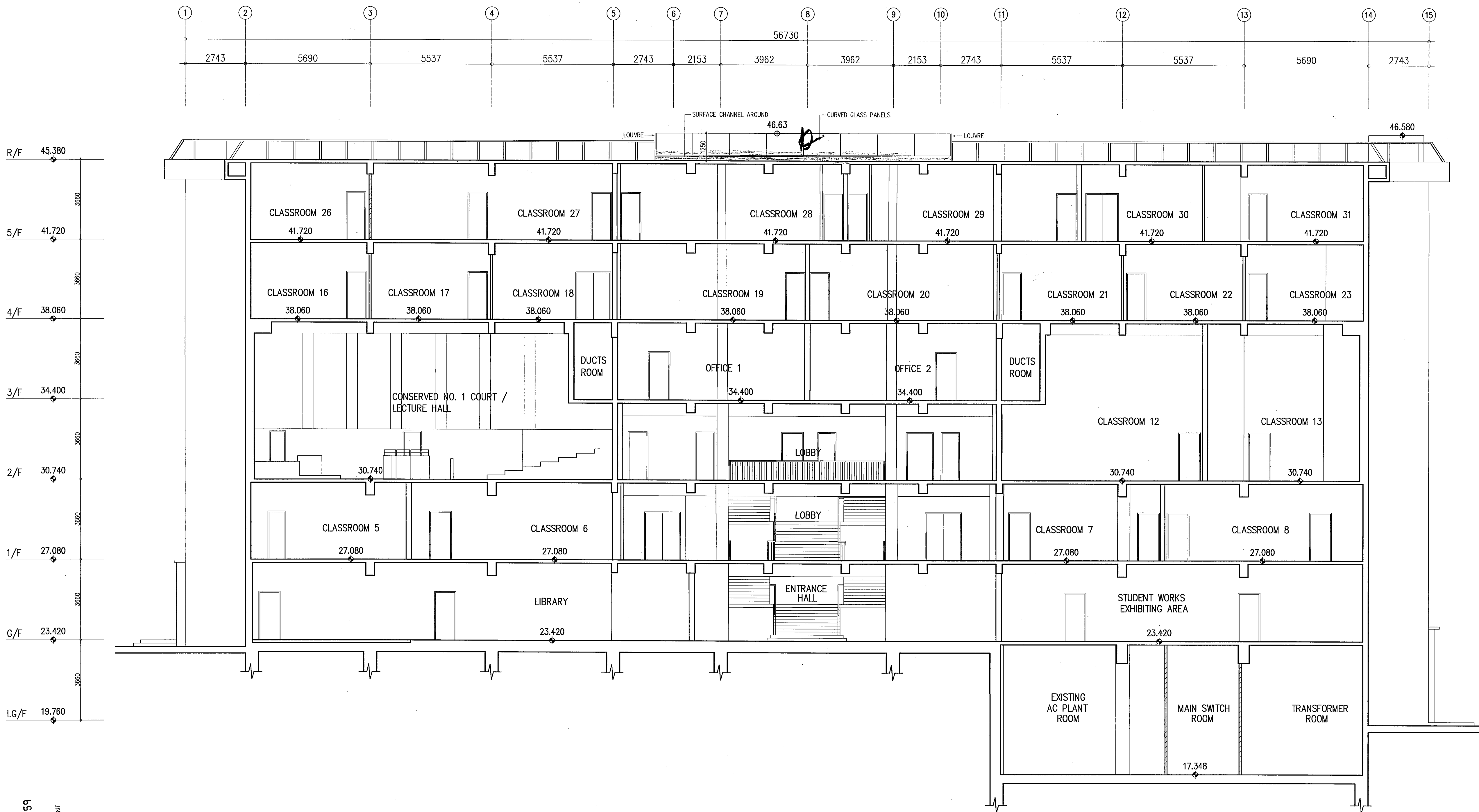
DRAWING TITLE
 ROOF PLAN

DRAWN	HD	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-10	C

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 陳維仁 建築師
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 R.S.D. CLERK
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SECTION A-A

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B.D. REF.	/ /
B.D.	/ /
F.S.D. REF.	/ /
FPB	/ /
W.W.O. REF.	

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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
B	BD 8TH AMENDMENT	6.9.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
A	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
	SUBMISSION APPROVED	6.6.09		

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Plan Approved
YU Po-mei
YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY
- 8 SEP 2010

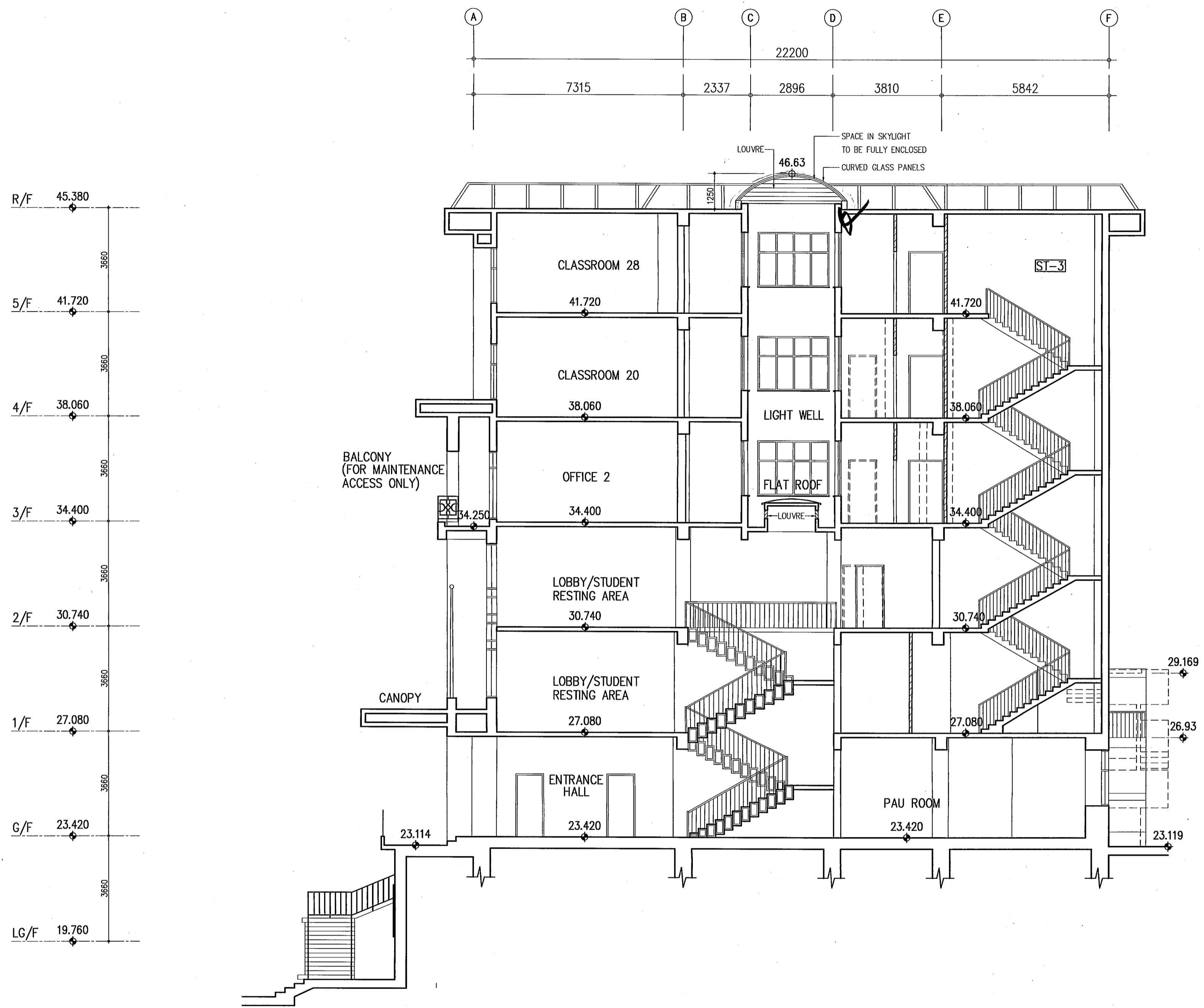
PROJECT
NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN

DRAWING TITLE
SECTION A-A

DRAWN	KN	
CHECKED	E.L.	
APPROVED	W.T.	
DATE	4 MAY 08	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-11	B

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Victor Chan
VICTOR CHAN
陳維仁建築師
REGISTERED ARCHITECT AP



SECTION B-B

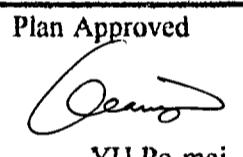
B.D. REF.	/ / /
B.D.	/ / /
F.S.D. REF.	/ / /
FPB	/ / /
W.W.O. REF.	/ / /

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A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY

- 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 SECTION B-B

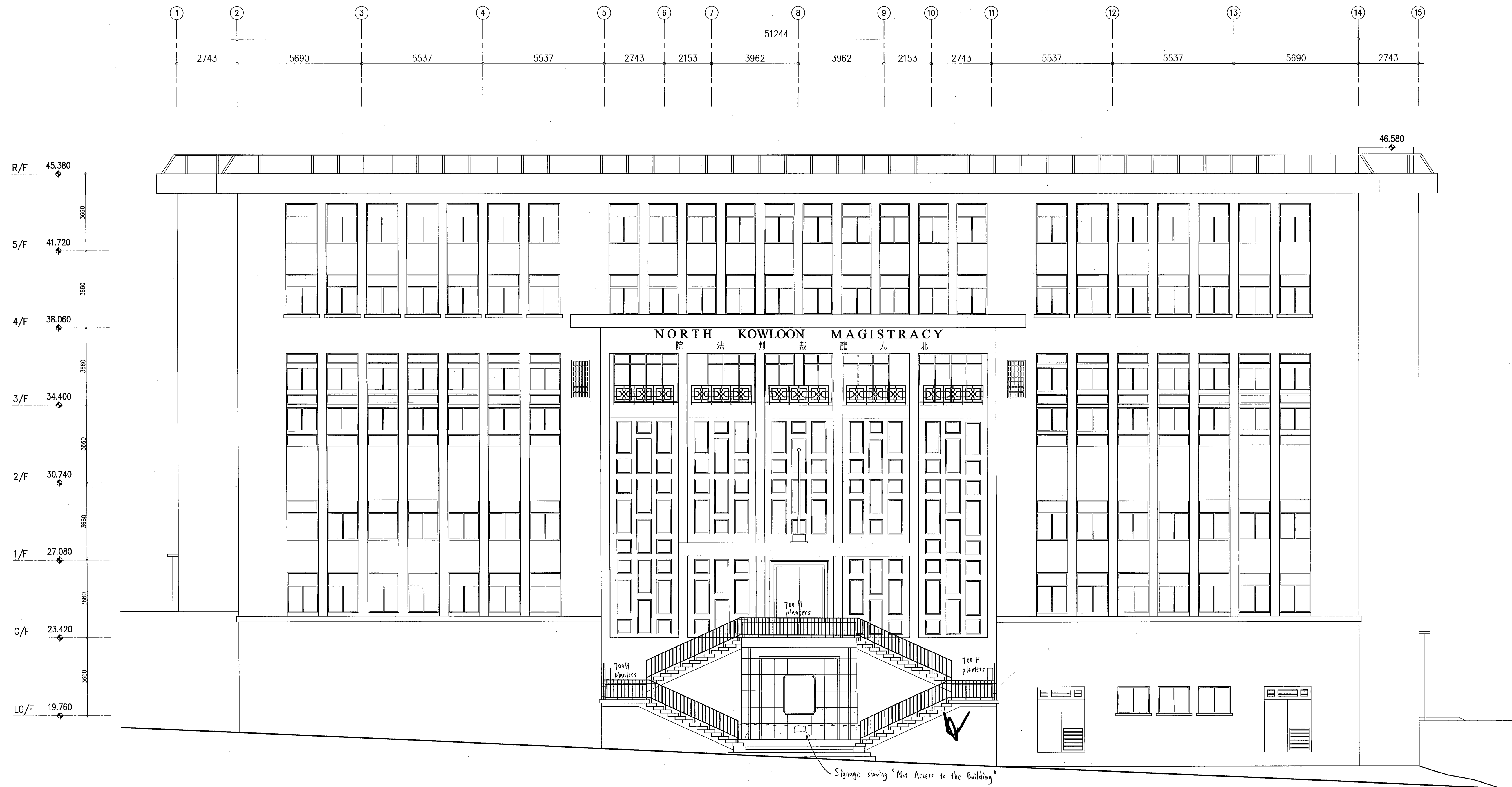
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CHECKED	E.K.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-12	C

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 VICTOR CHAN
 陳維仁建築師
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WEST ELEVATION
(FRONT ELEVATION)

B.D. REF.	/	/
B.D.	/	/
F.S.D. REF.	/	/
FPB	/	/
W.W.O. REF.		

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	BD 1ST AMENDMENT APPROVAL	13.8.09	KAN	W.T.
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.

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 YU Po-mei, Clarice
 Senior Building Surveyor
 for BUILDING AUTHORITY
 - 8 SEP 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 WEST ELEVATION

DRAWN	KAN	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
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 陳顯仁建築師
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W.V.O. REF.	

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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
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C	BD 4TH AMENDMENT APPROVED	10.02.10	KAN	W.T.
B	BD 3RD AMENDMENT APPROVED	16.11.09	KAN	W.T.
A	BD 1ST AMENDMENT APPROVED	13.8.09	KAN	W.T.

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Plan Approved

Clarice YU
YU Po-mei, Clarice
Senior Building Surveyor
for BUILDING AUTHORITY

10 MAY 2010

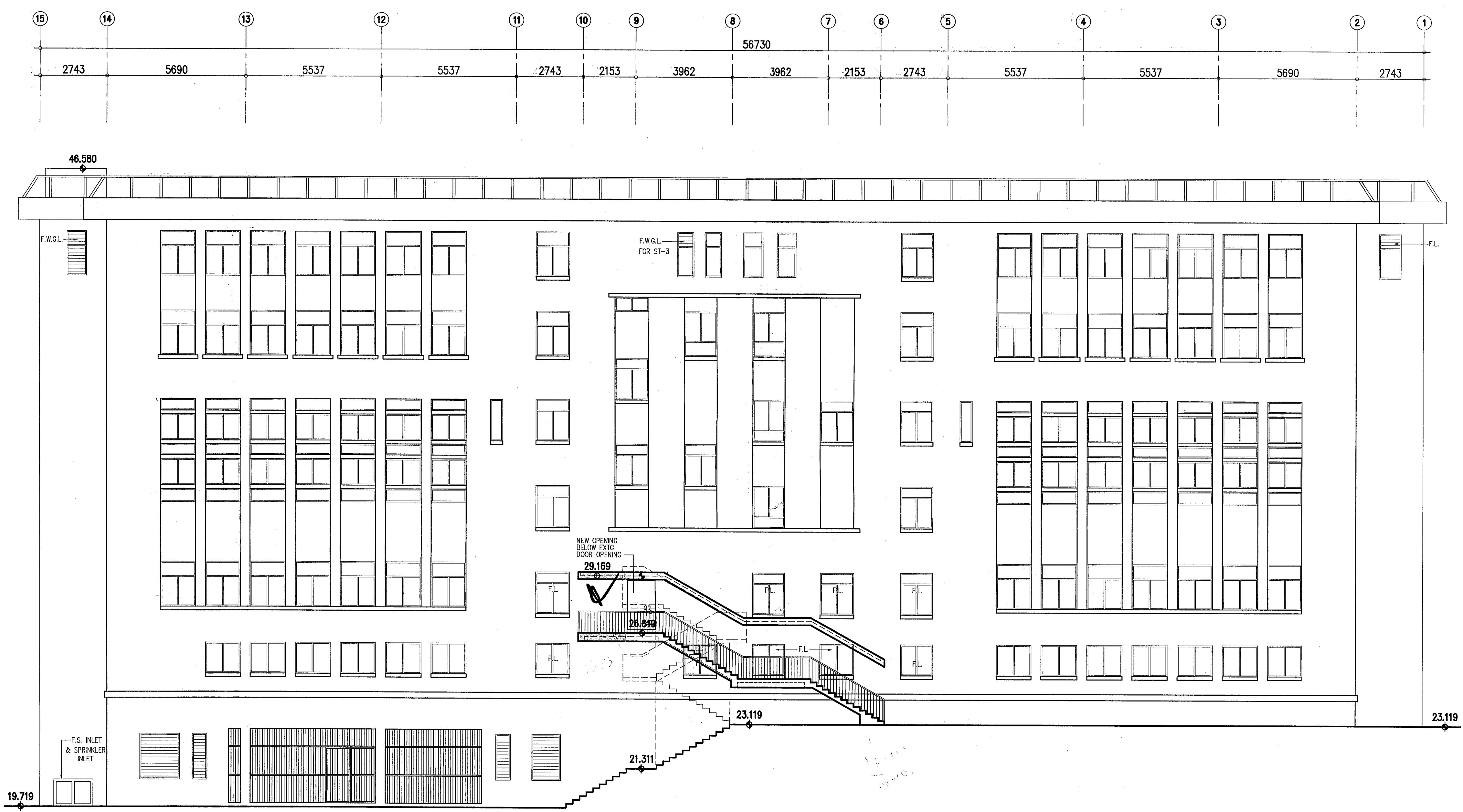
PROJECT
**NORTH KOWLOON MAGISTRACY
NEW SCAD CAMPUS
292 TAI PO ROAD, KLN**

DRAWING TITLE
EAST ELEVATION

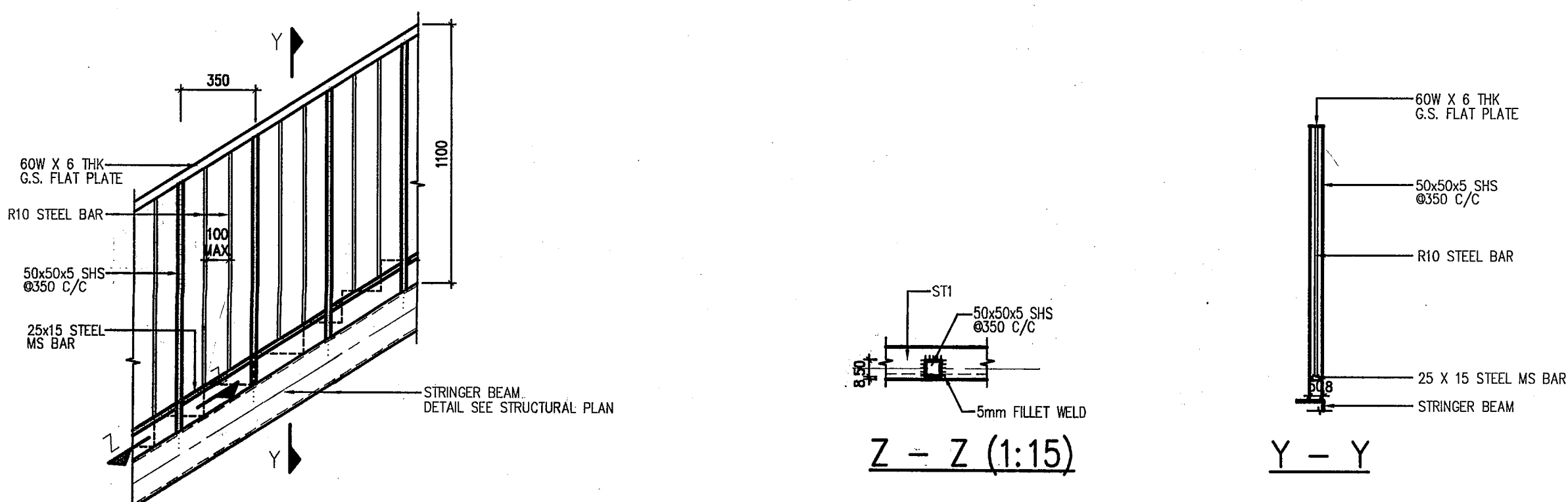
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CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-15	D

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Wai Chan
WAI CHAN
ARCHITECT



**EAST ELEVATION
(REAR ELEVATION)**

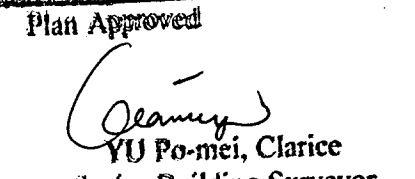
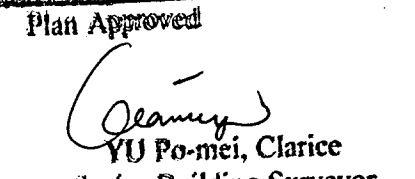
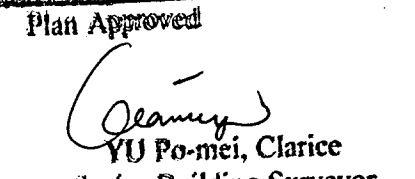

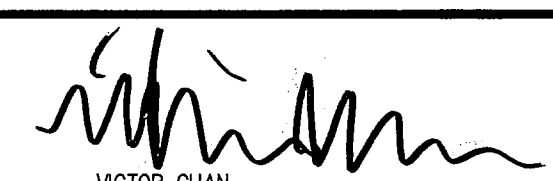


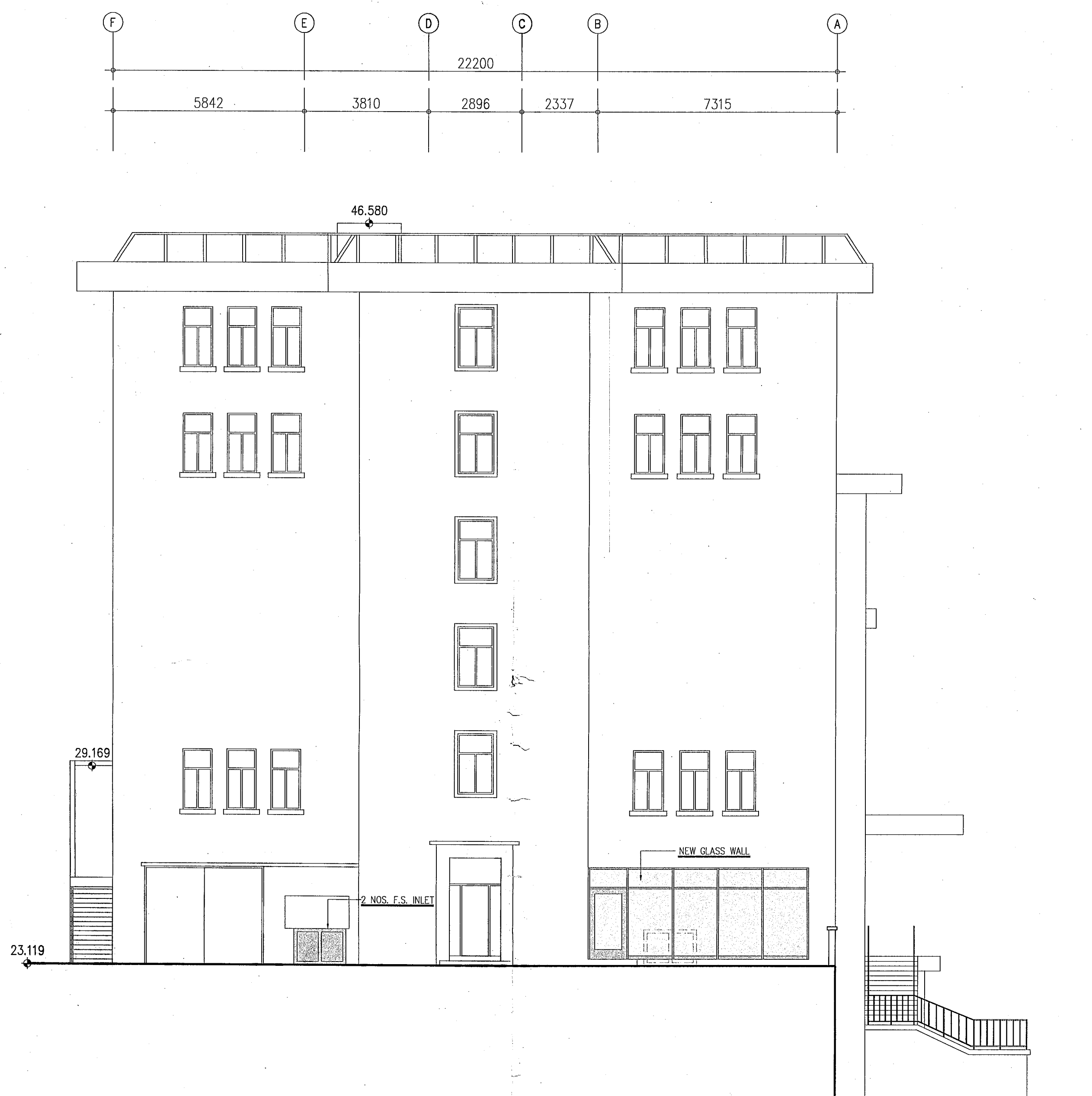
**TYPICAL DETAILS FOR STAIRCASE HANDRAIL (1:25)
(ST-1, ST-2 AND ST-3)**

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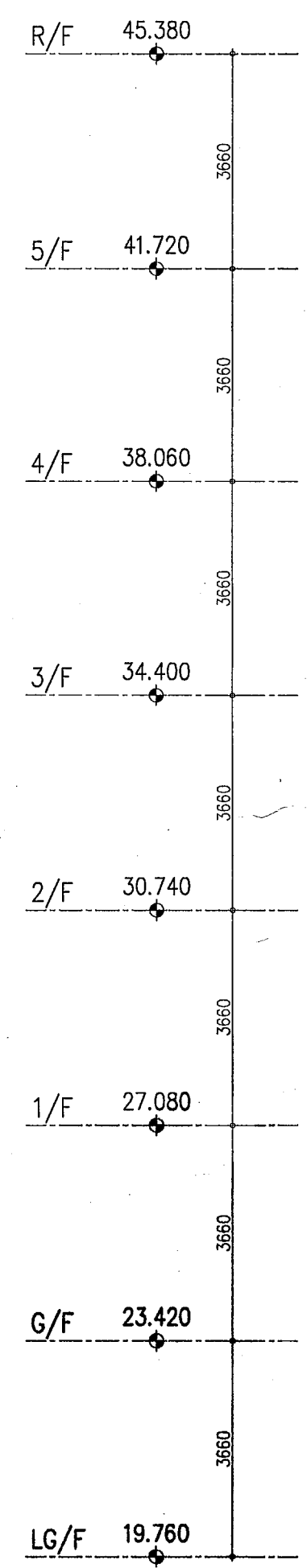
- GENERAL NOTES**
- EXCEPT OTHERWISE STATED ALL DIMENSIONS ARE IN mm AND TO BE VERIFIED ON SITE.
 - STRUCTURAL WORKS SHALL COMPLY WITH HONG KONG BUILDING (CONSTRUCTION) REGULATIONS 1980, DESIGN OF STRUCTURAL ELEMENTS SHALL BE IN ACCORDANCE WITH 'THE STRUCTURAL USE OF STEEL 2005'.
 - ALL STRUCTURAL STEEL WORKS SHALL BE GRADE S275 (Class 1) COMPLYING WITH BS EN 10025 AND BS EN 10210 FOR HOLLOW SECTION.
 - MILD STEEL BARS (DENOTED BY R) SHALL BE PLAIN ROUND GRADE 250 TO CS2:1995. ALL REINFORCEMENT SHALL BE CUT AND BENT IN ACCORDANCE WITH BS4466.
 - ALL STRUCTURAL STEEL WORKS SHALL BE HOT DIP GALVANIZED TO BS EN 10130 (MINIMUM THICKNESS TO BE 85um THICK OTHERWISE SPECIFIED).
 - ALL GALVANIZED COATING DAMAGED BY WELDING SHALL BE MADE GOOD WITH AT LEAST TWO COATS OF ZINC RICH PAINT TO BS 4652.
 - ALL WELDING SHALL BE 4 mm ALL ROUND FILLET WELD COMPLYING WITH BS EN 1011-2 AND ELECTRODE SHALL COMPLY WITH BS EN 2380 EXCEPT OTHERWISE SPECIFIED. ALL WELD STRENGTH SHALL BE 220 N/mm.
 - HORIZONTAL IMPOSED LOADS ON HANDRAIL:

UNIFORMLY DISTRIBUTED LOAD APPLIED AT 1.1m ABOVE FLOOR (kN/m RUN)	UNIFORMLY DISTRIBUTED LOAD APPLIED BETWEEN FLOOR AND TOP RAIL (kPa)	CONCENTRATED LOAD APPLIED ON ANY PART OF THE INFILL BETWEEN FLOOR AND TOP RAIL (kN)
0.75	1.0	0.5

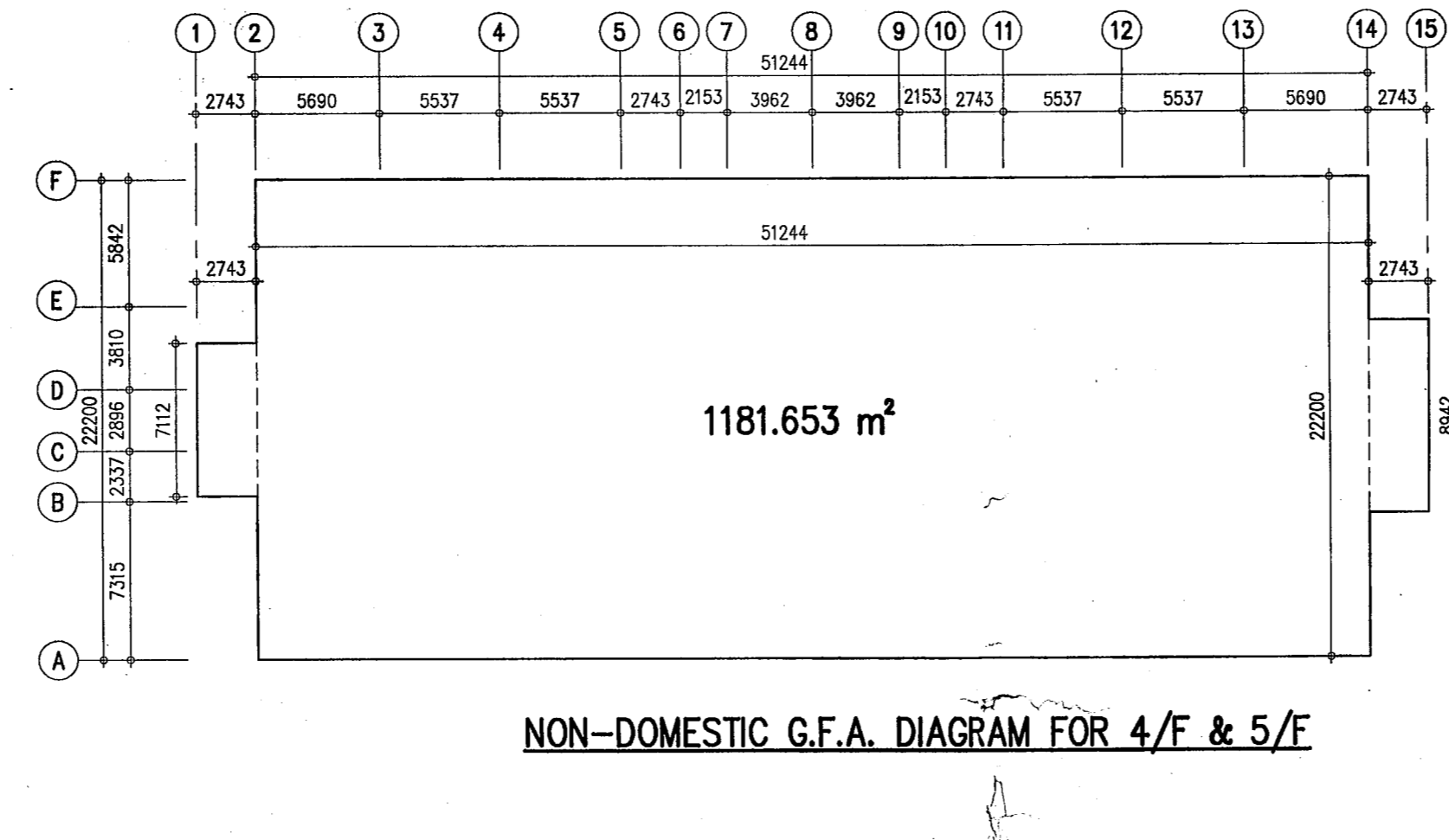
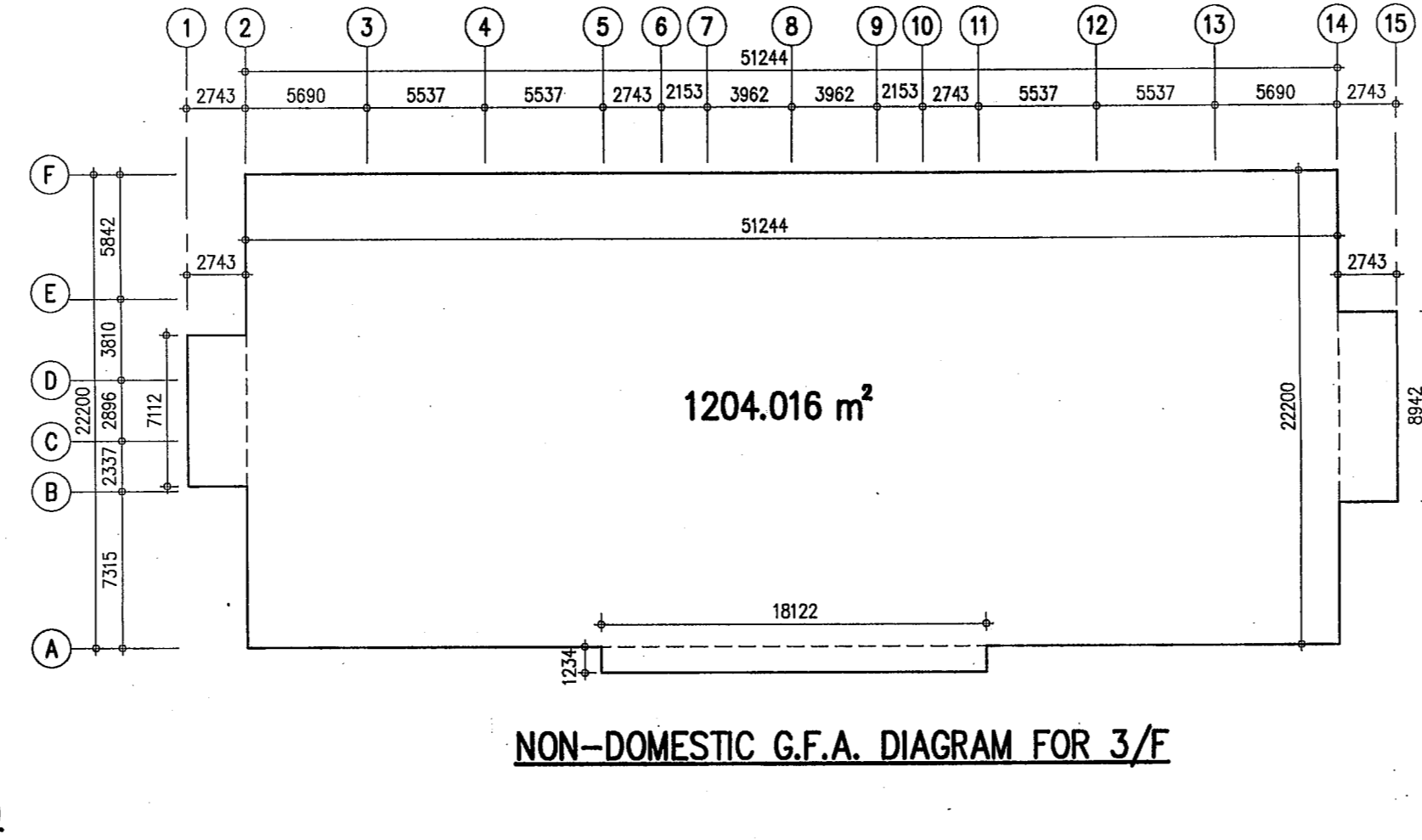
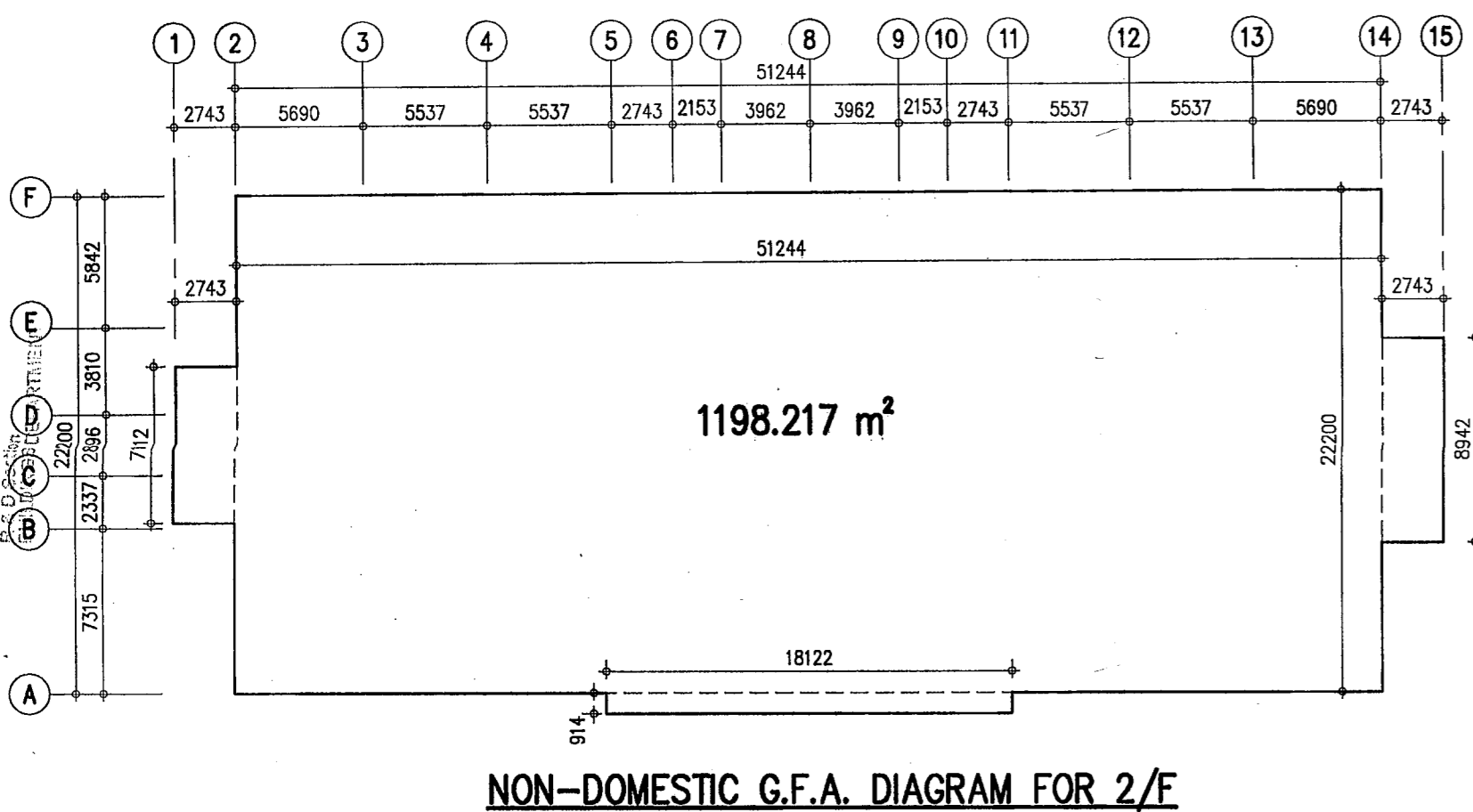
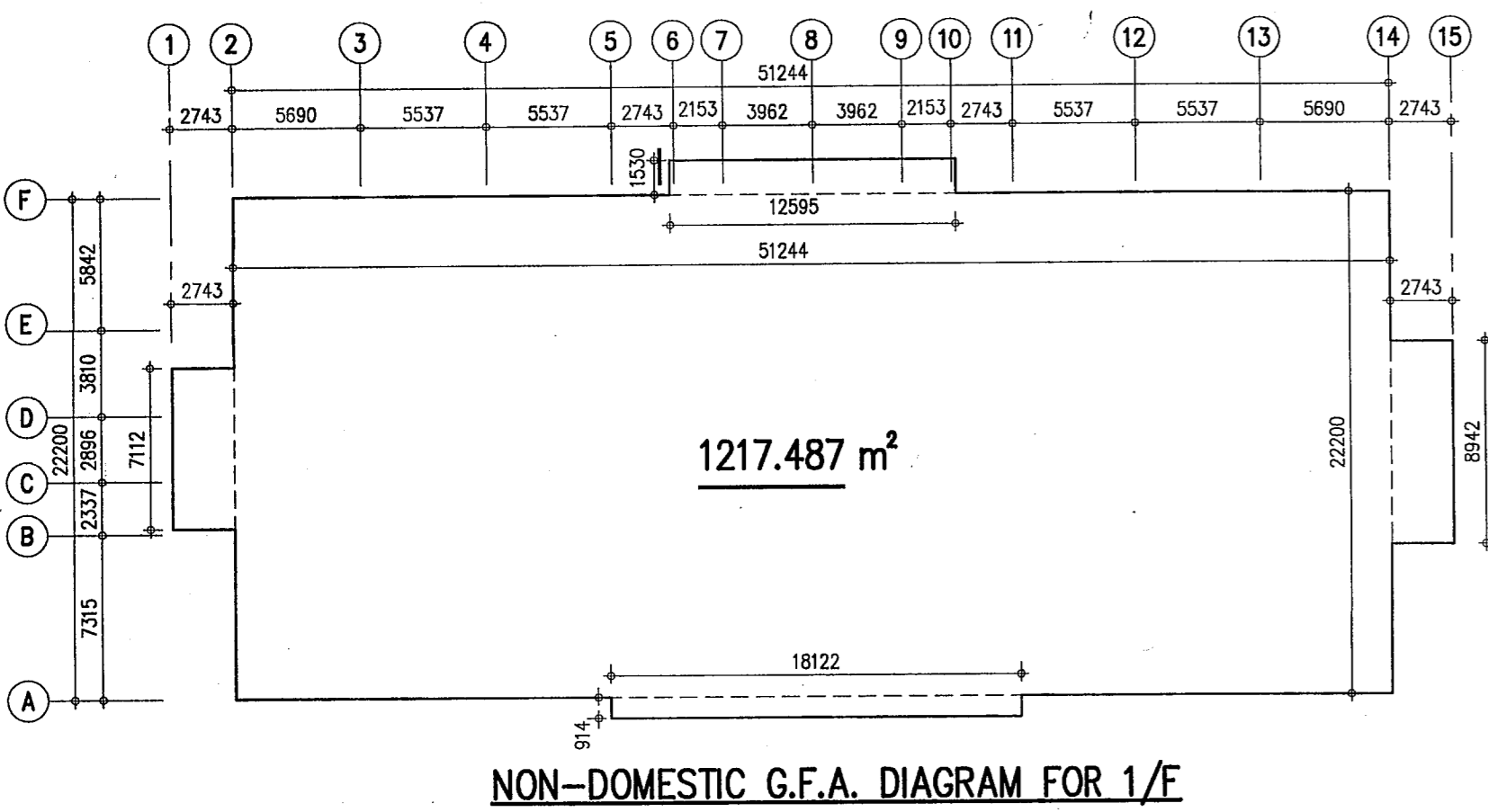
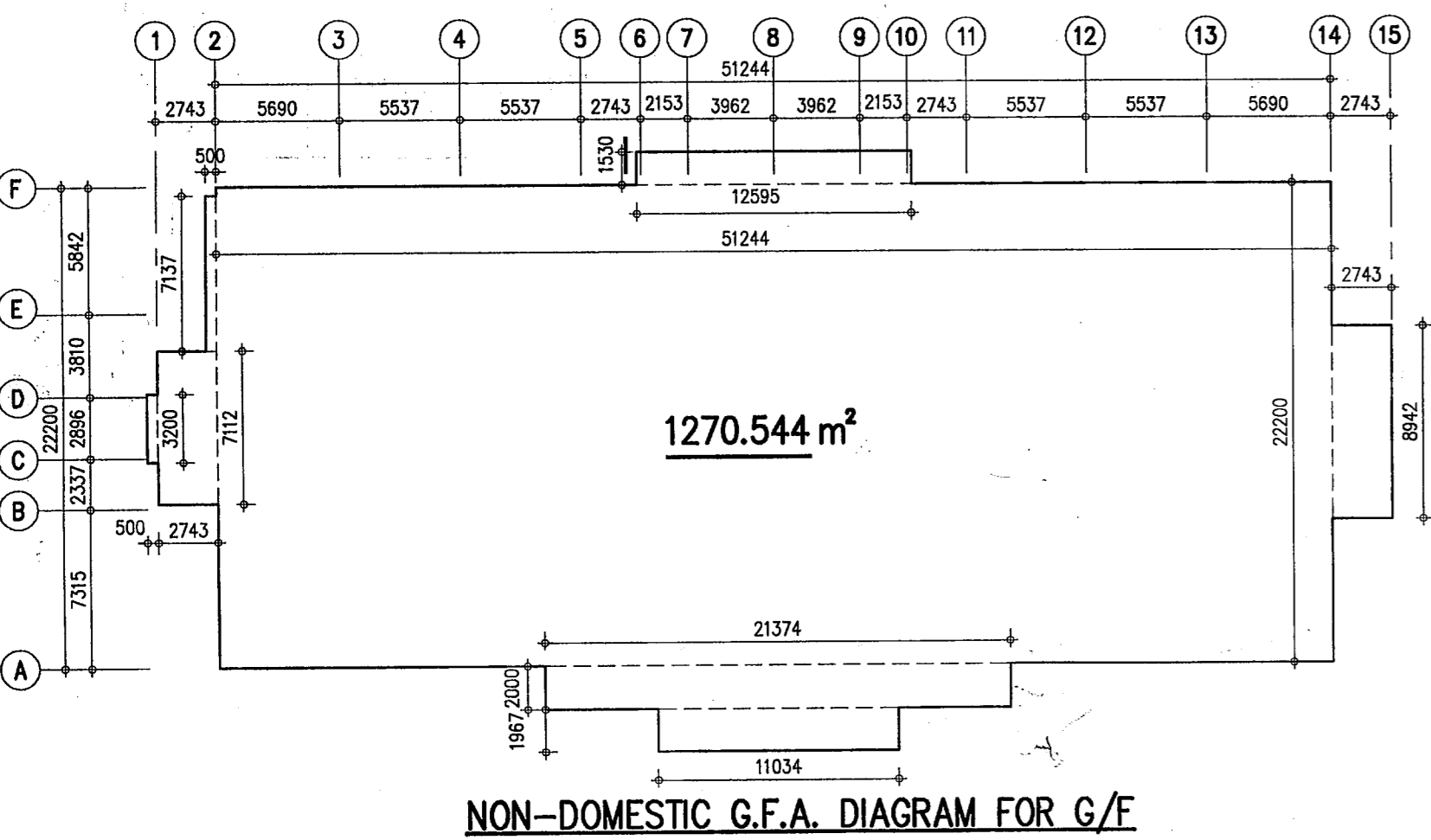
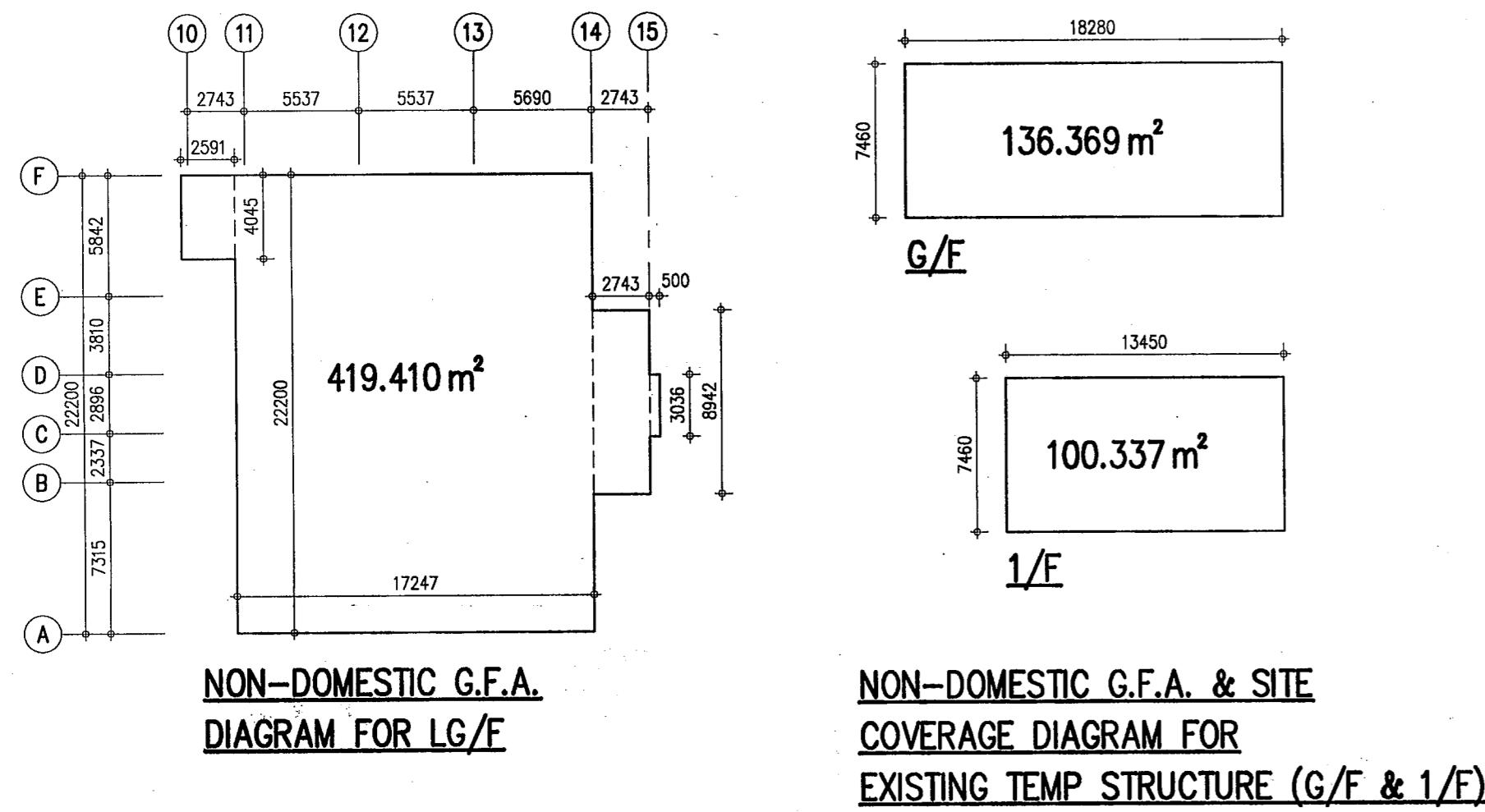
B.D. REF.	B.D. BD 22-3 / 3021 / 69(HU)PE II						
F.S.D. REF.	FPB						
W.G. REF.							
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B	BD 2ND AMENDMENT	04.9.09	KAN W.T.				
NO.	REVISIONS	DATE	DRAWN BY CHECK BY				
FOR B.D. USE ONLY							
<table border="1"> <tr> <td colspan="2">Plan Approved</td> </tr> <tr> <td colspan="2" style="text-align: center;">  Yu Po-mei, Clarice Senior Building Surveyor for BUILDING AUTHORITY 30 SEP 2009 </td> </tr> </table>				Plan Approved		 Yu Po-mei, Clarice Senior Building Surveyor for BUILDING AUTHORITY 30 SEP 2009	
Plan Approved							
 Yu Po-mei, Clarice Senior Building Surveyor for BUILDING AUTHORITY 30 SEP 2009							
PROJECT							
NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN							
DRAWING TITLE							
NORTH ELEVATION							
DRAWN	KAN						
CHECKED	E.Y.						
APPROVED	W.T.						
DATE	4 MAY 09						
SCALE	1:100 (A1)						
JOB NO.	DRAWING NO.	REV.					
09002	G-16	B					
 LCK ARCHITECTS LTD 林陳簡建築師有限公司							
 VICTOR CHAN 陳國仁 建築師 <small>REGISTERED ARCHITECT JP</small>							



NORTH ELEVATION

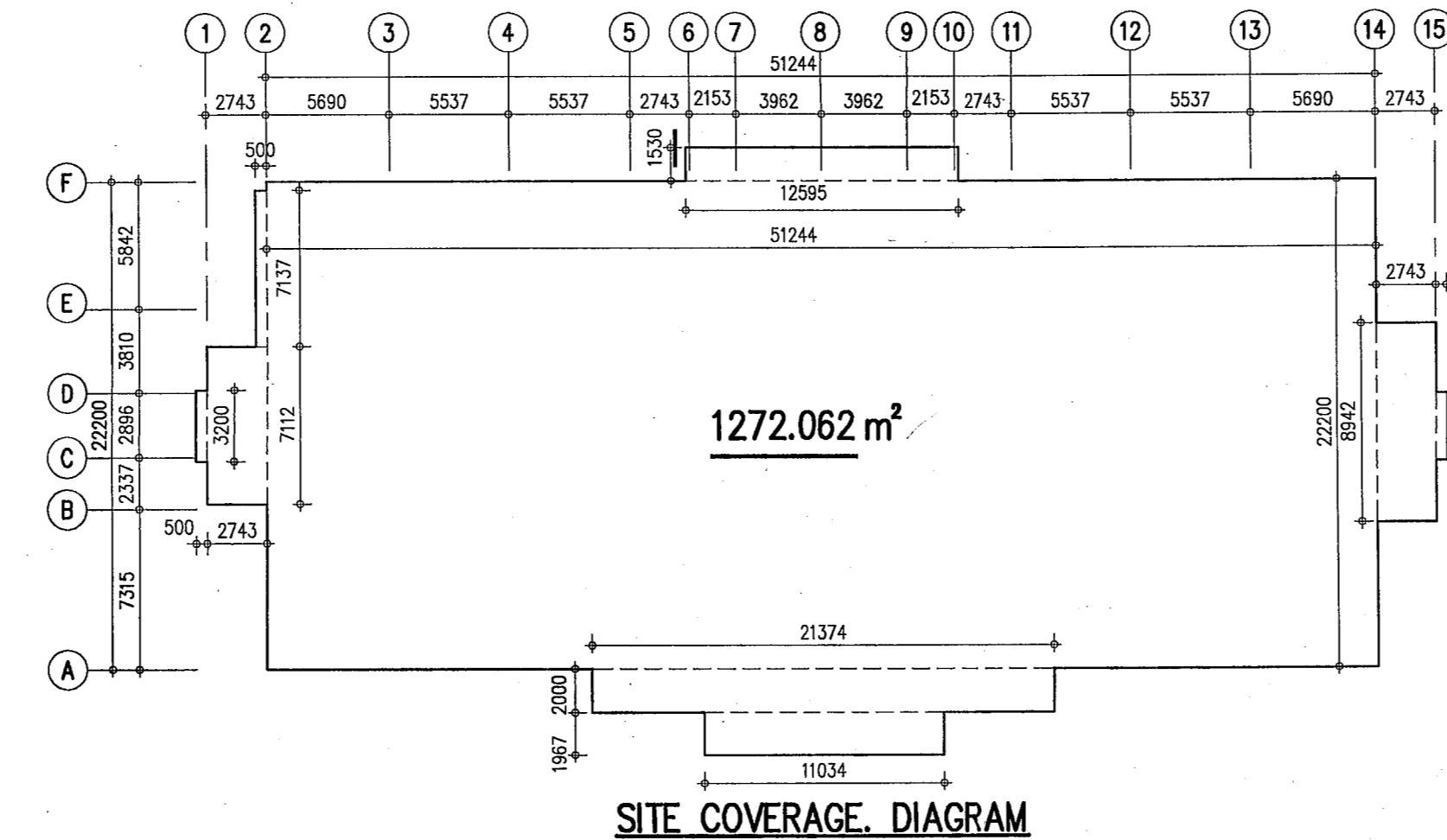
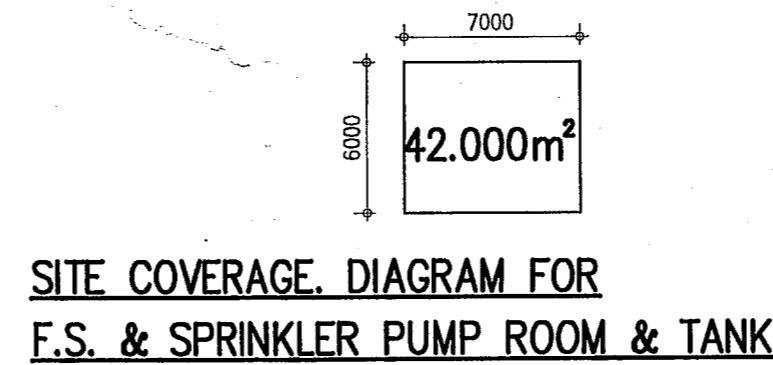


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 BUILDINGS DEPARTMENT



NON-DOMESTIC G.F.A. SCHEDULE

FLOOR	NON-DOMESTIC G.F.A.	EXISTING TEMP STRUCTURE G.F.A.
LG/F	419.410 m ²	
G/F	1270.544 m ²	136.369 m ²
1/F	1217.487 m ²	100.337 m ²
2/F	1198.217 m ²	
3/F	1204.016 m ²	
4/F	1181.653 m ²	
5/F	1181.653 m ²	
TOTAL	7909.686 m ²	



SITE COVERAGE AND PLOT RATIO CALCULATION

SITE AREA = 4815.000 m²
 CLASS OF SITE = A
 BUILDING HEIGHT = 45.380 - 17.324 = 28.056 m

SITE COVERAGE
 PERMITTED NON-DOMESTIC SITE COVERAGE = 85 %
 ACTUAL COVERED AREA = NORTH KOWLOON MAGISTRACY + EXISTING TEMP STRUCTURE + F.S. & SPRINKLER PUMP ROOM & TANK = 1272.062 + 136.369 + 42.000 = 1450.431 m²
 ACTUAL SITE COVERAGE = 1450.431 / 4815.000 = 30.123 % < 85 %

PLOT RATIO
 PERMITTED NON-DOMESTIC PLOT RATIO = 8.5
 ACTUAL NON-DOMESTIC G.F.A. = 7909.686 m²
 ACTUAL NON-DOMESTIC PLOT RATIO = 7909.686 / 4815.000 = 1.643 < 8.5

B.D. REF.	22-3 / 3021 / 09(HU)PTII		
F.S.D. REF.	FPB		
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NO.	REVISIONS	DATE	DRAWN BY / CHECK BY

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D	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVED	10.5.10		
C	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
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B	BD 4TH AMENDMENT	15.01.10	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

Plan Approved

YIM Yuen-ling

YIM Yuen-ling
Senior Building Surveyor
for BUILDING AUTHORITY

16 AUG 2010

Plan Approved

YIM Yuen-ling

YIM Yuen-ling
Senior Building Surveyor
for BUILDING AUTHORITY

16 AUG 2010

PROJECT
 NORTH KOWLOON MAGISTRACY
 NEW SCAD CAMPUS
 292 TAI PO ROAD, KLN

DRAWING TITLE
 CALCULATIONS (SITE COVERAGE ,
 PLOT RATIO & COMPARTMENTATION)

DRAWN	R.M.	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:300 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-17	D

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 林陳簡建築師有限公司

VICTOR CHAN

VICTOR CHAN
 陳偉仁 建築師

The works shown on these plans in respect of the consent is applied for the purpose of Fast Track consent application under regulation 33 of the (Amendment) Regulations

COMPARTMENTATION CALCULATIONS

FLOOR	Area (m ²)	Volume (m ³)
5/F	1181.653 x 3.66 = 4324.850 m ²	TOTAL VOLUME OF COMPARTMENT = 26548.066 m ³ < 28000 m ³
4/F	1181.653 x 3.66 = 4324.850 m ²	
3/F	1204.016 x 3.66 = 4406.699 m ²	
2/F	1198.217 x 3.66 = 4385.474 m ²	
1/F	1217.487 x 3.66 = 4456.002 m ²	
G/F	1270.544 x 3.66 = 4650.191 m ²	

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Appendix VII

Photos of the Site and Buildings



Photo No. : 1

General Appearance of the Former North Kowloon Magistracy



Photo No. : 2

Front Elevation / West Elevation



Photo No. : 3

North Elevation



Photo No. : 4

East Elevation



Photo No. : 5

South & East Elevation



Photo No. : 6

Grand Double Staircase



Photo No. : 7

Temporary Structure



Photo No. : 8

Tempororary Storage



Photo No. : 9

FS & Sprinkler Pump Room & Tank



Photo No. : 10

North Open Forecourt



Photo No. : 11

South Open Forecourt



Photo No. : 12

North vehicular run in/out



Photo No. : 13

South vehicular run in/out



Photo No. : 14

North Entrance



Photo No. : 15

South Entrance



Photo No. : 16

LG/F Lift Lobby



Photo No. : 17

LG/F Lobby

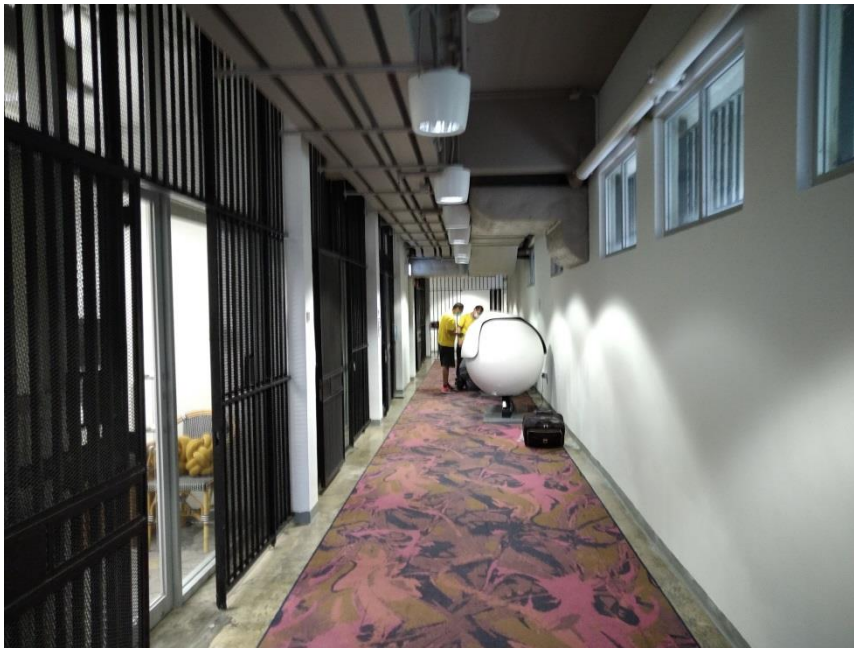


Photo No. : 18

G/F Corridor (Old Control Corridor)



Photo No. : 19

G/F Entrance Hall



Photo No. : 20

1/F Central Hall



Photo No. : 21

1/F Classroom



Photo No. : 22

2/F Conserved No. 1 Court/ Lecture Hall (Conserved Court Room No. 1)



Photo No. : 23

2/F Classroom

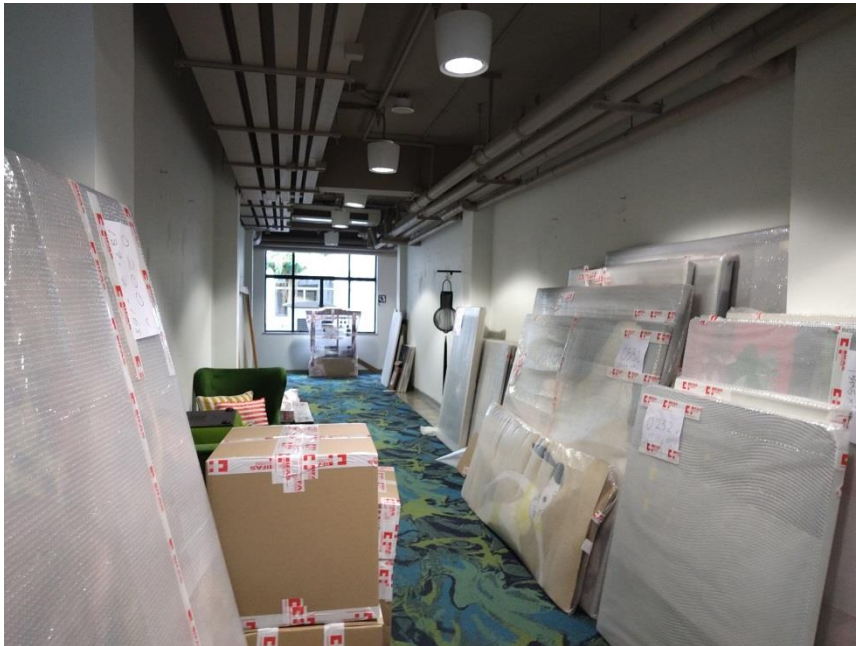


Photo No. : 24

3/F Corridor



Photo No. : 25

3/F Central Light Well



Photo No. : 26

4/F Corridor



Photo No. : 27

5/F Classroom



Photo No. : 28

5/F Photo Studio



Photo No. : 29

5/F Toilets



Photo No. : 30

5/F PAU Room



Photo No. : 31

Roof

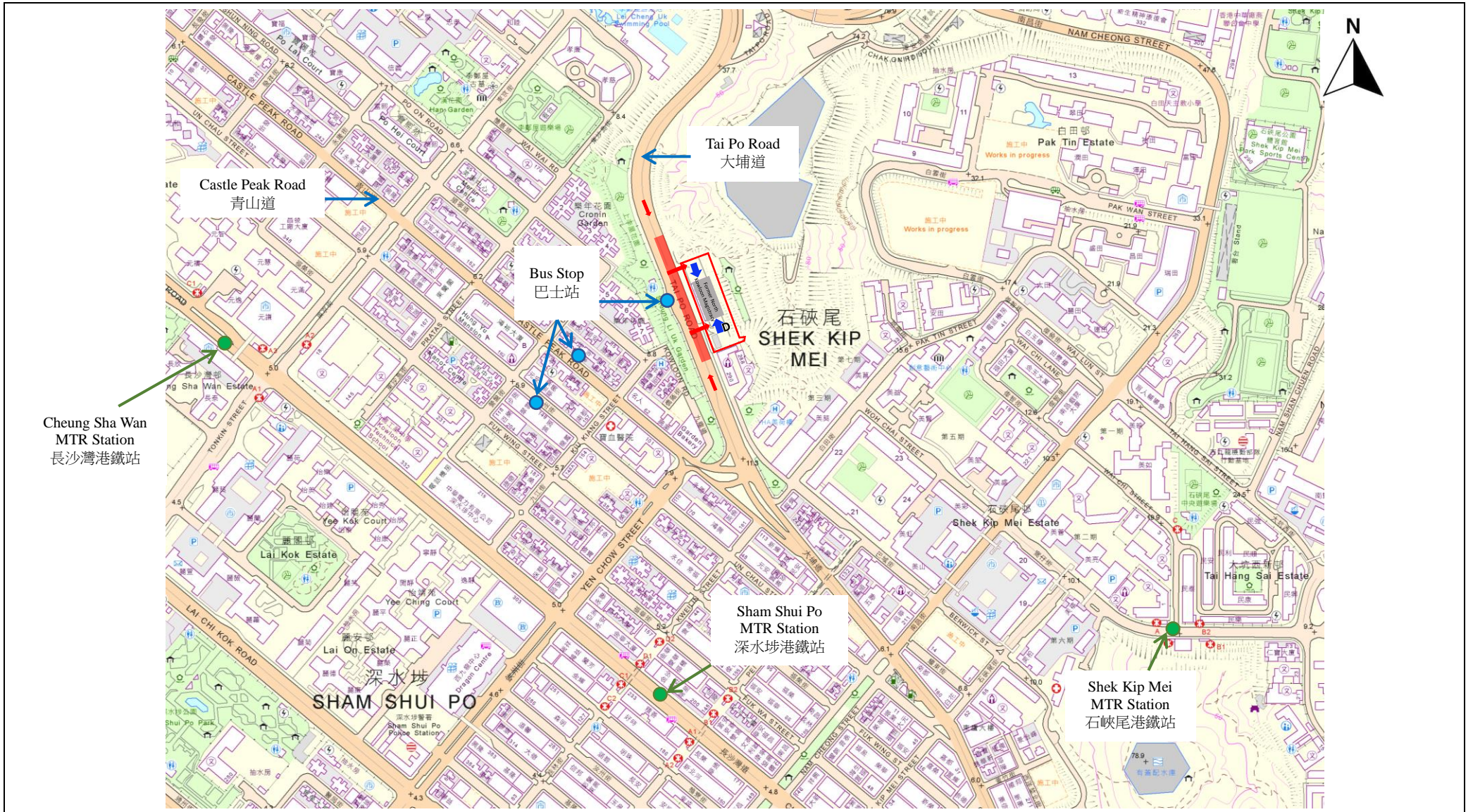


Photo No. : 32

Glazed Lift Overrun Enclosure on Roof

Appendix VIII

Access Plan



- SITE BOUNDARY
- EVA
- ↑ Vehicular Access
- ↑ Pedestrian Access
- ↑^D Barrier Free Access

FORMER NORTH KOWLOON MAGISTRACY

APPENDIX VIII ACCESS PLAN

NOT TO SCALE



EXTRACT PLAN BASED ON SURVEY SHEET NO. 11-NW-B

Appendix IX

**List of Architectural Features
to be Preserved**

Former North Kowloon Magistracy
List of Architectural Features to be Preserved

1. EXTERNAL GROUNDS

Item	Architectural Feature
1.1	<p data-bbox="284 436 686 470"><u>Setting / Surrounding Grounds</u></p> <p data-bbox="284 472 1492 544">The general elevated topography, existing vehicular run in/out with access roads facing Tai Po Road leading to the South Open Forecourt and North Open Forecourt of site.</p> <div data-bbox="523 600 1321 996"></div> <p data-bbox="598 1014 1252 1048">Vehicular run in/out leading to North Open Forecourt of site</p> <div data-bbox="518 1059 1326 1563"></div> <p data-bbox="598 1581 1252 1615">Vehicular run in/out leading to South Open Forecourt of site</p>

Item**Architectural Feature**

1.2

Retaining structures

Existing retaining structures forming podium or plinth facing Tai Po Road. Existing natural landscape with mature trees at the entrance of the South Open Forecourt. Stone parapet wall at the North Open Forecourt. Plain ashlar-faced retaining wall along north side of the symmetrical grand double staircases on LG/F.



Retaining structure with mature trees at entrance of the South Open Forecourt



Stone parapet wall at the North Open Forecourt



Plain ashlar-faced retaining wall along north side of LG/F

Item

Architectural Feature

1.3

Open spaces at pavement level facing Tai Po Road

Open spaces between the vehicular run in/out and central grand double staircases at pavement level facing Tai Po Road.



Open space at south of central grand double staircase



Open space at north of central grand double staircase

Item**Architectural Feature**

1.4

South Open Forecourt and North Open Forecourt of the Historic Building

South Open Forecourt accommodates carparks with ancillary facilities, e.g. fire services pump room and tank, cooling tower for air-conditioning system, temporary storage and temporary structures, bounded by metal fencings and vehicular access gate facing Tai Po Road.

North Open Forecourt accommodates carparks bounded by stone parapet wall and vehicular access gate facing Tai Po Road.







South Open Forecourt



North Open Forecourt

2. MAIN BUILDING - EXTERIOR

Item	Architectural Feature
2.1	<p><u>External Building Facades</u> All external building facades, including the symmetrical design with central projecting bay on front and side facades, and with series of tall and narrow windows separated by vertical columns at front and rear facades, all original windows and door openings, all stonework, ashlar, grooved stucco and decorative tiles etc., horizontal string course on G/F and all horizontal protruding eaves.</p>
	 <p data-bbox="507 1070 671 1099">West Elevation</p>  <p data-bbox="1110 1070 1275 1099">East Elevation</p>
	 <p data-bbox="501 1644 678 1673">South Elevation</p>  <p data-bbox="1102 1644 1279 1673">North Elevation</p>

Item	Architectural Feature
2.2	<p><u>Flat roof</u> The publicly non-accessible flat roof with its projecting eaves, roof tiles, surface channels, and access hatch.</p>
<div data-bbox="424 333 1350 658" data-label="Image"> </div> <div data-bbox="774 660 997 689" data-label="Caption"> <p>Projecting roof eave</p> </div> <div data-bbox="411 710 1358 999" data-label="Image"> </div> <div data-bbox="810 1001 965 1030" data-label="Caption"> <p>Open flat roof</p> </div>	

Item	Architectural Feature
2.3	<p><u>Bronze characters fixed to central bay on West Elevation</u> The original Chinese and English bronze characters (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”) mounted on ashlar-faced buttress panel at the centre of the projecting bay on 4/F.</p>
<div data-bbox="312 1391 1458 1653" data-label="Image"> </div> <div data-bbox="478 1686 1291 1966" data-label="Image"> </div>	

Item**Architectural Feature**

2.4

Roof terrace on 4/F

Roof terrace, including its projecting floor slab, solid parapet wall with deep overhanging coping slab, cornice mouldings at the soffit of the overhanging coping slab, floor finishes, thresholds to French doors, skirting and surface channels, at the flat roof of the central projecting bay.



Roof terrace with solid parapet on 4/F



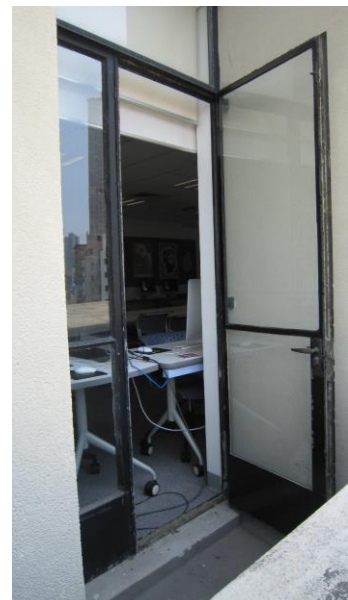
Roof terrace with surface channel



Solid parapet with deep overhanging coping



Cornice mouldings at the soffit of the overhanging coping slab



Steel French doors with threshold

Item

Architectural Feature

2.5

Balcony on 3/F

A semi-opened balcony including its columns, roof slab, ornamental ironwork balustrades, mosaic tiled floor finishes, surface channels, skirting and projecting floor slab.

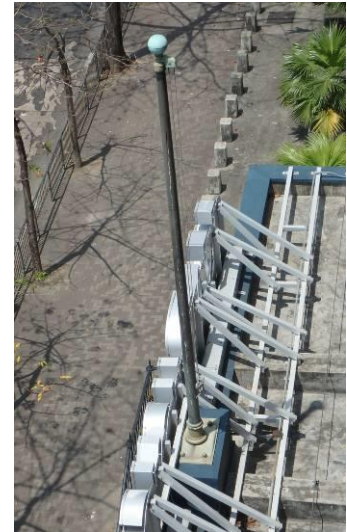


Item**Architectural Feature**

2.6

Canopy above main entrance with flagpole

Deep projecting concrete canopy, including the inverted beam-and-slab structure and surface channels, and the original metal flagpole fixed on concrete mass.




Item**Architectural Feature**


2.7



Symmetrical grand double staircases

Double half-turn open symmetrical grand staircases from street level to main entrance at piano-nobile on G/F comprising flights of granite steps (including the three granite steps at street level), granite landings, string course decoration, spandrels, and ornamental ironwork balustrades.






Item	Architectural Feature
2.8	<p><u>Buttress</u> Projecting ashlar-faced buttress between the staircase spandrels with grooved or recessed joints to the stonework, and a moulded name tablet set in a recessed panel.</p>
	

Item	Architectural Feature
2.9	<p><u>Stone tablet</u> Stone tablet mounted on a projecting ashlar-faced buttress with the Chinese and English bronze characters (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”).</p>
	

Item	Architectural Feature
2.10	<p><u>Main entrance bronze door case with bronze doors</u> Main entrance door comprises a pair of bronze studded panel cladding doors in a moulded bronze door case framed with moulded architraves, completes with handles, bolts, locks and hinges.</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="572 1059 724 1086">Exterior view</p> </div> <div style="text-align: center;">  <p data-bbox="1067 1059 1211 1086">Interior view</p> </div> </div>

Item	Architectural Feature
2.11	<p><u>Entrance stone door cases with steps</u> Carved stone door case, including the moulded architrave, cornice crown moulding with granite door threshold and steps facing South Open Forecourt. Carved stone door case, including the moulded architrave and ashlar-faced canopy above with granite and steps facing North Open Forecourt.</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="379 2016 970 2042">Entrance stone door case facing South Open Forecourt</p> </div> <div style="text-align: center;">  <p data-bbox="1099 2016 1447 2078">Entrance stone door case facing North Open Forecourt</p> </div> </div>

Item	Architectural Feature
2.12	<p><u>Entrance wooden doors</u> Wooden panelled entrance doors and fanlights with wooden frame, including decorative mouldings at the door faces, door jambs and door head, facing South Open Forecourt and North Open Forecourt. (The door leaves and frames are not original but with design mimic the old wooden doors.)</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="300 1124 869 1160">Entrance wooden door facing South Open Forecourt</p> </div> <div style="text-align: center;">  <p data-bbox="901 1124 1471 1160">Entrance wooden door facing North Open Forecourt</p> </div> </div>

Item	Architectural Feature
2.13	<p><u>Steel French doors to roof terrace on 4/F and balcony on 3/F</u> Steel French door openings, including steel French doors and fanlights with steel frames to roof terrace on 4/F and balcony on 3/F.</p>
	<div style="display: flex; justify-content: space-around; align-items: center;">   </div>

Item

Architectural Feature

2.14

Window openings and Steel Windows

All regularly spaced window openings including transomed steel windows with granite cills or window surrounds at external, ironmongeries and internal terrazzo window cills.



Item**Architectural Feature**

2.15

Decorative glazed tiles

Decorative glazed tiles, including bullnose tiles and recess tiles, with groove lines mortared on apron panels and jamb tiles surround the steel window frames.



Item**Architectural Feature**

2.16

Original Garage Openings on G/F


The original wall openings for the old Police Van Garage with old metal gate and the old Magistrate's Garage facing North Open Forecourt.




Original wall opening for the old Police Van Garage with old metal gate



Original wall opening for the old Magistrate's Garage

Item	Architectural Feature
2.17	<p><u>Wall openings with old steel gates at the East elevation</u> The wall openings with old steel gates on LG/F at the East elevation.</p>
	

Item	Architectural Feature
2.18	<p><u>Wall openings and grill blocks</u> Wall openings infilled with precast grill blocks for natural ventilation at staircase enclosures and pipe duct shafts at the external walls.</p>
	

Item**Architectural Feature**


2.19

Central light well (on 3/F, 4/F and 5/F)

Central light well, exhaust fan housings with glass block roof light at 2/F soffit, and steel windows.



3. MAIN BUILDING – INTERIOR

Item	Architectural Feature
3.1	<p data-bbox="284 255 528 288"><u>Building Structure</u></p> <p data-bbox="284 293 1262 327">All structural elements including columns, beams, floor and roof slabs, etc..</p>  A photograph showing the interior of a mechanical room. The ceiling is white with exposed concrete beams and a network of pipes and conduits. Large, vertical, silver-insulated pipes are prominent in the center. Green-painted pipes run horizontally across the room. A white fluorescent light fixture hangs from the ceiling. In the foreground, there are large, dark-colored mechanical units, possibly air conditioning or ventilation equipment. The overall appearance is industrial and functional.

Item

Architectural Feature

3.2

Central Halls

Central Halls from G/F to 2/F including random pattern stone flooring on G/F, marble wall cladding with black marble skirting on G/F to 2/F, the ornamental ironwork balustrades with wooden handrails and metal guard bars around the central hall staircase void featuring fleur-de-lis motifs, and ornamental metal handrails and guard bars to the vertical windows.



2/F Central Hall



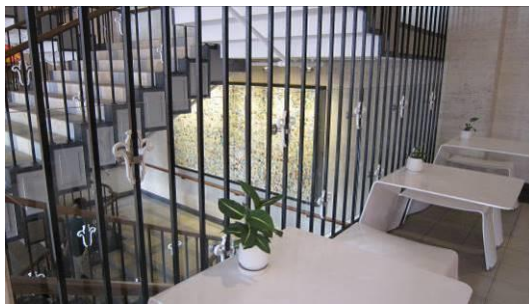
1/F Central Hall



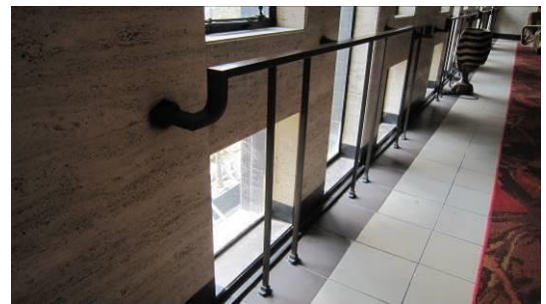
G/F Central Entrance Hall



Random pattern stone flooring on G/F



Metal guard bars around the staircase



Metal handrails and guard bars to the vertical windows

Item**Architectural Feature**

3.3

Central Staircase

Central staircase from G/F to 2/F which lit by the glass blocks roof light above including the stone finishes to treads and risers, the square mouldings at the sides, the ornamental ironwork balustrades with wooden handrails featuring fleur-de-lis motifs and the marble cladding with the black marble skirting on walls.



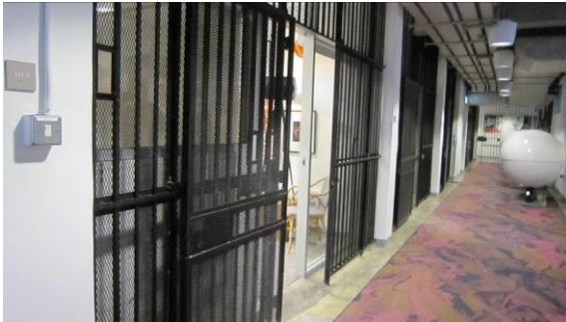
Item

Architectural Feature

3.4

Old Detention Cells No. 2, 3, 4, 5 and 7

The remains of the old Detention Cells No. 2, 3, 4, 5 and 7 including all original configurations, metal guard bars and grilles, all metal gates with mortice locks, and all half-height partitioned squat toilets with white tiled wall finishes and mosaic tiled floor finishes.



Metal guard bars and grilles, metal gates of the old Detention Cell no. 2,3,4,5



Metal guard bars, grilles and metal gates of the old Detention Cell no. 7



Original configuration of cell



Half-height partitioned squat toilet inside cell.

Item	Architectural Feature
3.5	<p><u>Conserved Detention Cell No. 6</u> The conserved Detention Cell No. 6 with its original configuration and layout including the metal guard bars and grilles, the metal gate with mortice lock, the half-height partitioned squat toilet with white tiled wall finishes and mosaic tiled floor finishes, concrete benches, painted wall finishes with dado coloured grey, and with its upper portion painted white, the historic graffiti on walls, the original concrete flooring and the wash basin outside the cell.</p>
	<div data-bbox="300 555 871 875" data-label="Image"> </div> <div data-bbox="312 891 858 925" data-label="Caption"> <p>Metal guard bars, grilles, gates and the wash basin</p> </div> <div data-bbox="900 555 1471 875" data-label="Image"> </div> <div data-bbox="963 891 1406 925" data-label="Caption"> <p>Original configuration and layout of cell</p> </div>
	<div data-bbox="300 936 871 1256" data-label="Image"> </div> <div data-bbox="325 1272 845 1335" data-label="Caption"> <p>Half-height partitioned squat toilet and concrete benches</p> </div> <div data-bbox="900 936 1471 1256" data-label="Image"> </div> <div data-bbox="932 1272 1442 1335" data-label="Caption"> <p>White tiled wall finishes and mosaic tiled floor finishes of squat toilet</p> </div>
	<div data-bbox="300 1335 871 1655" data-label="Image"> </div> <div data-bbox="325 1671 845 1733" data-label="Caption"> <p>Concrete benches and painted wall finishes with dado coloured grey</p> </div> <div data-bbox="900 1335 1471 1655" data-label="Image"> </div> <div data-bbox="1059 1671 1315 1704" data-label="Caption"> <p>Historic graffiti on wall</p> </div>

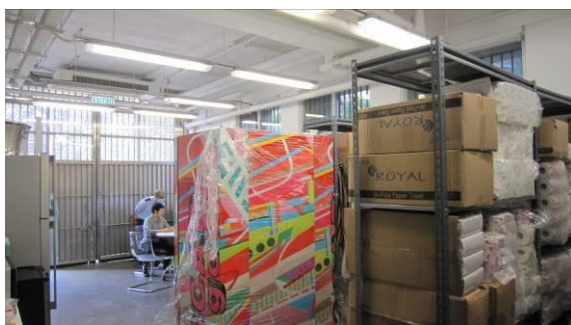
Item

Architectural Feature

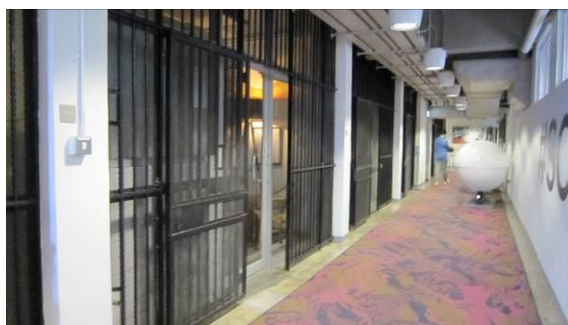
3.6

Old Control Corridors on G/F

The old control corridors on G/F from the old Police Van Garage (existing common area) to the old detention cells and from the old detention cells to the metal gate of conserved Defendant Staircase including 4 nos. of metal gates, and the metal guard bars at window openings at high levels.



Old Police Van Garage
(existing common area)



Old detention cells



Metal gates at the control corridor on G/F

Item**Architectural Feature**

3.7

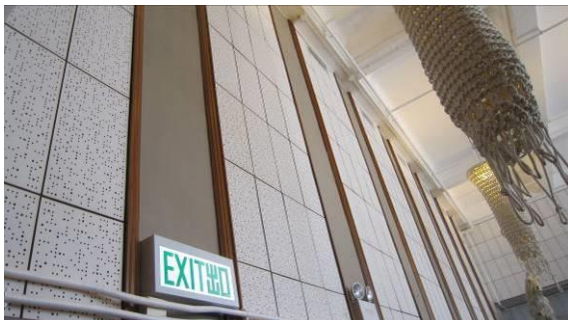
Conserved Court Room No.1 on 2/F

The conserved Court Room No. 1 with the original configuration and settings including:

- i) the sound lobby with wooden ceiling, the upper fixed glass panels and frames, and a pair of wired glass panelled wooden inner doors and door frame;
- ii) public wooden benches on raised steps, the wooden bench of the press corner and the half-height wooden barrier and gate separating the public area;
- iii) Prisoner's Dock and the security bars, and the wooden panelled door and frame for prisoners/ defendants behind;
- iv) Clerk's bench, the witness box with wooden chair and court reporter's desk on low wooden raised platform;
- v) Magistrate's bench on high wooden raised platform, the backdrop wall including the full height wooden wall panelling at both sides, and the moulded frame, the acoustic panels and the Bauhinia plaque at the centre, the wooden steps to the high wooden raised platform and the wooden handrail, the wooden panelled door and door frame for magistrates; and
- vi) design with double-height steel windows on one side of walls, wall finishes with wooden wall panelling on the lower portion and acoustic panels on the upper portion, timber parquet flooring, and the mouldings on ceiling beams.



(Con't)



Item**Architectural Feature**

3.8

Old Court Room No. 2, 3, and 4 on 2/F

The configurations of the old Court Room No. 2, 3 and 4 which designed with double-storey ceiling height, the double-height steel windows on one side and the original mouldings on ceiling beams.

Old Court Room No. 2 (Existing **Studio**)

Old Court Room No. 3 (Existing Classroom 11 and Sound Design Studio)



Old Court Room No. 4 (Existing Classrooms 12 & 13)

Item**Architectural Feature**

3.9

Old Court Rooms Entrance Doors on 2/F

The original wooden panelled double doors of the old Court Room No. 1-4, including all door frames, wooden door head panels with mouldings, metal signages and all old ironmongeries.

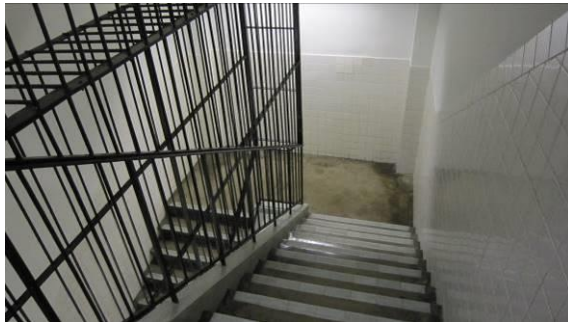


Item**Architectural Feature**

3.10

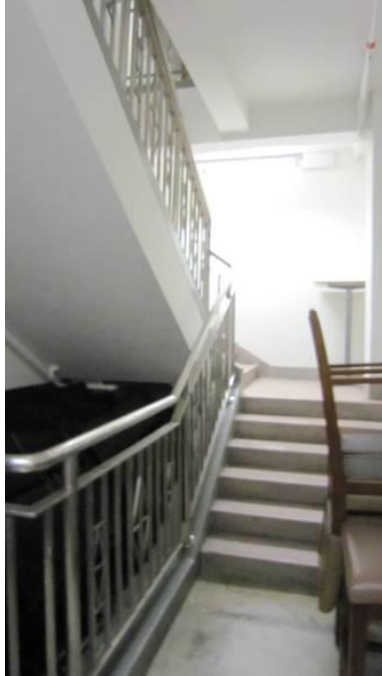
Conserved Defendant Staircase

The conserved Defendant Staircase leading from the detention cells on G/F to the conserved Court Room No. 1, including the metal gates and metal guard bars, the white nosing tiles, the white ceramic tiled wall finishes up to dado height and the glass block window on 2/F.



Item**Architectural Feature**3.11 Conserved Magistrates' Staircase

The conserved portion of Magistrates' Staircase leading from the conserved Court Room No. 1 on 2/F to 3/F where the old Magistrates' chambers located including the mosaic tiles finishes and nosing tiles to the treads, risers and skirtings, and the stainless steel balustrades.



Item

Architectural Feature

3.12

Old Ducts Rooms on 3/F

The configuration of the 4 nos. of old ducts rooms (existing duct rooms and stores) on 3/F with the existing ventilation duct openings on floor to the old court rooms below, the wall openings to the external wall.



Ducts Room (Grid A-C)



Ducts Room (Grid D-F)



Store (Grid D-F)



Store (Grid A-C)

Item**Architectural Feature**

3.13

All Other Old Wooden Panelled Doors

Apart from the old panelled doors mentioned in Item 3.7 and Item 3.9, all other old wooden panelled doors including the door frames and the ironmongeries. Some of the old doors have been salvaged and are being stored.



Item**Architectural Feature**

3.14

All Old Metal Guard Bars and Gates

All old metal guard bars and gates including those on windows and those which have been salvaged and are being stored, some of the old metal guard bars are ornamented with fleur-de-lis motifs painted in white.



Item	Architectural Feature
3.15	<p data-bbox="280 203 911 237"><u>Splayed and moulded plaster cornices at ceilings</u></p> <p data-bbox="280 237 962 271">All splayed and moulded plaster cornices at ceilings.</p>
	

Item

Architectural Feature

3.16

Other Salvaged Items

All salvaged items including furniture, fittings and signages which are being reused, displayed and stored.





Appendix X

**List of Required Treatment to
Architectural Features**

Former North Kowloon Magistracy Required Treatments to Architectural Features

1. EXTERNAL GROUNDS

Item	Architectural Feature	Required Treatments
1.1	<u>Setting / Surrounding Grounds</u>	<ul style="list-style-type: none"> a. The general elevated topography should be kept intact. b. The vehicular run in/out with access roads facing Tai Po Road leading to the South Open Forecourt and North Open Forecourt of site should be generally kept intact. c. Improvement proposals for the site access in conformance to statutory requirements in a reversible manner and with minimum disturbance to the historic building may be considered and subjected to AMO's approval.
 <p data-bbox="596 1196 1251 1227">Vehicular run in/out leading to North Open Forecourt of site</p>  <p data-bbox="596 1756 1251 1787">Vehicular run in/out leading to South Open Forecourt of site</p>		

Item	Architectural Feature	Required Treatments
1.2	<u>Retaining structures</u>	<ul style="list-style-type: none"> a. Existing retaining structures forming podium facing Tai Po Road should be kept intact. b. Plain ashlar-faced retaining wall forming a plinth at LG/F of the historic building facing Tai Po Road should be preserved in-situ. Generally clean, brush-off and remove stains from the surface as appropriate. c. The natural landscape with mature trees at the entrance of the South Open Forecourt to be retained as far as possible. d. Stone parapet wall at the North Open Forecourt should be preserved in-situ. Remove the organic growth on surface and remove the blockage at the weep holes. Repair and make good the stone finishes as appropriate.





Retaining structure with mature trees at entrance of the South Open Forecourt



Stone facing low parapet wall at the North Open Forecourt



Plain ashlar-faced retaining wall along north side of LG/F

Item	Architectural Feature	Required Treatments
1.3	<u>Open spaces at pavement level facing Tai Po Road</u>	<ul style="list-style-type: none"> a. Open spaces originally used as carparking spaces for the Magistracy at pavement level facing Tai Po Road to be remained as open as possible, so that the vista to the LG/F facades of the historic building could be maintained. b. No objection to remove the existing on-grade planters and/ or bollards to suit the new use. c. The overall landscaping design with paving material, if any, at the open spaces should blend in with the surroundings to preserve the historical character of the historic building, and subjected to AMO's approval.
<div style="text-align: center;">  <p data-bbox="598 1079 1171 1111">Open space at south of central grand double staircase</p>  <p data-bbox="598 1588 1171 1619">Open space at north of central grand double staircase</p> </div>		

Item	Architectural Feature	Required Treatments
1.4	<u>South Open Forecourt and North Open Forecourt of the Historic Building</u>	<p>a. The vista of the facades of the historic building are important and should be maintained. The existing openness of the South Open Forecourt and North Open Forecourt be remained as far as possible to allow the general public to pay due respect to the building.</p> <p>b. The South Open Forecourt and North Open Forecourt adjacent to the historic building (‘Open Space’) as denoted in the following drawing should be preserved to minimize the visual impact to the building facades and to maintain the unobstructed vista to the historic building.</p> <p>c. Existing 2-storey temporary structure (‘Temporary Structure’) as denoted in the following drawing should be demolished, unless approval for continuing to occupy this structure is obtained from relevant departments.</p> <p>d. Existing temporary storage (‘Temporary Storage’) as denoted in the following drawing should be demolished.</p> <p>e. The landscaping design with paving material, if any, at the open courts should blend in with the surroundings to preserve the historical character of the historic building, and subjected to AMO’s approval.</p> <p>f. Replacement of the metal fence and access gates facing Tai Po Road may be considered. The design should be compatible and distinguishable from the historic building, and is subjected to AMO’s approval.</p> <p>g. Replacement of the covers of the surface channels may be considered, and is subjected to AMO’s approval.</p>



South Open Forecourt



North Open Forecourt



Temporary Structure




Temporary Storage



 Open Space

 Temporary Structure

 Temporary Storage

2. MAIN BUILDING - EXTERIOR

Item	Architectural Feature	Required Treatments
2.1	<u>External Building Facades</u>	<ul style="list-style-type: none"> a. All external building facades, including the symmetrical design with central projecting bay on front and side facades, and with series of tall and narrow windows separated by vertical columns at front and rear facades, all original windows and door openings, all stonework, ashlar, grooved stucco and decorative tiles etc., horizontal string course on G/F and all horizontal protruding eaves should be preserved in-situ. b. No new structures, air-conditioning equipment, awning, shading fins, etc. on building facades are permitted. c. It is noted that localized conversion works had been carried out at the facades. No alteration or blockage to openings or formation of new openings on the facades are permitted unless with sound evidence and approved by AMO. d. Repair defective rendered walls as necessary, and repaint to match existing with approved methods and materials. e. Remove the temporary signages fixed on the facades and make good as necessary. f. Clean and remove all organic growth on surfaces.



West Elevation



East Elevation



South Elevation



North Elevation



Item	Architectural Feature	Required Treatments
2.2	<u>Flat roof</u>	<ul style="list-style-type: none"> a. The flat roof with its projecting eaves should be generally kept intact. b. No additional storey at roof is permitted. c. Installation of building services equipment, ductwork, pipe works, etc. on the roof maybe considered, provided that their visual impact to the historic building is minimal. These new installations with architectural screenings should be setback and placed as far away from the facades as possible, and should be subjected to AMO's approval. d. All new structures and installations on roof should be subjected to Registered Structural Engineer's advice and AMO's approval. e. Repair any defective roof slab, waterproofing membrane, roof tiles etc. and conduct re-roofing work if necessary. f. Clean and remove all organic growth on roof surface and surface channels.



Projecting roof eave



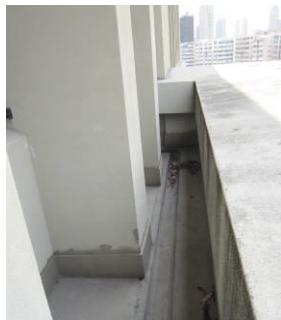
Open flat roof

Item	Architectural Feature	Required Treatments
2.3	<u>Bronze characters fixed to central bay on West Elevation</u>	<ul style="list-style-type: none"> a. The original Chinese and English bronze characters (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”) mounted on ashlar-faced buttress panel at the centre of the projecting bay on 4/F should be preserved in-situ. b. The original bronze characters should be preserved for public appreciation. No cover of the characters, wholly or partially, is permitted. c. Stains and dirt on the surface should be washed down.
<div style="text-align: center;">   </div>		

Item	Architectural Feature	Required Treatments
2.4	<u>Roof terrace on 4/F</u>	<ul style="list-style-type: none"> a. The openness of roof terrace should be kept intact. Entire terrace, including its projecting floor slab, solid parapet wall with deep overhanging coping slab, cornice mouldings at the soffit of the overhanging slab, floor finishes, thresholds to French doors, skirting and surface channels, should be preserved in-situ. b. No covering of the roof terrace, wholly or partially, is permitted. c. No alteration to openings, formation of new openings or other permanent features in the roof terrace is permitted. d. Repair any defective floor finishes, thresholds to French doors, skirting and surface channels as necessary, with materials match existing. e. Repair any defective rendered at solid parapet wall, coping slab, and cornice mouldings at the soffit of the overhanging coping slab. Refinish to match existing as necessary.



Roof terrace with solid parapet on 4/F



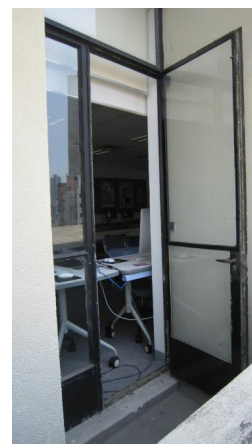
Roof terrace with surface channel



Solid parapet with deep overhanging coping



Cornice mouldings at the soffit of the overhanging coping slab



Steel French doors with threshold

Item	Architectural Feature	Required Treatments
2.5	<u>Balcony on 3/F</u>	<ul style="list-style-type: none"> a. The ambiance and natural ventilation of balcony on three sides should be kept intact. Entire balcony, including its columns, roof slab, ornamental ironwork balustrades, mosaic tiled floor finishes, surface channels, skirting and projecting floor slab, should be preserved in-situ. b. No enclosure of the balcony, wholly or partially, is permitted. c. No alteration to openings or formation of new openings, suspended ceiling system or other permanent features in the balcony are permitted. d. No alternation to ornamental ironwork balustrades is allowed. Stains and dirt on the surface should be washed down. e. Repair any defective floor tiles and surface channels as necessary, with materials match existing. f. Repair any defective rendered walls and ceiling as necessary, and refinish to match existing.





Item	Architectural Feature	Required Treatments
2.6	<u>Canopy above main entrance with flagpole</u>	<ul style="list-style-type: none"> a. Deep projecting concrete canopy, including the inverted beam-and-slab structure and surface channels should be preserved in-situ. b. Repair any defective rendered at the canopy. Refinish to match existing as necessary. c. Remove the temporary signage, make good as necessary. d. Installation of temporary signage in a reversible manner and without causing adverse visual impact to hinder public appreciation to the main façade might be considered, and should be subjected to AMO's approval. g. Original metal flagpole fixed on concrete mass to be preserved in-situ. Stains and dirt on the surface should be washed down.





Item	Architectural Feature	Required Treatments
2.7	<u>Symmetrical grand double staircases</u>	<ul style="list-style-type: none"> a. Double half-turn open symmetrical grand staircases from street level to main entrance at piano-nobile on G/F comprising flights of granite steps (including the three granite steps at street level), granite landings, string course decoration, spandrels, and ornamental ironwork balustrades, should be preserved in-situ. b. All granite surfaces shall be cleaned with bristle or nylon brushes and clean water as necessary, and no corrosive cleaning chemical is allowed. No paintings should be applied on all granite surfaces. c. No alternation to ornamental ironwork balustrades is allowed. Stains and dirt on the surface should be washed down. d. Remove the temporary signage, make good as necessary.



Item	Architectural Feature	Required Treatments
2.8	<u>Buttress</u>	a. Projecting ashlar-faced buttress between the staircase spandrels with grooved or recessed joints to the stonework, and a moulded name tablet set in a recessed panel should be preserved in-situ. b. Stains and dirt on the surface should be washed down.
		

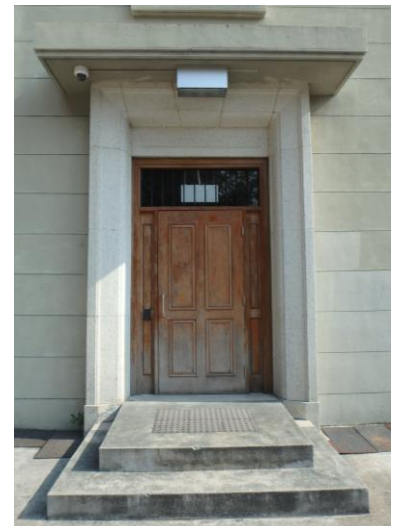
Item	Architectural Feature	Required Treatments
2.9	<u>Stone tablet</u>	a. Stone tablet mounted on a projecting ashlar-faced buttress with the Chinese and English bronze characters (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”) should be preserved in-situ. b. The bronze characters should be preserved for public appreciation. No cover of the characters, wholly or partially, is permitted. c. Stains and dirt on the surface should be washed down.
		

Item	Architectural Feature	Required Treatments
2.10	<u>Main entrance bronze door case with bronze doors</u>	<ul style="list-style-type: none"> a. Main entrance door comprises a pair of bronze studded panel cladding doors in a moulded bronze door case framed with moulded architraves, completes with handles, bolts, locks and hinges, should be preserved in-situ. b. The bronze doors should be preserved for public appreciation. No cover of the door, wholly or partially, is permitted. c. Installation of new ironmongeries to the bronze doors should be avoided. d. Stains and dirt on the surface should be washed down by appropriate cleaning agent.
 <p data-bbox="571 1279 724 1305">Exterior view</p>		 <p data-bbox="1066 1279 1219 1305">Interior view</p>

Item	Architectural Feature	Required Treatments
2.11	<u>Entrance stone door cases with steps</u>	<ul style="list-style-type: none"> a. Carved stone door case, including the moulded architrave, cornice crown moulding, ashlar-faced canopy, with granite door threshold and steps, should be preserved in-situ. b. No alteration and enlargement of door openings is allowed. c. All stone surfaces shall be cleaned with bristle or nylon brushes and clean water as necessary, and no corrosive cleaning chemical is allowed. d. Any improvement works to the access steps to fulfill the prevailing statutory requirements that are installed in a reversible manner may be considered, provided their visual impact and physical impact to the historic building is kept to be minimal, and is subjected to AMO's approval. e. The proposed works should be compatible and distinguishable from the historic building.



Entrance stone door case facing South Open Forecourt

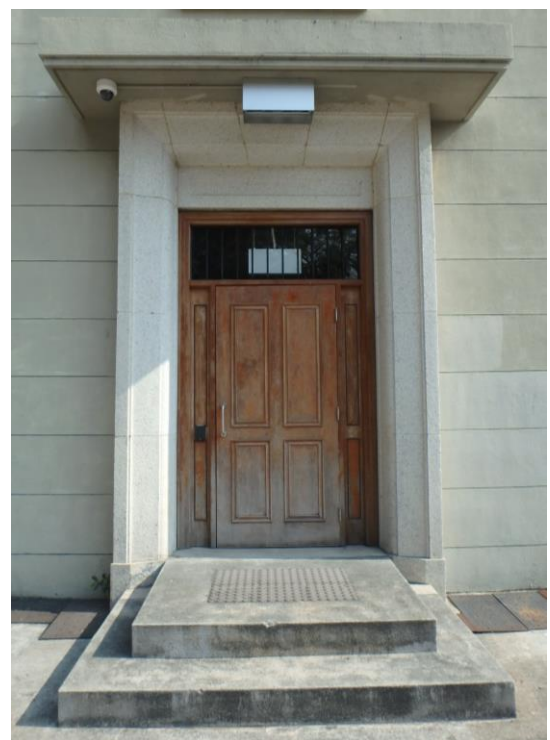


Entrance stone door case facing North Open Forecourt

Item	Architectural Feature	Required Treatments
2.12	<u>Entrance wooden doors</u>	<ul style="list-style-type: none"> a. Entrance doors and fanlights, including door jambs and door head, facing South Open Forecourt and North Open Forecourt should be preserved in-situ. b. The wooden panelled doors and frames including the decorative mouldings at the door faces, though not historical elements were reconstructed with design mimic the old wooden doors, should be re-used as far as practical. c. Existing ironmongeries are new to fulfil the statutory requirements or suit the operational need. Alteration or replacement of ironmongeries for security reasons to suit operational needs may be permitted, and is subjected to AMO's approval. d. No air-conditioning units and any associated ducting and supports attaching to, passing through and disturbing the doors are permitted. e. Check for proper operation and any water ingress, repair as necessary.



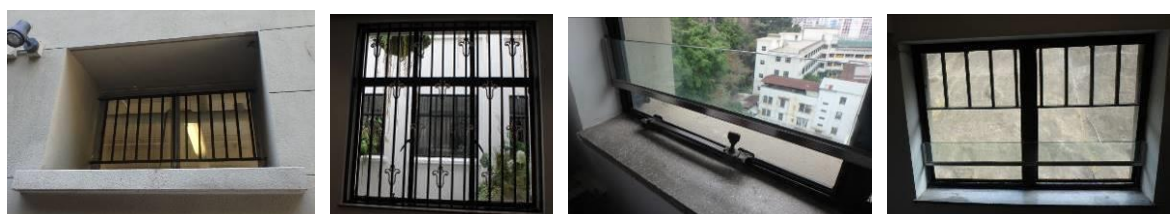
Entrance wooden door facing South Open Forecourt



Entrance wooden door facing North Open Forecourt

Item	Architectural Feature	Required Treatments
2.13	<u>Steel French doors to roof terrace on 4/F and balcony on 3/F</u>	<ol style="list-style-type: none">a. Steel French door openings, including steel French doors and fanlights with steel frames to roof terrace on 4/F and balcony on 3/F should be preserved in-situ.b. No alteration and enlargement of door openings is allowed.c. Check for proper operation and any water ingress, repair and repaint as necessary to match existing.d. Stains and dirt on the surface should be washed down by appropriate cleaning agent.
		

Item	Architectural Feature	Required Treatments
2.14	<u>Window openings and Steel Windows</u>	<ul style="list-style-type: none"> a. All regularly spaced window openings including transomed steel windows with granite cills or window surrounds at external, ironmongeries and internal terrazzo cills should be preserved in-situ. b. No alteration and enlargement of window openings is allowed. c. Alteration of window frames and ironmongeries, including installation of metal louvers, fire damper etc. to suit the new use may be considered, and is subjected to AMO's approval. d. Some of the existing windows were altered to fulfil the statutory requirements or suit the operational need. Conduct research on the original design of the windows, and restore the window to the original design if the altered window could not suit the new use. e. Take down all window type air-conditioning units or abandoned building services fixed to window frames and make good the window frames and/or glazings to match with original design. f. Repair cracks on the existing window cills with materials match existing as appropriate. g. Stains and dirt on the surface should be washed down by appropriate cleaning agent. h. Check for proper operation and any water ingress, repair and repaint as necessary to match existing.



Item	Architectural Feature	Required Treatments
2.15	<u>Decorative glazed tiles</u>	<ul style="list-style-type: none"> a. Decorative glazed tiles, including bullnose tiles and recess tiles, with groove lines mortared on apron panels and jamb tiles surround the steel window frames, should be preserved in-situ. b. No covering up of decorative tiles is allowed. c. Any damaged decorative tiles should be carefully removed and replaced with matching colour tile if and only if the tile is beyond repair.




Item	Architectural Feature	Required Treatments
2.16	<u>Original Garage Openings on GF</u>	<ul style="list-style-type: none"> a. The original wall openings for the old Police Van Garage with old metal gates and the old Magistrate's Garage facing North Open Forecourt should be preserved in situ. b. No alteration to the openings are permitted. c. Check for proper operation for the old metal gates, repair as necessary to match existing. d. Window walls were installed to convert the Magistrate's Garage to indoor space, no objection to remove the window walls if it could not suit the new use. Alteration or replacement of the window walls to suit operational needs but maintaining the existing transparency may be permitted, and is subjected to AMO's approval.




Original wall opening for the old Police Van Garage with old metal gate



Original wall opening for the old Magistrate's Garage




Item	Architectural Feature	Required Treatments
2.17	<u>Wall openings with old steel gates at the East elevation</u>	<ul style="list-style-type: none"> a. The wall openings with old steel gates on LG/F at the East elevation should be preserved in situ. b. Check for proper operation for the old steel gates, repair and repaint as necessary to match existing.
		

Item	Architectural Feature	Required Treatments
2.18	<u>Wall openings and grill blocks</u>	<ul style="list-style-type: none"> a. Wall openings infilled with precast grill blocks for natural ventilation at staircase enclosures and pipe duct shafts at the external walls should be preserved in-situ. b. Any patterns formed with the grill blocks should not be filled up. c. Some of the wall openings were block internally to fulfil the statutory requirements or suit the operational need. Blocking of wall openings from internal side in a reversible manner may be considered, and is subjected to AMO's approval.
		

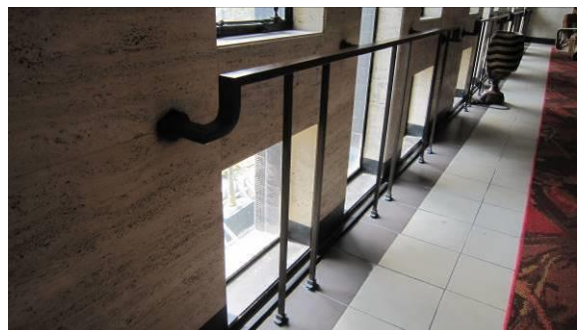
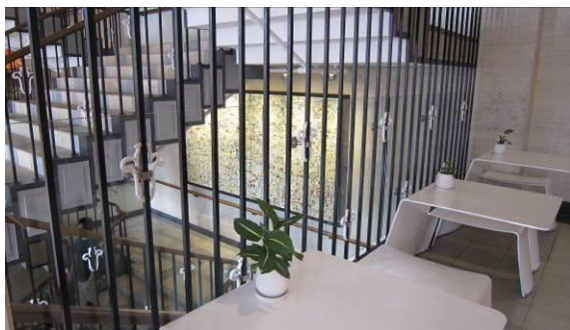
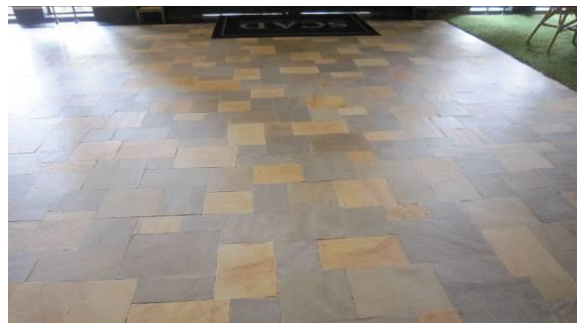
Item	Architectural Feature	Required Treatments
2.19	<u>Central light well</u> <u>(on 3/F, 4/F and 5/F)</u>	<ul style="list-style-type: none"> a. Central light well, exhaust fan housings with glass block roof light at 2/F soffit, and steel windows should be preserved in-situ. b. The central light well was covered with a skylight installed at roof level to suit the operational need. Covering to the central light well may be considered, provided that the natural daylight ambiance could be maintained, and is subjected to AMO's approval. d. Repair and make good to the glass block roof light at 2/F soffit, rectify any water leakage as necessary. Any damaged glass blocks should be carefully removed and replaced with material match existing, if and only if the glass block is beyond repair.



3. MAIN BUILDING – INTERIOR

Item	Architectural Feature	Required Treatments
3.1	<u>Building Structure</u>	<ul style="list-style-type: none"> a. All structural elements including columns, beams, floor and roof slabs, etc. should be kept intact as far as practicable. b. The existing provisions of means of escape (MOE) staircases (ST-1, ST-2 and ST-3), and barrier free access including accessible lift (LT-1) should be reused in order to avoid extensive alteration to the structural elements. c. Apart from point (b), conduct research on the original layout and structure, remove the later-added structure and reinstate to suit the new use as far as practicable, and is subjected to AMO's approval. d. Improvement of running of services and circulation as required by design and statutory requirements that are constructed in a reversible manner may be considered. The design for coring or forming of new openings or alteration of existing opening on the structure elements is subjected to Registered Structural Engineer's advice and AMO's approval. e. Repair all spalled concrete and other defects as necessary. f. Any strengthening works required to meet statutory requirements may be considered and should be subjected to Registered Structural Engineer's advice and AMO's approval. However, strengthening or recasting in the conserved spaces in the old Court Rooms No. 1 to 4 on 2/F, the old Detention Cells on G/F, the Central Halls on G/F to 2/F, the conserved Defendant Staircase and the conserved Magistrates Staircases should be avoided as far as practicable.
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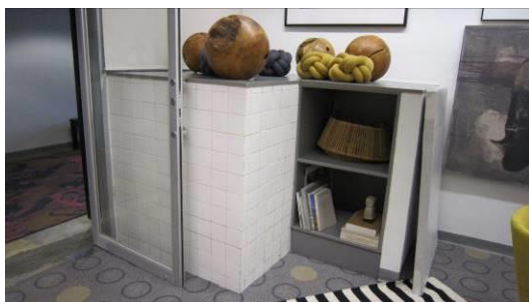
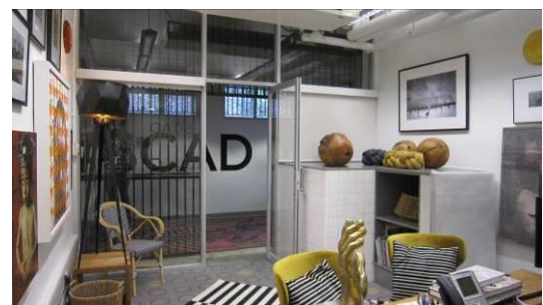
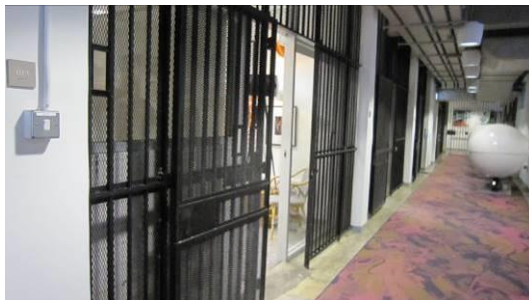
Item	Architectural Feature	Required Treatments
3.2	<u>Central Halls</u>	<ul style="list-style-type: none"> a. The configuration of entrance hall on G/F which had been altered in the 1970s, should be restored to its original symmetrical design, while the Central Halls on 1/F and 2/F should be kept intact. No new opening should be formed on walls unless approved by the AMO. b. The random pattern stone flooring on G/F and the marble wall cladding with black marble skirting on G/F to 2/F should be preserved in-situ. Clean and repair the stone flooring and marble cladding and skirting as necessary to match existing. c. The ornamental ironwork balustrades with wooden handrails, the metal guard bars around the central hall staircase void and the ornamental metal handrails and guard bars to vertical windows should be preserved in-situ. Clean, repair and repaint the ironwork and woodwork as necessary to match existing. d. Later-added glass barriers to the balustrades and metal guard bars to meet statutory requirements should be reused as far as practicable. e. Any suspended ceilings should allow the moulding details at ceiling beams and the window profiles to be fully exposed and uninterrupted.



Item	Architectural Feature	Required Treatments
3.3	<u>Central Staircase</u>	<ul style="list-style-type: none"> a. The central staircase from G/F to 2/F including the stone finishes to treads and risers, the square mouldings at the sides and the ornamental ironwork balustrades with wooden handrails featuring fleur-de-lis motifs should be preserved in-situ. b. Repair, replaster and repaint the staircase including ironwork and woodwork to match existing as necessary. c. Upgrading works to the existing handrails and balustrades to meet the statutory requirements should be avoided as far as practicable subjected to the approval of Buildings Authority. In case upgrading works are required, modification works should be carried out in a reversible manner. The design should be distinguishable from and compatible with the existing handrails and balustrades and is subjected to AMO's approval. d. The marble cladding with black marble skirting on walls should be preserved in situ. Clean and repair as necessary. e. Do not block the glass blocks roof lights at 2/F ceiling.



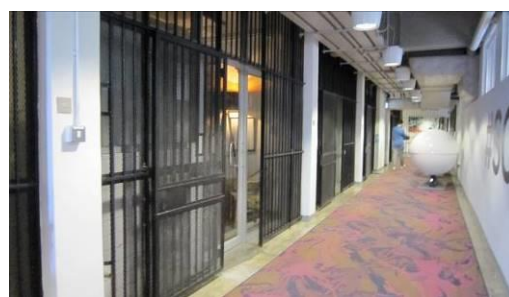
Item	Architectural Feature	Required Treatments
3.4	<u>Old Detention Cells No. 2, 3, 4, 5 and 7</u>	<ul style="list-style-type: none"> a. The remains of the old Detention Cells No. 2, 3, 4, 5 and 7 including all original configurations, metal guard bars and grilles, all metal gates with mortice locks, and all half-height partitioned squat toilets with white tiled wall finishes and mosaic tiled floor finishes should be preserved in-situ. b. Clean, repair the ironwork and the tiled finishes as necessary to match existing. c. No objection to reuse the later-added glass partitions and glass doors. Alteration to the existing walls or addition of new partitions is not allowed except for restoration works and unless approved by the AMO, and is subjected to the advice of a Registered Structural Engineer. d. Reuse the existing openings on walls and the metal guard bars and grilles for running of services as far as practicable. Any alteration to existing opening or forming of new opening on walls and the metal guard bars and grilles should be approved by the AMO. e. Covering up the half-height partitioned squat toilets in a reversible manner could be considered and is subjected to AMO's approval.





Item	Architectural Feature	Required Treatments
3.5	<u>Conserved Detention Cell No. 6</u>	<p>a. The conserved Detention Cell No. 6 with its original configuration and layout including the metal guard bars and grilles, the metal gate with mortice lock, the half-height partitioned squat toilet with white tiled wall finishes and mosaic tiled floor finishes, concrete benches, painted wall finishes with dado coloured grey, and with its upper portion painted white, the historic graffiti on walls, the original concrete flooring and the wash basin outside the cell should be preserved in-situ.</p> <p>b. Clean and repair the ironwork and tiled finishes as necessary to match existing.</p> <p>c. Repaint the walls and the concrete benches to match existing colour scheme as necessary, carefully remove the new graffiti on walls and avoid damaging the historic graffiti on walls.</p> <p>d. Reuse the existing wall openings, the air duct, the light fittings and the fire services installation as far as practicable. Any alteration to existing opening or forming of new opening on walls and the metal guard bars and grilles should be approved by the AMO.</p>



Item	Architectural Feature	Required Treatments
3.6	<u>Old Control Corridors on G/F</u>	<ul style="list-style-type: none"> a. A portion of the old control corridors on G/F from the old Police Van Garage (existing common area) to the old detention cells and from the old detention cells to the metal gate of conserved Defendant Staircase had been altered in last renovation with additions of new door openings along the corridors which disturbed the atmosphere of a controlled environment. b. Research study on the original layout of control corridors should be carried out. The unaltered portions should be preserved in-situ while the altered portions should be restored or re-planning in order to enhance the atmosphere of a controlled environment as far as practicable and is subjected to AMO's approval. c. The modified metal gate should be restored to its original appearance, while the other 3 nos. of metal gates, and the retained metal guard bars at window openings at high levels should be preserved in-situ. d. Metal guard bars which had been installed at the window openings along the original control corridors but were later-removed should be restored according to the research study. e. Reuse the existing openings on walls and the metal guard bars and grilles for running of services as far as practicable. Any alteration to existing opening or forming of new opening on walls and the metal guard bars and grilles should be approved by the AMO. f. Clean, repair the existing finishes and repaint the metal guard bars as necessary to match existing. g. No objection to repaint the wall in a reversible manner with different colour scheme, but the design should be subjected to AMO's approval.



Item	Architectural Feature	Required Treatments
3.7	<u>Conserved Court Room No.1 on 2/F</u>	<p>a. The conserved Court Room No. 1 with the original configuration and settings should be preserved in-situ including:</p> <ul style="list-style-type: none"> i) the sound lobby with wooden ceiling, the upper fixed glass panels and frames, and a pair of wired glass panelled wooden inner doors and door frame; ii) public wooden benches on raised steps, the wooden bench of the press corner and the half-height wooden barrier and gate separating the public area; iii) Prisoner's Dock and the security bars, and the wooden panelled door and frame for prisoners/ defendants behind; iv) Clerk's bench, the witness box with wooden chair and court reporter's desk on low wooden raised platform; v) Magistrate's bench on high wooden raised platform, the backdrop wall including the full height wooden wall panelling at both sides, and the moulded frame, the acoustic panels and the Bauhinia plaque at the centre, the wooden steps to the high wooden raised platform and the wooden handrail, the wooden panelled door and door frame for magistrates; vi) and wall finishes with wooden wall panelling on the lower portion and acoustic panels on the upper portion, timber parquet flooring, and the mouldings on ceiling beams. <p>b. Clean and repair all defective fittings, finishes and furniture as necessary to match existing.</p> <p>c. Do not block the double-height steel windows, addition of shades or blinds in front of windows in a reversible manner could be considered and the design should be subjected to AMO's approval.</p> <p>d. Reuse the existing wall openings, the air duct, the light fittings and the fire services installation as far as practicable. Any alteration to existing opening or forming of new opening on walls should be approved by the AMO.</p> <p>e. No suspended ceiling system is permitted.</p>
		

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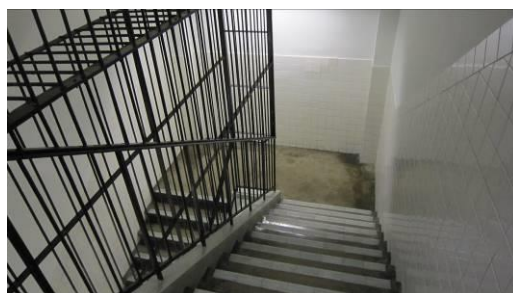
Item	Architectural Feature	Required Treatments
3.8	<u>Old Court Room No. 2, 3, and 4 on 2/F</u>	<ul style="list-style-type: none"> a. The configurations of the old Court Room No. 2, 3 and 4 should be generally kept intact. Partitioning inside each court room should not block the existing double-height steel windows and should be kept to a minimum in order to reveal the original spacious rectangular design of court rooms. b. All later-added partitions which blocked the double-height steel windows and all false ceiling system installed should be removed to expose the double-height steel windows and the original double-storey ceiling height design as far as practicable. c. No additional storey should be constructed inside the original double-height spacing. d. Do not block the double-height steel windows, addition of shades or blinds in front of windows in a reversible manner could be considered and the design should be subjected to AMO's approval. e. Running of services inside the court room should be re-designed, grouped together, and concealed inside bulkhead as necessary to reduce the visual impact and to expose the mouldings on ceiling beams as far as practicable.



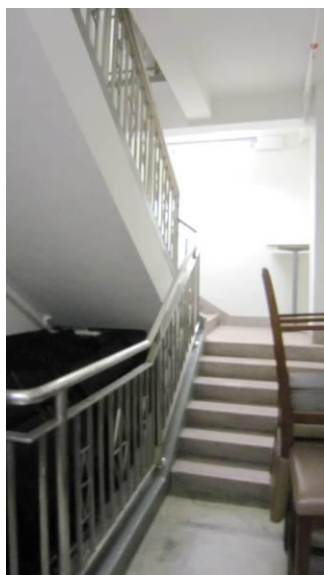
Item	Architectural Feature	Required Treatments
3.9	<u>Old Court Rooms Entrance Doors on 2/F</u>	<p>a. The original wooden paneled double doors of the old Court Room No. 1-4, including all door frames, wooden door head panels with mouldings, metal signages and all old ironmongeries should be preserved in-situ.</p> <p>b. Clean the doors and repair any defective parts to operable status as necessary.</p>




Item	Architectural Feature	Required Treatments
3.10	<u>Conserved Defendant Staircase</u>	<ul style="list-style-type: none"> a. The conserved Defendant Staircase leading from the detention cells on G/F to the conserved Court Room No. 1, including the metal gates and metal guard bars, the white nosing tiles and the white ceramic tiled wall finishes, and the glass block windows on 2/F should be preserved in-situ. b. Since the staircase was not retained as main circulation but for interpretation only, same approach should be adopted to avoid any upgrading works to the existing staircase as far as practicable, subjected to the approval of Buildings Authority. f. In case upgrading works or addition of protective barriers or handrails to the existing staircase to meet statutory requirements are required, all works should be carried out in a reversible manner. The design should be distinguishable from and compatible with the existing staircase and is subjected to AMO's approval. c. Clean, repair and repaint the existing finishes and metal guard bars as necessary to match existing. d. Reuse the existing wall openings, the light fittings and the fire services installation as far as practicable. Any alteration to existing opening or forming of new opening on walls and the metal guard bars and grilles should be approved by the AMO.



Item	Architectural Feature	Required Treatments
3.11	<u>Conserved Magistrates' Staircase</u>	<ul style="list-style-type: none"> a. The conserved portion of Magistrates' Staircase leading from the conserved Court Room No. 1 on 2/F to 3/F where the old Magistrates' chambers located including the mosaic tiled finishes and nosing tiles to the treads, risers and skirtings, and the stainless steel balustrades should be preserved in-situ. b. Since the staircase was not retained as main circulation but for interpretation only, same approach should be adopted to avoid any upgrading works to the existing staircase as far as practicable, subjected to the approval of Buildings Authority. c. In case upgrading works or addition of protective barriers or handrails to the existing staircase to meet statutory requirements are required, all works should be carried out in a reversible manner. The design should be distinguishable from and compatible with the existing staircase and is subjected to AMO's approval. d. Clean, repair and repaint the existing finishes and balustrades as necessary to match existing. e. Reuse the existing wall openings, the light fittings and the fire services installation as far as practicable. Any alteration to existing opening or forming of new opening on walls should be approved by the AMO.

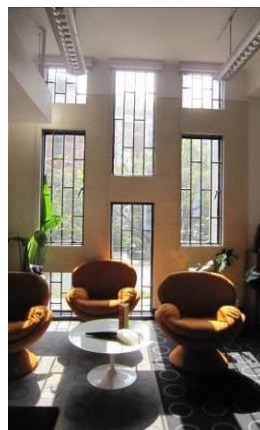
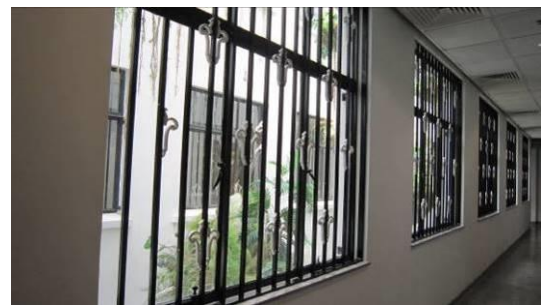




Item	Architectural Feature	Required Treatments
3.12	<u>Old Ducts Rooms on 3/F</u>	The configuration of the 4 nos. of old ducts rooms (existing ducts rooms and stores) on 3/F with the existing ventilation duct openings on floor to the old court rooms below and the wall openings to the external wall should be preserved in-situ.
		

Item	Architectural Feature	Required Treatments
3.13	<u>All Other Old Wooden Panelled Doors</u>	<p>a. Apart from the old panelled doors mentioned in Item 3.7 and Item 3.9, all other old wooden panelled doors installed in historic building including the door frames and the ironmongeries should be reused as far as practicable.</p> <p>b. Old wooden panelled doors at the Old Duct Rooms (Item 3.12) should be preserved in-situ, while relocation of other old doors installed in historic building to suit new layout could be considered.</p> <p>c. For all the salvaged doors which are being stored, check the conditions and document all the salvaged doors and frames by photos and drawings, assess the level of significance of each door and explore ways to reuse or display the salvaged doors on site as far as practicable (otherwise the salvaged doors are still required to be stored properly within the site). Submit the condition report, the documentations and the proposal for the doors to AMO for approval.</p> <p>d. Clean, treat with wooden preservative treatment and repair the defective parts to operable conditions as necessary to match existing for all the wooden doors to be preserved in-situ, reused and displayed.</p>



Item	Architectural Feature	Required Treatments
3.14	<u>All Old Metal Guard Bars and Gates</u>	<ul style="list-style-type: none"> a. All existing metal guard bars and gates installed in historic building should be preserved in-situ and repaired as necessary unless approved by the AMO. b. For all the salvaged metal guard bars and gates which are being stored, check the conditions, document all the salvaged metal guard bars and gates by photos and drawings, assess the level of significance of each metal guard bars and gate, and explore ways to reuse or display the salvaged metal guard bars and gates on site as far as practicable (otherwise the salvaged guard bars and gates are still required to be stored properly within the site). c. If any salvaged metal guard bars on windows with fleur-de-lis motifs is found, investigate its original location, repair as necessary and restore to the original location as far as practicable. d. Submit the condition report, the documentations and the proposal for all the salvaged metal guard bars to AMO for approval. e. Clean, repair the defective parts and repaint as necessary for all the old metal guard bars to be preserved in-situ, reused, displayed or restored.



Item	Architectural Feature	Required Treatments
3.15	<u>Splayed and moulded plaster cornices at ceilings</u>	<ol style="list-style-type: none">a. All splayed and moulded plaster cornices at ceilings should be preserved in-situ.b. Repair and repaint as necessary.c. Suspended false ceilings may be considered, the design should allow the moulding details at ceilings and the window profiles to be fully exposed and uninterrupted, and is subjected to AMO's approval.
		

Item	Architectural Feature	Required Treatments
3.16	<u>Other Salvaged Items</u>	<ul style="list-style-type: none"> a. All other salvaged items including furniture, fittings and signages which are being reused, displayed and stored should be preserved within the site unless approved by the AMO. b. Check the conditions and document all the salvaged items by photos and drawings. Reuse and display all the salvaged items as far as practicable. c. Clean and repair the salvaged items as necessary to match existing.



Appendix XI

**List of Recommended Treatment to
Architectural Features**


Former North Kowloon Magistracy


Recommended Treatments to Architectural Features

1. EXTERNAL GROUNDS


Item	Architectural Feature	Recommended Treatments
1.1	<p><u>Ancillary facilities at the South Open Forecourt and North Open Forecourt of the Historic Building</u> (Later-Addition)</p>	<p>a. South Open Forecourt accommodates later-added ancillary facilities, e.g. designated parking space for persons with disabilities, fire services pump room and tank, cabinet for fire services and sprinkler inlets, check meter cabinet, cooling tower for air-conditioning system etc. North Open Forecourt accommodates later-added cabinet for fire services inlets. Reuse the later-added facilities as far as possible.</p> <p>b. Installation/ alternation of building services equipment, ductwork, pipe works, etc. maybe considered, provided that their visual impact to the historical building is minimal. These new installations with architectural screenings should be placed as far away as possible from the historic building, and should be subjected to AMO's approval.</p> <p>c. No objection to change the color scheme of the ancillary facilities, and is subjected to AMO's approval.</p>
		




2. MAIN BUILDING - EXTERIOR

Item	Architectural Feature	Recommended Treatments
2.1	<u>External exit staircase at East elevation</u> (Later-Addition)	a. A covered exit staircase was reconstructed from G/F to 1/F at East elevation to fulfil statutory requirement. Reuse the staircase as far as possible. b. No objection to change the color scheme of the exit staircase, and is subjected to AMO's approval.
		

Item	Architectural Feature	Recommended Treatments
2.2	<u>Flue for exhaust of emergency generator at East elevation</u> (Later-Addition)	a. Flue for exhaust of emergency generator was constructed from G/F to R/F at East elevation. Reuse the facilities as far as possible. b. Check for proper operation and repair as necessary.
		


Item	Architectural Feature	Recommended Treatments
2.3	<u>Building services/ installation at flat roof</u> (Later-Addition)	<p>a. Skylight, glazed lift overrun enclosure, lightning protection system, exhaust chimney for emergency generator and metal balustrades were constructed at flat roof to fulfil statutory requirement and operation use. Reuse the facilities as far as possible.</p> <p>b. Check for proper operation and repair as necessary.</p>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;"> <div style="text-align: center; width: 45%;">  <p>Skylight</p> </div> <div style="text-align: center; width: 45%;">  <p>Glazed lift overrun enclosure</p> </div> <div style="text-align: center; width: 45%;">  <p>Metal balustrades</p> </div> <div style="text-align: center; width: 45%;">  <p>Exhaust chimney for emergency generator</p> </div> <div style="text-align: center; width: 45%;">  <p>Access hatch</p> </div> <div style="text-align: center; width: 45%;">  <p>lightning protection system</p> </div> </div>		


Item	Architectural Feature	Recommended Treatments
2.4	<u>Fall arrest system at the canopy above main entrance</u> (Later-Addition)	a. Fall arrest system was installed to fulfil statutory requirement and operation need. Reuse the system as far as possible. b. Check for proper operation and repair as necessary.
		


Item	Architectural Feature	Recommended Treatments
2.5	<u>Roof terrace on 4/F and balcony on 3/F</u>	a. 'Access for maintenance only' was adopted at roof terrace on 4/F and balcony on 3/F to strike a balance between maintaining the architectural authenticity and complying with statutory requirement in previous statutory submission. b. Adoption of similar approach as far as possible to preserve the roof terrace/ balcony in-situ is recommended.
 <div style="display: flex; justify-content: space-around;"> <div data-bbox="536 1599 880 2056">  <p data-bbox="611 2058 778 2085">Balcony on 3/F</p> </div> <div data-bbox="896 1599 1299 2056">  <p data-bbox="1002 2058 1214 2085">Roof terrace on 4/F</p> </div> </div>		

Item	Architectural Feature	Recommended Treatments
2.6	<u>Symmetrical grand double staircases</u>	<p>a. Management approach, including the double staircase will not be used as access to the building, occasion access would be monitored and supervised by attendants, permanent signs to be erected to notify the public that access cannot be gained, barriers to be placed at designated area of the staircase landings to provide addition protection etc., was adopted to strike a balance between maintaining the architectural authenticity and complying with statutory requirement in previous statutory submission.</p> <p>b. Adoption of similar management approach as far as possible to preserve the grand double staircase in-situ is recommended.</p>



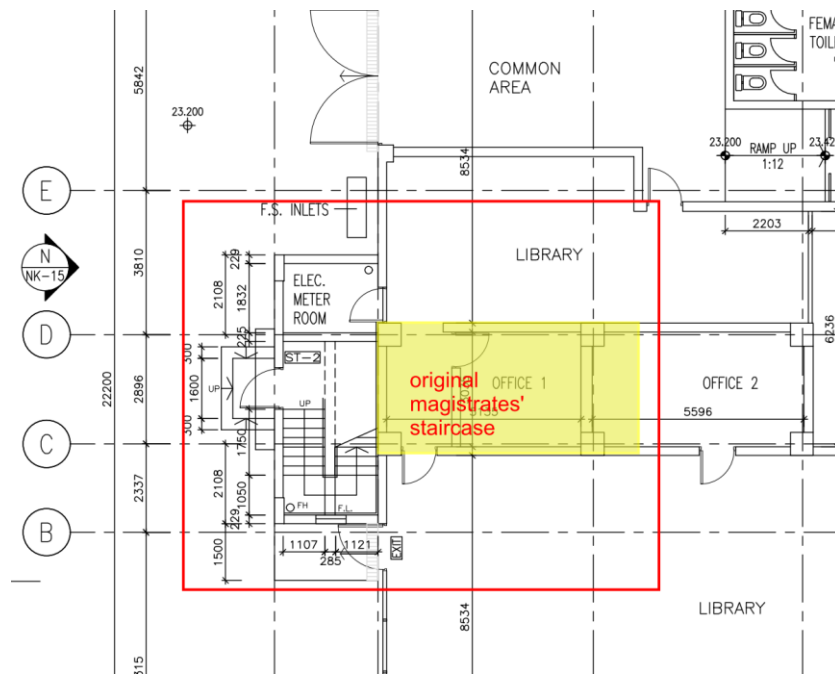
Item	Architectural Feature	Recommended Treatments
2.7	<u>Main entrance bronze door case with bronze doors</u>	<p>a. Management approach, i.e. the bronze doors will normally be closed to public, was adopted to strike a balance between maintaining the architectural authenticity and complying with statutory requirement in previous statutory submission.</p> <p>b. Adoption of similar management approach as far as possible to preserve the bronze doors in-situ is recommended.</p>
 <p data-bbox="571 972 724 999">Exterior view</p>		 <p data-bbox="1066 972 1219 999">Interior view</p>

Item	Architectural Feature	Recommended Treatments
2.8	<u>Barrier free access ramp and steps</u> (Later-Addition)	<p>a. Additional barrier free access ramp was constructed on top of the existing granite steps at the side entrance facing South Open Forecourt in a reversible manner to fulfill the statutory requirements. Reuse the barrier free access as far as possible.</p> <p>b. Additional steps were constructed on top of the existing granite steps at the side entrance facing North Open Forecourt in a reversible manner to fulfill the statutory requirements. Reuse the facilities as far as possible.</p> <p>c. Check for proper operation and repair as necessary.</p>
 <p data-bbox="331 2002 1018 2033">Addition barrier free access ramp facing South Open Forecourt</p>		 <p data-bbox="1118 2002 1426 2065">Addition access steps facing North Open Forecourt</p>

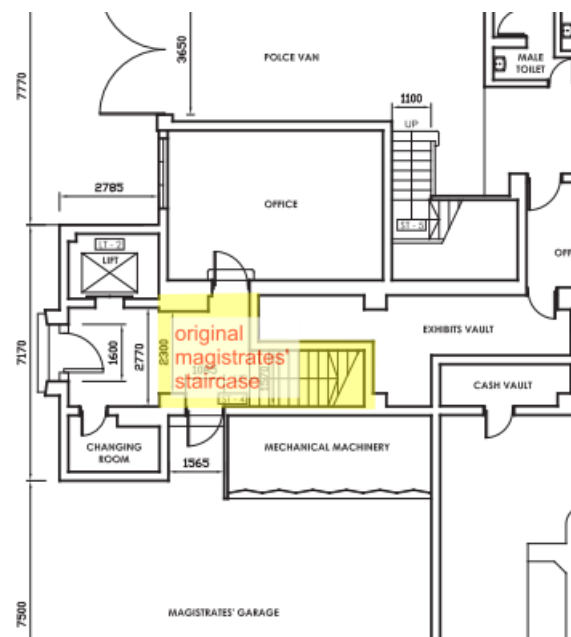
Item	Architectural Feature	Recommended Treatments
2.9	<u>Steel French doors to roof terrace on 4/F and balcony on 3/F</u>	<p>a. Steel French doors gaining access to roof terrace on 4/F and balcony on 3/F were locked for maintenance only to fulfill the statutory requirement in previous statutory submission.</p> <p>b. Adoption of similar approach as far as possible is recommended.</p>
		

3. MAIN BUILDING - INTERIOR

Item	Architectural Feature	Recommended Treatments
3.1	<u>Old Magistrates' Staircase</u>	Re-planning the interior layout near ST-2 on G/F, 1/F and 2/F (refer to the areas highlighted in red below) in order to restore the demolished portions of the old Magistrates' Staircase (refer to areas highlighted in yellow below) leading from G/F North Entrance to 2/F conserved Court Room No. 1, for full interpretation of the original design of independent circulation for Magistrates from G/F entrance to the court and to office floor.

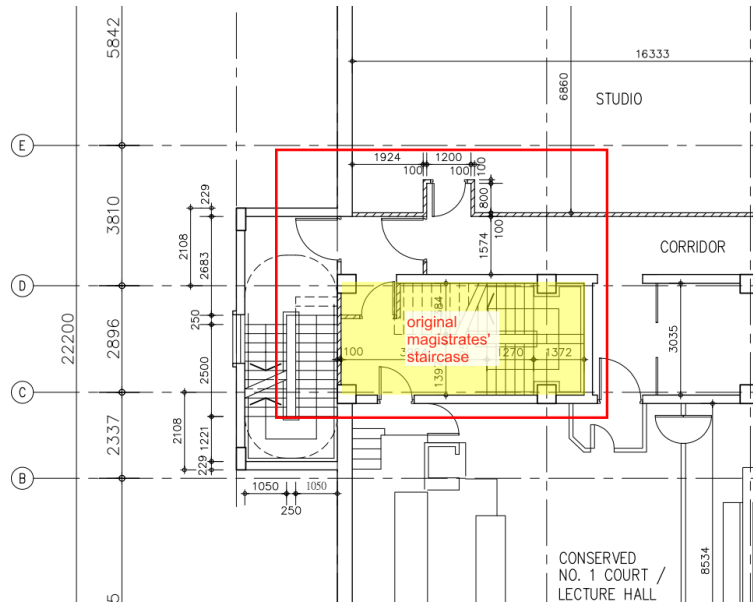


Existing G/F Part Plan after removal of Magistrates' Staircase

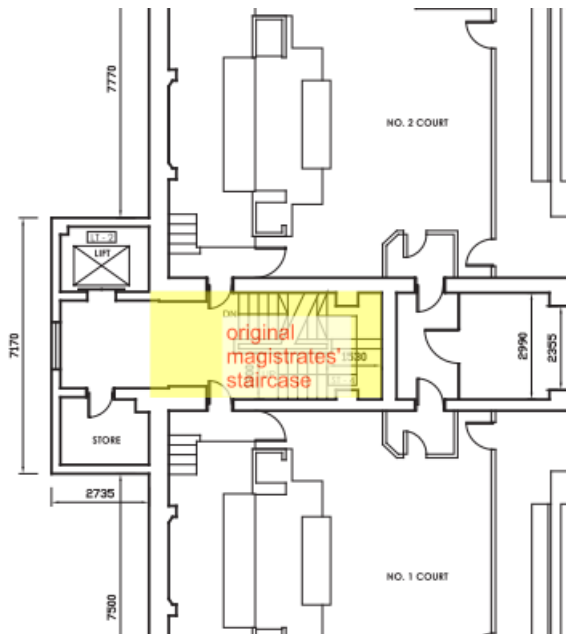


Old G/F Part Plan showing the Original Magistrates' Staircase as of 2009

(Con't)



Existing 2/F Part Plan after removal of Magistrates' Staircase



Old 2/F Part Plan showing the Original Magistrates' Staircase as of 2009

Item	Architectural Feature	Recommended Treatments
3.2	<u>Existing building services provisions</u> (Later-Addition)	<ul style="list-style-type: none"> a. Reuse the existing building services provisions inside the historic building as far as practicable. b. Any alternation or installation of new building services equipment, ductwork, pipe works etc. may be considered, provided that their visual impact to the historic building is minimal, and is subjected to AMO's approval.



Existing PAU Room



Existing Flushing Water Pump Room



Existing Emergency Generator Room



Existing Fresh Water Pump Room



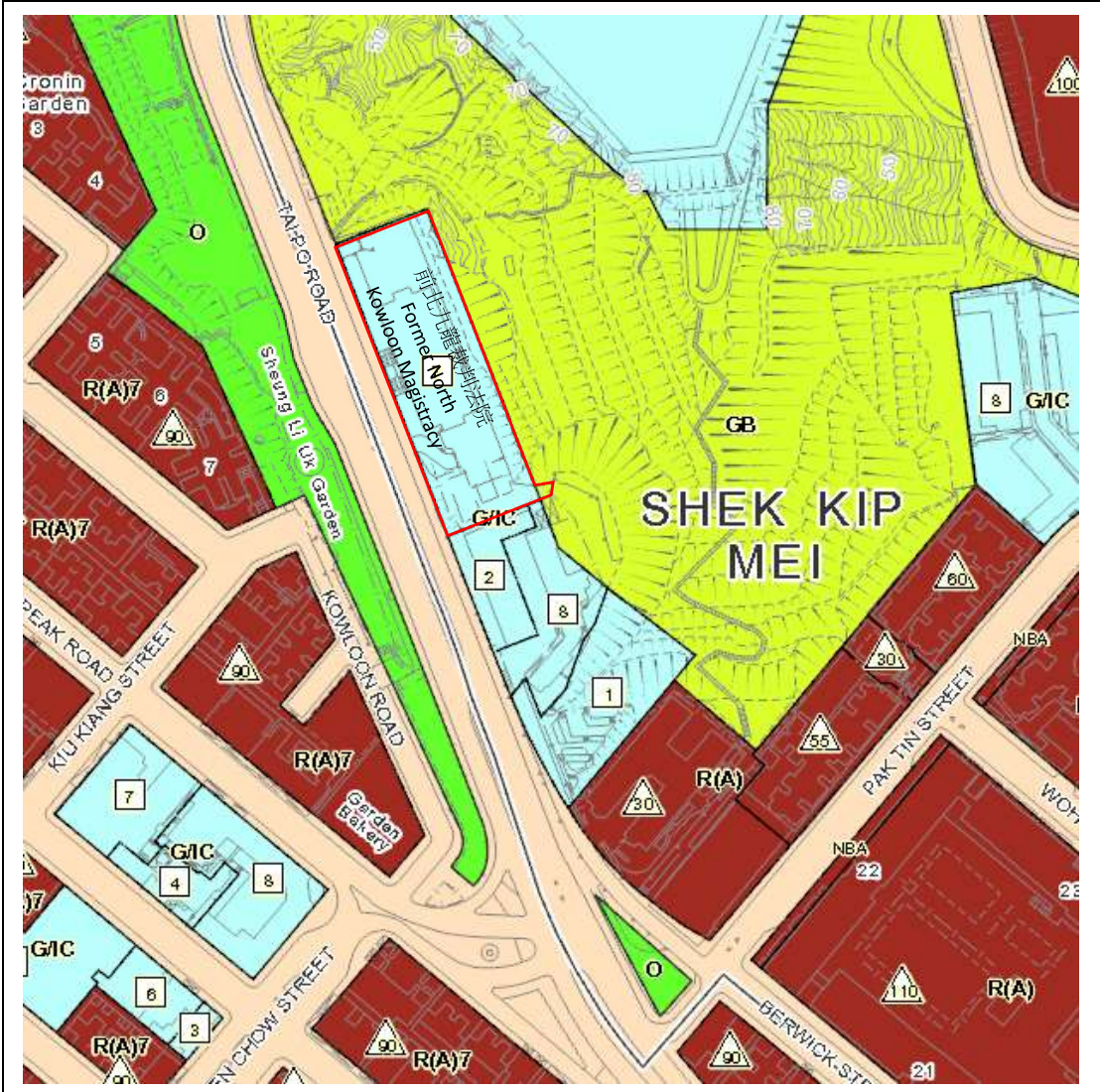
Existing AC Plant Room



Existing Main Switch Room

Appendix XII

Outline Zoning Plan



OUTLINE ZONING PLAN

(EXTRACT PLAN BASED ON WEBSITE OF TOWN PLANNING)

DATE: 27.05.2020

<p>Legend:</p> <p>Statutory Plan</p> <p>OZP Zoning</p> <ul style="list-style-type: none"> O Open Space GB Green Belt R(A) Residential (Group A) G/C Government, Institution or Community OU Other Specified Uses 140 Maximum Building Height (In Metres Above Principal Datum) 5 Maximum Building Height (In Number of Storeys) <p> SITE BOUNDARY</p>	<p>FORMER NORTH KOWLOON MAGISTRACY</p>	<p>APPENDIX XII OUTLINE ZONING PLAN NOT TO SCALE</p>
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GOVERNMENT, INSTITUTION OR COMMUNITY

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot	Animal Boarding Establishment
Animal Quarantine Centre	Animal Quarantine Centre
(in Government building only)	(not elsewhere specified)
Broadcasting, Television and/or Film Studio	Columbarium
Eating Place (Canteen,	Correctional Institution
Cooked Food Centre only)	Crematorium
Educational Institution	Driving School
Exhibition or Convention Hall	Eating Place (not elsewhere specified)
Field Study/Education/Visitor Centre	Flat
Government Refuse Collection Point	Funeral Facility
Government Use (not elsewhere specified)	Helicopter Filling Station
Hospital	Helicopter Landing Pad
Institutional Use (not elsewhere specified)	Holiday Camp
Library	Hotel
Market	House
Place of Recreation, Sports or Culture	Mass Transit Railway Vent Shaft and/or Other
Public Clinic	Structure above Ground Level other than
Public Convenience	Entrances
Public Transport Terminus or Station	Off-course Betting Centre
Public Utility Installation	Office
Public Vehicle Park	Petrol Filling Station
(excluding container vehicle)	Place of Entertainment
Recyclable Collection Centre	Private Club
Religious Institution	Radar, Telecommunications Electronic
Research, Design and Development Centre	Microwave Repeater, Television and/or
School	Radio Transmitter Installation
Service Reservoir	Refuse Disposal Installation
Social Welfare Facility	(Refuse Transfer Station only)
Training Centre	Residential Institution
Wholesale Trade	Sewage Treatment/Screening Plant
	Shop and Services
	Utility Installation for Private Project
	Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

Remarks

- (1) On land designated “Government, Institution or Community” (“G/IC”), no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building heights in terms of number of storey(s) or metres above Principal Datum (mPD) as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- (2) On land designated “G/IC(1)”, “G/IC(2)”, “G/IC(3)”, “G/IC(4)”, “G/IC(5)”, “G/IC(6)”, “G/IC(7)” and “G/IC(8)”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum plot ratio, building height, gross floor area specified below, or the plot ratio, building height, gross floor area of the existing building, whichever is the greater :

Sub-Area	Restriction
G/IC(1)	a maximum building height of 10.67m
G/IC(2)	a maximum building height of 46mPD
G/IC(3)	a maximum building height of 51mPD
G/IC(4)	sub-area (A) - a maximum building height of 70mPD sub-area (B) - a maximum building height of 119.5mPD
G/IC(5)	a maximum gross floor area of 27 400m ² and a maximum building height of 112mPD
G/IC(6)	a maximum plot ratio of 3.37 and a maximum building height of 134.9mPD
G/IC(7)	a maximum building height of 112mPD
G/IC(8)	a maximum building height of 38mPD

- (3) In determining the relevant maximum number of storey(s) for the purposes of paragraph (1) above, any basement floor(s) may be disregarded.
- (4) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio/gross floor area/building height restrictions stated in paragraphs (1) and (2) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

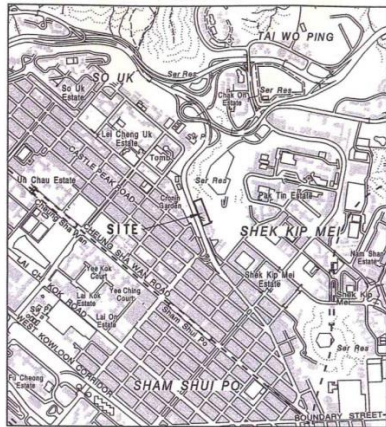
Remarks (Cont'd)

- (5) On land designated "G/IC(5)", the maximum building height as set out in paragraph (2) above may, upon obtaining permission of the Town Planning Board under section 16 of the Town Planning Ordinance, be increased to a maximum of 135mPD, with the support of a visual and landscape impact assessment and any other information as may be required by the Town Planning Board.
- (6) Under exceptional circumstances, for developments and/or redevelopments, minor relaxation of the non-building area restrictions as shown on the Plan may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

Appendix XIII

Land Allocation Plan

LOCATION



SCALE 1 : 20000

SIDE	DISTANCE IN METRES	BEARING ° ' "	Pt.	CORNER MARKED BY
A B	117.396	158 52 55		
B C	7.186	80 30 28		
C D	5.205	191 38 13		
D E	42.855	248 41 47		
E F	1.685	338 48 20		
F G	5.512	332 43 24		
G H	19.880	340 28 47		
H J	98.246	338 48 20		
J A	38.885	68 48 20		

- U, V, W } ENGINEERING CONDITIONS REFER
- X, Y, Z } ENGINEERING CONDITIONS REFER
- EXISTING FRESH WATER MAINS
- EXISTING SALT WATER MAINS



COLOURED PINK AND PINK HATCHED BLACK AREA 4 815 SQUARE METRES (ABOUT)

SCALE 1 : 1000



District Survey Office, Kowloon
Lands Department

GOVERNMENT LAND ALLOCATION - NK 757
DEVELOPMENT BUREAU

File No. DSO/K 1132/2003, 1031/KGS/KW(P)
Survey Sheet No. 11-NW-9C
Layout Plan No.
Reference Plan No.
PLAN No. KL6024-D

Date : 17/02/2009

FORMER NORTH KOWLOON MAGISTRACY

APPENDIX XIII
LAND ALLOCATION PLAN

Appendix XIV

Tree Schedule

TREE IDENTIFICATION SCHEDULE

PROJECT: **Resource Kit for Former North Kowloon Magistracy**

Site Location: Former North Kowloon Magistracy, no. 292 Tai Po Road, Sham Shui Po, Kowloon
Submission: Third Submission - 27 June 2020

Topographic Survey: From Henry Chan Surveyors Ltd, drawing No. HC-15181/01 dated May 2020
Tree Survey: By Wong Yun Keung (ISA-CA no. HK-0007BUM, TRAQ, HKILA-AA no. AA024) dated 16 May & 13 June 2020

This schedule to be read in conjunction with Tree Survey Plan Drawing No. TS-01

Tree ID Number	Tree Species ¹		Location ²	Tree Size ²			Coordinate ²		Top of Soil Level above Root Zone (mPD) ²	Health	Form	Structure	Amenity Value	Anticipated Survival Rate after Transplanting	Registered OVT/ Potential OVT ³	Conservation Status ^{1,4}	Hazardous Tree	Proposed Treatment	Remarks
	Scientific name	Chinese name		Height (m)	Spread (m)	Girth (mm)	East	North											
T1	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	360	834823.65	821851.17	23.96	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T2	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	2	340	834821.46	821856.23	23.92	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T3	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	320	834820.49	821858.86	23.92	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T4	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	310	834819.29	821861.35	23.95	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T5	<i>Melia azedarach</i>	苦楝	Inside Lot	10	7	1110	834819.12	821862.04	23.82	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant trunks, root restricted by toe planter
T6	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	320	834817.39	821866.60	23.89	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T7	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834816.16	821869.31	23.83	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T8	<i>Melia azedarach</i>	苦楝	Inside Lot	7	6	500	834815.17	821871.51	23.94	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T9	<i>Melia azedarach</i>	苦楝	Inside Lot	8	5	390	834813.71	821875.35	23.90	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other
T10	<i>Melia azedarach</i>	苦楝	Inside Lot	9	6	490	834813.54	821875.78	23.91	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other
T11	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	360	834813.11	821876.93	23.87	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T12	<i>Melia azedarach</i>	苦楝	Inside Lot	6	4	530	834812.03	821879.53	23.87	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other
T13	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834811.93	821879.59	23.89	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T14	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834805.98	821877.77	23.87	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T15	<i>Albizia lebeck</i>	大葉合歡	Inside Lot	7	5	490	834805.92	821877.50	23.85	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant leaders, root restricted by toe planter, root restricted by other tree
T16	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834802.97	821876.49	23.84	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T17	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	320	834800.49	821875.61	23.90	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T18	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	360	834797.55	821874.29	23.79	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T19	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	390	834795.12	821873.15	23.53	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T20	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	350	834792.57	821872.27	22.93	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T21	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834825.75	821846.33	23.88	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T22	<i>Ficus hispida</i>	青果榕	Inside Lot	10	6	890	834826.87	821844.43	23.81	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T23	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	320	834826.90	821843.43	23.81	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by other tree
T24	<i>Macaranga tanarius var. tomentosa</i>	血桐	Inside Lot	8	6	500	834827.20	821842.58	23.79	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, unbalanced crown, cavity at lower trunk, decay at root collar, root restricted by toe planter
T25	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	340	834827.76	821840.86	23.79	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by toe planter
T26	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834839.28	821811.71	20.45	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T27	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	350	834840.23	821809.62	20.47	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T28	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	5	320	834841.45	821807.02	20.60	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by toe planter
T29	<i>Ficus hispida</i>	青果榕	Inside Lot	8	6	720	834842.65	821805.64	20.49	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T30	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	320	834842.33	821804.27	20.55	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T31	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834843.32	821801.70	20.48	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T32	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	370	834845.75	821798.40	20.88	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T33	<i>Ficus hispida</i>	對葉榕	Inside Lot	5	5	420	834845.39	821798.76	20.33	Fair	Fair	Fair	Medium	Low	No	No	No	Retain	Co-dominant trunks, vined, root restricted by toe planter
T34	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834845.19	821796.76	20.49	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T35	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	350	834845.81	821794.76	20.50	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T36	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834847.29	821791.34	20.53	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T37	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	320	834848.19	821788.72	20.45	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T38	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	330	834848.89	821785.99	20.54	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T39	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	340	834850.03	821783.21	20.56	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T40	<i>Celtis sinensis</i>	朴樹	Inside Lot	6	5	350	834850.36	821782.24	20.51	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other
T41	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	310	834850.92	821780.62	20.54	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T42	<i>Aporosa dioica</i>	銀柴	Inside Lot	5	4	320	834856.68	821776.00	21.43	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice
T43	<i>Morus alba</i>	桑	Inside Lot	6	5	760	834857.52	821774.61	20.12	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, unbalanced crown, sparse crown, wounds on trunk, grown from rock crevice
T44	<i>Heteropanax fragrans</i>	幌傘楓	Inside Lot	2	2	550	834859.96	821774.34	19.78	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Regrowth from pruned trunks, root restricted by rock slope
T45	<i>Macaranga tanarius var.</i>	血桐	Inside Lot	6	6	410	834860.61	821774.14	20.07	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, unbalanced crown, root restricted by rock slope
T48	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	7	6	770	834824.07	821781.11	18.63	Fair	Poor	Fair	Low	Medium	No	No	No	Retain	Leaning, unbalanced crown, large pruning wound, root restricted by road
T50	<i>Celtis sinensis</i>	朴樹	Inside Lot	8	8	1270	834821.63	821780.13	18.32	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, unbalanced crown, grown on slope
T51	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	5	8	640	834827.61	821763.68	19.85	Fair	Poor	Fair	Medium	Low	No	No	No	Retain	Unbalanced crown, forked, severely root restricted by tree ring, root restricted by u-channel, grown on slope
T52	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	13	10	2240	834818.43	821783.81	17.63	Fair	Poor	Fair	Medium	Medium	No	No	No	Retain	Unbalanced crown, root restricted by road, grown on slope
T53	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	12	9	840	834821.01	821793.22	18.96	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by building, root restricted by road
T58	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	520	834789.87	821860.55	20.49	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T59	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	610	834791.65	821855.95	20.23	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T60	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	540	834793.29	821851.57	19.98	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T61	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	5	520	834794.92	821847.62	19.77	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T62	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	500	834796.78	821842.74	19.56	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T63	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	620	834798.50	821838.22	19.28	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T64	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	530	834800.28	821833.68	19.05	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T65	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	660	834802.03	821829.23	18.76	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T46	<i>Mircoccos nervosa</i>	布渣葉	Outside Lot Boundary	7	5	340	834864.65	821775.65	21.72	No	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice
T47	<i>Albizia lebeck</i>	大葉合歡	Outside Lot Boundary	8	6	730	834866.63	821775.96	21.64	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice

TREE IDENTIFICATION SCHEDULE

PROJECT: **Resource Kit for Former North Kowloon Magistracy**

Site Location: Former North Kowloon Magistracy, no. 292 Tai Po Road, Sham Shui Po, Kowloon
Submission: Third Submission - 27 June 2020

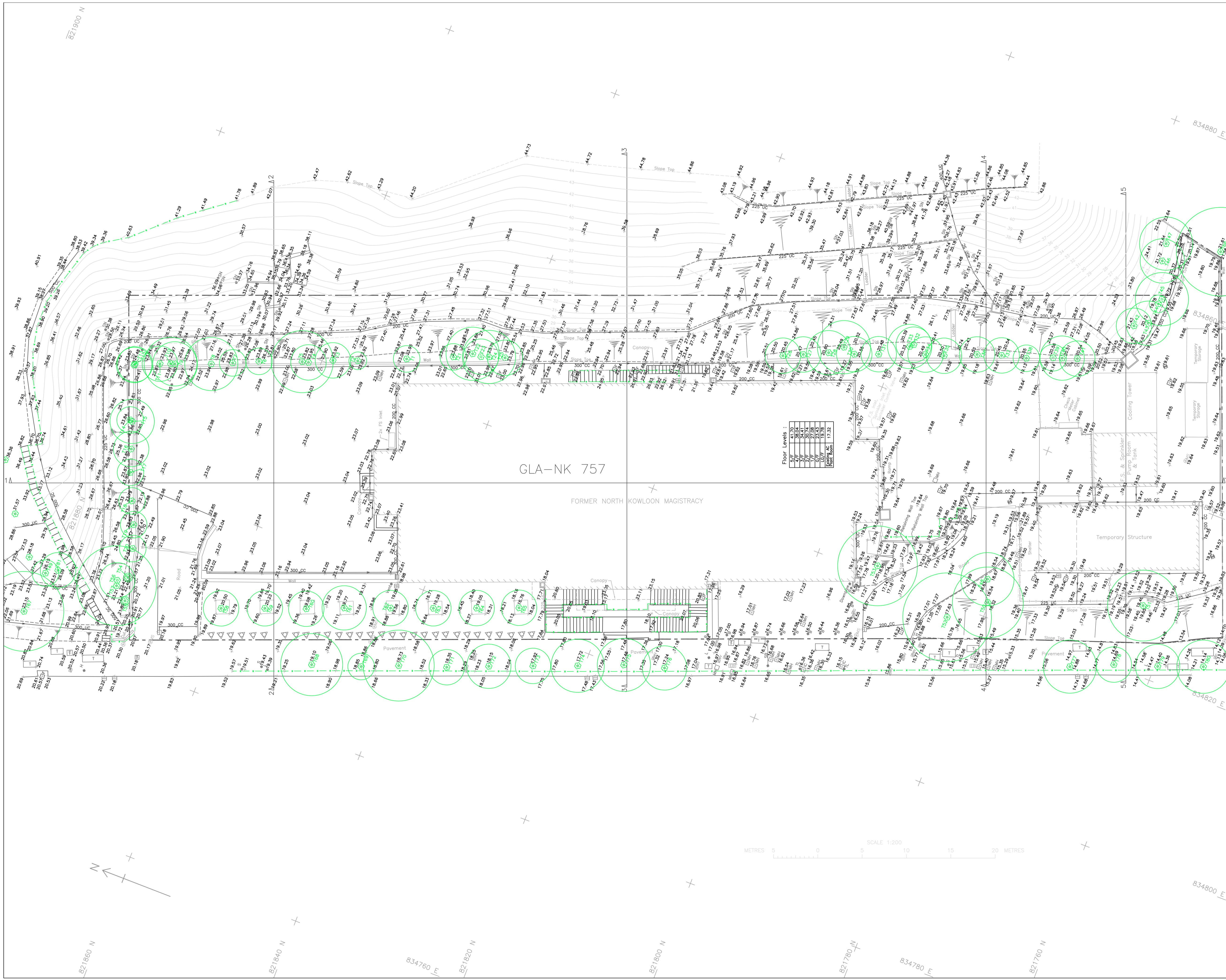
Topographic Survey: From Henry Chan Surveyors Ltd, drawing No. HC-15181/01 dated May 2020
Tree Survey: By Wong Yun Keung (ISA-CA no. HK-0007BUM, TRAQ, HKILA-AA no. AA024) dated 16 May & 13 June 2020

This schedule to be read in conjunction with Tree Survey Plan Drawing No. TS-01

Tree ID Number	Tree Species ¹		Location ²	Tree Size ²			Coordinate ²		Top of Soil Level above Root Zone (mPD) ²	Health	Form	Structure	Amenity Value	Anticipated Survival Rate after Transplanting	Registered OVT/ Potential OVT ³	Conservation Status ^{1,4}	Hazardous Tree	Proposed Treatment	Remarks
	Scientific name	Chinese name		Height (m)	Spread (m)	Girth (mm)	East	North											
T49	<i>Macaranga tanarius var. tomentosa</i>	血桐	Outside Lot Boundary	7	3	470	834786.43	821880.46	26.15	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced form, decay on trunk, root restricted by mass concrete, grown on slope
T54	<i>Phoenix roebelenii</i>	日本葵	Outside Lot Boundary	2	1	320	834789.33	821871.60	22.40	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T55	<i>Phoenix roebelenii</i>	日本葵	Outside Lot Boundary	2	1	350	834786.76	821870.98	22.14	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T56	<i>Ligustrum sinense</i>	山指甲	Outside Lot Boundary	4	4	380	834788.59	821872.61	23.51	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, co-dominant trunks, root restricted by other tree, grown on slope
T57	<i>Melia azedarach</i>	苦楝	Outside Lot Boundary	10	9	2010	834788.00	821872.47	23.21	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant branches, root restricted by other tree, grown on slope
T66	<i>Leucaena leucocephala</i>	銀合歡	Outside Lot Boundary	15	10	970	834868.00	821769.89	21.61	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Undesirable species, leaning, unbalanced crown, grows on wall, stems intercalated with chain-linked fence
T67	<i>Peltophorum pterocarpum</i>	雙翼豆	Outside Lot Boundary	13	9	1730	834781.54	821881.17	23.15	Fair	Fair	Fair	Medium	Low	No	No	No	Retain	Root restricted by u-channel, grown on slope
T68	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	7	1240	834787.62	821848.73	19.10	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T69	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	4	3	430	834789.43	821843.45	18.85	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T70	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	8	1510	834791.07	821839.54	18.73	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T71	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	4	4	610	834792.84	821834.42	18.35	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T72	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	640	834794.65	821830.04	18.15	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T73	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	6	4	520	834796.48	821825.40	17.92	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T74	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	6	930	834798.31	821820.70	17.72	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T75	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	6	740	834800.28	821815.88	17.46	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T76	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	640	834801.61	821811.48	17.24	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Dead branches, root restricted by road, grown in tree pit
T77	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	8	6	860	834818.23	821768.89	14.88	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T78	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	6	4	490	834820.22	821764.35	14.69	Fair	Poor	Fair	Low	Medium	No	No	No	Retain	Bent trunk, root restricted by road, grown in tree pit
T79	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	460	834821.81	821759.67	14.40	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T80	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	6	580	834823.64	821754.85	14.14	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T81	<i>Celtis sinensis</i>	朴樹	Outside Lot Boundary	7	4	430	834787.24	821879.25	26.09	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, grown on slope

Note:

1. Tree species identification, name and protection status re adopted from Hong Kong Plant Record of Hong Kong Herbarium of AFCD.
2. Tree location, size and top soil level above root zone are according to topographic survey information from Land Surveyor.
3. Registered Old and Valuable Trees and potential Old and Valuable Trees are checked in accordance with DevB TC No. 5/2020.
4. Cap. 96 refers to plants scheduled under Forestry Regulations (subsidiary legislation of the Forests and Countryside Ordinance, Cap. 96);
 Cap 586 refers to plants protected under The Protection of Endangered Species of Animals and Plants Ordinance, Cap. 586;
 RPPHK refers to plants under Rare and Precious Plants of Hong Kong as recorded by AFCD 2003;
 IUCN refers to plants under IUCN Red List of Threatened Species from www.iucnredlist.org.



- Notes : -
- All levels are in meters above P.D.
 - Grid lines are in H.K. Metric Grid 1980.
 - Elevations of kerb are referred to the bottom of kerb.
 - Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

- GLA Boundary
- T1 Tree & Tree Number with Canopy Spread

Drawing title
Tree Survey Plan for Former North Kowloon Magistracy, Tai Po Road, Kowloon.

Drawing no. TS-01 Sheet 1 of 1	Date June 2020	Scale 1 : 200 A1 Sheet
	Checked by BW	Drawn by BT

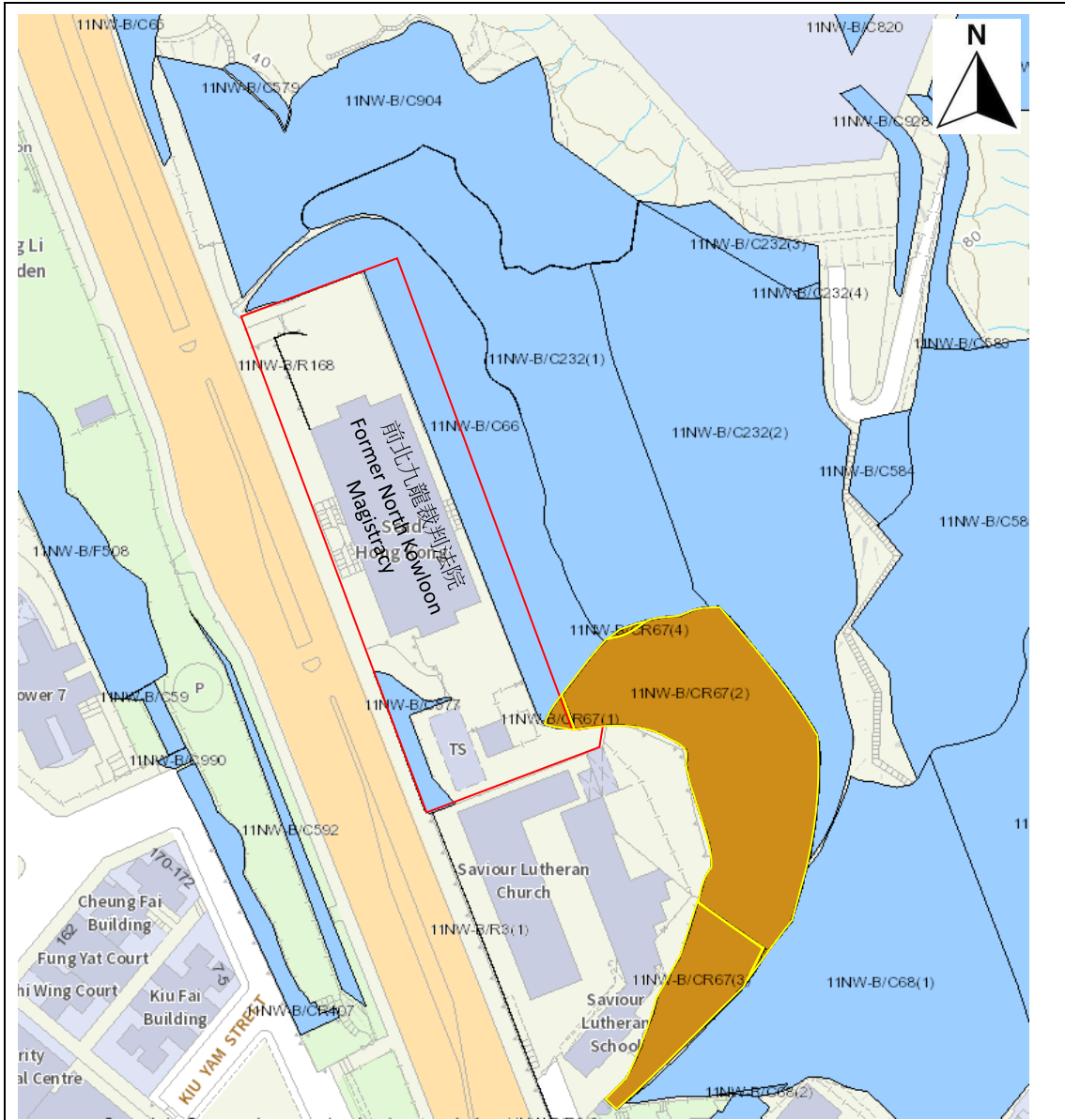
Government Department
ARCHITECTURAL SERVICES DEPARTMENT

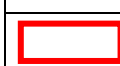
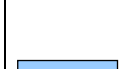
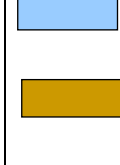
Arboricultural Consultant
Sedum Arbor Limited
Rm D, 3/F, Good Harvest Centre, 33 On Chuen Street
On Lok Tsuen, Fanling, N.T.
Telephone: (852) 3957 0578 e-mail : sedum.info@gmail.com

WONG Yun Keung
ISA-BCMA
HK-0007BUM

Appendix XV

Slope Features



	SITE BOUNDARY	FORMER	<u>APPENDIX XV</u>
	SLOPE(S) MAINTAINED BY GOVERNMENT	NORTH	SLOPE FEATURES
	SLOPE(S) MAINTAINED BY GOVERNMENT AND PRIVATE PARTY/ PARTIES	KOWLOON MAGISTRACY	NOT TO SCALE

EXTRACT PLAN BASED ON WEBSITE
SLOPE MAINTENANCE RESPONSIBILITY INFORMATION SYSTEM

Slope Maintenance Responsibility Report

(11NW-B/C66)



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/C66	Sub-Division	Not Applicable
	Location	WITHIN AND ADJOINING GLA-NK757	
	Responsible Lot/Party	Development Bureau	Maintenance Agent Architectural Services Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

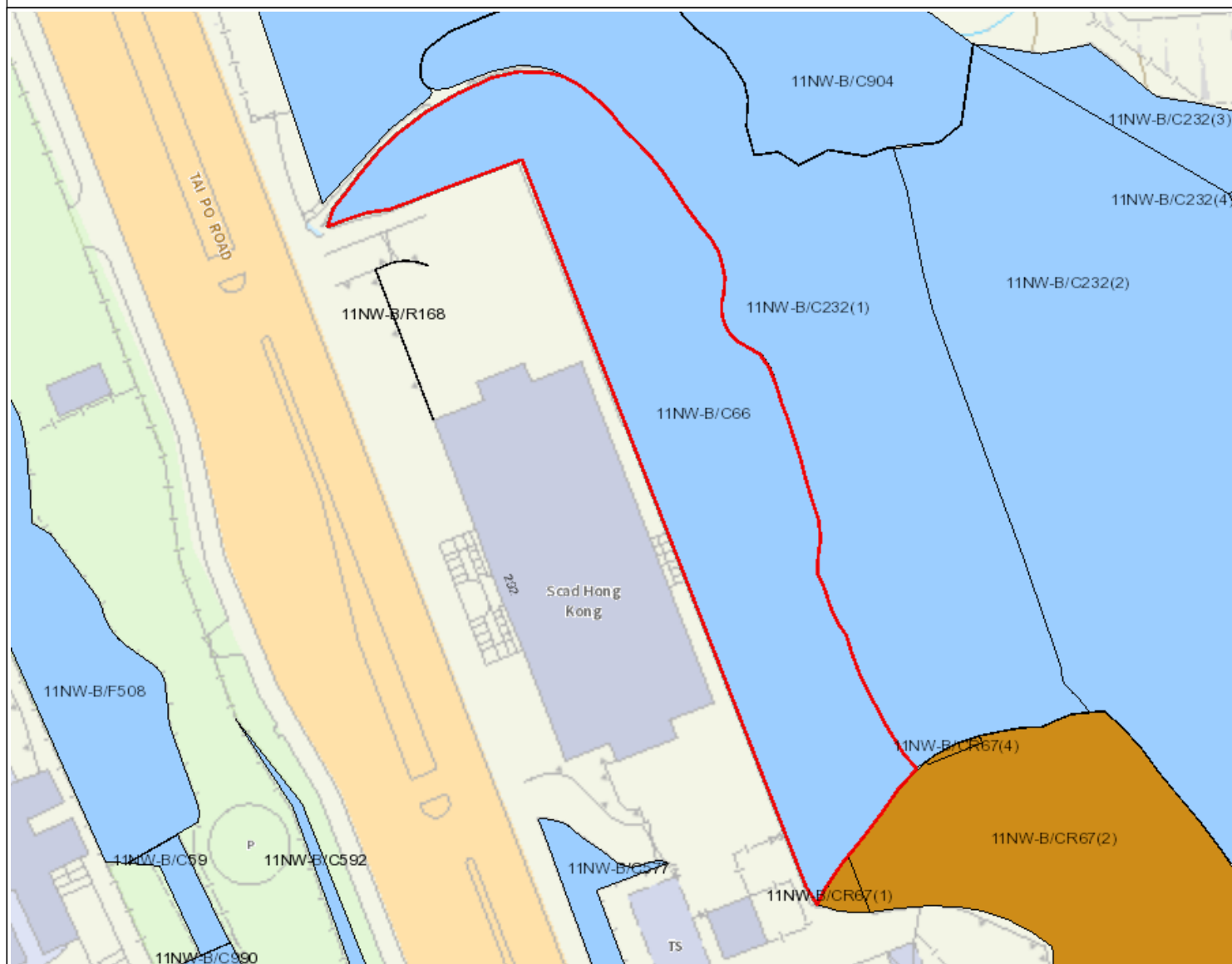
- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

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Slope Maintenance Responsibility Report

(11NW-B/C577)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/C577	Sub-Division	Not Applicable
	Location	WITHIN GLA-NK757 & GOVERNMENT LAND NEAR SOUTH CORNER	
	Responsible Lot/Party	Development Bureau	Maintenance Agent Architectural Services Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

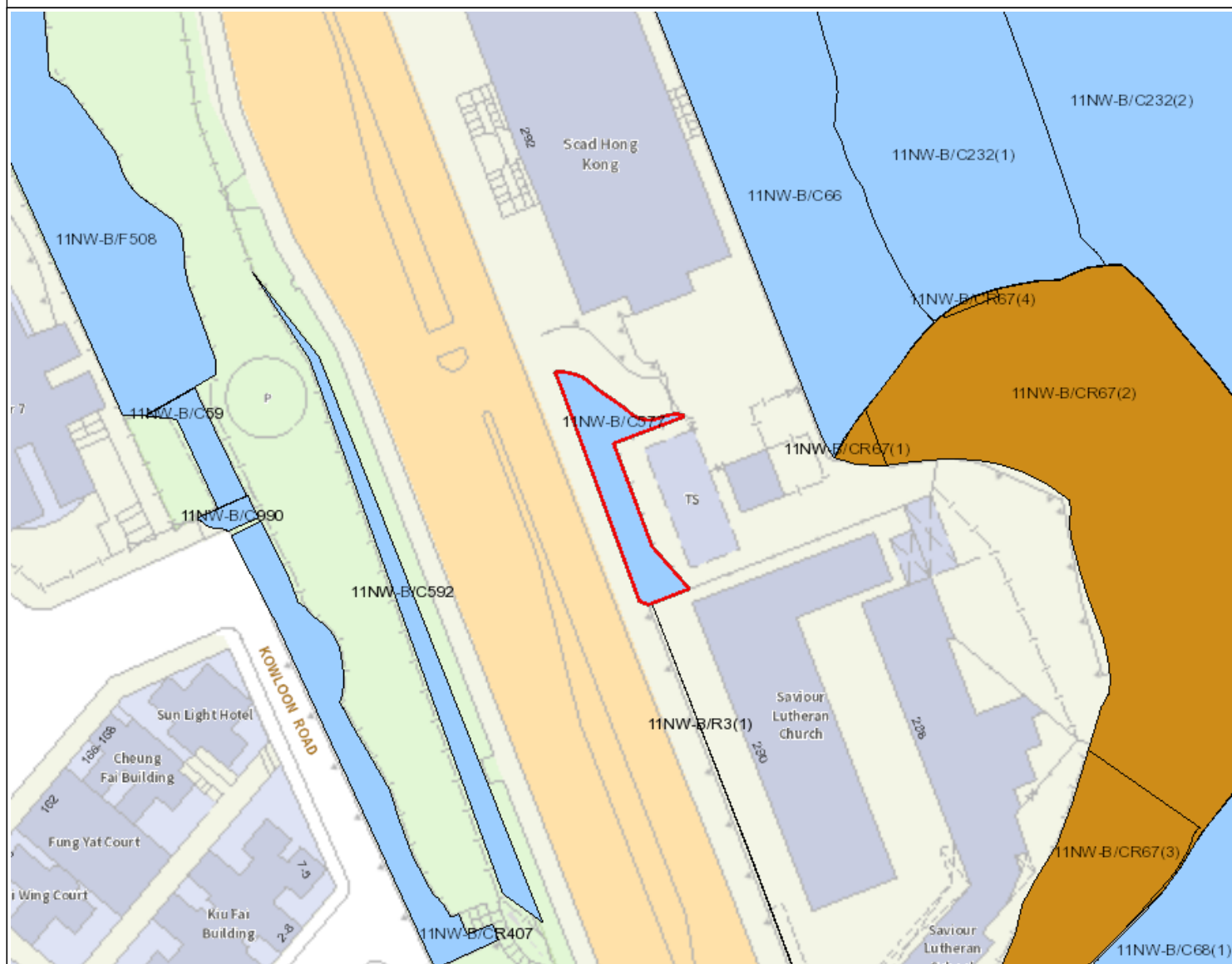
Notes:

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- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Search Criteria: 11NW-B/C577

Location Plan



Legend

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- Search Location
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- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(11NW-B/CR67)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/CR67	Sub-Division	1
Location	Partly within GLA-NK 757, partly within GLA-NK 739 and partly on unallocated Government land adjoining NKIL 4456 & EXT THERETO		
Responsible Lot/Party	Development Bureau	Maintenance Agent	Lands Department
Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

- End of Report -

Notes:

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Search Criteria: 11NW-B/CR67

Location Plan



Legend

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- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
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Search Criteria: 11NW-B/CR67

Slope Maintenance Responsibility Report

(11NW-B/CR67)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/CR67	Sub-Division	2
Location	Partly within GLA-NK 757, partly within GLA-NK 739 and partly on unallocated Government land adjoining NKIL 4456 & EXT THERETO		
Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

- End of Report -

Notes:

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Location Plan



Legend

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- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

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Slope Maintenance Responsibility Report

(11NW-B/CR67)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/CR67	Sub-Division		3
	Location	Partly within GLA-NK 757, partly within GLA-NK 739 and partly on unallocated Government land adjoining NKIL 4456 &EXT THERETO		
	Responsible Lot/Party	NKIL 4456 &EXT THERETO	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(11NW-B/CR67)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/CR67	Sub-Division	4
	Location	Partly within GLA-NK 757, partly within GLA-NK 739 and partly on unallocated Government land adjoining NKIL 4456 & EXT THERETO	
	Responsible Lot/Party	Leisure and Cultural Services Department	Maintenance Agent Architectural Services Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

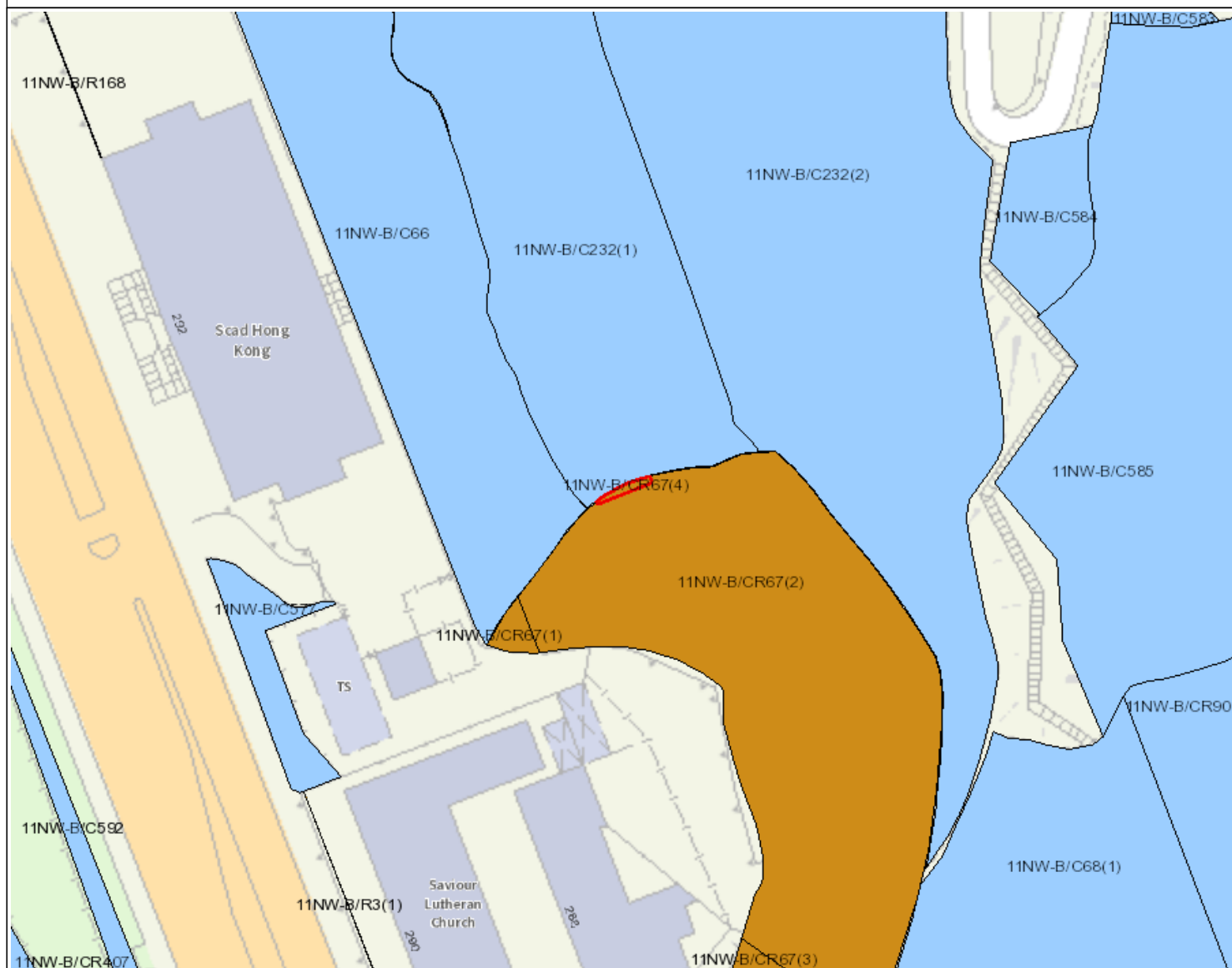
- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(11NW-B/R168)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	11NW-B/R168	Sub-Division	Not Applicable
	Location	Within GLA-NK 757, Savannah College of Art and Design Hong Kong	
	Responsible Lot/Party	Development Bureau	Maintenance Agent Architectural Services Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Search Criteria: 11NW-B/R168

Appendix XVI

Recurrent Expenditure

Recurrent Expenditure

(A) Electricity Fee

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Energy Consumption Indicator ⁽²⁾ (MJ/m ² /annum) (d)	Energy Consumption per annum (kWh/annum) ⁽³⁾ (e)=(c)*(d)*0.2778	Estimated Electricity Fee (\$) ⁽⁴⁾ per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website ⁽²⁾
Educational Institution	7,673	77.1%	5,913	535	878,807.80	1,163,541.53	Adult Education/ Tutorial/ Vocational Schools
Eating Place				8,149	13,385,803.28	17,722,803.54	Other Eating and Drinking Places
Place of Recreation				2,958	4,858,903.68	6,433,188.47	Common Areas of Commercial Complex/ Shopping Arcades
Research, Design and Development Centre				437	717,829.92	950,406.81	Creative and Performing Art Activities (Studios)

Notes:

- (1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 10 hours for the Uses.
- (2) The respective "Energy Consumption Indicators" can be found at <https://ecib.emsd.gov.hk/index.php/en/energy-utilisation-index-en/commercial-sector-en>
- (3) 1MJ x 0.2778 = 1kWh
- (4) Electricity fee is based on the tariff charged by China Light and Power Co. Ltd.
CLP: Rate of Energy Charge @\$1.016. Rate of Fuel Cost Adjustment @\$0.308.
1 Unit = 1 kWh.
The estimated electricity fee is for cost projection in the application only.
The actual fee will be subject to the then tariff and actual demand and consumption.

(B) Water and Sewage Charge

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c) = (a) x (b)	Estimated Water & Sewage Charge (\$)/month (d)	Estimated Water & Sewage Charge (\$) ⁽²⁾ /annum (e) = (d) x 12
Educational Institution	7,673	77.1%	5,913	(d) = (c) x \$0.3 ⁽¹⁾ 1,773.9	21,286.8
Eating Place				(d)=(Refer to Note 3) 16,524	198,288
Place of Recreation				(d) = (c) x \$0.3 ⁽¹⁾ 1,773.9	21,286.8
Research, Design and Development Centre				(d) = (c) x \$0.3 ⁽¹⁾ 1,773.9	21,286.8

Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is = \$0.3 per m².
Based on the above estimate, it is assumed that the use of water per m² of :
Education institution, Place of Recreation or Research, Design and Development Centre = Offices
- (2) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate. The actual water and sewage charge will be subject to the then tariff and actual consumption.
- (3) The estimated water and sewage charge per month of food and beverage and shop services
= [Nos. of sink x Operation Time (hours)] x Liter per second x Nos. of Seconds per hour x Estimated Water & Sewage Charge per m² x nos. of days operated per month
= (i) x (ii) x 3600 x (iii) x 30
= 127.5 x 0.00016 x 3600 x 7.5 x 30
= 16,524
- (i) Say 30 nos. of sink operate per day and make an assumption below:
- opening hours = 12 hours [Total water consumption – (0900 - 1200 (45mins) + 1200 - 1500 (80mins.) + 1500 - 1800(70mins.) + 1800 - 2100 (60mins.) = 255mins.)]
 - 255mins. X 30 nos. of sink operate = 7,650mins. (127.5 hours)
- (ii) The water tap of sink flows 0.16 l/s (According to Members of Intuition of Plumbing Engineers Guide), therefore The water tap of sink flows = 0.00016 m³/s
- (iii) According to the standard accommodation rate issued by the Water Supplies Department, the estimated monthly water & sewage charges of Food and beverage services are \$4.58 per m³ and \$2.92 per m³. Therefore, Estimated Water & Sewage Charge(\$) is \$7.5 per m³.
- (iv) Nos. of days the food and beverage services operates (say 30 days for month)

(C) Estimated Rates and Rent

Possible Use(s) ⁽¹⁾	GFA (m ²)	Site Area (m ²)	Rateable Value ⁽¹⁾ (\$) (a)	Rent/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum(\$) (d) = (b) + (c)
Educational Institution	7,673	4,815	11,520,000	576,000	345,600	921,600
Eating Place						
Place of Recreation						
Research, Design and Development Centre						

Notes:

- (1) The above rateable values are rough estimate based on the possible uses and are for the cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.