

**Revitalising Historic Buildings  
Through Partnership Scheme**

**Tai Tam Tuk Raw Water Pumping Station  
Staff Quarters Compound**

**Resource Kit**

**Date: 27 November 2019**



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## I. Introduction

- 1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for this revitalisation project under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

Section I	Introduction;
Section II	Historical Background and Architectural Merits
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Slope Maintenance;
Section X	Technical Compliance for Possible Uses;
Section XI	Special Requirements of the Project; and
Section XII	Consultation with Southern District Council

- 1.2 In drawing up proposals, applicants should in particular endeavour to:
- bring out the historical significance of the buildings;
  - follow the Conservation Guidelines; and
  - strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory requirements.

We appreciate that 1.2(c) will be a complex task. The following suggestions are for the applicants' consideration:

- when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance (Cap.123). The need for preserving the significant architectural features (**Appendix IX**), site constraints and/ or prohibitive upgrading cost may limit the type of uses that may be chosen for the buildings; and
- every effort should be made to preserve the elements of significance and character-defining elements of the historic buildings. Addition and alteration works, if necessary, should be undertaken at less visually intrusive locations.

- 1.3 We have listed out a number of uses under Outline Zoning Plan which can be considered for adaptive-reuse of the site. However, the technical feasibility of such a case will need to be further examined.
- 1.4 The dimensions, areas and datum levels presented in this resource kit including the drawings and perspectives are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorised specialists to verify the dimensions, areas and datum levels before detailed design is carried out.
- 1.5 The information that has been assembled is to give a general understanding of the site and the historic buildings. Key parameters available at the time of preparation of the resource kit are for the applicants' convenience and may not be exhaustive. Because of the unique nature and requirements of each proposal, applicants are strongly advised to verify the provided data before finalising their proposals.
- 1.6 The Secretariat of the Revitalisation Scheme will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Secretariat at:-

Address: Revitalising Historic Buildings Through Partnership Scheme  
Secretariat  
c/o Commissioner for Heritage's Office, Development Bureau

Unit 701B, 7/F., Empire Centre,  
68 Mody Road, Tsim Sha Tsui East,  
Kowloon, Hong Kong

Email: [rhb\\_enquiry@devb.gov.hk](mailto:rhb_enquiry@devb.gov.hk)  
Phone.: 2906 1560  
Fax: 2906 1574

## **II. Historical Background and Architectural Merits**

### **2.1 Historical Background**

#### Tai Tam Group of Reservoirs

After the first ever-built reservoir in the territory was completed in 1863 at Pok Fu Lam, to cater for the ever-increasing demands for water in the late 19th century to early 20th century, much larger reservoirs with more complex water supply system including Tai Tam Upper Reservoir (completed in 1888), Tai Tam Byewash Reservoir (completed in 1904), and the two low-level reservoirs, Tai Tam Intermediate Reservoir (completed in 1907) and Tai Tam Tuk Reservoir (completed in 1917) were constructed under the Tai Tam Scheme and Tai Tam Tuk Scheme between 1883 and 1917. Among these four reservoirs, which are collectively known as Tai Tam Group of Reservoirs nowadays, the Tai Tam Tuk Reservoir was the largest and its dam was said to be the largest in Asia at the time. Its construction design and supervision was in-charge by Mr. Daniel Joseph JAFFE, who was the chief engineer of the project. To acknowledge his contributions in Hong Kong, Jaffe Road in Wan Chai was named after him in 1930s.

#### Tai Tam Tuk Raw Water Pumping Station

To overcome the topographical constraints for the low-level reservoirs, the Tai Tam Tuk Raw Water Pumping Station (the “Pumping Station” hereinafter) was constructed at the shore of Tai Tam Bay under the First Section of the Tai Tam Tuk Scheme in 1907. With the introduction of plumbing facilities, water is lifting from the low-level reservoirs to the tunnel inlet instead of relying on gravity flow. The Pumping Station originally consisted of engine hall, workshop, store and boiler room, it was connected to a chimney shaft built on the hillside with a flue at the rear. To facilitate the daily operation of the Pumping Station, Senior Staff Quarters for accommodation of European Overseer and Staff Quarters for accommodation of Chinese engine-drivers and stokers were also built close to the station in 1905 and 1907 respectively. Subsequent to the extensions made to the Pumping Station afterwards to accommodate the additional pumping machinery, former pressure filter house built in 1936 situated at the west of the Pumping Station was also converted into No. 2 Staff Quarters to accommodate more staff at site.

The Senior Staff Quarters, the Staff Quarters and the No. 2 Staff Quarters are named as the Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound (SQC hereinafter) have been declared as monuments together with the Pumping Station and other historic structures of Tai Tam Group of Reservoirs under the Antiquities and Monuments Ordinance (Cap. 53) since 2009. Although the Tai Tam Tuk Raw Water Pumping Station is still the oldest pumping station which remains its function today, the staff is not required to stay overnight due to the automation in operation and centralized control of the Pumping Station in recent decades, therefore, most of the staff quarters are now left vacant.

## **2.2 Architectural Merits**

### Senior Staff Quarters

The Senior Staff Quarters for the European Overseer is situated on a raised platform at the east end of the Pumping Station overlooking the Pumping Station, with the main north-east façade facing the Tai Tam Harbour. The Senior Staff Quarters consists of a two-storey main building and a single storey servants' quarters. The exterior of the main building is symmetrical in general with the entrance porch and doorway centrally placed at the north-east façade, walls were painted in white with horizontal features highlighted in blue. The central portion of the roof is a hipped roof while the two sides are flat roofs with parapet walls. Some of the window openings have probably been altered, but the proportion of existing window openings at the north-west elevation with window openings on G/F taller than 1/F looks authentic.

Internally, each floor consists mainly of two large rooms at the rear side with French doors opening to the two hallways at the front and north-west side respectively. The large rooms are finished with timber flooring, and originally each have a fireplace connecting to the chimney at the roof. The hallways are designed with large wooden windows and mosaic floor finishes which probably act as vestibules to enhance penetration of natural light and keep the interior cool in summer. There is an existing wooden staircase near the main entrance at the north-east side for circulation between the two floors.

A covered walkway with pitched roof is constructed to connect the south-east side entrance of the main building to the servants' quarters at the rear. The servants' quarters is in L-shaped, the covered walkway extends to north-east façade of the servant's quarters. The pitched roofs of the main building, servants' quarters and covered walkway are finished with double-layered pan and roll tiles.



### Staff Quarters

The Staff Quarters for the engine-drivers and stokers is situated at the west end of the Pumping Station. It consists of a two-storey quarters and a single storey store building which are connected by a covered walkway. The two buildings share a similar design, the staff quarters is long, narrow and rectangular in shape, with open verandahs facing the seaside while the store building is built rectangular in shape at a slight angle to the quarters, with open verandahs facing the hillside. Open concrete stairways are constructed at both ends of the verandah for the quarters. Both building facades have been painted, but probably originally they were exposed red brickwork matching the Pumping Station. The roof of quarters is hipped, finished with double-layered pan and roll tiles while the roof of the store building is mono-pitched with asphalt finishes. Windows on both buildings are segmental arched wooden casements. Jack arch interior slabs are constructed at floor slabs of 1/F which are not commonly use in Hong Kong nowadays.

### No. 2 Staff Quarters

No. 2 Staff Quarters is a two-storey building situated on a raised platform further west to the Staff Quarters. It was originally built as a pressure filter house in 1936 but was later converted to staff quarters for Works Supervisors. The building is L-shape in plan with an external open concrete staircase constructed at the side and an open verandah at the upper level facing seaside. The exterior of the building is fair-faced red bricks, with Shanghai plaster finishes at columns and along the bottom of walls. Most of the doors and windows openings have been found altered, the original main entrance should be located centrally on the ground floor with doorcase finished with Shanghai plaster. Brick partitions are used on the ground floor while wooden partitions are used on the first floor, bathroom on the first floor is later addition. There is also a later-added outbuilding which is used as bathrooms located adjacent to the building.

### **III. Site Information**

#### **3.1 Location**

The site of this revitalisation project is located at Tai Tam Reservoir Road, Tai Tam. The Location Plan is shown in **Appendix I**.

#### **3.2 Site Description**

The site of this revitalisation project is located on land facing the Tai Tam Harbour and surrounded by trees and slopes. It includes the SQC, a disused Underground Cellar and other structures as listed in **Section IV** but excludes the Pumping Station, Chimney Shaft and its Flue, and Tai Tam Bay Pier. Their information will also be included in this resource kit as supplementary information so that the applicants can have a holistic view of the whole development.

#### **3.3 Site Boundary**

The Site Boundary Plan of this revitalisation project is shown in **Appendix II(A)**.

#### **3.4 Site Area**

The site area of this revitalisation project is approximately 6356m<sup>2</sup>.

#### **3.5 Major Datum Levels**

The datum levels of the site of this revitalisation project range from approximately +3.5mPD to +15.6mPD. Major datum levels around the site are shown in **Appendix III (A)**.

#### **3.6 Topographic Survey**

A set of topographic survey plan of the site as in July 2019 is shown in **Appendix III(B)**. The AutoCAD format of the survey plans can be obtained at the Scheme Secretariat by submitting a completed request form. A summary of the information on the site of survey area is given in **Appendix V**.

## **IV. Building Information**

### **4.1 Building Description**

This revitalisation project includes the following buildings, structures and areas:

SQC:

- Senior Staff Quarters (Main Building and Servants' Quarters)
- Staff Quarters (Main Building and Store Building)
- No.2 Staff Quarters (Quarters and Outbuilding)

Others:

- Dangerous Goods Store
- Fuel Tank
- Garage
- Underground Cellar
- Yard

In addition to the above-mentioned buildings and structures, the Pumping Station, Chimney Shaft and its Flue and Tai Tam Bay Pier are the major buildings and structures located within the survey area.

The Pumping Station is a red brick structure which has been in use all the time and becomes Water Supplies Department (WSD)'s oldest pumping station still in operation. The Pumping Station was part of the First Section of the Tai Tam Tuk Scheme in 1907. Originally, it made use of steam-driven pumps to lift raw water to the tunnel portal in the middle of the hill to provide water supply to the City of Victoria on the North of Hong Kong Island. During the Second Section of the Tai Tam Tuk Scheme between 1914 and 1916, extension to the Pumping Station was made to accommodate additional pumping machinery, including two steam-driven pumps to transfer three million gallons of water per day. Currently, the external and internal finishes of the Pumping Station and the chimney are in a fair condition. Localised water seepage problem can be found on the roof within the Pumping Station. Some rooms have been vacant. The basement of the Pumping Station has been vacant and inaccessible.

Further extension to the Pumping Station was made in 1925. The three staff quarters were built around the Pumping Station. The Senior Staff Quarters which consists of a Main Building and a Servants' Quarters was built in 1905. The Staff Quarters with external concrete staircases was completed in 1907. It is connected to a Store Building which was probably built between 1912 and 1924. No. 2 Staff Quarters at the West side of the Pumping Station which was originally a pressure filter house

was built in 1936.

Currently, the Main Building of the Senior Staff Quarters appears to be in fair condition. There is newly applied paint on the external and internal walls. Windows have been repaired. However, timber floor in some area and some internal doors were not in good condition. Servants' Quarters of the Senior Staff Quarters appears to be in good condition. There is newly applied paint on the external and internal walls and metal bar brackets.

The Main Building of Staff Quarters appears to be in dilapidated condition. Temporary metal supports are installed in the front elevation which provides support to the roof structure. Paint peeling, concrete spalling and rusted reinforcement can be seen within the building. The Store Building of the Staff Quarters appears to be in fair condition. Damage of some finishes can be observed.

The Quarters of the No. 2 Staff Quarters appears to be in poor condition. Glazing of windows and some doors are replaced by wooden board. Some finishes are damaged. The Outbuilding of No.2 Staff Quarters appears to be in fair condition. Paint peeling can be seen within the building.

The Dangerous Goods Store appears to be in good condition. No apparent defect was observed.

The Fuel Tank appears to be in dilapidated condition. There is no roof for the structure.

The Garage appears to be in fair condition. Paint peeling and minor cracks were observed on wall.

The Underground Cellar appears to be in dilapidated condition. Spalled concrete, rusted reinforcement could be seen within the structure.

The Yard appears to be in good condition. No apparent defect was observed.

A summary of the site and building information is shown in **Appendix V**.

The drawings and perspective are shown and attached at **Appendix VI (A)**.

The photos showing the current general appearance and internal layout of the Pumping Station and the three staff quarters are attached at **Appendix VII**.

## 4.2 Historic Grading

Tai Tam Tuk Raw Water Pumping Station, Chimney Shaft and its Flue, Senior Staff Quarters (Main Building and Servants' Quarters), Staff Quarters (Main Building) and No.2 Staff Quarters were declared as monuments under Antiquities and Monuments Ordinance (Cap.53) on 3 September 2009.

The Store Building of the Staff Quarters was a "Grade 1 historic building". "Grade 1 historic building" is defined as 'Buildings of outstanding merit, which every effort should be made to preserve if possible.'

The Declared Monuments and Historic Building Grading Boundary Plans are shown in **Appendix II(B)**.

## 4.3 Schedule of Accommodation

The approximate Net Operational Floor Area (NOFA)/Net Floor Area and Construction Floor Area (CFA) of the SQC, Pumping Station and other structures provided in this section are indicative only. Applicants should verify such information on their own before adopting this information in their proposals.

Total Construction Floor Area is approximately 2519 m<sup>2</sup> (excluding Pumping Station). Schedule of area is listed as follows:-

### (a) Senior Staff Quarters – Main Building

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Bed Room 1	118	18
	Sitting Room 1		22
	Hallway 1		14
	Corridor 1		12
	Bathroom 1		5
	Toilet		1
	Hallway 2		17
	Staircase		2

1/F	Bed Room 2	118	18
	Sitting Room 2		22
	Hallway 3		24
	Bathroom 2		5
	Hallway 4		17
	Staircase		2
Total:		236	179

(b) Senior Staff Quarters – Servants’ Quarters

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Servant’s Room 1	62	10
	Servant’s Room 2		8
	Servant’s Room 3		12
	Bathroom		8
	Kitchen		8
	Toilet		2
Total:		62	48

(c) Staff Quarters – Main Building

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Room 8	167	20
	Room 7		20
	Room 6		20
	Room 5 (Canteen)		10
	Kitchen 2		10
	Toilet 1		19
	Corridor 1		42
	Staircase		8

1/F	Room 4	167	20
	Room 3		20
	Room 2		20
	Room 1		20
	Kitchen 3		10
	Toilet 2		8
	Open Verandah		42
	Staircase		8
Total:		334	297

(d) Staff Quarters – Store Building

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Kitchen 1	47	8
	Store		17
	Covered Walkway		20
Total:		47	45

(e) No. 2 Staff Quarters - Quarters

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Room 1	95	20
	Room 2		20
	Room 3		19
	Kitchen 1		9
	Kitchen 2		9
	Staircase		2
1/F	Room 4	95	16
	Room 5		19
	Room 6		18

	Toilet 2		3
	Staircase		2
	Verandah	N/A	22
Total:		190	159

(f) No. 2 Staff Quarters – Outbuilding

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Toilet 1	8	6
Total:		8	6

(g) Dangerous Goods Store

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Dangerous Goods Store	19	18
Total:		19	18

(h) Fuel Tank

Floor Level	Accommodation	Approximate Tank Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Fuel Tank	206	---
Total:		206	---



(i) Garage

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Garage	15	13
Total:		15	13

(j) Underground Cellar

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
B/F	Underground Cellar	122	112
Total:		122	112

(k) Yard

Floor Level	Accommodation	Approximate Yard Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
G/F	Yard	1280	---
Total:		1280	---

Buildings/structures outside site boundary:

(l) Pumping Station

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
B/F	Internal Area Inaccessible	N/A	N/A
G/F	Engine House	1119	383
	Boiler House		230
	Switch Gear Room		40
	Corridor		29
	Present Workshop		54
	Capacitor Room		15
	Battery Room		19
	Electric Substation		47
	Store Room 1		51
	Store Room 2		15
	Store Room 3		24
	Store Room 4		23
	Store Room 5		31
	Store Room 6		10
Toilet	2		
Staircase	7		
Total:		1119	980

(m) Chimney Shaft and its Flue

Floor Level	Accommodation	Approximate Construction Floor Area (m <sup>2</sup> )	Approximate Net Operational Floor Area/ Net Floor Area (m <sup>2</sup> )
--	Chimney Shaft and its Flue	N/A	N/A

#### 4.4 Materials of Construction

##### 4.4.1 Senior Staff Quarters – Main Building

Materials	Roof	A combination of hipped and flat roof with flat roofs on the two sides. The hipped roof is of double layered Chinese pan and roll tiled roof supported by timber rafters and ridges
	Wall	Brick wall and column
	Floor	Reinforced concrete beam/slab Timber floor slab
	Staircase	Granite threshold at the main entrance Timber internal staircase
	Covered Walkway	Cast iron pole with granite base Double-layered Chinese pan and roll tiles supported by timber rafters and ridges
Finishes	Exterior	Plaster rendered with white paint Plaster rendered architectural features with sky blue paint Metal bar brackets painted in black
	Interior	
	<u>G/F</u> Bed Room 1 & Sitting Room 1	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Timber board floor with cement skirting <u>Ceiling:</u> Plaster rendered with white paint
	<u>1/F</u> Bed Room 2 & Sitting Room 2	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Timber board floor with cement skirting <u>Ceiling:</u> Timber ceiling board with white paint
	<u>G/F</u> Hallway 1, Hallway 2 <u>1/F</u> Hallway 3, Hallway 4	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Green mosaic floor tiles Timber board floor <u>Ceiling:</u> Plaster rendered with white paint

	<u>G/F</u> Corridor1	<u>Wall:</u> White ceramic wall tiles <u>Floor:</u> Floor tiles <u>Ceiling:</u> Timber ceiling board with white paint Plaster rendered with white paint
	Bathroom1 & Bathroom2	<u>Wall:</u> Ceramic white wall tiles <u>Floor:</u> Quarry floor tiles <u>Ceiling:</u> Plaster rendered with white paint
	Toilet	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Quarry floor tiles with quarry tiles skirting <u>Ceiling:</u> Timber board with white paint

#### 4.4.2 Senior Staff Quarters – Servants’ Quarters

Materials	Roof	Hipped roof with double layered Chinese pan and roll tiles supported by timber rafters and ridges
	Wall	Brick wall and column
	Floor	Reinforced concrete slab
Finishes	Exterior	Plaster rendered with white paint Lower portion and window cills are plaster rendered with sky blue paint Metal bar brackets painted in black
	Interior	
	Kitchen	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Timber board floor <u>Ceiling:</u> No false ceiling. Exposed roof tiles. Timber rafters and ridges with black paint

	Bathroom	<u>Wall:</u> Painted with white paint <u>Floor:</u> Quarry floor tiles Timber board floor <u>Ceiling:</u> No false ceiling. Exposed roof tiles. Timber rafters and ridges with black paint
	Servant's Room 1 & 2	<u>Wall:</u> Painted with white paint <u>Floor:</u> Timber board floor <u>Ceiling:</u> No false ceiling. Exposed roof tiles. Timber rafters and ridges with black paint
	Servant's Room 3	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Floor tiles <u>Ceiling:</u> No false ceiling. Exposed roof tiles. Timber rafters and ridges with black paint
	Toilet	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Mosaic floor tiles <u>Ceiling:</u> No false ceiling. Exposed roof tiles. Timber rafters and ridges with black paint

#### 4.4.3 Staff Quarters – Main Building

Materials	Roof	Hipped roof with double layered Chinese pan and roll tiles supported by timber rafter and ridges
	Wall	Brick wall and column
	Floor	Jack arched slab
	Staircase	Reinforced concrete with metal column
	Verandah	Reinforced concrete slab with metal column
Finishes	Exterior	Wall paint with creamy white paint Floor with cement sand screeding Metal balustrade paint in light blue
	Interior	
	G/F Room 5 (Canteen), Room 6, Room 7, Room 8 & Kitchen 2	<u>Wall:</u> Paint with white paint on the upper portion and grey paint on the lower portion <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Jack arched slab with arched concrete ceiling in white paint and cast-iron beams in black paint.

	<u>G/F</u> Toilet 1	<u>Wall:</u> Paint with white paint on the upper portion and grey paint on the lower portion <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Jack arched slab with cast iron beams in black paint and arched concrete ceiling in white paint.
	<u>1/F</u> Room 1, Room 2, Room 3 & Room 4	<u>Wall:</u> Paint with white paint <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> No false ceiling. Exposed roof tiles painted in white paint. Timber rafters, ridges and trusses with black paint
	<u>1/F</u> Kitchen 3 & Toilet 2	<u>Wall:</u> Paint with white paint on the upper portion and grey paint on the lower portion <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> No false ceiling. Exposed roof tiles painted in white paint. Timber rafters, ridges and trusses with black paint

#### 4.4.4 Staff Quarters – Store Building

Materials	Roof	Reinforced concrete mono-pitched roof with asphalt on top
	Wall	Brick wall and column
	Floor	Reinforced concrete slab
	Roof eave	Supported by metal column on granite base
Finishes	Exterior	Wall paint with creamy white paint Floor with exposed concrete
	Interior	
	Kitchen 1 & Store	<u>Wall:</u> Paint with white paint on the upper portion and grey paint on the lower portion <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Plaster rendered with white paint.

#### 4.4.5 No. 2 Staff Quarters - Quarters

Materials	Roof	Reinforced concrete flat roof
	Wall	Reinforced concrete column Fair-faced brick wall
	Floor	Reinforced concrete slab and beam
	Staircase	Reinforced concrete
	Verandah	Reinforced concrete slab and beam
Finishes	Exterior	Fair-faced bricks wall, column and lower portion of wall in Shanghai plaster Granolithic floor finishes on 1/F verandah and staircase Plaster render with white paint on ceiling under-verandah Canton tile on the upper roof Asphalt on the lower roof
	Interior	
	G/F Kitchen 1 & 2	<u>Wall:</u> Paint with white paint on the upper portion and grey paint on the lower portion <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Plaster rendered with white paint
	G/F Room 1, Room 2 & Room 3	<u>Wall:</u> Brick wall painted with white paint. <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Plaster rendered with white paint
	1/F Room 4, Room 5 & Room 6	<u>Wall:</u> Paint with white paint. Timber board partitions. <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Plaster rendered with white paint

#### 4.4.6 No. 2 Staff Quarters – Outbuilding

Materials	Roof	Reinforced concrete flat roof with asphalt on top
	Wall	Reinforced concrete
	Floor	Reinforced concrete
Finishes	Exterior	Plaster render with creamy white paint Floor with exposed concrete
	Interior	
	G/F	<u>Wall:</u> Upper portion paint with white paint. Lower portion paint with creamy paint. <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Paint with white paint

#### 4.4.7 Dangerous Goods Store

Materials	Roof	Reinforced concrete mono-pitched roof with asphalt on top
	Wall	Block wall
	Floor	Reinforced concrete
Finishes	Exterior	Plaster render with white paint
	Interior	
	G/F	<u>Wall:</u> Plaster with white paint <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Paint with white paint

#### 4.4.8 Fuel Tank

Materials	Roof	N/A
	Wall	Reinforced concrete
	Floor	Reinforced concrete
Finishes	Exterior	Fair-faced concrete
	Interior	
	G/F	<u>Wall:</u> Fair-faced concrete <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> N/A



#### 4.4.9 Garage

Materials	Roof	Reinforced concrete mono-pitched roof with asphalt on top
	Wall	Block wall
	Floor	Reinforced concrete
Finishes	Exterior	Plaster render with white paint
	Interior	
	G/F	<u>Wall:</u> Plaster with white paint <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Paint with white paint

#### 4.4.10 Underground Cellar

Materials	Roof	Reinforced concrete
	Wall	Reinforced concrete
	Floor	Reinforced concrete
	Column	Reinforced concrete
Finishes	Exterior	N/A
	Interior	
	Basement	<u>Wall:</u> Entrance area paint with white paint Columns are fair-faced concrete <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Entrance area paint with white paint

#### 4.4.11 Yard

Materials	Floor	Reinforced concrete
Finishes	Exterior	Cement concrete

Buildings/structures outside site boundary:

**4.4.12 Pumping Station**

Materials	Roof	Pitched roof comprises of double layered Chinese pan and roll tiles supported on timber purlins which in turn rest on metal trusses made of cast iron frames and steel tie rods. With monitor raised roof at the boiler house and new workshop.
	Wall	Redbrick columns and wall.
	Floor	Reinforced concrete beam/slab construction
	Staircase	Reinforced concrete
Finishes	Exterior	Fair-faced bricks Plaster rendered architectural features and canopy with white paint
	Interior	
	Engine Room, Boiler House, Corridor & Store Room 1-6	<u>Wall:</u> Plaster rendered with white paint White ceramic wall tiles on the lower portion <u>Floor:</u> Cement sand screeding with non-slip floor paint <u>Ceiling:</u> No false ceiling. Roof tiles paint with white paint. Roof metal support and timber purlins with black paint
	Basement	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Cement sand screeding <u>Ceiling:</u> Plaster rendered with white paint
	Toilet	<u>Wall:</u> White ceramic wall tiles <u>Floor:</u> Quarry floor tiles <u>Ceiling:</u> Plaster rendered with white paint
	Present Workshop	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Timber boards with brown paint skirting <u>Ceiling:</u> No false ceiling. Roof tiles paint with white paint. Roof metal support and timber purlins with brown paint
	Capacitor Room	<u>Wall:</u> Plaster rendered with white paint <u>Floor:</u> Quarry floor tiles with tiles skirting <u>Ceiling:</u> Plaster rendered with white paint

#### 4.4.13 Chimney Shaft and its Flue

Materials	Whole Chimney Shaft and its Flue	Fair-faced brick
Finishes	Exterior	Fair-faced bricks

### 4.5 Circulation

#### 4.5.1 General Description

(a) Senior Staff Quarters (Main Building and Servants' Quarters)

These two buildings are locating at a higher level which has to be accessed through a flight of steps. A covered walkway is erected on the ground floor which connects the Main Building and the Servants' Quarters. A timber staircase is located inside the Senior Staff Quarters connecting the ground floor and the first floor.

(b) Staff Quarters (Main Building and Store Building)

These buildings can be accessed directly from the main entrance through Tai Tam Reservoir Road. Two concrete staircases adhered to the corridors are constructed at two ends of the north elevation of the Main Building connecting the ground floor and first floor. The Main Building and Store Building are connected by a covered walkway at ground floor.

(c) No. 2 Staff Quarters (Quarters and Outbuilding)

The Quarters and its Outbuilding are locating on a sloping area at a higher level near the site entrance which has to be accessed through a flight of steps. An external concrete staircase is located at the east elevation connecting the ground floor and first floor through an verandah.

(d) Dangerous Goods Store

The Dangerous Goods Store can be directly accessed from the Yard.

(e) Fuel Tank

The Fuel Tank can be directly accessed from the Yard.

(f) Garage

The Garage can be accessed through a ramp from the Yard.

(g) Underground Cellar

The Underground Cellar can be entered through a staircase located at an

open space between the Pumping Station and Garage. There is only one staircase gaining access to and from the cellar.

(h) Yard

The Yard can be directly accessed from internal road connecting to Tai Tam Reservoir Road.

Buildings/structures outside site boundary:

(i) Pumping Station

Pumping Station can be accessed directly from Tai Tam Reservoir Road. Most of the areas are connected through a corridor inside the Pumping Station, except the Electric Substation and Store Room located at the west elevation of the building which has separate entrances. The selected applicant should allow access of both WSD vehicles and staff from Tai Tam Reservoir Road to the Pumping Station during the construction and operation of this revitalisation project.

**4.5.2 Barrier-Free Access**

(a) Senior Staff Quarters (Main Building and Servants' Quarters)

No barrier-free access is provided to overcome the level difference between internal road to ground floor of both buildings, the internal and external spaces at ground floor of both buildings, and from the ground floor to the first floor of the Main Building.

(b) Staff Quarters (Main Building and Store Building)

No barrier-free access is provided to overcome the level difference between the internal and external spaces of both buildings and from the ground floor to the first floor of Main Building.

(c) No. 2 Staff Quarters (Quarters and Outbuilding)

No barrier-free access is provided to overcome the level difference between internal road to ground floor of both buildings, the internal and external spaces at ground floor of both buildings and from the ground floor to the first floor of the Quarters.

(d) Dangerous Goods Store

A ramp is provided to connect the internal area and the Yard.

(e) Fuel Tank

There is no major level difference from the Yard to the internal area of Fuel Tank.

(f) Garage

The Garage is connected to Yard through ramp which is quite steep to accommodate the change in level between the Garage and the Yard.

(g) Underground Cellar

No barrier-free access is provided to gain access to the Underground Cellar from ground level.

(h) Yard

The internal road access to the Yard is quite steep to accommodate the change in level between the Tai Tam Reservoir Road and the Yard.

Buildings/structures outside site boundary:

(i) Pumping Station

A ramp is provided to connect the internal areas and the external ground. No barrier-free access is provided to gain access to the basement of the Pumping Station.

#### **4.6 Major Alterations and Additions**

Major upgrading works have been carried out in the Pumping Station between 1914 and 1916 to accommodate the additional pumping machinery and further extension works to the East of the Pumping Station were completed in 1925.

Old drawings obtained from Water Supplies Department (WSD) are shown at **Appendix VI(D)**. Applicants' attention is drawn to the differences between the existing building layouts and details and the old drawings. The existing layouts of buildings are shown at **Appendix VI(A)**.

In 2005, restoration work to the roof of the Pumping Station building was completed. Restoration work to the chimney was carried out in 2007.

## **4.7 Preliminary Structural Appraisal**

This section preliminarily appraises the structural condition of the buildings within the Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound historical site.

### **4.7.1 Structural Appraisal Methodology**

This structural appraisal mainly relies on the following information:

- a) An on-site visual inspection carried out in mid July 2019, with the aid of the following equipment:
  - i. Hammer for Hammer-tapping test, for detecting spalled and debonded concrete;
  - ii. Hand-held laser range-finders and laser levels, for detecting major deformation of the structures; and
  - iii. Camera for photographic record.
- b) The results from the following in-situ structural tests carried out in mid-September 2019:
  - i. Rebound hammer tests of reinforced concrete (RC) structural elements;
  - ii. Cover-meter survey of RC structural elements; and
  - iii. Trial pit inspection of footing.

A set of visual inspection photographic record and a set of in-situ test results can be obtained at the Scheme Secretariat by submitting a completed request form.

### **4.7.2 Structural System of the existing buildings**

As no structural plans or records could be found for any of the building structures in the historical compound, the structural system of each of the buildings are determined by the on-site visual inspection and in-situ tests, as follows:

a) Buildings/structures within site boundary

i. Senior Staff Quarters – Main Building

Roof	Reinforced concrete / Chinese roof tiles on timber rafters hybrid
First Floor	Reinforced concrete beam/slab*
Ground Floor	Timber floor with unknown substrate
Walls	Bricks
Columns	Brick piers
Footing	Corbelled brick isolated footings on concrete pad
Internal Staircase	Timber balustrades, railings and steps

\*Floor slab is to be determined

ii. Senior Staff Quarters - Servants' Quarters

Roof	Chinese roof tiles on timber rafters Metal brackets at North elevation
Ground Floor	Concrete slab
Walls	Bricks
Columns	Brick piers
Footing	Corbelled brick isolated footings on concrete pad**

\*\*Footing is to be determined

iii. Covered Walkway Between Main Building and Servants' Quarters

Roof	Chinese roof tiles on timber rafters, which are supported by metal frame and metal posts
Ground Floor	Concrete slab
Footing of Steel Posts	Isolated shallow footings**

\*\*Footing is to be determined

iv. Staff Quarters – Main Building

Roof	Chinese roof tiles on timber rafters, purlins and timber truss and metal joist system
First Floor	Reinforced arched concrete slabs on cast iron beams, brick walls and piers
Ground Floor	Concrete slab
Walls	Fair-faced bricks
Columns	Fair-faced bricks piers
Footing	Corbelled brick isolated footings on concrete pad**
Open Staircase and its Cover	Reinforced concrete with metal columns Metal balustrades
Verandah	Reinforced concrete supported by the building's brick walls and piers at the inner end, and supported by metal beams resting on metal posts at the outer edge of verandah Metal balustrades

\*\*Footing is to be determined



v. Staff Quarters – Store Building

Roof	Concrete slab, pitched
Canopy	Concrete slab extended from roof slab and supported by steel posts at the outer edge of slab
Ground Floor	Concrete slab
Walls	Fair-faced bricks
Columns	Fair-faced bricks piers
Footing	Corbelled brick isolated footings on concrete pad**

\*\*Footing is to be determined

vi. No. 2 Staff Quarters - Quarters

Roof	Reinforced concrete beam / slab
First Floor	Reinforced concrete beam / slab
Ground Floor	Concrete slab
Walls	Fair-faced bricks
Columns	Reinforced concrete
Footing	Corbelled brick isolated footings on concrete pad**
Open Staircase	Reinforced concrete Metal balustrades with concrete posts and railings
Verandah	Reinforced concrete cantilever beam/slab Metal balustrades with concrete posts and railings
Canopy above Verandah	Reinforced concrete cantilever beam/slab

\*\*Footing is to be determined

vii. No. 2 Staff Quarters - Outbuilding

Roof	Reinforced concrete beam / slab
Ground Floor	Concrete slab
Walls	Reinforced concrete
Footing	Concrete footing

viii. Dangerous Goods Store

Roof	Reinforced concrete slab
Ground Floor	Concrete slab
Walls	Masonry bearing walls

ix. Fuel Tank

Walls	Reinforced concrete
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x. Garage

Roof	Reinforced concrete slab
Ground Floor	Concrete slab
Walls	Masonry bearing walls

xi. Underground Cellar

Ground Floor (Top Slab) and Basement Floor	Reinforced concrete beam / slab
Columns	Reinforced concrete
Screen Walls	Reinforced concrete
Footing	Reinforced concrete columns with chamfers sitting on RC pad footings

i. Yard

Ground Slab	Reinforced concrete
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b) Buildings/structures outside the site boundary

i. Chimney

Chimney and its visible base above ground	Fair-faced bricks
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### 4.7.3 Structural Alterations

Based on the available building plans, there is no identifiable structural alteration works done to the following buildings:

- Senior Staff Quarters – Main Building
- Senior Staff Quarters – Servants’ Quarters
- Staff Quarters – Main Building
- Staff Quarters – Store Building
- No. 2 Staff Quarters - Quarters
- No. 2 Staff Quarters - Outbuilding

However, apart from the building structures listed above, there are no building plans available for the remaining building structures. Nonetheless, these structures appear to be properly constructed and have no sign of major structural alterations after they were built, with the exception of the open-frame garage extension built with corrugated metal sheet (as roof) and steel frame attached to the garage.

### 4.7.4 Structural Conditions of Buildings

The structural conditions of the buildings are as follows:

a) Buildings/structures within site boundary

i. Senior Staff Quarters – Main Building

Roof	Unable to assess due to false ceiling
First Floor	Unable to assess the majority of the floor system due to finishes (timber board or floor tiles) on both surfaces.  Good condition for the assessable portions, with minimal structural defect observed

Ground Floor	Unable to assess the floor system due to timber board finish
Walls	Good condition with no structural defect observed
Columns	Good condition with no structural defect observed
Footing	Trial pit reveals one of the footings is in good condition with brickworks in proper arrangement
Internal Staircase	Some superficial deterioration of timber

ii. Senior Staff Quarters - Servants' Quarters

Roof	Fair condition with minor deterioration of timber
Ground Floor	Unable to assess the floor system due to timber board finish
Walls	Good condition with no structural defect observed
Columns	Good condition with no structural defect observed
Footing	Unable to access; assumed to be in similar condition compared to the footing inspected at the Senior Staff Quarters – Main Building

iii. Senior Staff Quarters - Covered Walkway Between Main Building and Servants' Quarters

Roof	Fair condition with no identifiable structural defects.
Cast Iron Posts	Fair condition with minor rusting
Footing	Inaccessible

iv. Staff Quarters – Main Building

Roof	Local major deterioration of timber rafters and joist system at various locations, especially the roof above the verandah.  Propping posts are installed to stabilize the structure.
First Floor	Moderate deterioration and rusting of cast iron beams observed under the slab
Ground Floor	Fair condition
Walls	Fair condition with minor local cracks
Columns	Major cracks observed in some columns
Footing	Inaccessible
Staircase	Fair condition with minor local cracks and spalling
Verandah	Minor to moderate concrete cracks, spalling, exposed reinforcements throughout the RC slab.  Major crack which has been developed to a complete split of RC slab at one location.  Propping posts are installed to stabilize the structure.

v. Staff Quarters – Store Building

Roof	Moderate water seepage and spalling
Canopy	Moderate water seepage and spalling
Ground Floor	Fair condition
Walls	Minor cracks with water seepage
Columns	Fair condition
Footing	Inaccessible

vi. No. 2 Staff Quarters - Quarters

Roof	Fair condition with minor cracks and spalling
First Floor	Minor to moderate cracks and spalling throughout under the slab Exposure of highly corroded reinforcement observed in some areas resulted from severe spalling problem
Ground Floor	Fair condition
Walls	Fair condition with some local cracks
Columns	Fair condition with minor local cracks
Footing	Inaccessible
Staircase	Good condition with minimal structural defect observed
Verandah	Minor to moderate cracks and spalling under the slab
Canopy above Verandah	Minor to moderate cracks and spalling under the slab

vii. No. 2 Staff Quarters - Outbuilding

Roof	Minor to moderate cracks and spalling throughout under the slab Highly corroded reinforcement is exposed and observed in some areas resulted from severe spalling problem
Ground Floor	Fair condition
Walls	Fair condition with some rendering delamination
Footing	Inaccessible

viii. Dangerous Goods Store

Roof	Top of slab: good condition in general with some minor cracks
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	Slab Soffit: inaccessible during the visual inspection
Ground Floor	Inaccessible during the visual inspection
Walls	Fair condition in general with some minor cracks

ix. Fuel Tank

Walls	Fair condition without major defects
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x. Garage

Roof	Fair condition in general, with some local cracks / spalling and exposure of reinforcement in small areas
Ground Floor	Fair condition
Walls	Fair condition in general with some minor cracks

xi. Underground Cellar

Ground Floor (top slab)	Ceiling of the corridor: Highly corroded reinforcement is exposed and observed in large areas resulted from severe spalling problem. Majority of the exposed reinforcements has a large reduction of cross-sectional area  Ceiling of the cellar: Moderate condition with local cracks and spalling under the slabs and beams
Columns	Reinforcement is exposed and observed in some of the columns resulted from spalling problem  Minor to moderate spalling and cracks on nearly all visible columns
Screen Walls	Fair condition
Footing	Covered in clay and soil; unable to assess



xii. Yard

Ground Slab	Very good condition in general
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Buildings/structures outside site boundary

i. Chimney Shaft and its Flue

Chimney and its visible base above ground	Good condition in general with very minor cracks at few locations
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In general, there are no identifiable structural irregularities, nor excessive deformation (both horizontally and vertically) observed in all the building structures above.

Most of the defects identified above are commonly found in structures at this age due to normal wear and deterioration. They do not pose any potential structural hazards at this stage.

However, attention shall be drawn to the Staff Quarters – Main Building. Its overall structural condition is poor in general, especially for the roof, the balcony, the 1/F slab, and some brick piers. The defects of these elements shall be repaired in due course to ensure the structural integrity of the building is in order.

**4.7.5 Findings from the In-Situ Structural Tests**

The in-situ tests performed are mostly for verifying (1) types of structural elements and (2) general deterioration extent of structural elements.

The results and data obtained from the in-situ tests are insufficient for quantitative structural analysis/calculations, such as the actual floor loading capacities.

The findings and interpretations of the in-situ tests are as follows:

a) Covermeter Survey

The cover meter survey confirms the following elements to be RC slabs, with reinforcement layout:

- i. Staff Quarters – Main Building 1/F Slab
- ii. No. 2 Staff Quarters 1/F Slab
- iii. Yard
- iv. Underground Cellar Top Slab

However, the cover meter survey was not able to detect any reinforcements at the first floor of the Senior Staff Quarters – Main Building.

b) Rebound Hammer Test

All test locations selected for rebound hammer test are of sound concrete with no cracks and spalling. The concrete strength at all selected locations have a minimum estimated strength of 31MPa (RC walls and columns), which is higher than the normal design strength during that era (1900's). In other words, the concrete strength in these structures is considered to be sound and optimal in general at the non-defective locations.

c) Trial Pit Inspection of Footing

A trial pit was excavated next to one of the brick piers at the Senior Staff Quarters – Main Building to inspect one of its footings. The footing is a corbelled brick isolated footing, sitting on top of a concrete pad, which is founded on Completely Decomposed Granite (CDG). The corbelled brickwork under the pier was found to be in good condition with proper form and arrangement. Overall, the footing is in structurally sound condition.

The finding from the trial pit is taken as a reference for some other building structures in the historical compound. Therefore, it is assumed that in addition to the Senior Staff Quarters – Main building, the footings of the following buildings are of the similar type, and in

similar structural condition.

- Senior Staff Quarters – Servants’ Quarters
- Staff Quarters – Main Building
- Staff Quarters – Store Building
- No. 2 Staff Quarters - Quarters

d) Open-Up Inspection

An open-up inspection was performed at the outer edge of verandah RC slab soffit of the Staff Quarters – Main building. It is revealed that steel members are embedded in the RC slab as reinforcements. The corrosion state of the steel beams are found to be moderate to severe, with a considerable loss of cross-section area observed.

#### **4.7.6 Loading Assessment**

The design imposed load values presented below are assumed from the London City Council (L.C.C.) By Law 1909. While it is true that some building structures in the historical compound were built before 1909, the assumed design imposed load are considered to be relevant and reasonable, as the LCC1909 appears to be the first code to define the design imposed load for different usages.

The “suggested imposed load” values are discounted from the assumed design imposed load, with subjective reduction factors assigned based on the above findings. Before adopting the suggested imposed load figures for the proposed use(s), the actual structural condition of the floor(s) shall be further verified.

Buildings/structures within site boundary

a) Senior Staff Quarters – Main Building

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
1/F	Domestic	3.35	3.35*
R/F	-	2.68	2.68

\*subject to further verification of the floor loading system

b) Senior Staff Quarters – Servants' Quarters

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
R/F	-	NA	0.75

\*could be upgraded if the G/F slab is confirmed to be on-grade

c) Staff Quarters – Main Building

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
1/F & Verandah	Domestic	3.35	2.0**
R/F	-	N/A for pitched tiles	0.75***

		portion 2.68 for RC flat roof portion	
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\*could be upgraded if the G/F slab is confirmed to be on-grade

\*\*with a 40% reduction factor due to its current condition and to be further reviewed after testing

\*\*\*due to inaccessibility for structural evaluation and to be further reviewed after testing.

d) Staff Quarters – Store Building

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
R/F and Canopy	-	1.34	0.8**

\*could be upgraded if the G/F slab is confirmed to be on-grade

\*\*with a 40% reduction factor due to its current condition and to be further reviewed after testing.

e) No. 2 Staff Quarters - Quarters

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
1/F & Verandah	Domestic	3.35	3.35
R/F	-	2.68	2.68

\*could be upgraded if the G/F slab is confirmed to be on-grade

f) No. 2 Staff Quarters - Outbuilding

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Domestic	3.35	3.35*
R/F	-	2.68	1.61**

\*could be upgraded if the G/F slab is confirmed to be on-grade

\*\*with a 40% reduction factor due to its current condition and to be further reviewed after testing

g) Dangerous Goods Store

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Storeroom	Unknown	5.0*
R/F	-	1.34	1.34

\*assumed to be on-grade

h) Fuel Tank

Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
Unknown	5.0*

\*assumed to be on-grade

i) Garage

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F	Garage	Unknown	5.0*
R/F	-	2.68	2.68

\*assumed to be on-grade

j) Underground Cellar

Floor	Usage	Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
G/F (Top of Cellar)	Roof	2.68	1.6*
B/F (Cellar Bottom Slab)	Unknown	Unknown	5.0**

\*with a 40% reduction factor due to its current condition and to be further reviewed after testing

\*\*assumed to be on-grade

k) Yard

Assumed Design Imposed Load (kPa)	Suggested Imposed Load (kPa)
Unknown	5.0*

\*assumed to be on-grade

#### 4.7.7 Summary and Recommendations on building structures

- a) Except the Staff Quarters – Main Building, most structural defects found in the inspected buildings are minor. Nonetheless, these defects are structural, and shall be repaired whenever feasible.
- b) The major defects found in Staff Quarters – Main Building shall be repaired as soon as possible. Further deterioration of these defects will pose structural safety concern to the building. In view of temporary propping posts are already in place, there is no imminent danger noted for the building. However, the area near the propping posts is recommended to be fenced off from the public as an additional safety measure.
- c) The floor loading system of G/F and 1/F of Senior Staff Quarters – Main Building remains unknown. Further investigation is required in order to substantiate the current condition of the floor system and fit for the proposed use(s).
- d) The selected applicant should verify the recommended imposed loading capacity before adopting them for the design of their proposed use of the building blocks. Should the applicant's proposed use involves greater imposed loads on floors, the applicant shall carry out sufficient tests and detailed analysis to assess the structural capacity and to implement necessary strengthening works depending on the finding of the structural assessment and proposed use.



#### 4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the site of the survey area is as follows:

##### 4.8.1 Senior Staff Quarters – Main Building

Building Services	Existing Provision
Lift Installation	<ul style="list-style-type: none"><li>• There is no lift and escalator installation in the building.</li></ul>
Mechanical Ventilation and Air-Conditioning System Installation (abbreviated as MVAC hereafter)	<ul style="list-style-type: none"><li>• There is no Air-Conditioning (A/C) installation in the building. A wall mount exhaust air fan is installed at the G/F toilet.</li></ul>
Gas Installation	<ul style="list-style-type: none"><li>• There is no town gas or liquefied petroleum gas (abbreviated as LPG hereafter) installation within the building.</li></ul>
Potable Water Supply	<ul style="list-style-type: none"><li>• A water meter cabinet is found at the external area of the building next to Servants' Quarters. The potable water supply of the Main Building is tee-off from this water meter. The potable water tariff meter is dismantled. Potable water supply to the building is disconnected.</li><li>• 1 no. 22mm dia. potable water pipe is connected to the wash basins at G/F Toilet and 1/F Bathroom 2.</li></ul>
Flush Water Supply	<ul style="list-style-type: none"><li>• There is no saltwater connection to the building. Flushing water supply is tee-off from the fresh water main. A water meter cabinet is found at the external area of the building next to Servants' Quarters. The flushing water tariff meter is dismantled. Flushing water supply to the building is disconnected.</li><li>• The flushing water is connected to the sanitary fitments directly without storage tank.</li></ul>
Drainage Installation	<ul style="list-style-type: none"><li>• Foul water drains are connected to the sanitary fitments inside G/F Toilet and 1/F Bathroom 2. The foul water drains are discharged to the underground foul water manholes and finally connected to the septic tank near the Garage.</li></ul>

<b>Building Services</b>	<b>Existing Provision</b>
Drainage Installation (cont')	<ul style="list-style-type: none"> <li>• Rainwater runs off from the roof is collected to the surface channel on the ground. The rainwater is then discharged to the catch pits at the slope adjoining the building.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• No fire services installation is installed.</li> <li>• No street fire hydrant is found near the site of the survey area.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• Power supply to the building is disconnected.</li> <li>• A disconnected Hong Kong Electric (HEC) tariff meter is fixed on the wooden meter board under the staircase. A 63A TPN MCB board is installed at 1/F outside Bathroom 2.</li> <li>• Lighting fittings are provided at G/F Toilet and at the entrance connected to covered walkway. Lighting fittings in other areas were dismantled.</li> <li>• Power sockets are installed throughout the building. Wiring for the lightings and sockets are run in PVC trunking.</li> </ul>
Telecommunication Network	<ul style="list-style-type: none"> <li>• Abandoned telephone junction box is found installed at the external wall of the building.</li> <li>• No telecommunication cable is installed in the building.</li> </ul>

#### **4.8.2 Senior Staff Quarters –Servants' Quarters**

<b>Building Services</b>	<b>Existing Provision</b>
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation in the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• There is no MVAC installation in the building.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>• There is no town gas or LPG installation in the building.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• A water meter cabinet is found at the external area of the building. The potable water tariff meter is dismantled.</li> <li>• 1 no. 22mm dia. potable water pipe is connected to the sanitary fitments at G/F Toilet and Bathroom.</li> </ul>

<b>Building Services</b>	<b>Existing Provision</b>
Flush Water Supply	<ul style="list-style-type: none"> <li>• A water meter cabinet is found at the external area of the building. The flushing water tariff meter is dismantled. Flushing water supply to the building is disconnected.</li> <li>• The flushing water pipe is connected to the sanitary fitments directly without storage tank.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• 1 no. 100mm dia. soil waste pipe is connected to the water closets at the toilet and bathroom. Waste water from floor drains and wash basins are discharged to the sump tank outside the building by a 40mm dia. waste pipe. The waste water is then pumped to the 100mm dia. soil waste pipe by sump pump and connected to the septic tank near the garage.</li> <li>• Rainwater runs off from the roof is collected to the surface channel on the ground. The rainwater is then discharged to the catch pits at the slope adjoining the Senior Staff Quarters – Main Building.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• No fire services installation is installed.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• A 40A TPN MCB board is installed at G/F Servant's Room 3.</li> <li>• Lighting fitting is installed at the external wall of the building. Lighting fittings in other areas were dismantled.</li> <li>• Power sockets are installed throughout the building. Wiring for the lightings and sockets are run in cable trunking.</li> </ul>
Telecommunication Network	<ul style="list-style-type: none"> <li>• No telecommunication cable is installed in the building.</li> </ul>

#### **4.8.3 Staff Quarters – Main Building**

<b>Building Services</b>	<b>Existing Provision</b>
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation in the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• A wall mount exhaust air fan is provided at G/F Kitchen. Exhaust hood is provided at 1/F Kitchen.</li> <li>• Window type A/C unit is provided at Room No. 2 at 1/F. No A/C installation is provided at other rooms.</li> </ul>

<b>Building Services</b>	<b>Existing Provision</b>
Gas Installation	<ul style="list-style-type: none"> <li>• The gas supply for this building is by LPG cylinders. LPG is used for the water heaters in the toilets and the cooking equipment at 1/F Kitchen 3.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• A potable water tariff meter (#M14-417878) is installed for the building. A 40mm dia. potable water pipe distributes potable water to the building.</li> <li>• Potable water supply is provided for Toilet 1, Toilet 2, Kitchen 2, Kitchen 3 and the water tap at the building external area (behind the building).</li> </ul>
Flush Water Supply	<ul style="list-style-type: none"> <li>• No saltwater connection to the building.</li> <li>• The existing flush water to soil fitment is directly connected from the potable water supply pipe. No flush water tank is installed within the building.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• Foul water drains are connected to the sanitary fitments at G/F and 1/F toilets and kitchens. The foul water drains are discharged to the underground foul water manholes and finally connected to the septic tank near the Staff Quarter - Store Building.</li> <li>• Rainwater from the roof is collected by rainwater pipe and discharged to surface channel with pipe shoe. The rainwater is then discharged to the culvert near the Tai Tam Reservoir Road.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• A fire extinguisher is installed at the entrance of G/F Kitchen 2.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• MCB boards are installed in the EMR room at G/F. It is inaccessible during inspection.</li> <li>• Lighting fittings are installed at all rooms, kitchens, toilets, corridor and at the external wall of the building.</li> <li>• Lighting switches, double pole switches, fuse spur units and socket outlets are installed at all the location.</li> <li>• General lighting and power sockets are installed throughout the building. Wiring for the lightings and sockets are run in cable trunking at corridor and surface mounted inside the rooms.</li> </ul>

<b>Building Services</b>	<b>Existing Provision</b>
Telecommunication Network	<ul style="list-style-type: none"> <li>• There is no telecommunication cable installed in the building.</li> <li>• 1/F Room No.4 (staff accommodation) was inaccessible during inspection. Condition is not known.</li> </ul>

#### 4.8.4 Staff Quarters – Store Building

<b>Building Services</b>	<b>Existing Provision</b>
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation in the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• There is no MVAC Installation in the building.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>• There is no town gas or LPG installation in the building.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• No potable water supply is provided.</li> </ul>
Flush Water Supply	<ul style="list-style-type: none"> <li>• No flush water supply is provided.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• Rainwater runs off from the roof is collected to the surface channel on the ground. The rainwater is then discharged to the culvert near the Tai Tam Reservoir Road.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• No fire services installation is installed.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• There is no MCB board installed in this building.</li> <li>• Lighting fittings are installed at all rooms. Spotlights are installed at the external wall of the building</li> <li>• Lighting switches, double pole switches, fuse spur units and socket outlets are installed at all the location.</li> <li>• General lighting and power sockets are installed throughout the building. Wiring for the lightings and sockets are run in cable trunking at corridor and surface mounted inside the rooms.</li> </ul>
Telecommunication Network	<ul style="list-style-type: none"> <li>• There is no telecommunication cable installed in the building.</li> </ul>

#### 4.8.5 No.2 Staff Quarters –Quarters

Building Services	Existing Provision
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation in the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• There is no A/C Installation in the building.</li> <li>• 2 nos. wall mount exhaust air fans are installed at G/F Kitchen 1 and Kitchen 2.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>• LPG gas heater and associated gas pipe remain at the 1/F Toilet 2..</li> <li>• No LPG gas cylinder is connected to the above-mentioned heaters.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• A potable water tariff meter (#M18-401041) is installed for the building. A 22mm dia. potable water pipe distributes potable water to the building.</li> <li>• Potable water supply is provided for the bathroom, toilets and kitchens.</li> </ul>
Flush Water Supply	<ul style="list-style-type: none"> <li>• Flush water supply is connected to potable water pipe.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• Foul water drains are connected to the sanitary fittings at G/F and 1/F toilets and kitchens. The foul water is collected to the septic tank outside the building and discharged to another septic tank near the Staff Quarters – Store Building through underground foul water drainage system.</li> <li>• Rainwater from the roof is collected by rainwater pipe and discharged to flat channel with pipe shoe. The rainwater is then discharged to the culvert near the Tai Tam Reservoir Road.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• A fire extinguisher is installed at the entrance of G/F kitchens.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• 2 Nos. 100A 6 Way SPN MCB board are installed at G/F Room 1 and Room 2 for G/F. 1 No. 100A 12 Way SPN MCB board are installed at 1/F Room 5 for 1/F.</li> <li>• Lighting fittings are installed at all rooms. External lightings are installed at the canopy of 1/F and G/F and external wall.</li> <li>• Lighting switches, double pole switches, fuse spur units and socket outlets are installed at all the location.</li> </ul>

<b>Building Services</b>	<b>Existing Provision</b>
Telecommunication Network	<ul style="list-style-type: none"> <li>• No telecommunication cable installed in the building.</li> </ul>

#### 4.8.6 No.2 Staff Quarters – Outbuilding

<b>Building Services</b>	<b>Existing Provision</b>
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation in the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• There is no A/C Installation in the building.</li> <li>• The toilets is naturally ventilated with louvre doors and louvre windows.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>• LPG gas heater and associated gas pipe remain at Toilet 1.</li> <li>• No LPG gas cylinder is connected to the above-mentioned heater.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• The potable water supply of this building is obtained from the No.2 Staff Quarters – Quarters.</li> <li>• 1 no. 22mm dia. potable water pipe connected to shower mixer at Toilet 1.</li> </ul>
Flush Water Supply	<ul style="list-style-type: none"> <li>• Flush water supply is connected to potable water pipe.</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• 100mm dia. soil waste pipe is connected to the septic tank outside the building and discharged to another septic tank near the Staff Quarters – Store Building through underground soil waste pipe.</li> </ul>
Fire Services Installation	<ul style="list-style-type: none"> <li>• No fire services installation is installed.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• No individual MCB board is found for this building. Power supply is extended from the MCB board in the No.2 Staff Quarters - Quarters.</li> <li>• Lighting fittings are installed at bathrooms and toilets.</li> </ul>
Telecommunication Network	<ul style="list-style-type: none"> <li>• No telecommunication cable installed in the building.</li> </ul>

#### 4.8.7 Garage

<b>Building Services</b>	<b>Existing Provision</b>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"><li>• The garage is naturally ventilated with high and low level vents.</li></ul>
Electrical Installation	<ul style="list-style-type: none"><li>• A SPN MCB board is installed for power provision to garage.</li><li>• Lighting fittings, lighting switches and socket outlets are installed in the garage and at the shelter next to the garage.</li></ul>
Drainage Installation	<ul style="list-style-type: none"><li>• There is no foul water drainage in the garage.</li><li>• There is no stormwater drainage for the garage.</li></ul>
Other Building Services	<ul style="list-style-type: none"><li>• No other building services are found in the garage.</li></ul>

#### 4.8.8 Underground Cellar

<b>Building Services</b>	<b>Existing Provision</b>
Electrical Installation	<ul style="list-style-type: none"><li>• Incoming power cable and final circuit cables are disconnected.</li><li>• Socket outlets and lighting fittings remain on the wall with disconnected power cables.</li></ul>
Other Building Services	<ul style="list-style-type: none"><li>• No other building services are found in the cellar.</li></ul>

#### 4.8.9 Yard

<b>Building Services</b>	<b>Existing Provision</b>
Electrical Installation	<ul style="list-style-type: none"><li>• There is no electrical installation in the yard.</li></ul>
Drainage Installation	<ul style="list-style-type: none"><li>• There is no foul water or storm water drainage in the yard.</li></ul>



#### 4.8.10 Buildings/Structures outside the site boundary

The Pumping Station, Chimney Shaft and its Flue and the pier are outside the site boundary. The Pumping Station is still in operation and its building services, if affected by this revitalising project should also be maintained. The building services of Pumping Station are provided as follows for reference. There are no building services in the chimney and the pier.

##### 4.8.10.1 Pumping Station

Building Services	Existing Provision
Lift Installation	<ul style="list-style-type: none"> <li>• There is no lift and escalator installation within the building.</li> </ul>
Mechanical Ventilation and Air-Conditioning System Installation	<ul style="list-style-type: none"> <li>• There is no A/C installation at the building.</li> <li>• Exhaust air fans are provided in toilets, engine house, battery room, capacitor room and switch gear room.</li> <li>• A suspended ceiling fan is installed in the workshop.</li> </ul>
Gas Installation	<ul style="list-style-type: none"> <li>• There is no gas installation within the building.</li> </ul>
Potable Water Supply	<ul style="list-style-type: none"> <li>• There is no individual water tariff meter for this building. Potable water pipe is connected from Staff Quarter – Main Building. No potable water tank is provided within the building. All water fitments within the buildings are connected to the potable water supply pipe directly.</li> <li>• 22mm dia. potable water pipe is extended from the Staff Quarter – Main Building to the wash basins of battery room, present workshop and toilet.</li> </ul>
Flush Water Supply	<ul style="list-style-type: none"> <li>• There is no saltwater connection to the building. The existing flush water to soil fitment is directly connected to the potable water supply pipe. No flush water tank is installed within the building</li> </ul>
Drainage Installation	<ul style="list-style-type: none"> <li>• Foul water drains are connected to the sanitary fitments inside battery room, present workshop and toilet. The foul water drains are discharged to the underground foul water manholes and finally connected to the septic tank near the Staff Quarters – Store Building.</li> </ul>

Building Services	Existing Provision
Fire Services Installation	<ul style="list-style-type: none"> <li>• No Wet Fire Protection System (i.e. FH/HR &amp; Sprinkler Systems) is installed.</li> <li>• CO<sub>2</sub> fire extinguisher is installed at L.V. switch gear room.</li> <li>• Smoke detection system is installed at the building. The system panel is installed near the entrance of Engine House (Pump Hall). Break glass units and alarm bells are installed at the entrances of the building.</li> <li>• Emergency lighting (battens with battery modules) and exit signs are installed in the building.</li> </ul>
Electrical Installation	<ul style="list-style-type: none"> <li>• There is a set of 2500A L.V. switchboard fed from 2 nos. HEC 1500kVA transformers.</li> <li>• The L.V switchboard supply power to the following services: <ul style="list-style-type: none"> <li>(i) Pump set No.1 to 5;</li> <li>(ii) 2 nos. air compressors; and</li> <li>(iii) Lighting and small power of the building.</li> </ul> </li> <li>• A set of HEC tariff meter (#5056000 &amp; #5056001) is installed in the switch gear room.</li> <li>• There are two MCB boards in the switch gear room. A 100A 12 way TPN MCB board "DB-A" supplies power to lightings and small power at Engine House (Pump Hall), Equipment Room and Basement.</li> <li>• Another 100A 12 way TPN MCB board "DB-B" supplies power to lightings and small power at present workshop, toilet and also the exhaust air fan at Engine House (Pump Hall).</li> <li>• A 63A 14-way SPN MCB board is installed in the workshop. It supplies power to lightings and small power in the present workshop.</li> <li>• General lighting and power sockets are installed throughout the building. Wiring for the lightings and sockets are either run in surface mounted or in concealed conduit.</li> </ul>
Telecommunication Network	<ul style="list-style-type: none"> <li>• PCCW telecommunication cables are installed inside the building for HEC tariff meter and telephone set at the present workshop.</li> </ul>

## **V. Vicinity and Access**

### **5.1 Access**

Access to the site of this Revitalisation Project is shown in the Access Plan in **Appendix VIII**.

#### **5.1.1 Vehicular Access**

Vehicular access to the site of this Revitalisation Project is only available from Tai Tam Reservoir Road whereas the part within the site currently under WSD's maintenance and management is a single lane two-way traffic vehicular access with width of approximately 3.4m, which is not wide enough for a large vehicular fire appliance.

#### **5.1.2 Emergency Vehicular Access (EVA)**

EVA complying with the requirements stipulated in Section 6, Part D of Code of Practice for Fire Safety in Buildings 2011 for buildings is not available within the site.

#### **5.1.3 Parking**

Based on the WSD's information, public car parking is not available within the site.

#### **5.1.4 Loading and Unloading Area**

Formal loading/unloading area for vehicles of public is not available within the site.

#### **5.1.5 Pedestrian Access**

Pedestrian can access from the nearest bus stop at the Tai Tam Country Park of Tai Tam Road to the main gate of the site along Tai Tam Reservoir Road in about 6 minutes. Part of the Tai Tam Reservoir Road do not provide clear defined pedestrian path. Pedestrian also can access to the main gate of the site at Tai Tam Reservoir Road from the coastal footpath at the west side of Tai Tam Bay.

#### **5.1.6 Access from the sea**

The site of this Revitalisation Project can be accessed from the sea by landing on Tai Tam Bay Pier.

#### **5.1.7 Refuse Collection Point**

There is no refuse collection point within the site.

## VI. Conservation Guidelines

### 6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regards to the latest editions of the Venice Charter (ICOMOS), the Burra Charter (Australia ICOMOS) and the Principles for the Conservation of Heritage Sites in China (ICOMOS China), which give the established international principles in heritage conservation in preparing their proposals for the conservation works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic building and complying with the current statutory requirements under the Buildings Ordinance (Cap 123). On this issue, we would advise:

- (a) when undergoing major alteration works and change of use, the historic building should be properly upgraded to meet the same level of safety in respect of the new use as in the case of new buildings. The need for preserving the significant architectural features (**Appendix IX** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the building; and
- (b) every effort should be made to preserve the façades of the historic building except unauthorized building structures, if any. Addition and alteration works, if necessary, should be undertaken at the sides or other less visually prominent location of the building concerned. The original façades of the building should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to design and colours that are compatible with the age and character of the buildings and the paint system is to be reversible<sup>1</sup>. Any fixed signage should match the age and character of the exterior of the building and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for

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<sup>1</sup> “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

reference. However, they should not be treated as exhaustive and it is essential for the selected applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including the Buildings Department, Fire Services Department, Drainage Services Department, etc.

<b>Possible Building Works</b>	<b>Conservation Guidelines</b>
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. must respect the historical integrity of the building(s), and carry out at less prominent area.
b) Fire Resisting Construction to Floors, Doors and Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
c) Emergency Vehicular Access (EVA)	EVA should blend in with the surroundings to preserve the historical character of the building(s).
d) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings must respect the historical integrity of the building(s), and carry out at less prominent area.
e) Barrier-Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its/their surroundings, in particular the external elevation(s) of the building(s).
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning, fire services and plumbing installations should ensure that no “non-

Possible Building Works	Conservation Guidelines
	reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fitments	If “historic fitment(s)” is/ are identified, it/ they should be preserved, while modern fittings of compatible design to the existing may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 The selected applicant should engage a building contractor, for the renovation works, who is included in the Development Bureau’s “List of Approved Contractors for Public Works – Buildings category” of appropriate group according to the estimated value of the works contract (<https://www.devb.gov.hk/Contractor.aspx?section=80&lang=1> for the list) and a Registered General Building Contractors of Buildings Department (<https://www.bd.gov.hk/en/resources/online-tools/registers-search/registrationsearch.html> for the list). If the contractor to be appointed for the renovation works is not itself an approved specialist contractor included in the “List of Approved Suppliers of Materials and Specialist Contractors for Public Works – Repair and Restoration of Historic Buildings category” (RRHB specialist contractor), the appointed contractor must engage a RRHB specialist contractor from the Approved List as its specialist sub-contractor for carrying out the repair and restoration works of the “Architectural Features to be Preserved” to the historic building. All other specialist sub-contractors for the renovation works should also be engaged from the relevant categories/groups in the Development Bureau’s “List of Approved Suppliers

of Materials and Specialist Contractors for Public Works ([http://www.devb.gov.hk/en/construction\\_sector\\_matters/contractors/supplier/index.html](http://www.devb.gov.hk/en/construction_sector_matters/contractors/supplier/index.html) for the list).

## **6.2 Special Requirements of the Project**

- 6.2.1. The Senior Staff Quarters (Main Building and Servants' Quarters), the Staff Quarters (Main Building only) and the No. 2 Staff Quarters of the SQC are declared monuments under the Antiquities and Monuments Ordinance (Cap. 53) (hereinafter refer to as "this Ordinance") with exceptional historical, social and scientific value and significance. (Please refer to the declared monuments and historic building grading boundary plans enclosed in **Appendix II(B)** for details.) Any works within the declared monuments boundary will require a permit granted by the Antiquities Authority under this Ordinance.
- 6.2.2. The proposed revitalisation works may involve application(s) for Environmental Permit(s) under the Environmental Impact Assessment Ordinance (Cap. 499) and/or planning permission under the Town Planning Ordinance (Cap. 131) subject to advise from the Environmental Protection Department (EPD) and Planning Department respectively.
- 6.2.3. A Cultural Heritage Impact Assessment (CHIA) process may be required for revitalisation of SQC, subject to the EPD's advice.
- 6.2.4. When an Environmental Impact Assessment (EIA) with CHIA is required by EPD, a separate Heritage Impact Assessment (HIA) on the same heritage site is NOT required.
- 6.2.5. Before submitting the Project Profile to apply for the EIA Study Brief, the selected applicant should preferably consult AMO on the necessity of a CHIA for its project and if affirmative, agree with AMO on the CHIA Study Brief. AMO will decide the merits and timing of consulting Antiquities Advisory Board on the CHIA, preferably before AMO advises EPD on the CHIA findings submitted by the selected applicant to apply for approval of the statutory EIA report.

### **6.3 Specific Conservation Requirements**

- 6.3.1 The revitalisation of the Senior Staff Quarters (Main Building and Servants' Quarters), the Staff Quarters (Main Building only) and the No. 2 Staff Quarters for new uses should take full consideration of its declared monument status. Together the Store Building of Staff Quarters (Grade 1 historic building), they remain fairly authentic and the architectural features at both exterior and interior of the buildings are still generally kept. The revitalisation approach should take account of the principle of "minimum intervention" and "reversibility", such that they will essentially be kept for public appreciation of its original design and architectural features.
- 6.3.2 To retain the original timber flooring system at Senior Staff Quarters and jack arch slabs at Staff Quarters, the new uses for the 1/F floor of the two buildings should be carefully considered with reference to the existing loading capacity. The adverse visual impact on the character defining elements and the ambience of the existing buildings should be minimized and substantial modifications of the existing building structures or fabrics including the existing flooring system and the materials could be avoided.
- 6.3.3 The Tai Tam Group of Reservoirs plays an important role in the development of public water supply. Being the backbone for the Hong Kong Island's water supply, the Tai Tam Group of Reservoirs also witnesses the expansion of the urban areas of Hong Kong moving from the central and western districts to the eastern side of Hong Kong Island. The values of the SQC in terms of historic, social and scientific values, sharing group values with other historic items of the Tai Tam Group of Reservoirs. In this regard, the setting of the Tai Tam Group of Reservoirs, in connection with the SQC should be conserved and the values of the Tai Tam Group of Reservoirs should be properly interpreted within the site. Any new structures to be built within the site which are necessary for the new use should be compatible with the surroundings and should not create prominent visual impact to the Tai Tam Group of Reservoirs in a holistic approach.
- 6.3.4 Despite the Tai Tam Tuk Raw Water Pumping Station is outside the project boundary, it is the tangible item reflecting the scientific value of the Tai Tam Group of Reservoirs from the engineering perspective, as the Tai Tam project is the first reservoir which make use of pumping facilities and not rely as much on gravity flow. Therefore, any new building to be constructed within the site



should respect and not overwhelm the Tai Tam Tuk Raw Water Pumping Station, which is considered as the most iconic building in the vicinity.

- 6.3.5 There is an underground cellar/ underground air raid shelter (and associated tunnels if any) situated within the site, even though it is neither declared monument nor graded building, nonetheless, it contributes to the setting of the Tai Tam Group of Reservoirs. Damage to these underground structures should be avoided in the revitalisation works. However, the exact locations of these underground structures are uncertain at this stage, further research and site investigation on history and locations should be carried out during design stage, to ensure that no new works will damage the underground structures.
- 6.3.6 The SQC remain fairly authentic and the architectural features at both exterior and interior of the buildings are still generally kept. As such, any repair and restoration should follow the original forms, architectural details and materials as far as practical in careful considerations so as to bring out the architectural value of these buildings built in the early 20<sup>th</sup> century.
- 6.3.7 A number of character-defining elements must be preserved in-situ and maintained as necessary. They are listed in **Appendix IX(A)**. Their corresponding required and recommended conservation treatments are listed at **Appendix IX(B)** and **IX(C)** respectively.
- 6.3.8 Every effort should be made to carry out all “required treatments” set out under **Appendix IX(B)** of the Conservation Guidelines. If compliance with the “required treatments” cannot be achieved, justifications should be given to the AMO for their consideration. **Appendix IX(C)** of the Conservation Guidelines set out the “recommended treatment” to the historic building, which should be carried out as far as practicable.

## **VII. Town Planning Issues**

The site is zoned as “Government, Institution or Community (1)” on the Approved Hong Kong Planning Area No.18 – Tai Tam & Shek O – Outline Zoning Plan (OZP) No. S/H18/10, which was approved by the Chief Executive in Council on 6 May 2008 and gazetted on 16 May 2008. The full set of OZP including the Plan, Notes and Explanatory Statement is available at the Town Planning Board (TPB)’s website(<http://www.info.gov.hk/tpb/>). Relevant extracts of the OZP and Notes for the Government, Institution or Community (1) are shown in **Appendix X**.

The planning intention of the Government, Institution or Community (1) is primarily to serve the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

The Notes for the Government, Institution or Community (1) (**Appendix X**) stipulate that any new development, or addition, alteration and/or modification to or redevelopment of an existing buildings result in a total development and/or redevelopment not in excess of a maximum building height of 20 meters above Hong Kong Principal Datum.

The Notes also set out the uses or developments that are always permitted (the ‘Column 1’ uses) within the zone and those requiring permission from the TPB(the ‘Column 2’ uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not under Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from Hong Kong District Planning Office of the Planning Department at 14/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2895 3957).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified in writing of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

## **VIII. Land and Tree Preservation Issues**

### **8.1 Land Issues**

The site rests on Government land and is currently under the purview of Water Services Department (WSD) and Government Property Agent. The Site Boundary Plan of this Revitalisation Project is shown in **Appendix II(A)**.

### **8.2 Tree Issues**

Based on the tree schedule prepared in July 2019, there are currently 293 trees located in the vicinity of the site. A tree schedule depicting the conditions and value of trees is shown in **Appendix XI**. The topographic survey drawings showing the locations of those trees are shown in **Appendix III(B)**. The information given in the above tree schedule and topographic survey drawings may be changed from the time of the survey.

There is no Old and Valuable Tree (OVT) in the OVT Register within the site.

Trees surveyed in the vicinity of the site are tagged with Tree Number T1-T293.

In general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the District Lands Officer and the AMO or the appropriate authorities who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

The selected applicant shall be responsible for the horticultural maintenance of vegetation and maintenance of trees within the site boundary.

## **IX. Slope Maintenance**

- 9.1 According to the Systematic Identification of Maintenance Responsibility of Slopes in the Territory (SIMAR) Unit, there are ten slope features within and adjoining the site. Information on the slope features as on 11 July 2019 and the details are summarised below and shown in **Appendix XII**. Slope features 2-10 are outside the site boundary but within the survey area of this resource kit. The conditions of the features require further assessment.

### Slope features within the site boundary

#### Slope Feature 1:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-A/C200	-	Within W Portion of GLA-HK109	Water Supplies Department	Water Supplies Department

### Slope features outside the site boundary

#### Slope Feature 2:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-A/CR707	-	Within GLA-HK109	Water Supplies Department	Water Supplies Department

#### Slope Feature 3:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/C91	-	Within GLA-HK109	Water Supplies Department	Water Supplies Department

#### Slope Feature 4:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/C313	-	Within GLA-HK109	Water Supplies Department	Water Supplies Department

Slope Feature 5:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/C194	-	Within GLA-HK1085, Tai Tam Tuk Water Supplies Department Quarters	Government Property Agency	Architectural Services Department

Slope Feature 6:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/C193	-	Within GLA-HK1085, Tai Tam Tuk Water Supplies Department Quarters	Government Property Agency	Architectural Services Department

Slope Feature 7:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/DT11	-	Adjoining Government Quarters to the East of Government Land Allocation-HK 109	Government Property Agency	Architectural Services Department

Slope Feature 8:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/F85	1	Adjoining and within RBL1050RP	RBL1050RP	N/A
15NE-B/F85	2	Adjoining and within RBL1050RP	Lands Department	Lands Department
15NE-B/F85	3	Adjoining and within RBL 1050RP	Water Supplies Department	Lands Department

Slope Feature 9:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/R101	-	Within GLA-HK109, Tai Tam Tuk Pumping Station	Water Supplies Department	Water Supplies Department

Slope Feature10:

Slope Number	Sub-division	Location	Responsible Party	Maintenance Agent
15NE-B/R102	-	Within GLA-HK109	Water Supplies Department	Water Supplies Department

The selected applicant should allow the Government or its representatives to gain access to the slope features concerned to carry out required slope maintenance works. Should the selected applicant's proposal for adaptive re-use of the site of this Revitalisation Project affects the existing registered/non-registered slope features, geotechnical assessment and/or corresponding slope upgrading works as required by the Building Authority and other government departments should be carried out by the selected applicant to suit his proposal. The selected applicant shall be responsible at their own cost for any necessary upgrading, repair and maintenance of the registered/non-registered slope features affected by the revitalisation works.

The selected applicant should consult the relevant government departments, such as the Building Department, Geotechnical Engineering Office of Civil Engineering and Development Department to ensure all the slopes and retaining walls are stable with respect to the revitalisation proposal.

Any slope upgrading works should not alter the existing external appearance of the buildings within the site of this Revitalisation Project or cause adverse impact on the stability of any slopes and structures within or in the vicinity of the site of this Revitalisation Project.

## **X. Technical Compliance for Possible Uses**

### **10.1 Uses that could Possibly be Considered**

Possible adaptive re-use of the site of this Revitalisation Project includes:

- (a) Eating Place ;
- (b) Education Institution;
- (c) Exhibition or Convention Hall;
- (d) Field Study Education/ Visitor Centre; and
- (e) Place of Recreation, Sports or Culture.

The technical feasibility of each case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider to be the most suitable for the site of this Revitalisation Project. Applicant should make reference to the “Definition of Terms” under the Town Planning Board’s web site to ascertain if a particular use is permitted. Applicants are required to ascertain the technical feasibility, including the structural adequacy and conservation requirements, of their proposed uses.

### **10.2 Technical Considerations**

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance and relevant ordinances. These requirements include but are not limited to:

<b><u>Requirements</u></b>	<b><u>Remarks</u></b>
1. Means of escape	Upgrading works may include, but not limited to, the provision of code-compliant staircase. In view of the conservation requirements limiting the extent of upgrading works, fire engineering study may be adopted as an alternative approach to comply with the current safety requirements. For use of Place of Public Entertainment (PPE), it should follow Part III of CoP for the Provision of Means of Escape in Case of Fire 1996. Building Authority will determine the number and width of thoroughfares required if such PPE accommodates less than 500 people.

<b><u>Requirements</u></b>	<b><u>Remarks</u></b>
2. Fire resisting construction	Further investigation will be required to demonstrate the adequacy of fire-resisting construction of the existing building elements. Upgrading works may include, but not limited to, the provision of fire enclosure to exit staircases. If there is conservation requirements limiting the extent of upgrading works, fire engineering study may be adopted as an alternative approach to comply with the current safety requirements.
3. Means of access for fire fighting and rescue	Upgrading works may include, but not limited to, the provision of fireman's lifts. Compensatory measures may be required for non-provision or deficient EVA.
4. Barrier-free access and facilities	Various provisions for barrier-free access, such as ramps, passenger lift or lifting platform may be required. For building with 2 floors or higher, lift is required for internal access.
5. Protection against falling from height	Existing balustrades or parapets shall be upgraded to current statutory requirements unless access is restricted for maintenance purpose only.
6. Structural adequacy	Detail structural investigation (i.e. comprehensive structural appraisal) shall be carried out to ensure the stability of all the building elements. Strengthening works may be required depending on the findings of structural investigation and the proposed use. For existing protective barriers/parapets that need to be retained, the structural requirements of minimum horizontal imposed loads under Table 3 of Building (Construction) Regulations should be fulfilled.
7. Fire service installation requirements	Sufficient fire service installation is required with reference to the latest version of the Code of Practice from the Fire Services Department. Provision depends on future building usage in the site.



<u>Requirements</u>	<u>Remarks</u>
8. Natural lighting and ventilation	Compensatory measures may be required for any deficiency.
9. Provision of sanitary fitments	Additional toilets may be required to comply with the current requirements.
10. Plumbing System	There is no saltwater main in the vicinity of the site. The selected applicant needs to apply to WSD for Temporary Mains Fresh Water for Flushing (TMF) and provide a flushing water supply system complying with the statutory requirements.
11. Drainage Installation	The storm and foul water should be discharged to proper drainage system for the compliance of Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations.  Grease traps according to the Food and Environmental Hygiene Department are required for kitchens, if any.

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with the Conservation Guidelines in Section VI.

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals. They may make reference to guidelines stated in PNAP APP-69 and Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2019 Edition).

### **10.3 Further Information on Possible Uses**

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants is listed below:

- (a) **Heritage Conservation**

Applicant shall follow the Conservation Guidelines listed in Section VI of the Resource Kit when resolving technical issues.

**(b) Planning**

Examples of uses in paragraph 10.1 are under Column 1 of the Notes to the OZP under Government, Institution or Community (1) that are always permitted. However, please note that the nature of the proposed uses can only be ascertained when the details of the proposal are available to the TPB.

**(c) Emergency Vehicular Access (EVA)**

An EVA complying with the requirements stipulated in Section 6, Part D of Code of Practice for Fire Safety in Buildings 2011 will be required. If there are genuine site constraints in the provision of a proper EVA, alternative fire safety enhancement measures may be justified using a fire engineering approach.

**(d) Licensing**

- (i) If the site of this Revitalisation Project is to be used as an exhibition hall, the selected applicant should obtain a license from the Food and Environmental Hygiene Department (FEHD) if he intends to carry out:
- Any exhibition of any one or more of the followings, namely pictures, photographs, books, manuscripts or other documents or other things;
  - A sporting exhibition;
  - A cinematograph or laser projection display.

For details on the application of places of public entertainment license for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD (<http://www.fehd.gov.hk/licensing/index.html>).

- (ii) If food and beverage services are to be provided, the selected applicant shall make an application to FEHD if he intends to carry out any food business which involves, generally, the sale of meals or unbolted non-alcoholic drinks other than Chinese herb tea for consumption on site of this Revitalisation Project. Relevant information on application

procedures and forms can be downloaded from the FEHD website (<http://www.fehd.gov.hk/english/licensing/index.html>).

- (iii) If the site of this Revitalisation Project is to be used as an education centre, the selected applicant is required to check whether the proposed mode of operation falls within the definition of a ‘school’ under the Education Ordinance (Cap. 279). If affirmative, the selected applicant shall make an application for registration of a school to the Education Bureau (EDB). Relevant information on registration procedures is available at the website of EDB (<http://www.edb.gov.hk>).

**(e) Structural Loading Requirement**

The minimum uniformly distributed imposed loads as stipulated in the Building (Construction) Regulations by the Buildings Department for the possible uses area are as follows:

Possible Adaptive Re-use	Distributed load to be applied uniformly on plan (kPa)	(B(C) R) Class No.	Usage stated (B (C) R)
(i) Eating Place	4.0	3	- Restaurants, canteens and fast food shops
(ii) Education Institution	3.0	3	-classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage
(iii) Exhibition and Convention Hall	5.0	3	- Art galleries and exhibition
(iv) Field Study Education/ Visitor Centre	3.0	3	- Classrooms, lecture rooms, tutorial rooms, computer rooms and reading rooms without book storage

(v) Place of Recreation, Sports or Culture	3.0	3	- leisure, recreational and amusement areas that cannot be used for assembly purposes
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#### 10.4 Recurrent Expenditure

To facilitate the applicants in forecasting their operation expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditures on some common recurrent items including electricity fee, water and sewage charge, and rates and rent at **Appendix XIII**. Please note that the estimated expenditures have been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

## **XI. Special Requirements of the Project**

Applicants are required to take these special requirements into account in formulating their proposals and explain in their applications how the requirement has been incorporated in their proposals.

### **11.1 Environmental and Conservation Requirements**

Within the site of this Revitalisation Project, the Senior Staff Quarters (Main Building and Servants' Quarters), Staff Quarters (Main building) and No. 2 Staff Quarters are declared monuments under the Antiquities and Monuments Ordinance (Cap. 53) with exceptional historical value and significance. The Staff Quarters (Store Building) is a "Grade 1 historic building". The declared monuments within the site are part of the 22 Historic Structures of Tai Tam Group of Reservoirs and form part of the Tai Tam Waterworks Heritage Trail. Any works within the declared monuments boundary will require a permit granted by the Antiquities Authority under this Ordinance.

The proposed revitalisation works may involve applications for Environmental Permit(s) under the Environmental Impact Assessment Ordinance (Cap.499) and/or planning permission under the Town Planning Ordinance (Cap.131)

Applicants shall submit a project profile that explains how the requirements mentioned in **Section 6.2** of this booklet is complied with.

### **11.2 Possible New Structure(s) within the site**

Construction of above-ground and/or below ground new structure(s) to provide additional usable area within the site of this Revitalisation Project in support of the provision of services by the social enterprise and for accommodating essential building services may be allowed within the area of the unused Fuel tank and structures between the yard and access road in front of the Pumping Station as shown in **Appendix XV**. Such new structure(s), if any, should be constructed primarily for supporting the adaptive reuse of existing historic buildings with minimum intervention to these buildings. In doing so, the applicants should strive to utilise these existing historic buildings for their main social enterprise operation and observe the following requirements in designing the new structure(s):

- (a) SQC being a declared monument of unique heritage value, the design of the new structures should deliver the objective of achieving compatibility with, and not being visually intrusive to, the existing buildings and setting of the Pumping Station. They should also be non-obtrusive to the surrounding natural environment. The scale of the new structures should be commensurate with the intended purpose of use and in proportion with the existing buildings without

overwhelming the latter. The ultimate height of the new structure should not be higher than the finished floor level of the access road in front of the Pumping Station at the rear and the vista from the Yard to the Pumping Station should not be blocked;

- (b) The applicants should observe the building height restriction of maximum 20m above Hong Kong Principal Datum as stipulated in the Approved Hong Kong Planning Area No. 18 – Tai Tam & Shek O – Outline Zoning Plan No. S/H18/10. The new structures at designated area in the yard should not be higher than 16m from the ground level; and
- (c) The applicants should also cross read item 4.4. of the **Appendix IX(B)**

### **11.3 Barrier Free Provisions**

The Senior Staff Quarters and No. 2 Staff Quarters are situated on the top of the cutting hillside more than 8m from the access ground level with steps of about 18m and 19m long respectively. In addition, most of the quarters are exceeding one storey in height that the provision of vertical transportation to the levels of the floors of the upper storeys should be evaluated carefully. The selected applicant should study the site conditions to provide suitable proposal fulfilling relevant barrier-free access such as lifts, ramps and elevators, etc., and complying with the requirements as mentioned in Conservation Guidelines in **Section VI**.

### **11.4 Existing Underground Drainage System**

There are three septic tanks located within the site (see **Appendix VI(C)**). Septic tank 1 is located at the west side of No.2 Staff Quarters serving for No.2 Staff Quarters (Quarters and Outbuilding). Septic tank 2 is located near the Garage for collection of foul water from Senior Staff Quarters (Main Building and Servants' Quarters). Septic tank 3 is located near the Staff Quarters – Store Building as the final discharge point for foul water from Staff Quarters – Main Building and the Pumping Station. As the Pumping Station will remain in operation under WSD's purview, Septic tank 3 should be kept in function during construction and operation of the revitalisation project.

The applicants may consider to connect the new drains of the site to existing public sewage system or design and provide an appropriate sewage treatment system which shall satisfy the requirements of relevant authorities including the Architectural Services Department, Buildings Department, Drainage Services Department and Environmental Protection Department. Besides, since there is currently no connection to public storm water system for the site, discharge of the roof run-off and surface water are required to be diverted to an approved connection

outside the site boundary or alternatively, be recycled under an approved method to enhance environmental sustainability. The location of nearest public stormwater manhole and sewer manhole from the site for the consideration of drainage connections is shown in **Appendix XVI**.

## **11.5 Upgrading and Maintenance of Slopes and Retaining Walls**

The selected applicant is responsible to check the stability conditions, conduct geotechnical assessment and carry out upgrading works for all the existing slopes and retaining walls within the site boundary, no matter if they are affected by the proposed revitalisation works or not, to meet the current safety standards and the applicant's proposed use. The proposed geotechnical assessment and any proposed slope upgrading works should fulfil the requirements of the Geotechnical Engineering Office and comply with the Buildings Ordinance with approval from the Building Authority. They shall also form part of the project proposal and be included in the cost estimate as required under 2.2.6 and 2.2.7 of the Guide to Application.

Should there be any adjoining slopes or retaining walls outside the boundary of the site be affected by the revitalisation works, the selected applicant is also responsible to check their stability condition, conduct geotechnical assessment and carry out upgrading works to meet the current safety standards and the selected applicant's proposed use.

Applicants should pay particular attention to the visual appearance and landscaping treatment of all slopes / retaining walls to ensure that they are visually compatible with the overall setting of SQC, especially where slope works are to be carried out as part of the revitalisation project, as per Works Branch Technical Circular No. 25/93 "Control of Visual Impact of Slopes" or Buildings Department Practice Note for Authorised Persons, Registered Structural Engineers and Registered Geotechnical Engineers No. ADV-23 "Improvement of Visual Appearance and Landscape Treatment for Man-made Slopes and Retaining Walls". In particular, shotcrete or chunam should only be used as a last resort on the finished surface of slopes and retaining walls.

The selected applicant should be responsible at their own cost for repair and maintenance of all slopes and retaining walls affected by the revitalisation works.

For other slopes and retaining walls within the site which would not be affected by the proposed revitalisation works but upgraded necessarily to meet the current safety standard as required by this Department, the Government shall be responsible for the future repair and maintenance upon satisfactory completion of the upgrading works and handed over to relevant Government departments.

## **11.6 Yard**

The yard has been used for social events, namely dragon boat competitions and sports events, in recent years. The applicants should consider flexible design to address the need of holding social events in the yard.

## **11.7 Tai Tam Bay Pier**

Tai Tam Bay Pier, adjoining to the site of this revitalisation Scheme project, is a public pier managed by WSD. The selected applicant should allow public access connecting the piers to Tai Tam Reservoir Road within the site. Based on WSD's information, the gate of the site entrance for pedestrians is open all day (except special conditions) and the other gate for vehicles is not open for public use. To facilitate the operation of the Revitalisation Project, the selected applicant shall discuss with WSD on the detailed arrangement.

## **11.8 Access for Pumping Station and Chimney Shaft and its Flue**

Despite the Pumping Station and Chimney Shaft and its Flue are not included in the site area of this project, the only vehicular access road for the structures is within the site area. The Pumping Station will remain as a 24 hours working water pumping station. The selected applicant should ensure round the clock access for both WSD's vehicles and personnel for operations and maintenance of the structures during construction and operational stages of the Revitalisation Scheme is allowed.

The selected applicant is also required to provide sufficient spaces and access for WSD to maintain its meters for electricity, other utilities and their associated building services for the pumping station or to facilitate WSD's new meter installation in other locations if required.

## **11.9 Traffic**

The site is located at the end of Tai Tam Reservoir Road, which is one-lane two-way traffic. For the part of the road without pedestrian pavement, vehicles share the same lane with pedestrians. The nearest bus stop for the site is Tai Tam Country Park on Tai Tam Road. Applicants are required to conduct a preliminary traffic assessment as stipulated in **Appendix XIV** and state clearly in **Section III(B)(5)** of the Application Form the findings of their preliminary traffic assessment as well as the traffic management arrangements and associated mitigation measures, etc., as specified in **Appendix XIV**.



The selected applicant would be bound by the maximum limit of the volume of traffic generated by/attracted to the site as stated in the preliminary traffic assessment above, and would be required to conduct a comprehensive traffic impact assessment and implement corresponding traffic management measures to the satisfaction of the Transport Department, after the application has been selected by the Government.

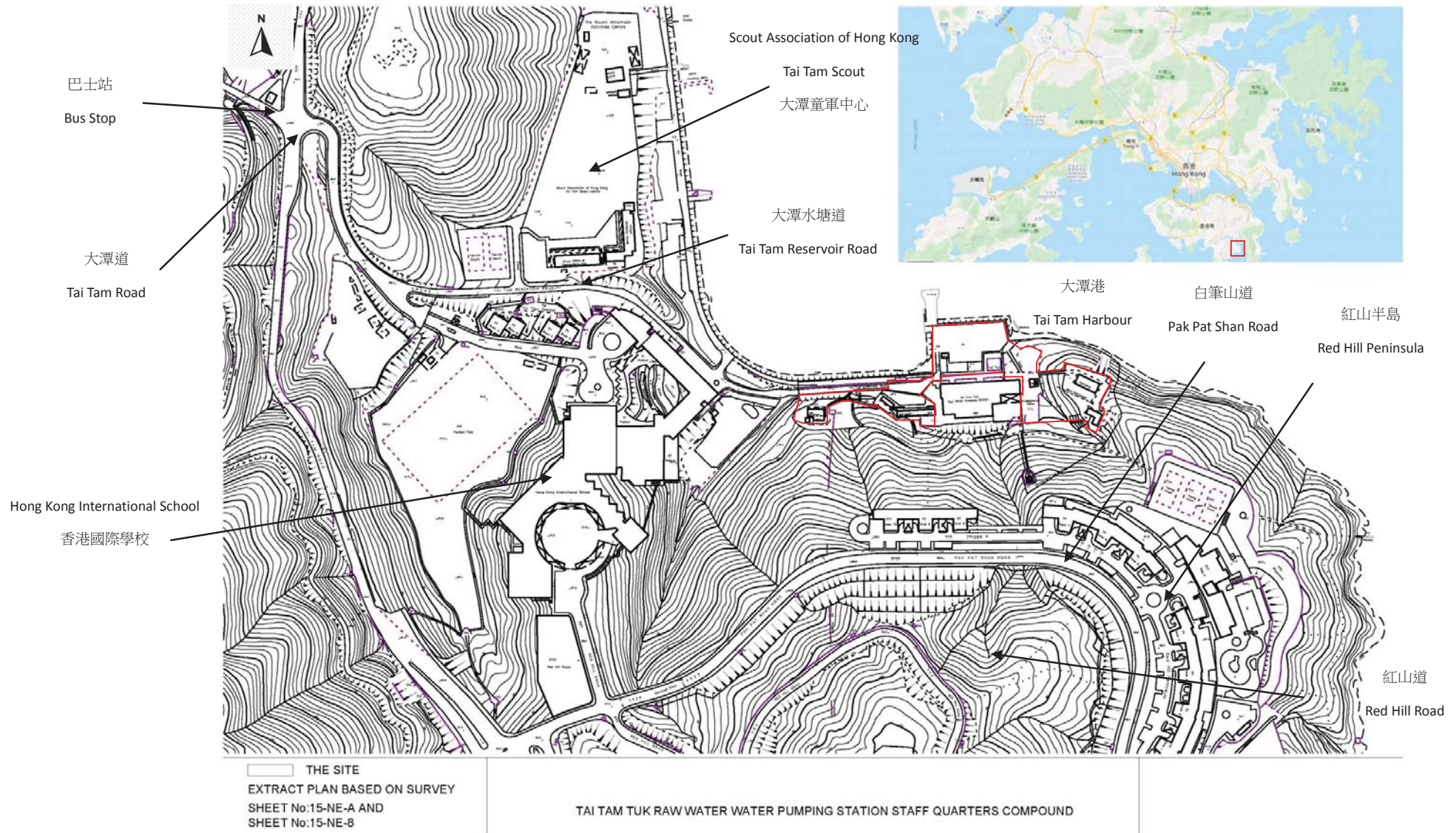
## **XII. Consultation with Southern District Council**

Southern District Council was consulted on the inclusion of SQC into Batch VI of the Revitalisation Scheme at its meeting on 9 May 2019. Members' view and suggestions on the adaptive re-use of SQC can be found in the minutes of the 22nd meeting of the Southern District Council which is available in the following link:

[https://www.districtcouncils.gov.hk/south/doc/2016\\_2019/en/dc\\_meetings\\_minutes/S\\_2019\\_Mins\\_22\\_EN.pdf](https://www.districtcouncils.gov.hk/south/doc/2016_2019/en/dc_meetings_minutes/S_2019_Mins_22_EN.pdf)

**Appendix I**  
**Location Plan**

# Location Plan

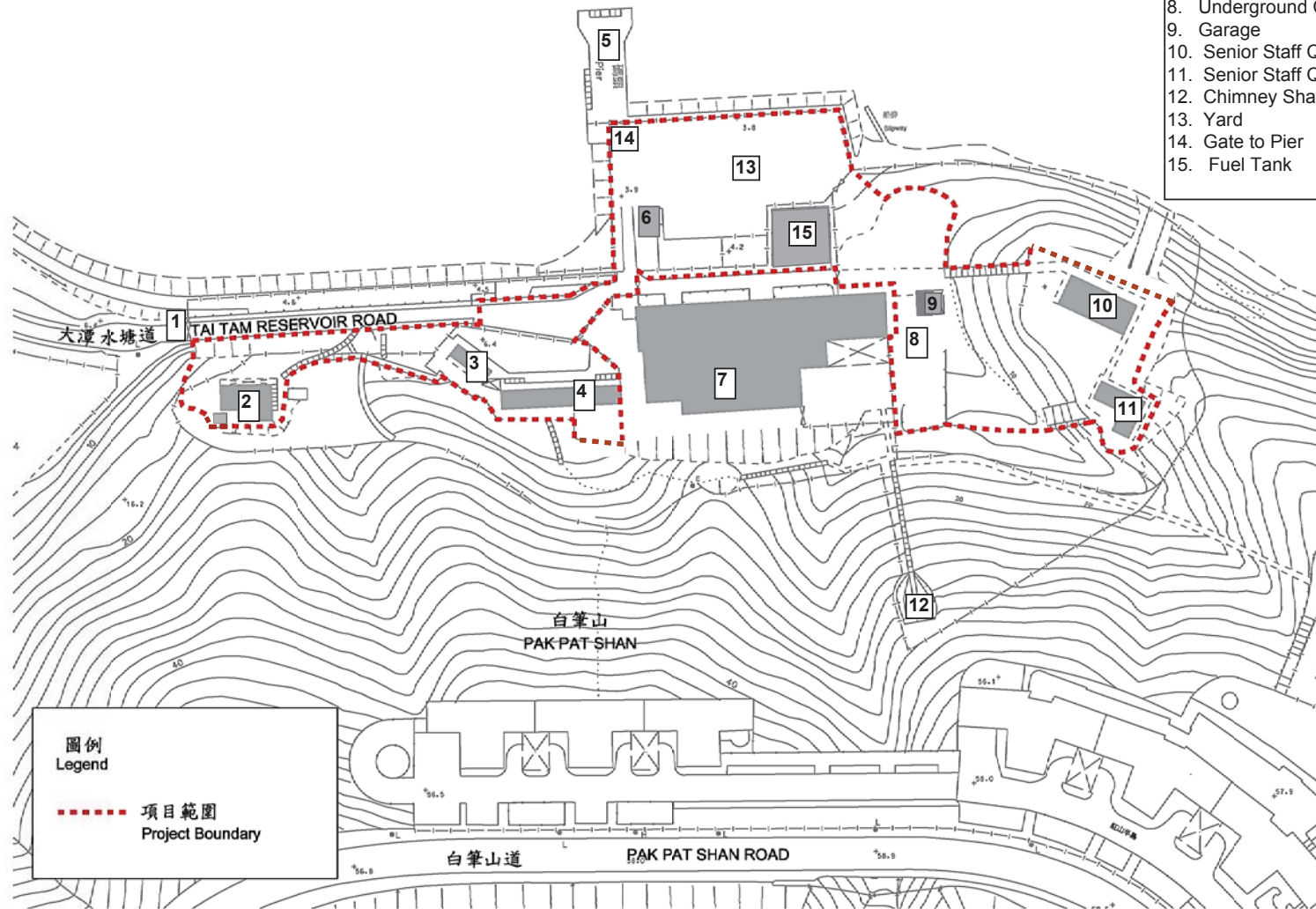


**Appendix II (A)**  
**Site Boundary Plan**

大潭港  
TAI TAM HARBOUR



- LEGENDS
1. Entrance Gate to The Site
  2. No.2 Staff Quarters(Quarters & Outbuilding)
  3. Staff Quarters - Store Building
  4. Staff Quarters - Main Building
  5. Tai Tam Bay Pier
  6. Dangerous Good Store
  7. Tai Tam Raw Water Pumping Station
  8. Underground Cellar
  9. Garage
  10. Senior Staff Quarters - Main Building
  11. Senior Staff Quarters - Servants' Quarters
  12. Chimney Shaft and its Flue
  13. Yard
  14. Gate to Pier
  15. Fuel Tank



圖例  
Legend

--- 項目範圍  
Project Boundary

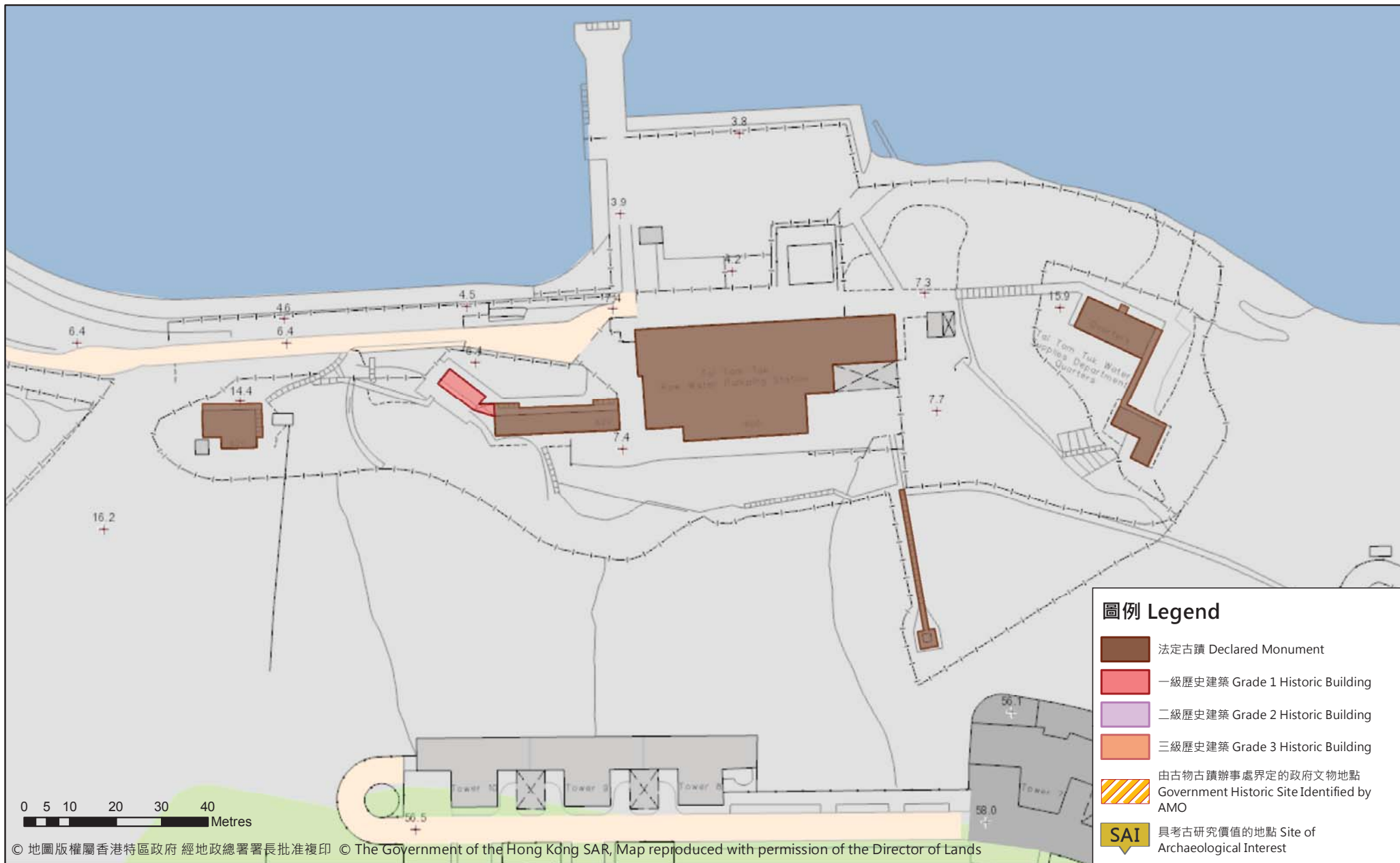
**Appendix II (B)**

**Declared Monuments and Historic Building Grading Boundary Plans**



# 香港文物地理資訊系統

Geographical Information System  
on Hong Kong Heritage





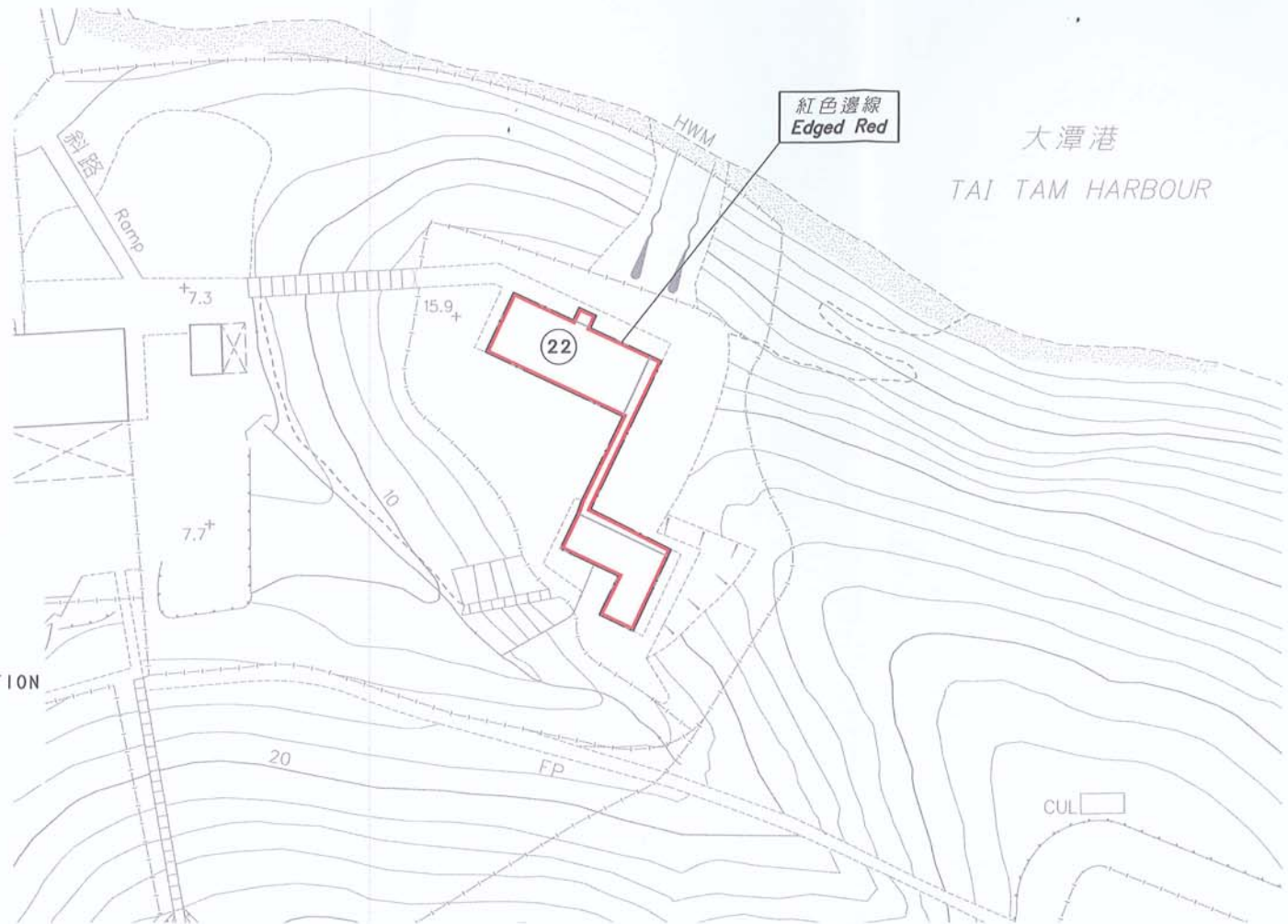


位置 LOCATION

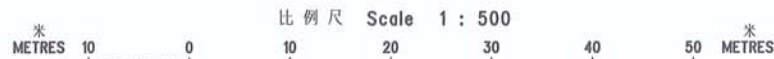


比例 Scale 1 : 20000

22 大潭篤原水抽水站高級員工宿舍  
TAI TAM TUK RAW WATER PUMPING STATION  
SENIOR STAFF QUARTERS



以紅色邊線標示的面積約為 2 1 9 平方米  
EDGED RED AREA 219 SQUARE METRES (ABOUT)



比例尺 Scale 1 : 500

( 林鄭月娥女士 Mrs Carrie Lam )  
發展局局長 Secretary for Development

日期 Date 3 September 2009

只作識別用  
FOR IDENTIFICATION PURPOSES ONLY

地政總署 港島測量處  
District Survey Office, Hong Kong  
Lands Department

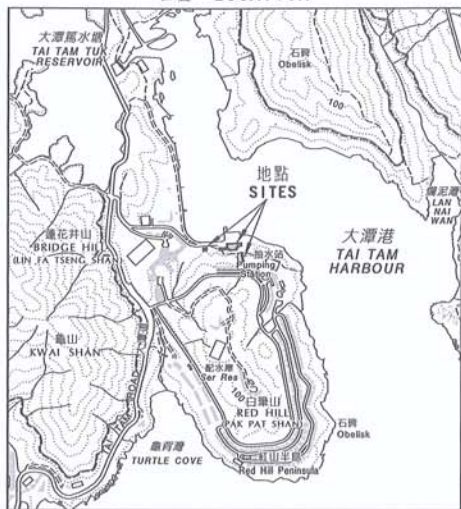
古物及古蹟條例 (第 53 章)  
根據該條例第 3 ( 4 ) 條存放於土地註冊處的關於位於香港島的大潭水塘群的圖則  
ANTIQUITIES AND MONUMENTS ORDINANCE (CAP. 53)  
PLAN OF THE TAI TAM GROUP OF RESERVOIRS  
ON HONG KONG ISLAND  
DEPOSITED IN THE LAND REGISTRY UNDER SECTION 3(4) OF THE ORDINANCE

檔案編號 File No. LCS AM 51/1/11  
測量圖編號 Survey Sheet No. 15-NE-3D  
發展藍圖編號 Layout Plan No.  
參考圖編號 Reference Plan No. HKM8606  
圖則編號 PLAN No. HKM8612-12 (SHEET 12 OF 12)

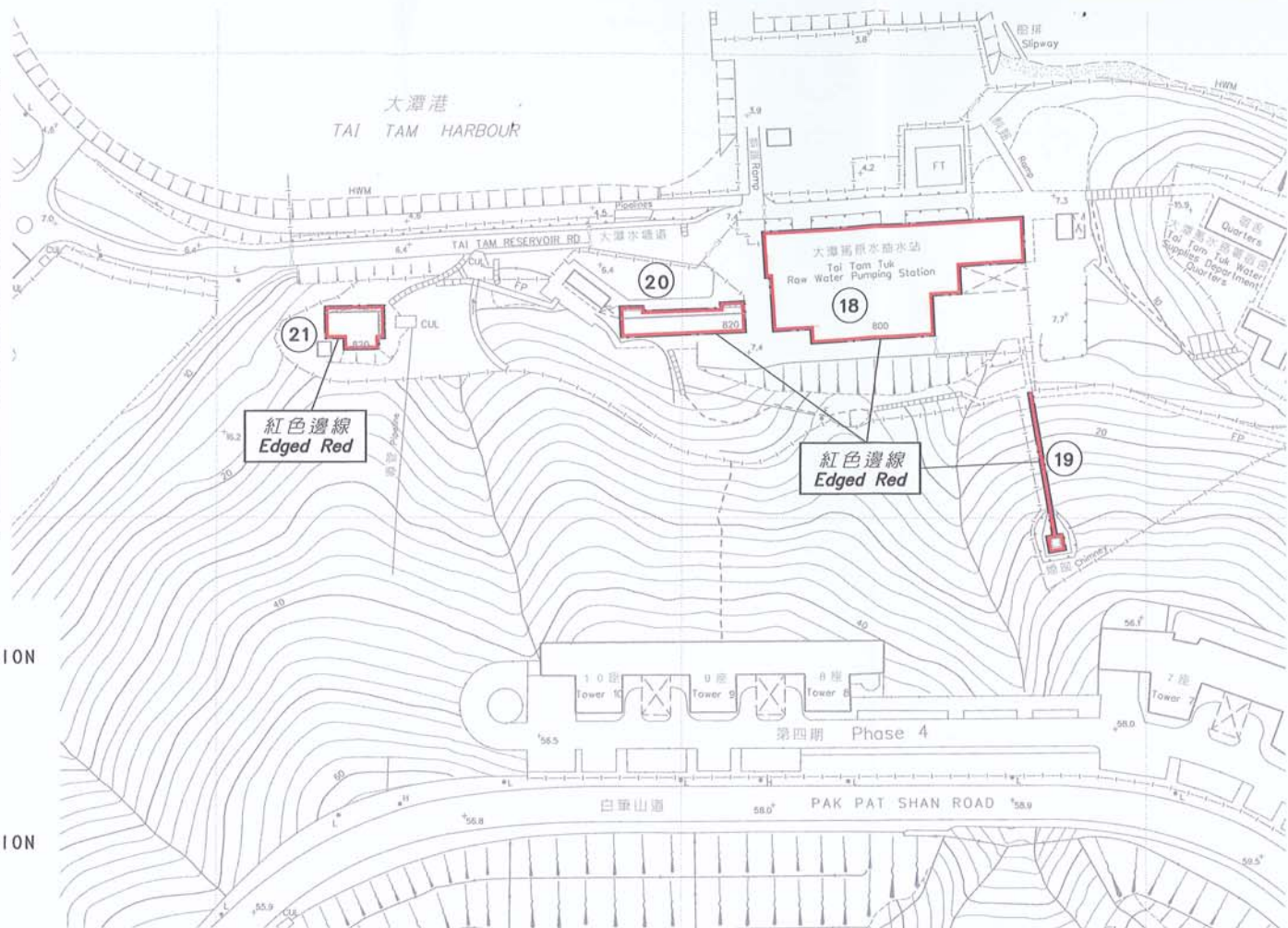
日期 Date : 25/08/2009



位置 LOCATION

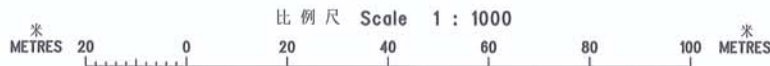


比例 Scale 1 : 20000



- ⑱ 大潭篤原水抽水站  
TAI TAM TUK RAW WATER PUMPING STATION
- ⑲ 包括有煙道及煙囪體的構築物  
STRUCTURE COMPRISING A FLUE  
AND A CHIMNEY SHAFT
- ⑳ 大潭篤原水抽水站員工宿舍  
TAI TAM TUK RAW WATER PUMPING STATION  
STAFF QUARTERS
- ㉑ 大潭篤原水抽水站第2 號員工宿舍  
TAI TAM TUK RAW WATER PUMPING STATION  
NO.2 STAFF QUARTERS

以紅色邊線標示的面積約為 1 410 平方米  
EDGED RED AREA 1 410 SQUARE METRES (ABOUT)



*Carrie Lam*  
( 林鄭月娥女士 Mrs Carrie Lam )  
發展局局長 Secretary for Development  
日期 Date 3 September 2009

只作識別用  
FOR IDENTIFICATION PURPOSES ONLY

地政總署 港島測量處  
District Survey Office, Hong Kong  
Lands Department

古物及古蹟條例 (第 53 章)  
根據該條例第 3 ( 4 ) 條存放於土地註冊處的關於位於香港島的大潭水塘群的圖則  
ANTIQUITIES AND MONUMENTS ORDINANCE (CAP. 53)  
PLAN OF THE TAI TAM GROUP OF RESERVOIRS  
ON HONG KONG ISLAND  
DEPOSITED IN THE LAND REGISTRY UNDER SECTION 3(4) OF THE ORDINANCE

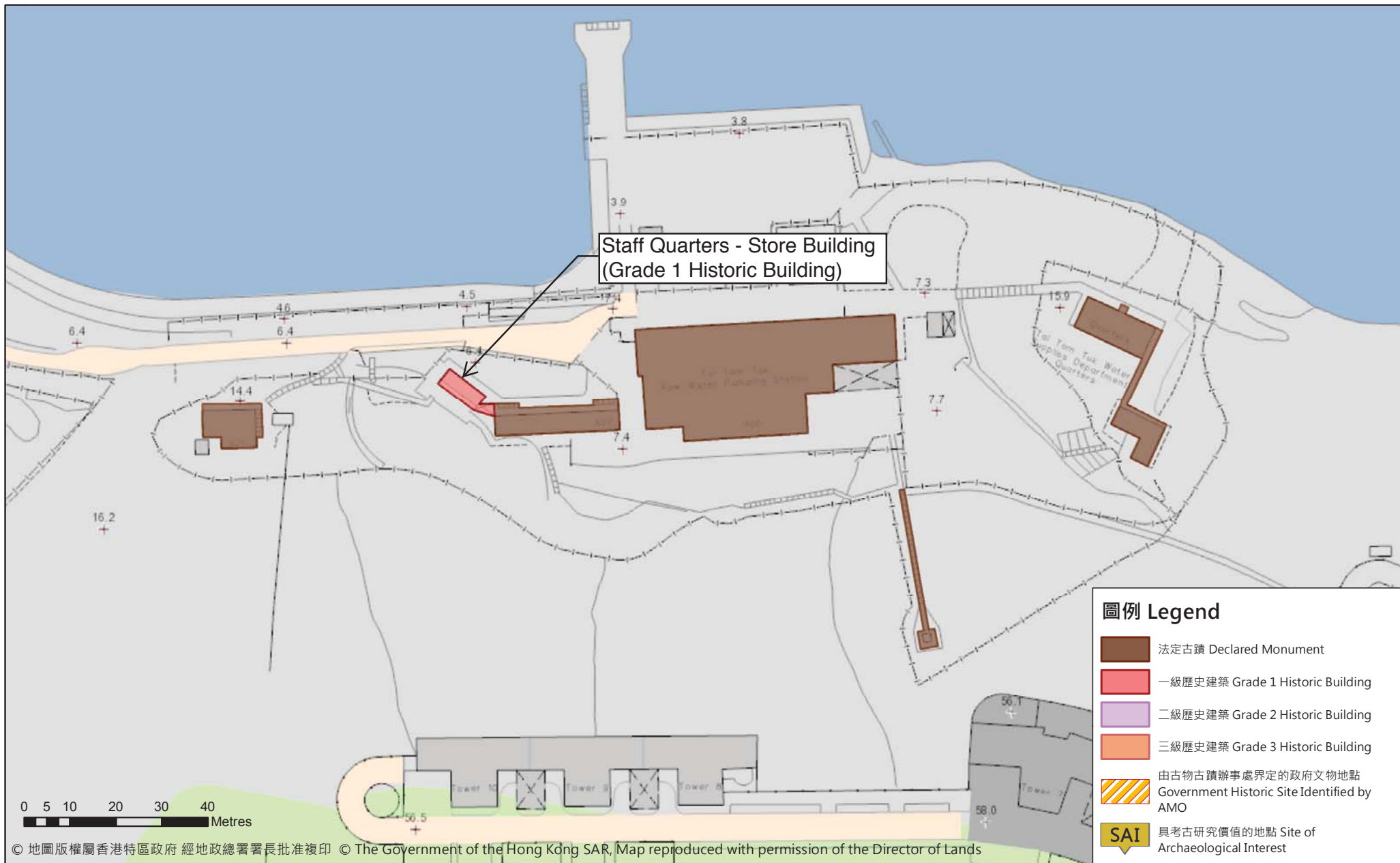
檔案編號 File No. LCS AM 51/1/11  
測量圖編號 Survey Sheet No. 15-NE-3C & 3D  
發展藍圖編號 Layout Plan No.  
參考圖編號 Reference Plan No.  
圖則編號 PLAN No. HKM8612-11(SHEET 11 OF 12)

日期 Date : 25/08/2009



# 香港文物地理資訊系統

Geographical Information System  
on Hong Kong Heritage

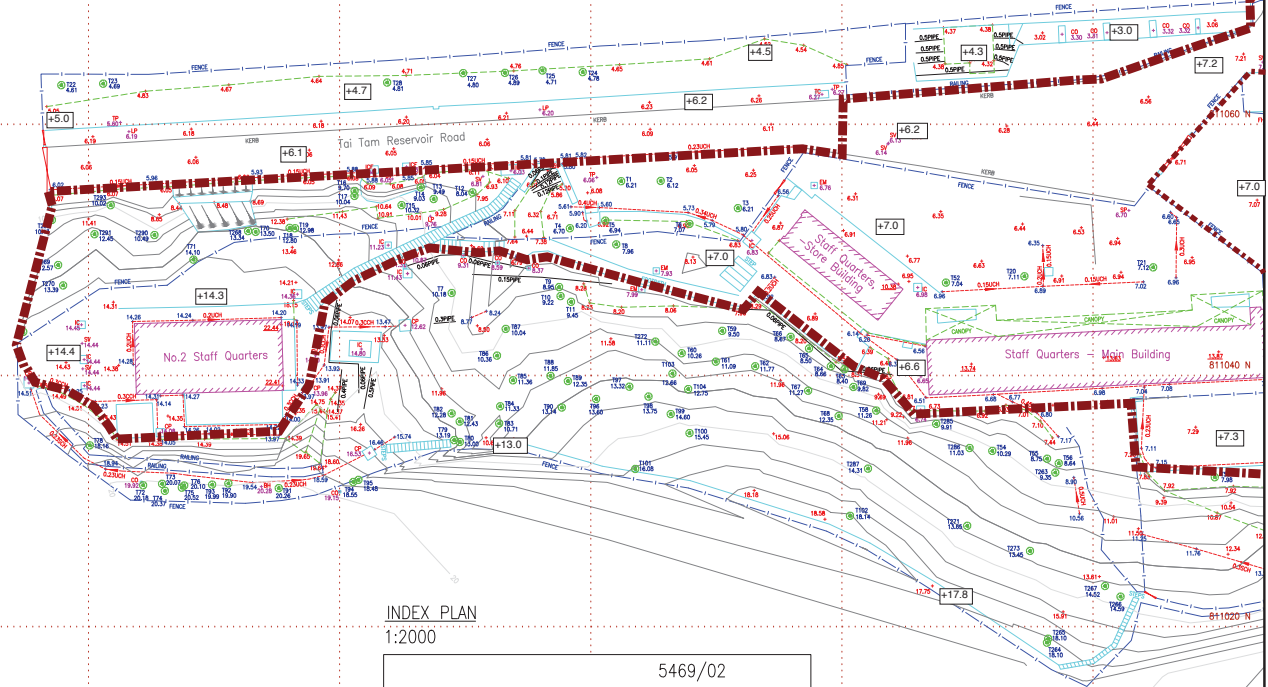


**Appendix III(A)**  
**Datum Levels Plan**

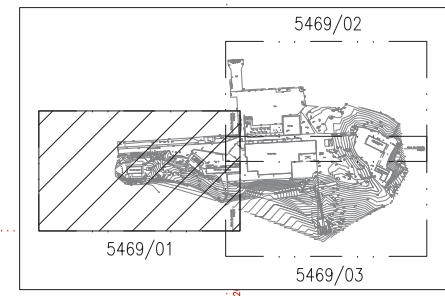


Site boundary (for reference only)

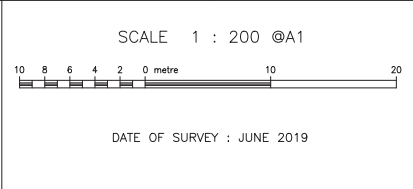
- NOTES:
1. All dimensions are in metres.
  2. All spot level positions are indicated by a cross.
  3. All levels are in metres to Principal Datum (PD) unless noted otherwise.
  4. All co-ordinates refer to Hong Kong (1980) metric grid co-ordinates system.
  5. Channels are U shaped except where stated, widths are given.



INDEX PLAN  
1:2000



ABBREVIATIONS :-		SYMBOLS :-	
BL	BONE HOUSE	○	ROCK BOULDER
BS	BOUNDARY CHANNEL	→	DIRECTION OF FLOW
CL	COVERED CHANNEL	○	CHIMNEY
DL	DOWN LAZY FENCE	○	GATE
EL	ELECTRICITY	○	ARTIFICIAL SLOPE
FL	FENCE	○	TREE
GL	GRASS	○	OVER-HANG STRUCTURE LEVEL
HL	HIGH LEVEL	○	TOP ROOF LEVEL
IL	INTERNAL	○	
KL	KITCHEN	○	
LL	LOW LEVEL	○	
ML	MATERIAL	○	
NL	NORTH	○	
OL	OPEN	○	
PL	POST	○	
RL	ROCK	○	
SL	SPRINKLED CONCRETE	○	
TL	TERRACE	○	
UL	UNDER	○	
VL	VEGETATION	○	
WL	WATER	○	
XL	EXPOSED	○	
YL	YARD	○	
ZL	ZONED	○	



AMPLE SURVEYOR SERVICES LIMITED

LAND MARKER (1980) H.K. CO., LTD.

HEAD OFFICE: UNIT 1303C, 13/F, MIRROR TOWER, NO.61 MODY ROAD, TSM SHH TSD EAST, KOWLOON, HONG KONG  
 TEL: 2663 9138 FAX: 2666 9921  
 E-MAIL ADDRESS: general@landmarker.com

YUEN LONG BRANCH OFFICE: 1/F, NO.165 CASTLE PEAK ROAD, YUEN LONG NEW TERRITORIES, HONG KONG  
 TEL: 2663 9508 FAX: 2666 9170

PLAN NO. 5469/01

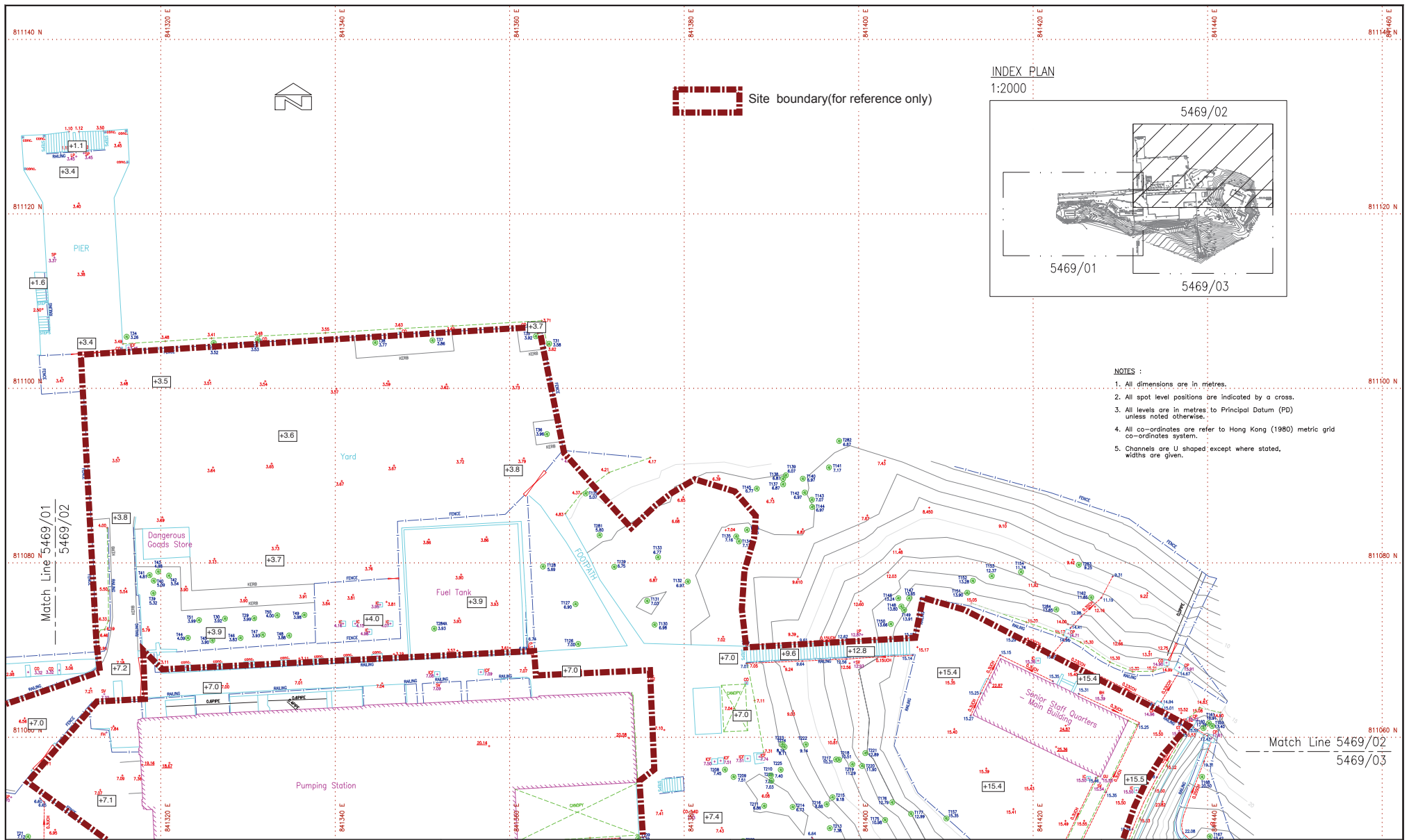
REVISION NO.	DESCRIPTIONS	DATE
0		27-JUNE-2019

DRAWN BY: JEFFREY AU  
 SURVEYED BY: SIMON, T.C. LEE  
 APPROVED BY:

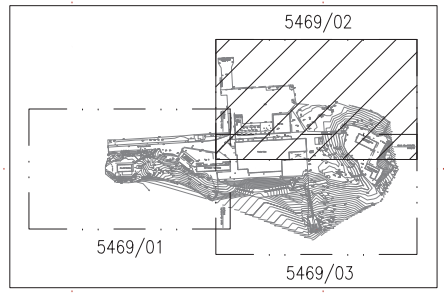
WONG YIU CHIO JOSEPH  
 AUTHORIZED LAND SURVEYOR (HKS RPS(S))

Match Line 5469/01  
5469/02

Match Line 5469/01  
5469/03



INDEX PLAN  
1:2000



- NOTES :
1. All dimensions are in metres.
  2. All spot level positions are indicated by a cross.
  3. All levels are in metres to Principal Datum (PD) unless noted otherwise.
  4. All co-ordinates are refer to Hong Kong (1980) metric grid co-ordinates system.
  5. Channels are U shaped except where stated, widths are given.

ABBREVIATIONS :-	SYMBOLS :-	HOUSE/BUILDING
BLK BOUNDARY	ROCK BOUNDER	HARD DETAIL
CHANN CANAL	DIRECTION OF FLOW	SOFT DETAIL
CONCRETE	CHIMNEY	LOT BOUNDARY
CONCRETE	GATE	FEATURE BOUNDARY
CONCRETE	ARTIFICIAL SLOPE	VERTICAL RETAINING WALL
CONCRETE	TREE	OVERHEAD STRUCTURE
CONCRETE	OVER-HANG STRUCTURE LEVEL (17.114)	DRAIN
CONCRETE	JJ.118 TOP ROOF LEVEL	FENCE/HAWKING/WALKING

SCALE 1 : 200 @ A1

DATE OF SURVEY : JUNE 2019

AMPLE SURVEYOR SERVICES LIMITED

LAND MARKER (1980) H.K. CO., LTD.

HEAD OFFICE: UNIT 1303C, 13/F, MIRROR TOWER, NO.61 MODY ROAD, TONG SHI TSIU EAST, KOWLOON, HONG KONG  
TEL: 2663 9138 FAX: 2666 9921  
E-MAIL ADDRESS: general@landmarker.com

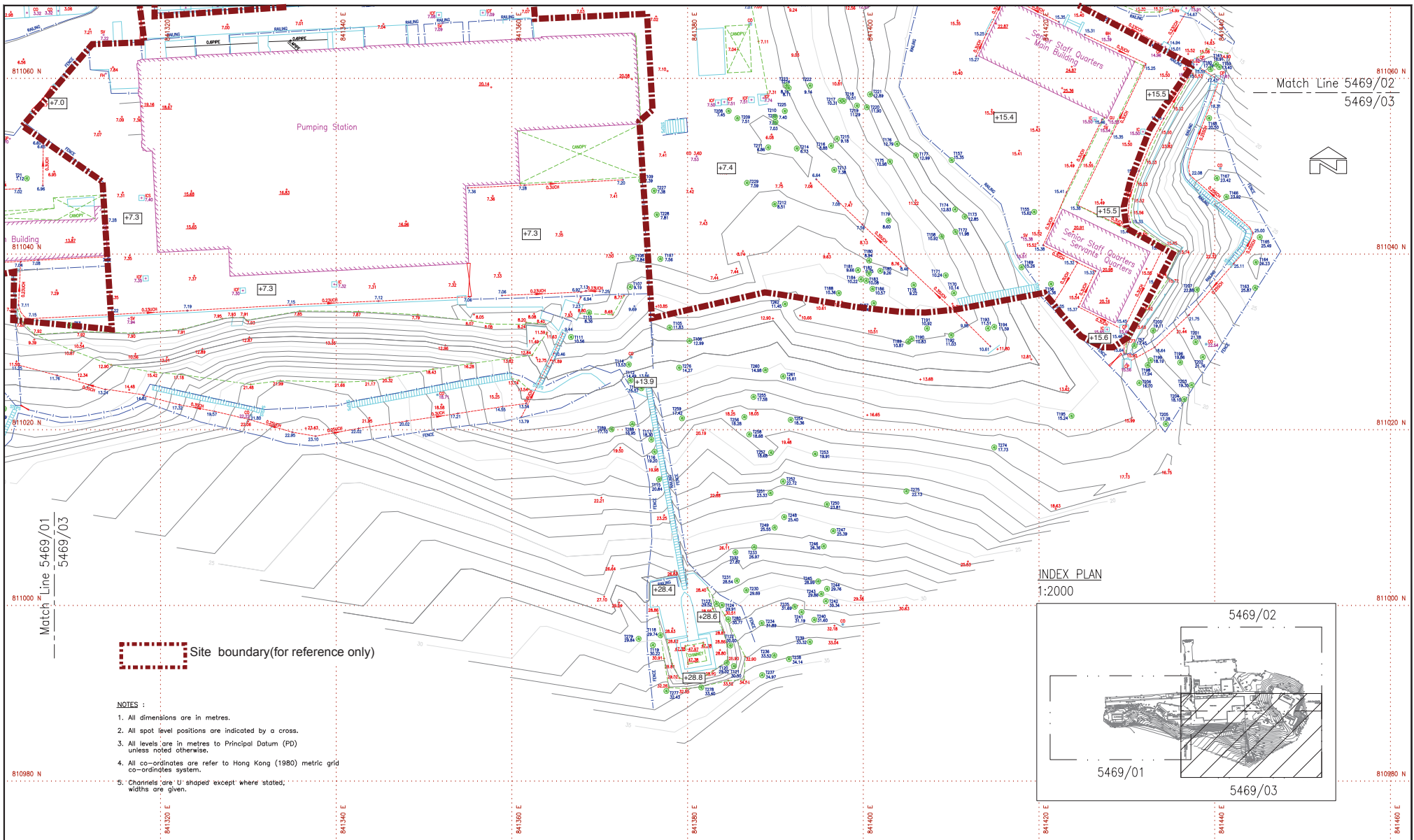
YUEN LONG BRANCH OFFICE: 1/F, NO.165 CASTLE PEAK ROAD, YUEN LONG NEW TERRITORIES, HONG KONG  
TEL: 2663 9508 FAX: 2666 9170

PLAN NO. 5469/02

REVISION NO.	DESCRIPTIONS	DATE
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DRAWN BY: JEFFREY AU  
SURVEYED BY: SIMON, T.C. LEE  
APPROVED BY:

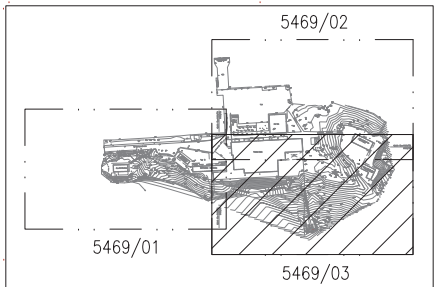
WONG YIU CHO JOSEPH  
AUTHORIZED LAND SURVEYOR (PRACTISING SURVEYOR)



Match Line 5469/02  
5469/03



INDEX PLAN  
1:2000



Site boundary (for reference only)

- NOTES:
- All dimensions are in metres.
  - All spot level positions are indicated by a cross.
  - All levels are in metres to Principal Datum (PD) unless noted otherwise.
  - All co-ordinates are refer to Hong Kong (1980) metric grid co-ordinates system.
  - Channels are 'U' shaped except where stated, widths are given.

ABBREVIATIONS :-	SYMBOLS :-	ROCK BOULDER	HOUSE/BUILDING
MH - MANHOLE		ROCK BOULDER	
CC - COVER CHANNEL		DIRECTION OF FLOW	
CS - CONCRETE SURFACE		CANOPY	
CS - CONCRETE SURFACE		GATE	
CS - CONCRETE SURFACE		ARTIFICIAL SLOPE	
CS - CONCRETE SURFACE		TREE	
CS - CONCRETE SURFACE		OVER-HANG STRUCTURE LEVEL (17.116)	
CS - CONCRETE SURFACE		TOP ROOF LEVEL (12.116)	



DATE OF SURVEY : JUNE 2019

AMPLE SURVEYOR SERVICES LIMITED

LAND MARKER (1980) H.K. CO., LTD.	
HEAD OFFICE: UNIT 1303C, 13/F, MIRROR TOWER, NO.61 MODY ROAD TSM SHA TSUI EAST, KOWLOON, HONG KONG TEL: 2663 9138 FAX: 2666 9921 E-MAIL ADDRESS: general@landmarker.com	YUEN LONG BRANCH OFFICE: 1/F, NO.165 CASTLE PEAK ROAD, YUEN LONG NEW TERRITORIES, HONG KONG TEL: 2663 9508 FAX: 2666 9170
PLAN NO. 5469/03	DRAWN BY: JEFFREY AU
REVISION NO. 6	SURVEYED BY: SIMON, T.C. LEE
DESCRIPTIONS	DATE
	27-JUNE-2019
	APPROVED BY:
	WONG YIU CHO JOSEPH AUTHORIZED LAND SURVEYOR (RICS RP(S))

**Appendix III(B)**  
**Topographic Survey Plan**



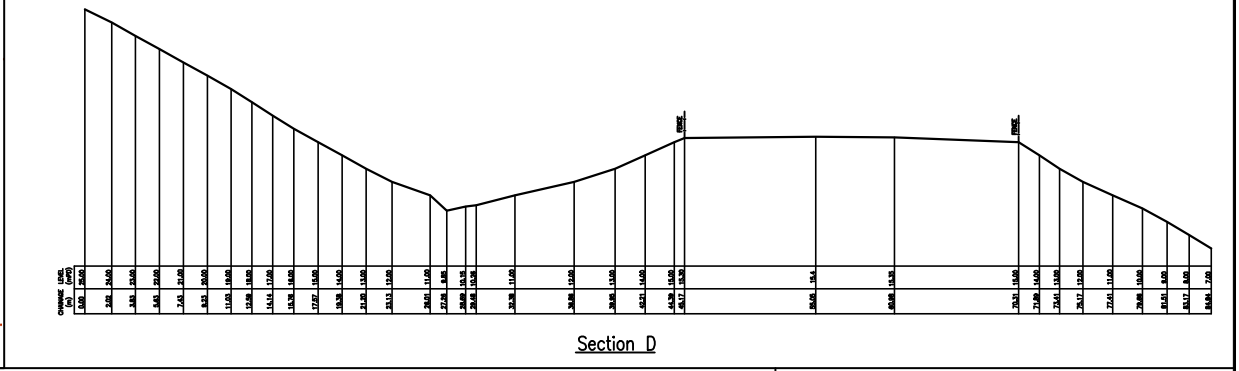
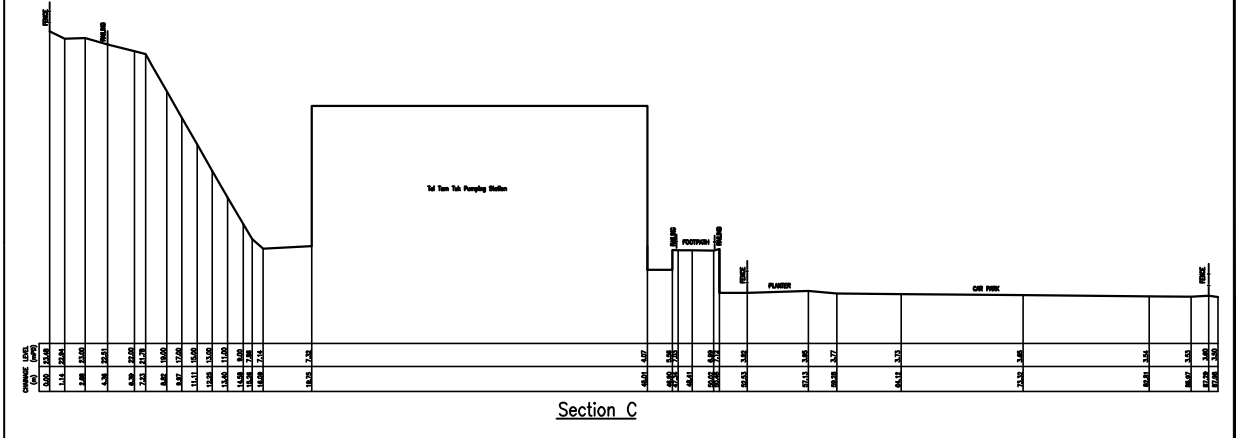
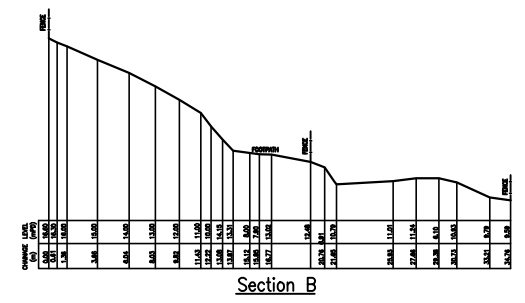
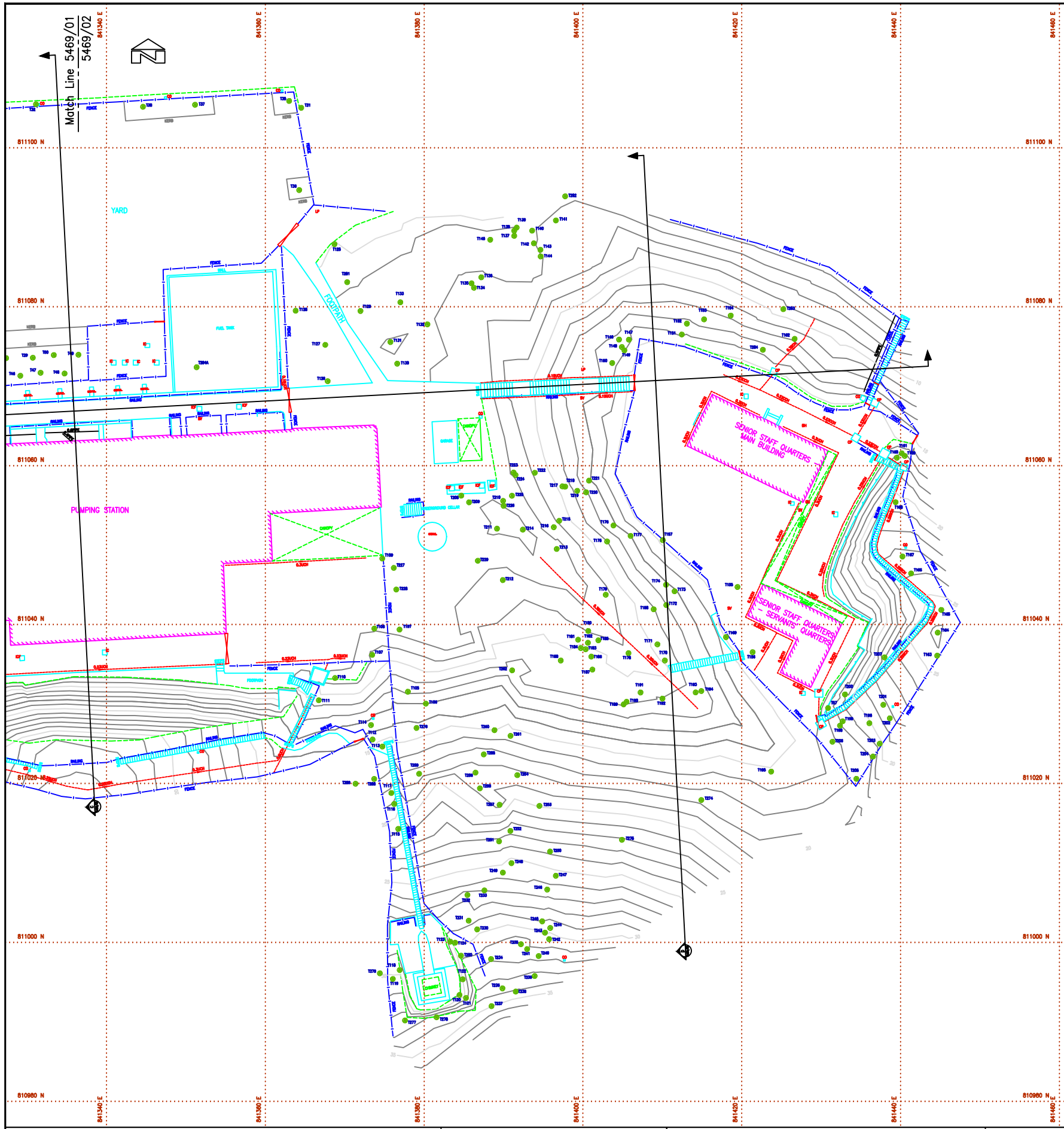
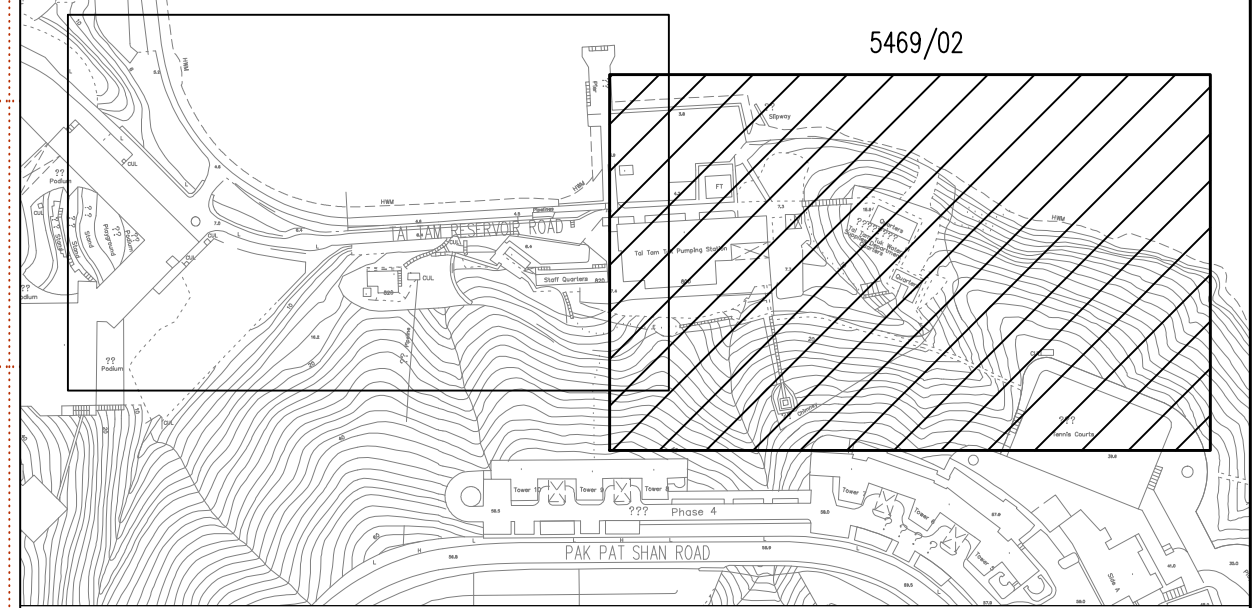


INDEX PLAN  
1:1000

TAI TAM HARBOUR

5469/01

5469/02

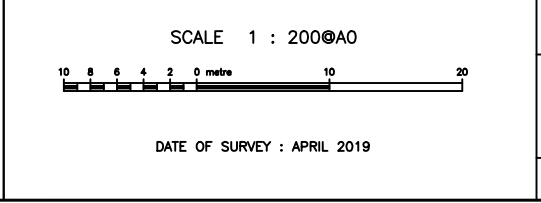


ABBREVIATIONS :-

SYMBOLS :-	PERMANENT GROUND MARKER	HOUSE/BUILDING
DIRECTION OF FLOW	SOFT BENCH	SOFT BENCH
TEMPORARY STRUCTURE	LOT BOUNDARY	PERMANENT BOUNDARY
CHIEF	PERMANENT BOUNDARY	VERTICAL RETAINING WALL
SETTING-OUT MARKER	OPENING STRUCTURE	OPENING STRUCTURE
TRAIL	DRAIN	DRAIN
CHIEF-HEAD STRUCTURE LEVEL	FENCE/ROADSIDE/AVENUE	FENCE/ROADSIDE/AVENUE
3X.13	TOP ROOF LEVEL	TOP ROOF LEVEL

NOTES :

- All dimensions are in metres.
- All spot level positions are indicated by a cross, unless noted otherwise.
- All levels are in metres to Principal Datum (PD) unless noted otherwise.
- All co-ordinates refer to Hong Kong (1980) metric grid co-ordinates system.
- Channels are U shaped except where stated, widths are given.



AMPLE SURVEYOR SERVICES LIMITED

TAI TAM TUK RAW WATER PUMPING STATION AND STAFF QUARTERS, TAI TAM RESERVOIR ROAD, TAI TAM, HONG KONG

TOPOGRAPHIC SURVEY

LAND MARKER (1980) H.K. CO., LTD.

HEAD OFFICE: UNIT 1302G, 13/F, MIRROR TOWER, NO.81 MOUNT ROAD, TSM SHA TSAI EAST, KOWLOON, HONG KONG TEL: 2663 9138 FAX: 2666 9921 E-MAIL ADDRESS: general@landmarker.com	YUEN LONG BRANCH OFFICE: 1/F, NO.165 CASTLE PEAK ROAD, YUEN LONG NEW TERRITORIES, HONG KONG TEL: 2663 9508 FAX: 2666 9170
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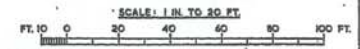
PLAN NO. 5469/02

REVISION NO.	DESCRIPTIONS	DATE
0		02-09-2019

DRAWN BY: JOSEPH AU  
SURVEYED BY: SMON, T.C. LEE  
APPROVED BY:

HONG YU CHIO JOSEPH  
AUTHORIZED LAND SURVEYOR (PRACTISING)

**Appendix IV**  
**Plan for Underground Cellar**



REFERENCE DATA:	CONTRACT NO. _____ OF _____	
	SCALE: 1 IN. TO 20 FT. WATERWORKS OFFICE, P. W. D., HONG KONG.	
	<b>TYTAM TUK PUMPING STATION</b>	
	SITE RECORD PLAN	
	SIGNED: _____	DRAWING NO. <b>W 7381/1</b>
APPROVED: _____	CHIEF ENGINEER (S)	

**Appendix V**  
**Summary of Site and Building Information**

**Summary of site information is listed below:**

Site	Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound
Address	Tai Tam Reservoir Road, Tai Tam, H.K.
Site Area	Approximately 6356 m <sup>2</sup> (excluding Pumping Station and Chimney Shaft and its Flue)
Major Datum Level	Ranges from about +3.5 mPD to +15.6mPD
Zoning	“Government, Institution or Community (1)” on Approved Hong Kong Planning Area No.18 – Tai Tam & Shek O – Outline Zoning Plan (OZP) No. S/H18/10 approved on 6 May 2008

**Summary of building information in Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound is listed below:**

**(A) Senior Staff Quarters and Servants' Quarters**

Year of Completion	1905
Construction Floor Area	Approximately 298 m <sup>2</sup>
Historic Grading	Declared Monument (Year 2009)
Original and Recent Uses	Original: Staff Accommodation Recent: Unused

**(B) Staff Quarters – Main Building**

Year of Completion	1907
Construction Floor Area	Approximately 334 m <sup>2</sup>
Historic Grading	Declared Monument (Year 2009)
Original and Recent Uses	Original: Staff Accommodation Recent: Staff Accommodation

**(C) Staff Quarters –Store Building**

Year of Completion	1912-1924
Construction Floor Area	Approximately 47 m <sup>2</sup>
Historic Grading	Grade 1
Original and Recent Uses	Original: Store and Kitchen Recent: Store

**(D) No. 2 Staff Quarters & Outbuilding**

Year of Completion	Quarters: 1936 Outbuilding: Probably between 1949-1961
Construction Floor Area	Quarters: Approximately 190 m <sup>2</sup> Outbuilding: Approximately 8 m <sup>2</sup>
Historic Grading	Quarters: Declared Monument (Year 2009) Outbuilding: Nil
Original and Recent Uses	Staff Quarters: Original: Staff Accommodation Recent: Unused Outbuilding: Original: Toilet & Bathroom Recent: Unused

**(E) Dangerous Goods Store**

Year of Completion	Probably between 1924-1949
Construction Floor Area	Approximately 19 m <sup>2</sup>
Historic Grading	Nil
Original and Recent Uses	Original: Dangerous Goods Store Recent: Store

**(F) Fuel Tank**

Year of Completion	Probably between 1949-1961
Site Area	Approximately 206 m <sup>2</sup>
Historic Grading	Nil
Original and Recent Uses	Original: Fuel Tank Recent: Unused

**(G) Garage**

Year of Completion	Probably between 1924-1949
Construction Floor Area	Approximately 15 m <sup>2</sup>
Historic Grading	Nil
Original and Recent Uses	Original: Garage Recent: Store

**(H) Underground cellar**

Year of Completion	Probably between 1924-1949
Construction Floor Area	Approximately 122 m <sup>2</sup>
Historic Grading	Nil
Original and Recent Uses	Original: Unknown, had been used as underground cellar before Recent: Unused

**(I) Yard**

Year of Completion	Unknown
Site Area	Approximately 1280 m <sup>2</sup>
Historic Grading	Nil
Original and Recent Uses	Original: Yard Recent: Yard



Buildings/structures outside site boundary:

**(J) Pumping Station**

Year of Completion	1907
Construction Floor Area	Approximately 1119 m <sup>2</sup>
Historic Grading	Declared Monument (Year 2009)
Original and Recent Uses	Pumping Station
Remark:	The building do not form part of the Revitalisation Scheme nor the site area and will remain as Pumping Station.

**(K) Chimney and its Flue**

Year of Completion	1907
Site Area	N/A
Historic Grading	Declared Monument (Year 2009)
Original and Recent Uses	Original: Chimney Recent: Not in use
Remark:	The building do not form part of the Revitalisation Scheme nor the site area and will remain as Chimney Shaft and Flue.

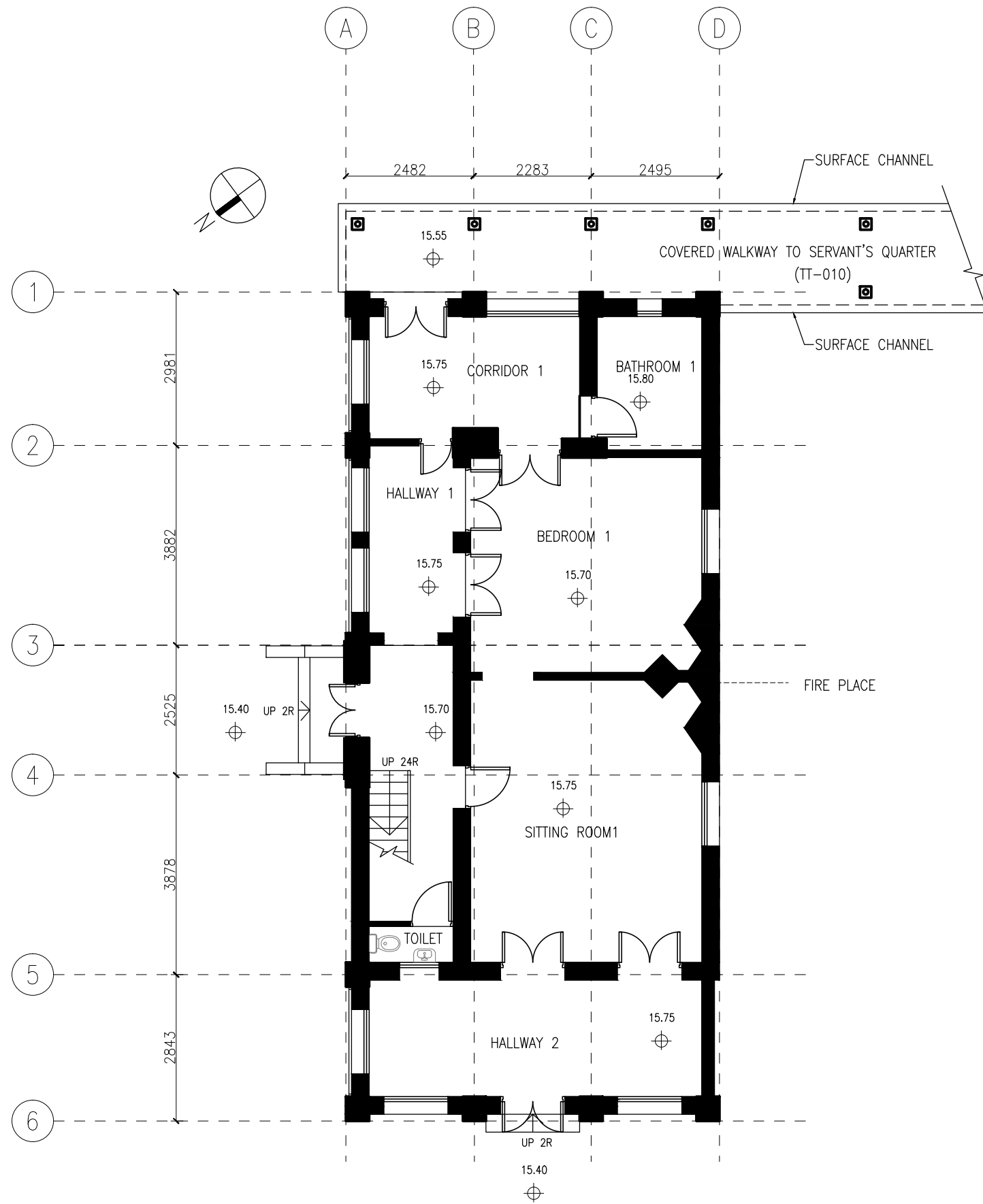
**Appendix VI(A)**  
**Drawings and Perspectives**

## Appendix VI(A) – Drawings and Perspectives

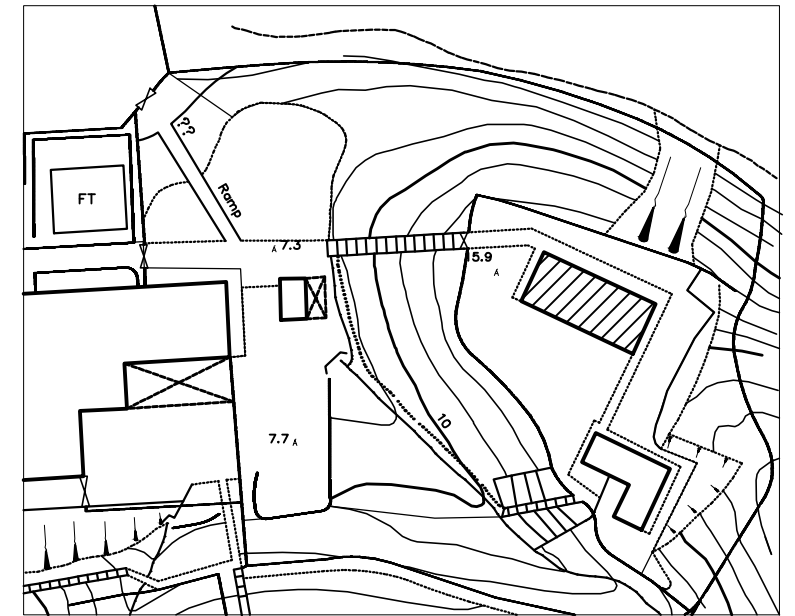
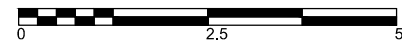
### Drawing List

	<b>Drawing No.</b>	<b>Drawing Title</b>
1	TT-01	Ground Floor Plan of Senior Staff Quarters – Main Building
2	TT-02	First Floor Plan of Senior Staff Quarters – Main Building
3	TT-03	Roof Floor Plan of Senior Staff Quarters – Main Building
4	TT -04	North East Elevation of Senior Staff Quarters – Main Building
5	TT -05	South West Elevation of Senior Staff Quarters – Main Building
6	TT -06	South East Elevation of Senior Staff Quarters – Main Building
7	TT -07	North West of Senior Staff Quarters – Main Building
8	TT -08	Section A-A of Senior Staff Quarters – Main Building
9	TT -09	Section B-B of Senior Staff Quarters – Main Building
10	TT -10	Ground Floor Plan of Senior Staff Quarters – Servant’s Quarters
11	TT -11	Roof Floor Plan of Senior Staff Quarters – Servant’s Quarters
12	TT -12	North East Elevation of Senior Staff Quarters – Servant’s Quarters
13	TT -13	North West Elevation of Senior Staff Quarters – Servant’s Quarters
14	TT -14	South West Elevation of Senior Staff Quarters – Servant’s Quarters
15	TT -15	South East Elevation of Senior Staff Quarters – Servant’s Quarters
16	TT -16	Section A-A of Senior Staff Quarters – Servant’s Quarters
17	TT -17	Ground Floor Plan of Staff Quarter (Main Building and Store Building)
18	TT -18	First Floor Plan of Staff Quarter (Main Building and Store Building)
19	TT -19	North Elevation of Staff Quarter (Main Building)
20	TT -20	South Elevation of Staff Quarter (Main Building)
21	TT -21	East Elevation of Staff Quarter (Main Building)
22	TT -22	West Elevation of Staff Quarter (Main Building)
23	TT -23	South West Elevation of Staff Quarter (Store Building)
24	TT-24	North East Elevation of Staff Quarter (Store Building)
25	TT-25	South East Elevation of Staff Quarter (Store Building)
26	TT-26	North West Elevation of Staff Quarter (Store Building)
27	TT-27	Section A-A of Staff Quarter (Main Building and Store Building)
28	TT-28	Section B-B of Staff Quarter (Main Building and Store Building)

29	TT-29	Ground Floor Plan of No.2 Staff Quarters & No.2 Staff Quarters Outbuilding
30	TT-30	First Floor Plan of No.2 Staff Quarters & No.2 Staff Quarters Outbuilding
31	TT-31	South Elevation of No.2 Staff Quarters
32	TT-32	North Elevation of No.2 Staff Quarters
33	TT-33	East Elevation of No.2 Staff Quarters
34	TT-34	West Elevation of No.2 Staff Quarters
35	TT-35	West Elevation of No.2 Staff Quarters-Outbuilding
36	TT-36	North Elevation of No.2 Staff Quarters-Outbuilding
37	TT-37	East Elevation of No.2 Staff Quarters-Outbuilding
38	TT-38	South Elevation of No.2 Staff Quarters-Outbuilding
39	TT-39	Section A-A of No.2 Staff Quarters
40	TT -40	Plan of Garage
41	TT -41	North Elevation of Garage
42	TT -42	East Elevation of Garage
43	TT -43	South Elevation of Garage
44	TT -44	West Elevation of Garage
45	TT -45	Section A-A of Garage
46	TT -46	Section B-B of Garage
47	TT -47	East Elevation of Underground Cellar
48	TT -48	Ground Floor Plan of Main Building of Pumping Station
49	TT -49	Section C-C of Main Building of Pumping Station
50	TT -50	Plan (Part A) of Chimney Shaft and Its Flue
51	TT -51	Plan (Part B) of Chimney Shaft and Its Flue
52	TT -52	Sections of Chimney Shaft and Its Flue
53	TT -53	Elevation D-D Chimney Shaft and Its Flue
54	TTT-4PR-4 101	3D Perspective 01
55	TTT-4PR-4 102	3D Perspective 02
56	TTT-4PR-4 103	3D Perspective 03



**GROUND FLOOR PLAN**



KEY PLAN



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

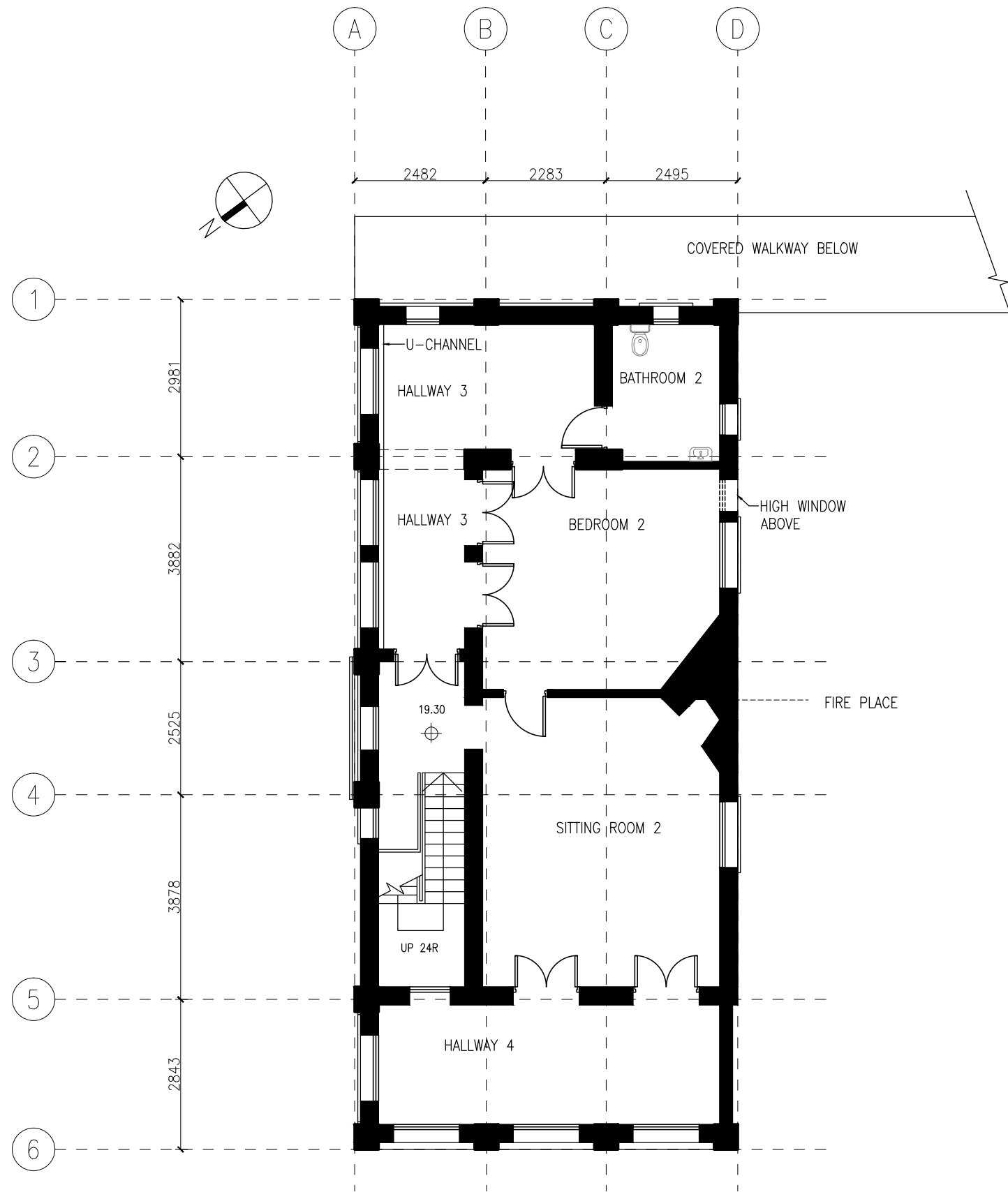
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**Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong**

Drawing Title  
**GROUND FLOOR PLAN OF SENIOR STAFF QUARTERS - MAIN BUILDING**

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

JOB NO: **HRT-04-2019** Drawing No. **TT-01**

STATUS :



**FIRST FLOOR PLAN**



ARCHITECTURAL SERVICES DEPARTMENT



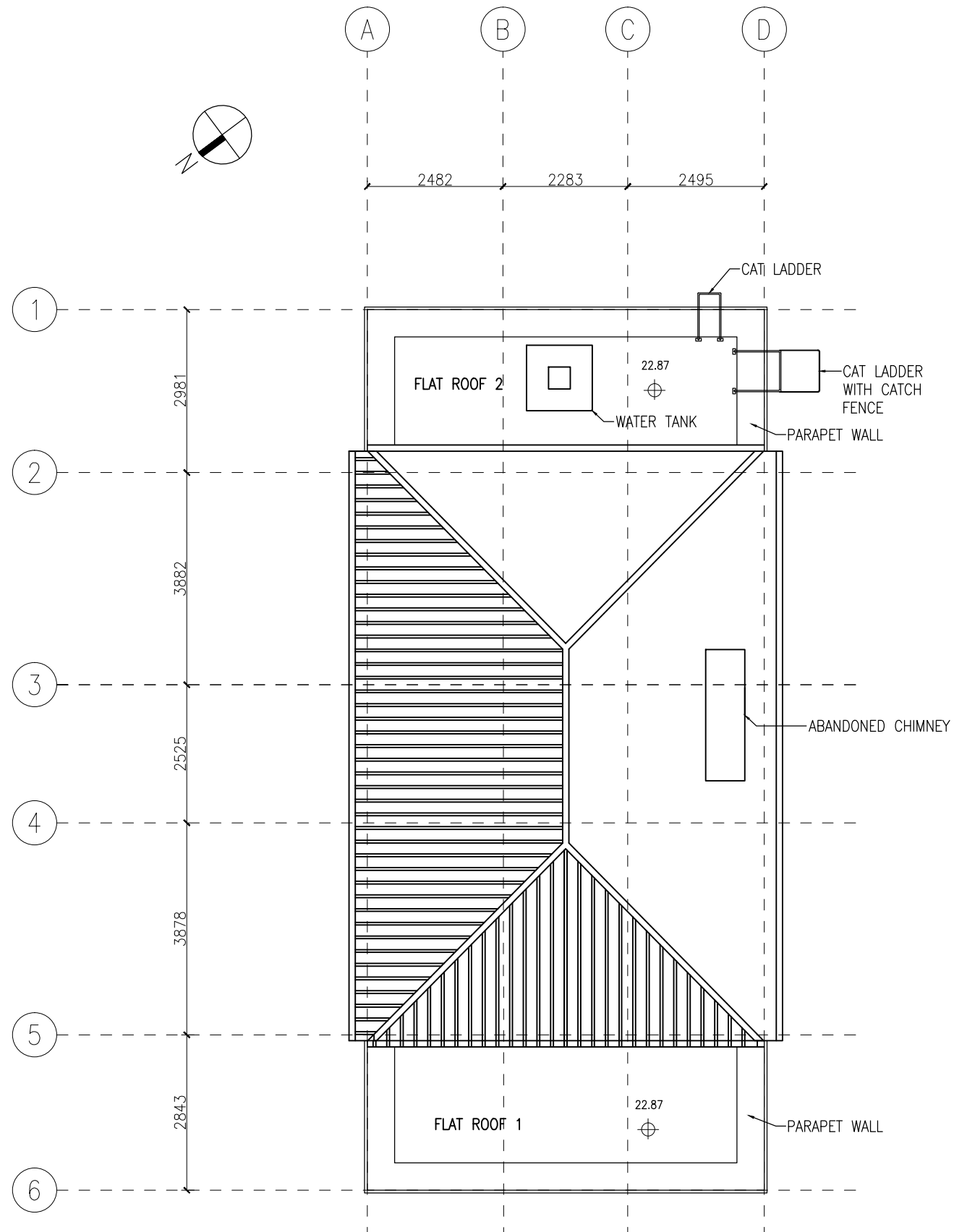
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**Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong**

Drawing Title  
**FIRST FLOOR PLAN OF SENIOR STAFF QUARTERS - MAIN BUILDING**

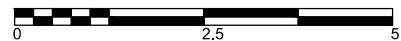
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JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-02</b>
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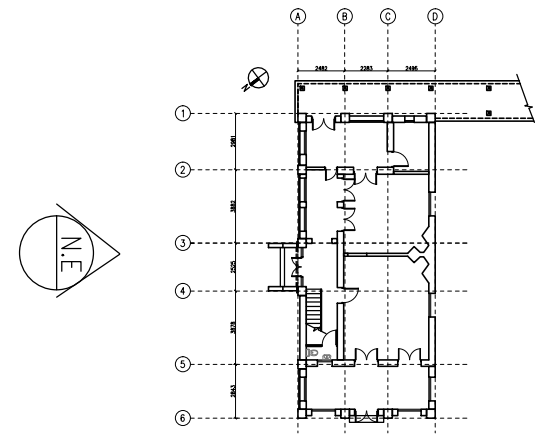
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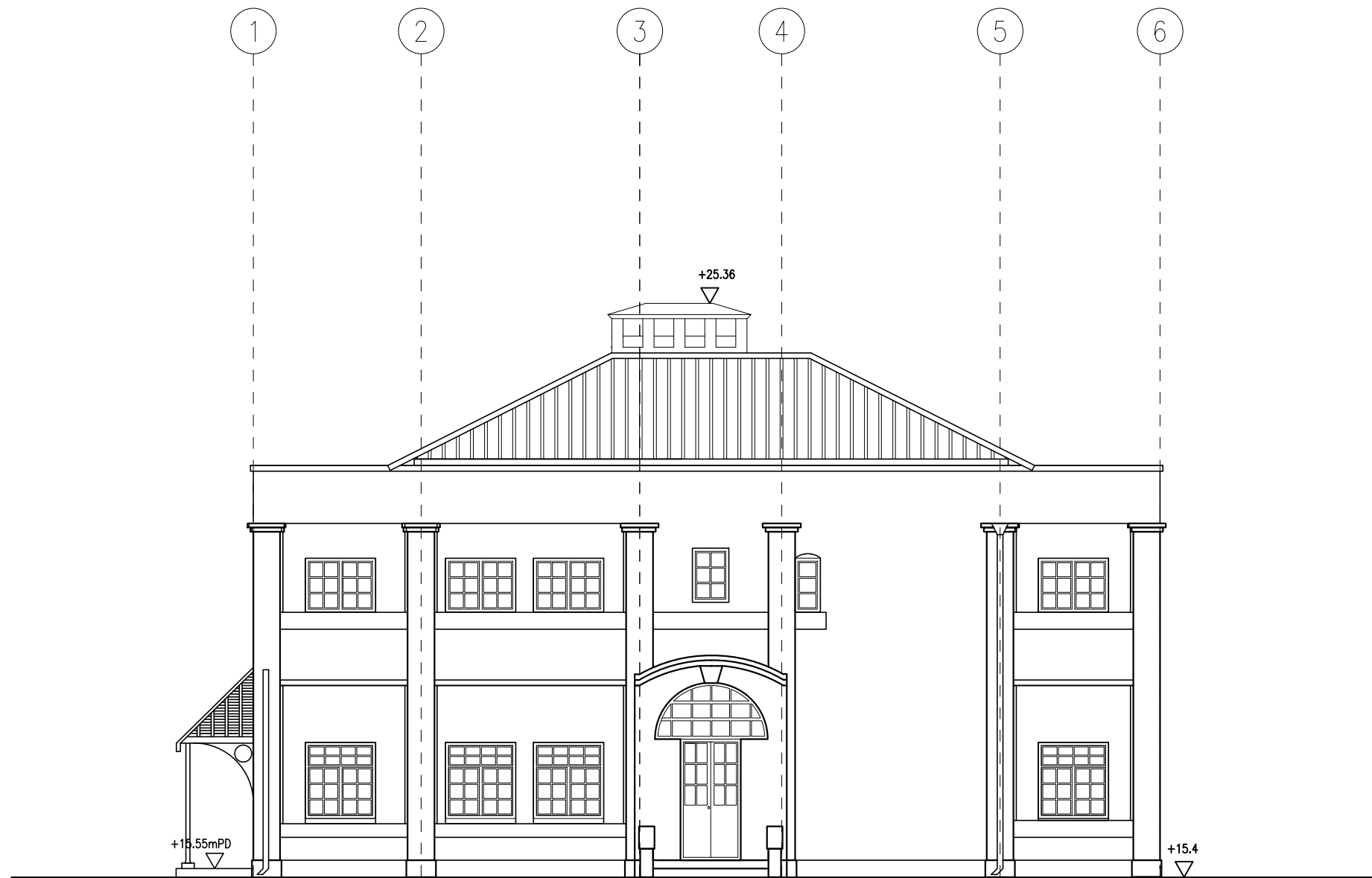
**ROOF PLAN**



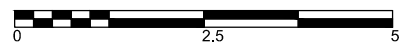
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>ROOF FLOOR PLAN OF SENIOR STAFF QUARTERS - MAIN BUILDING</b>				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO: <b>HRT-04-2019</b>			Drawing No. <b>TT-03</b>	
STATUS :				



KEY PLAN



NORTH EAST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT



SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

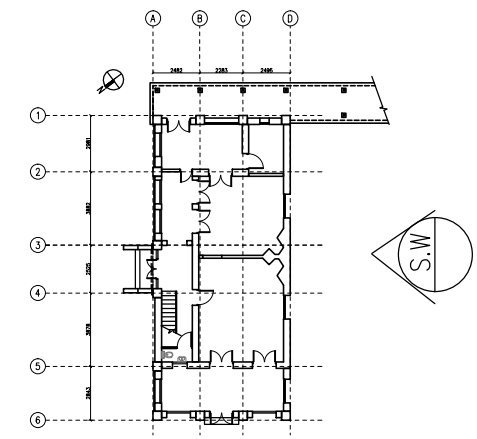
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NORTH EAST ELEVATION OF SENIOR STAFF QUARTERS -  
MAIN BUILDING

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
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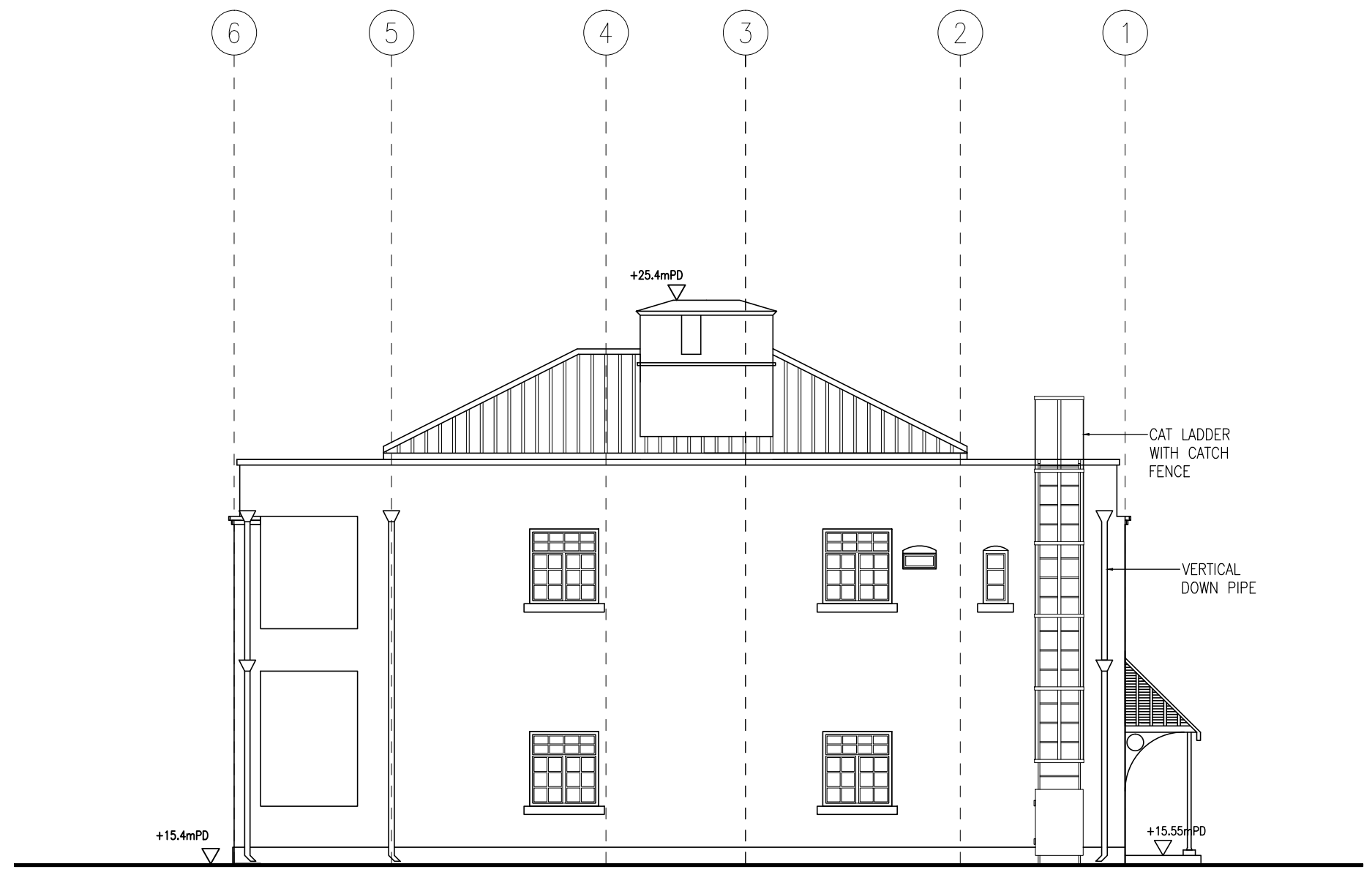
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STATUS :

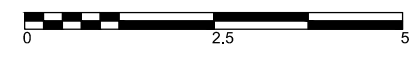




KEY PLAN



SOUTH WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT



SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

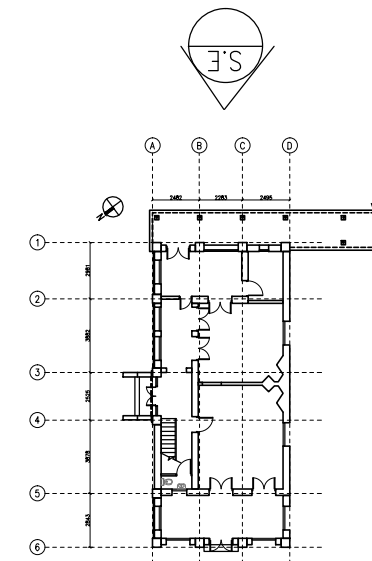
Job Title  
Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

Drawing Title  
SOUTH WEST ELEVATION OF SENIOR STAFF QUARTERS - MAIN BUILDING

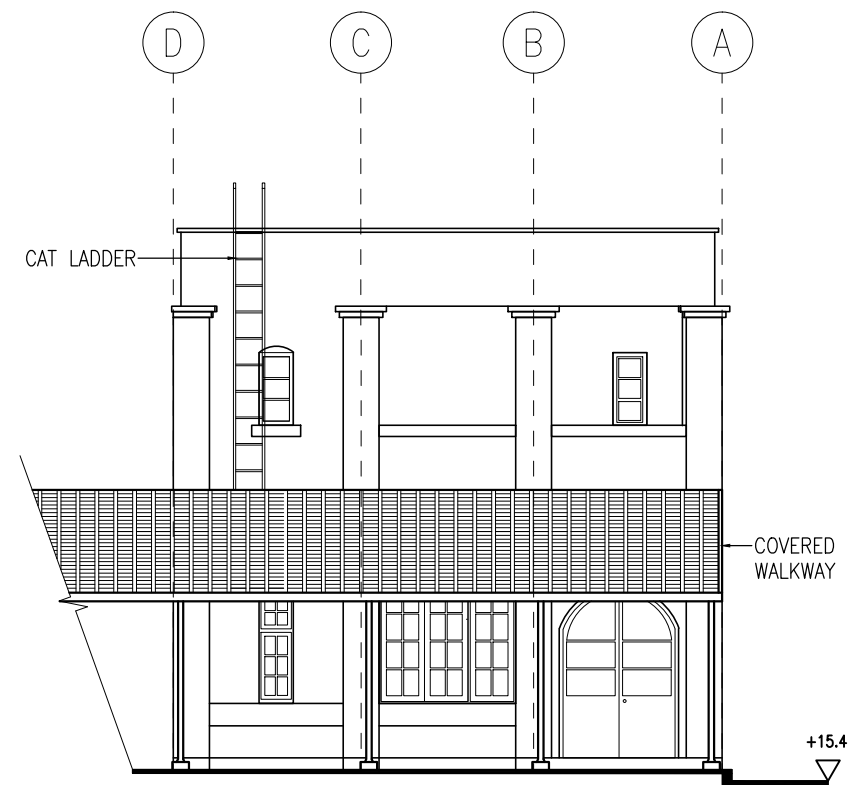
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07/08/2019	TC		NL	1:100 (A3)

JOB NO. HRT-04-2019	Drawing No. TT-05
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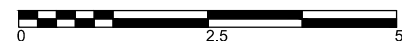
STATUS :



KEY PLAN



SOUTH EAST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

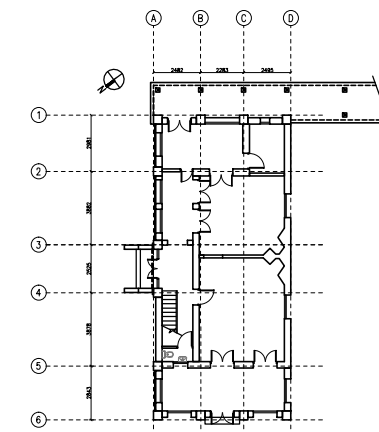
Drawing Title  
SOUTH EAST ELEVATION OF SENIOR STAFF QUARTERS -  
MAIN BUILDING

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

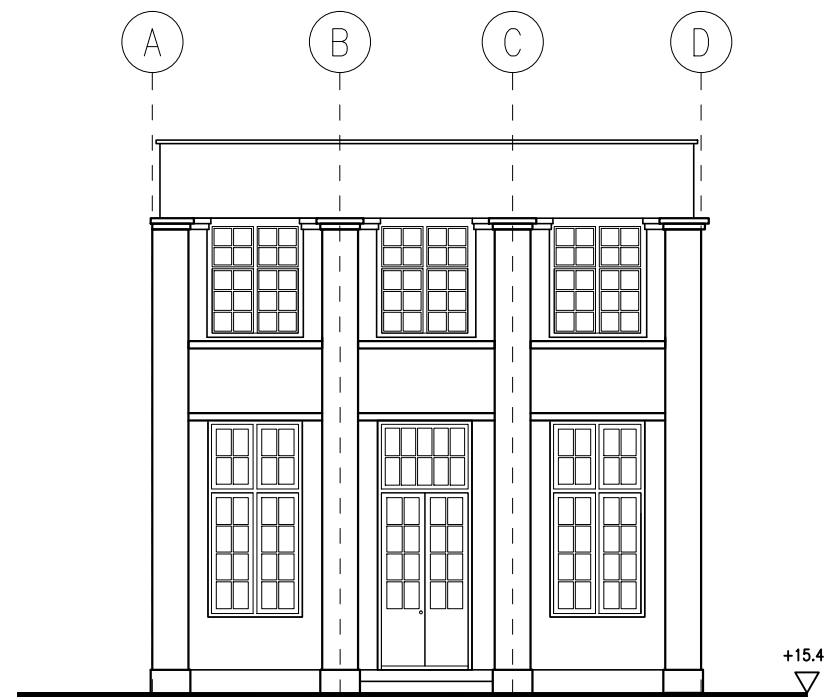
JOB NO.  
HRT-04-2019

Drawing No.  
TT-06

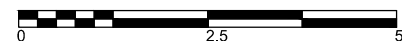
STATUS :



KEY PLAN



NORTH WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

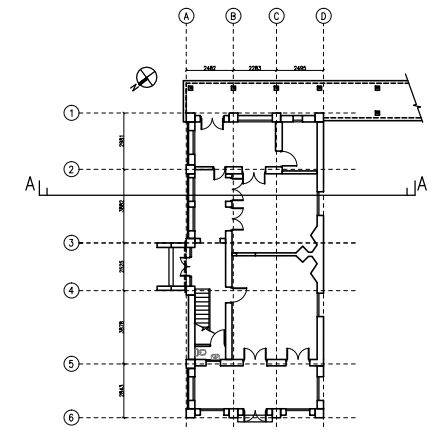
Drawing Title  
NORTH WEST ELEVATION OF SENIOR STAFF QUARTERS -  
MAIN BUILDING

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

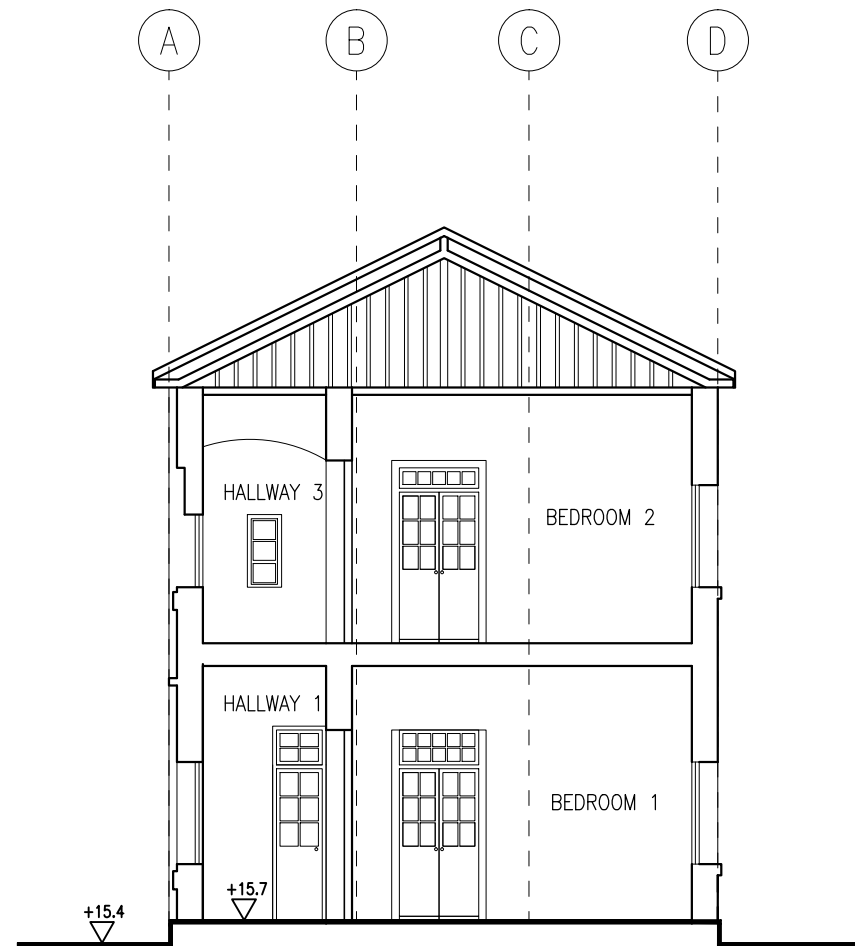
JOB NO.  
HRT-04-2019

Drawing No.  
TT-07

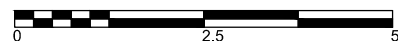
STATUS :



KEY PLAN



SECTION A-A



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

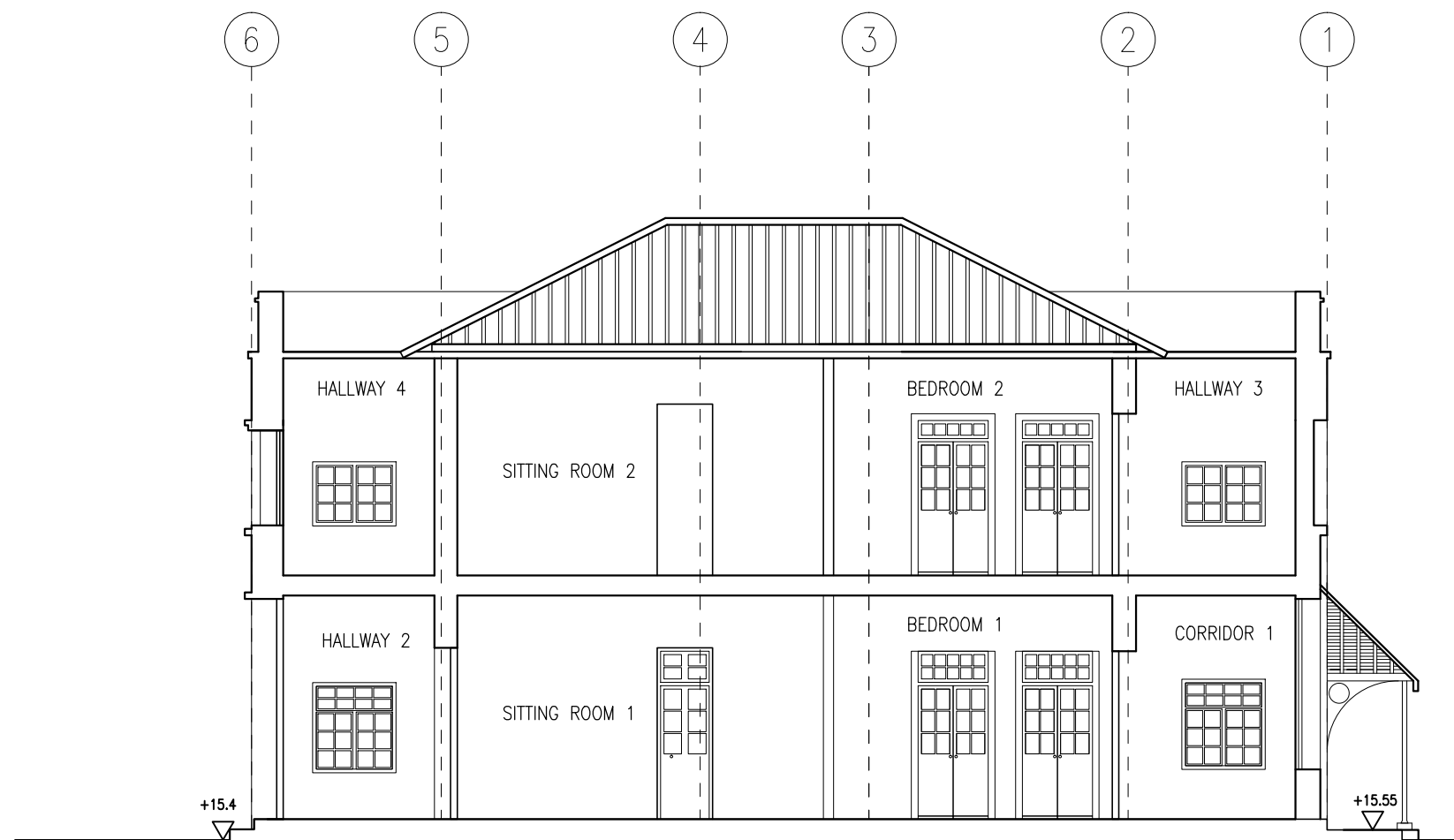
Drawing Title  
SECTION A-A OF SENIOR STAFF QUARTERS -  
MAIN BUILDING

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

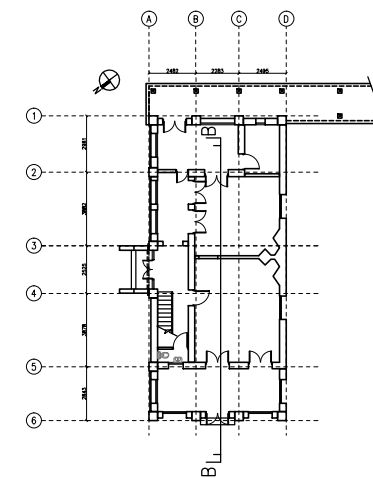
JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-08**

STATUS :



**SECTION B-B**



**KEY PLAN**



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

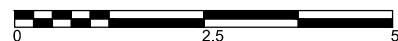
Job Title  
**Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong**

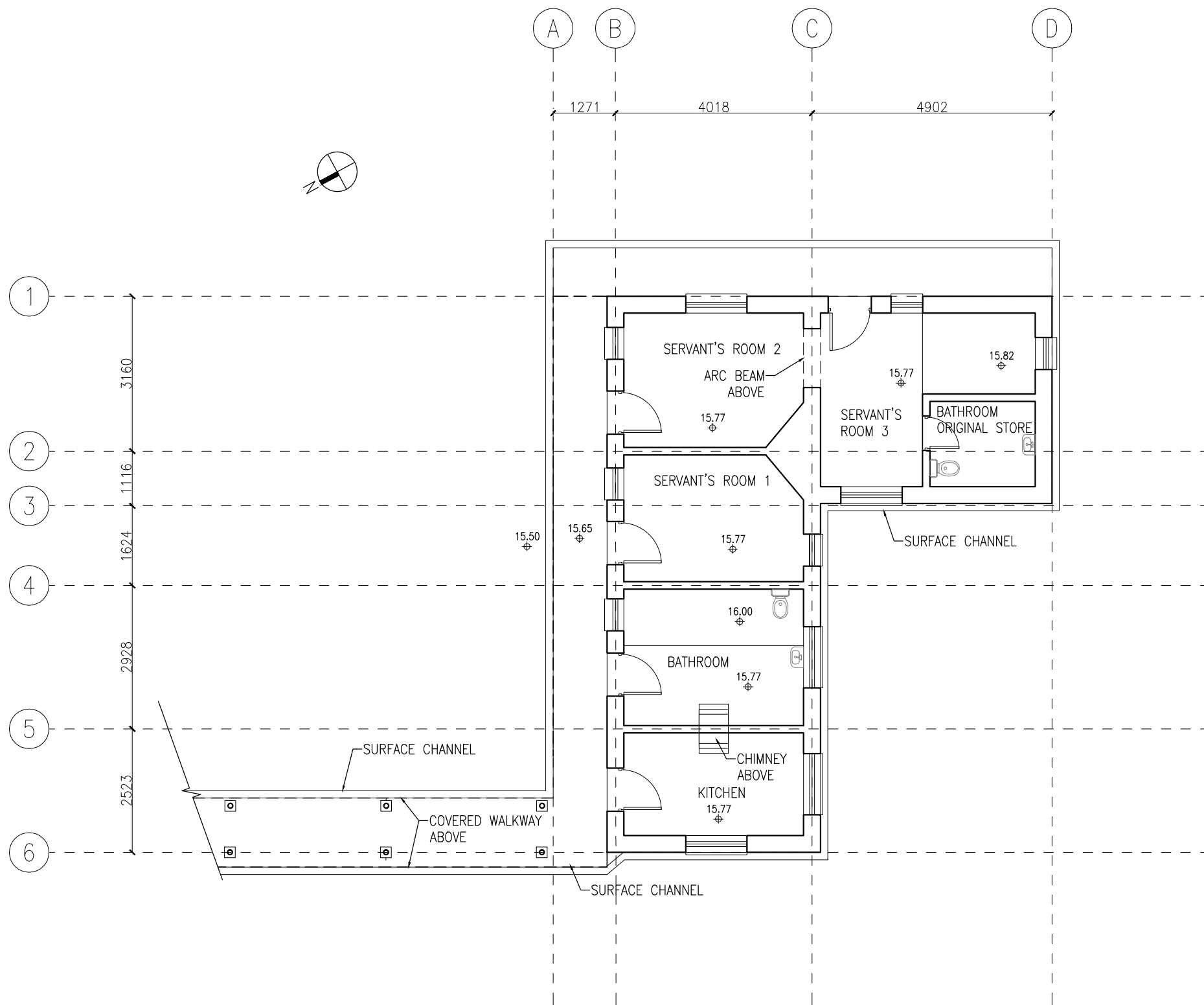
Drawing Title  
**SECTION B-B OF SENIOR STAFF QUARTERS -  
MAIN BUILDING**

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

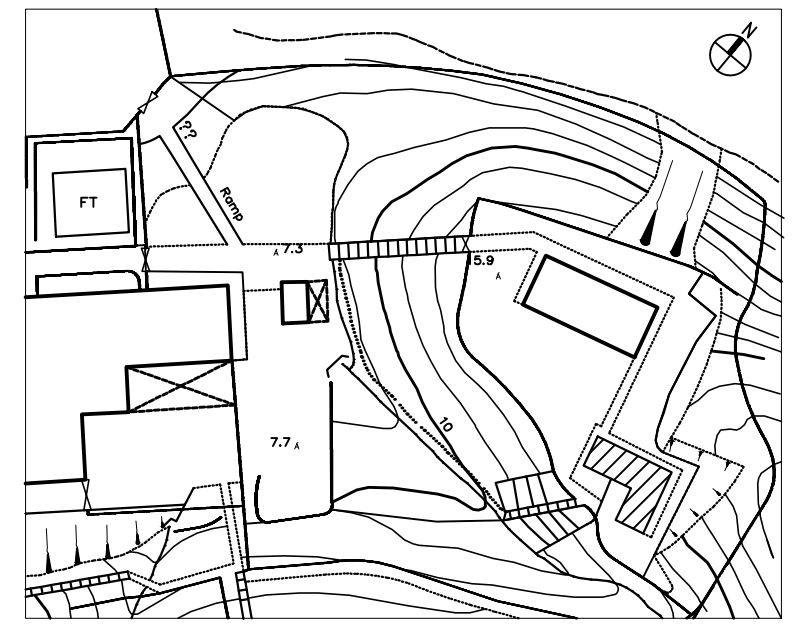
JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-09</b>
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STATUS :

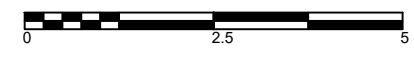




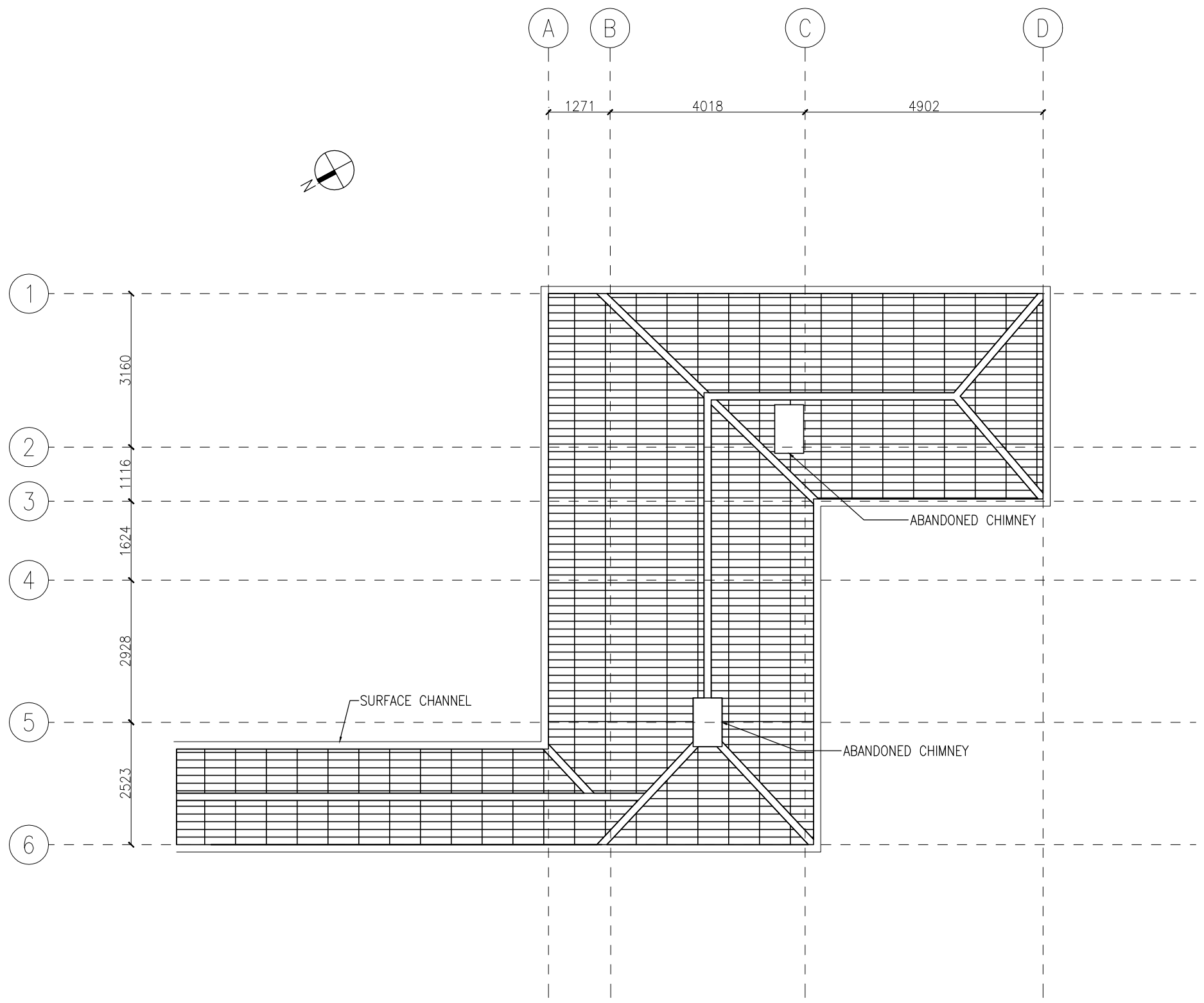
**GROUND FLOOR PLAN**



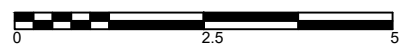
**KEY PLAN**



 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>GROUND FLOOR PLAN OF SENIOR STAFF QUARTERS - SERVANTS' QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-10</b>	
STATUS :				



**ROOF PLAN**



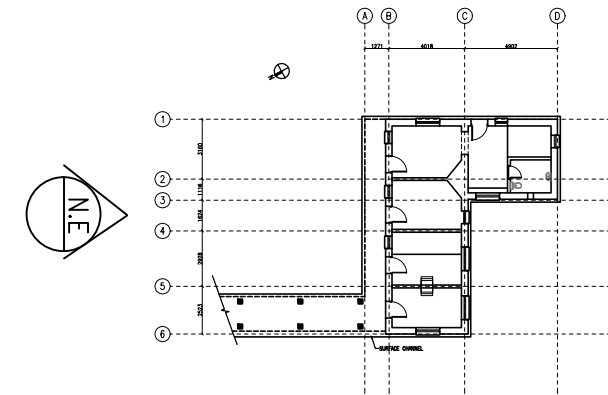


ARCHITECTURAL SERVICES DEPARTMENT

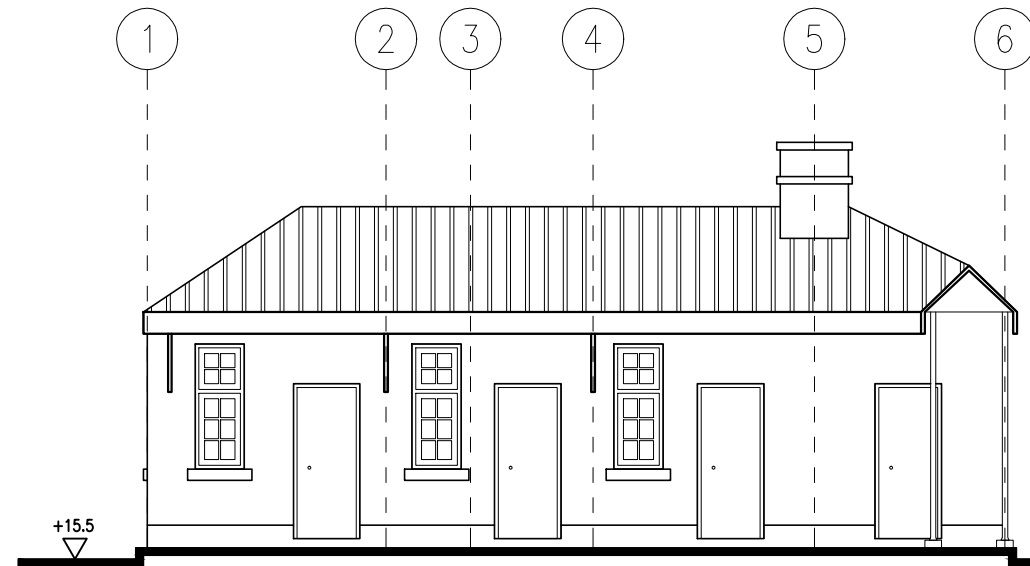


ample  
SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

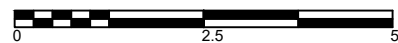
Job Title				
Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong				
Drawing Title				
ROOF PLAN OF SENIOR STAFF QUARTERS - SERVANTS' QUARTERS				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO. HRT-04-2019			Drawing No. TT-11	
STATUS :				



KEY PLAN



NORTH EAST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
NORTH EAST ELEVATION OF SENIOR STAFF QUARTERS -  
SERVANTS' QUARTERS

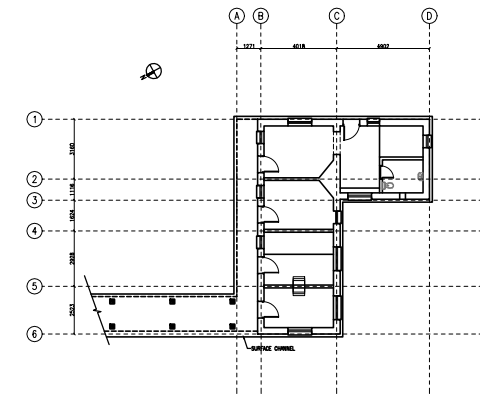
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

JOB NO.  
HRT-04-2019

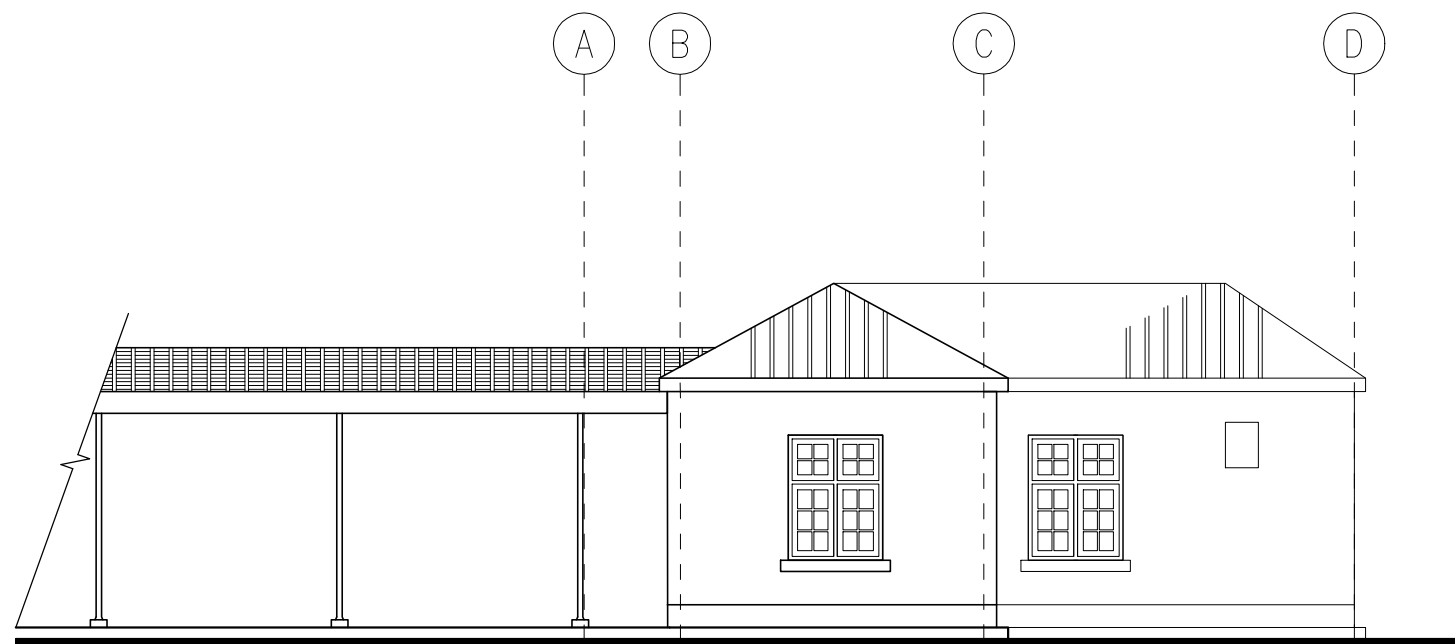
Drawing No.  
TT-12

STATUS :

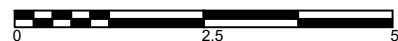




KEY PLAN



NORTH WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

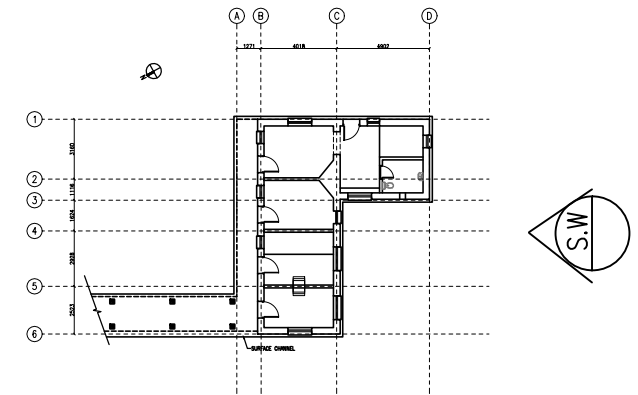
Drawing Title  
NORTH WEST ELEVATION OF SENIOR STAFF QUARTERS -  
SERVANTS' QUARTERS

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

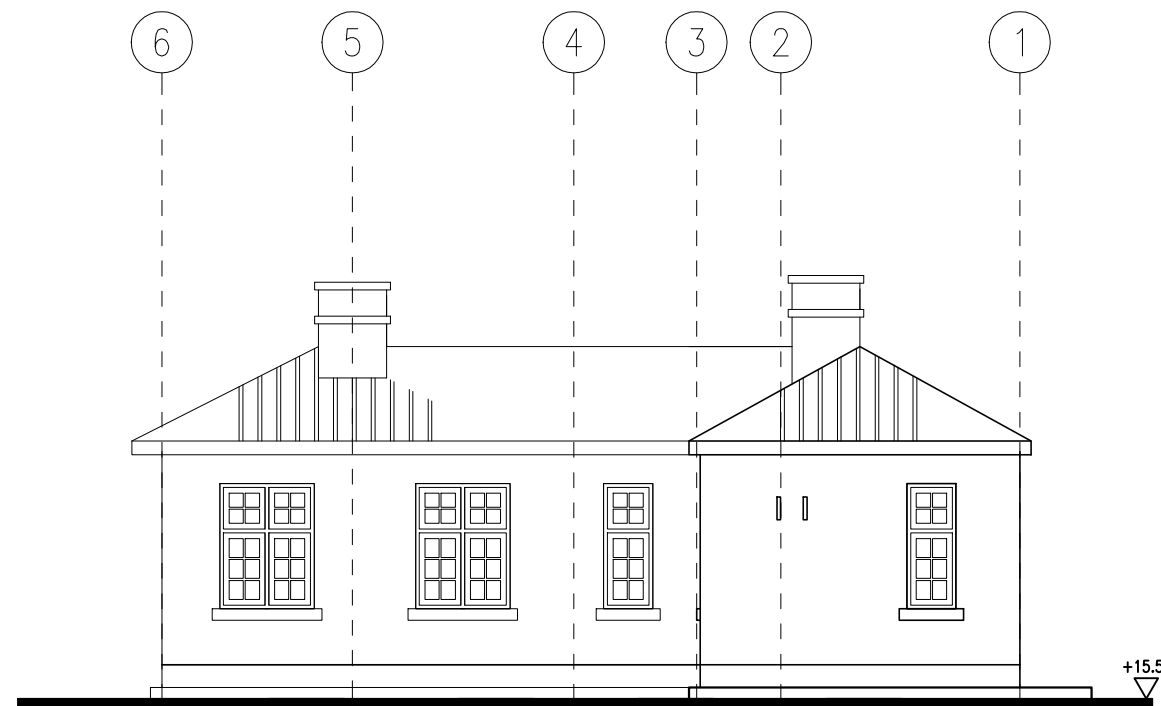
JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-13**

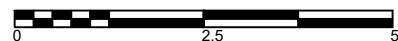
STATUS :



KEY PLAN



SOUTH WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

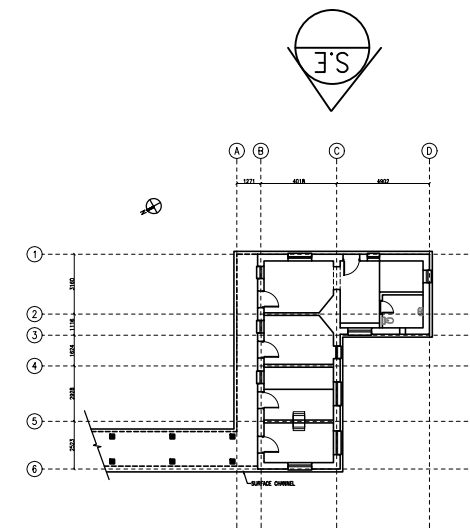
Drawing Title  
SOUTH WEST ELEVATION OF SENIOR STAFF QUARTERS -  
SERVANTS' QUARTERS

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

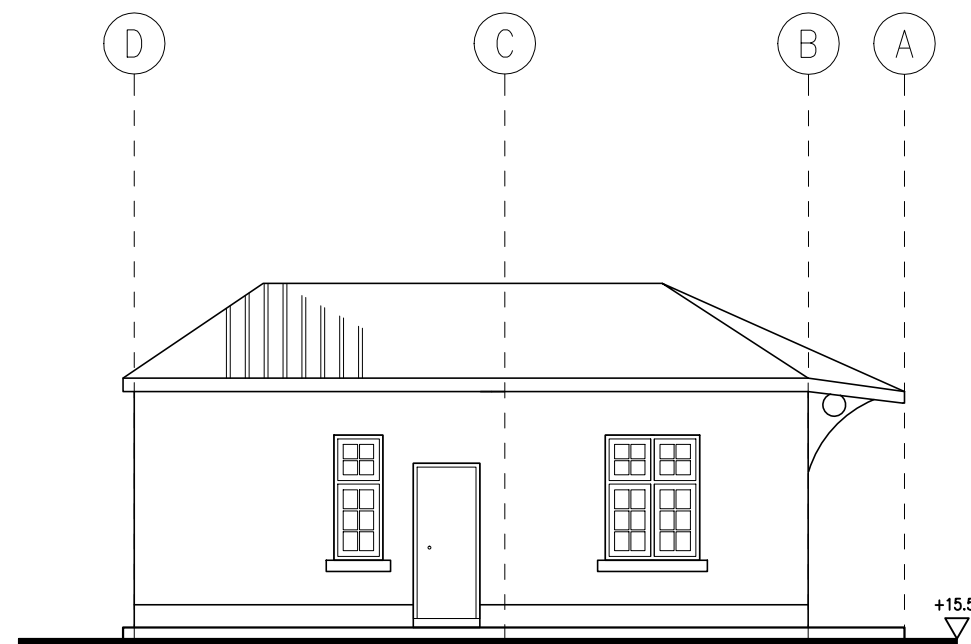
JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-14**

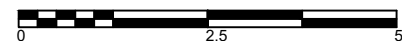
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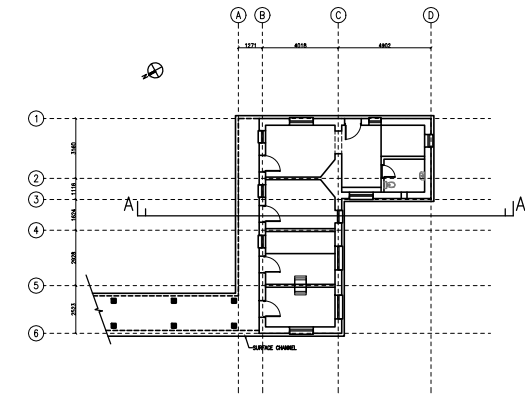
KEY PLAN



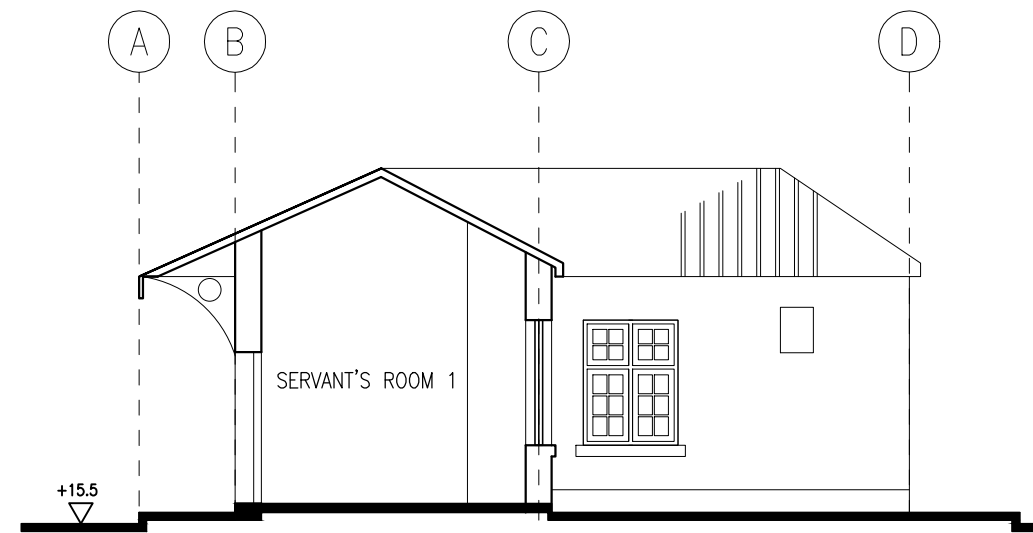
SOUTH EAST ELEVATION



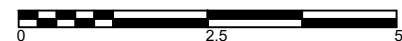
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>SOUTH EAST ELEVATION OF SENIOR STAFF QUARTERS - SERVANTS' QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-15</b>	
STATUS :				



KEY PLAN



SECTION A-A



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
SECTION A-A OF SENIOR STAFF QUARTERS -  
SERVANTS' QUARTERS

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-16**

STATUS :



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

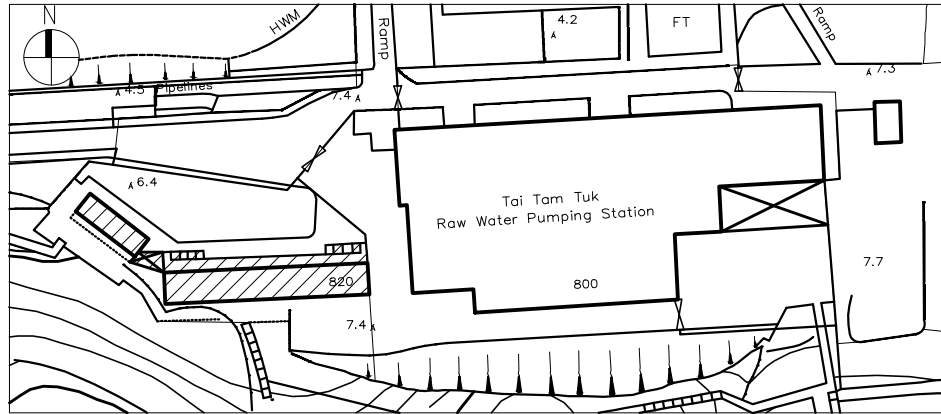
Job Title  
**Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong**

Drawing Title  
**GROUND FLOOR PLAN OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)**

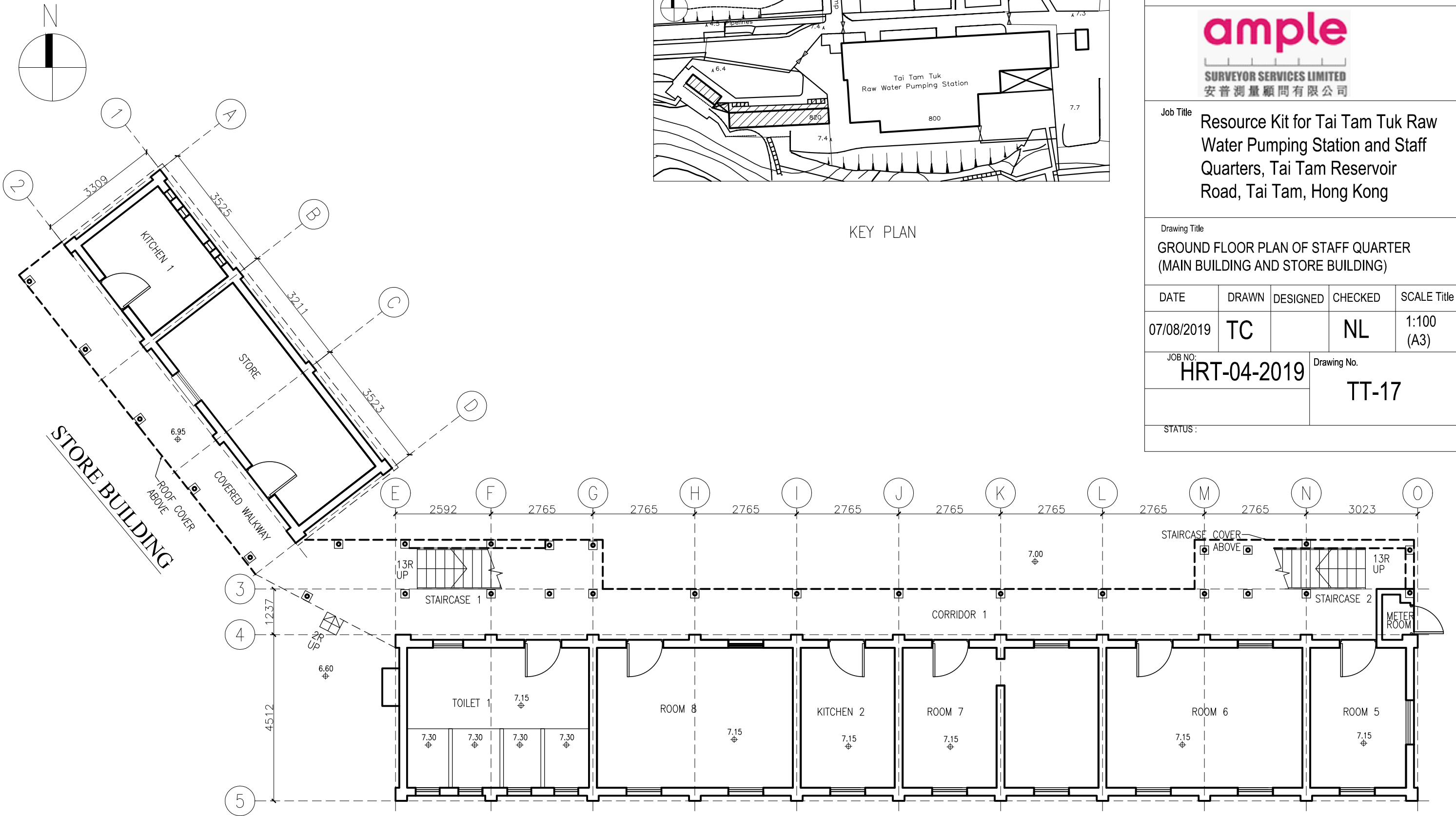
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JOB NO:  
**HRT-04-2019** Drawing No.  
**TT-17**

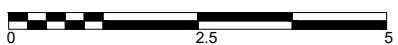
STATUS:



KEY PLAN



**MAIN BUILDING  
GROUND FLOOR PLAN**





ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

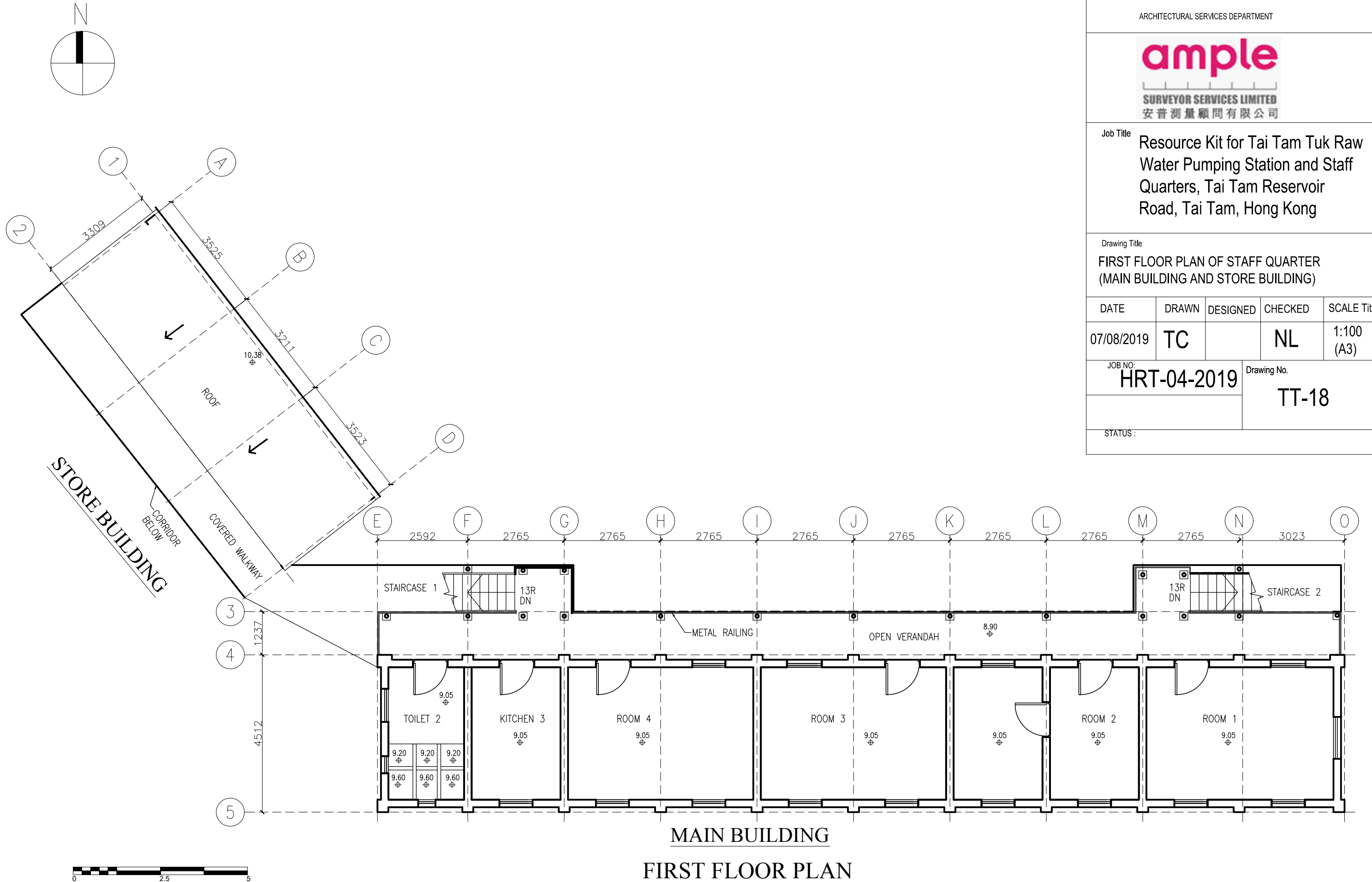
Drawing Title  
FIRST FLOOR PLAN OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

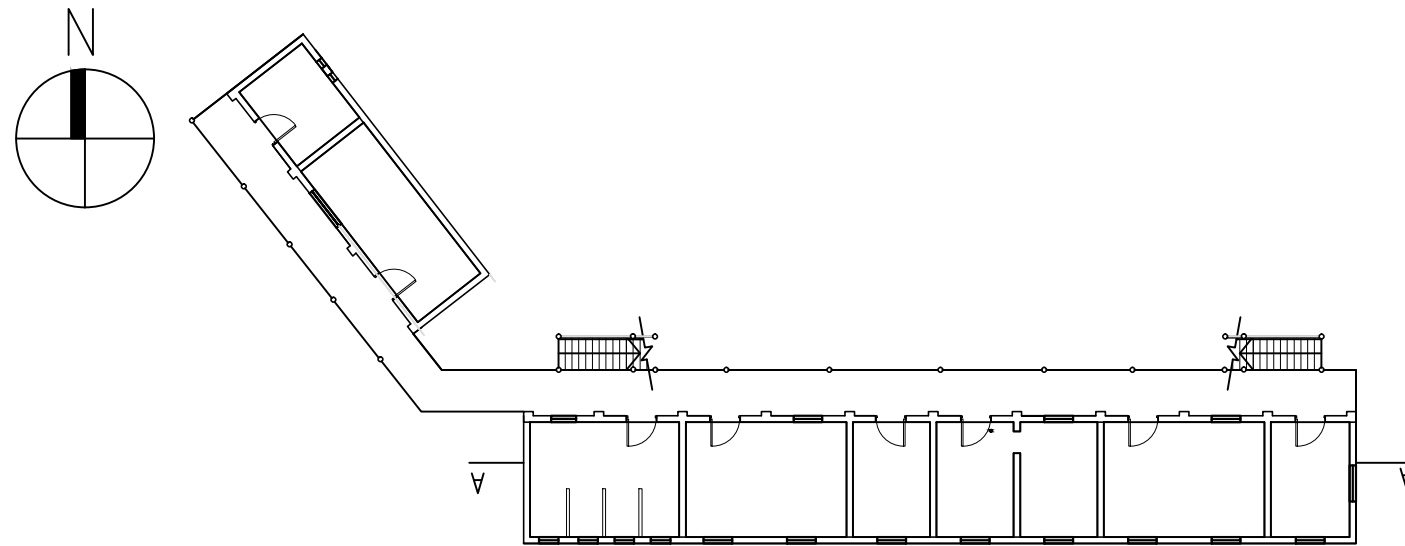
JOB NO:  
**HRT-04-2019**

Drawing No.  
**TT-18**

STATUS:



**MAIN BUILDING**  
**FIRST FLOOR PLAN**



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

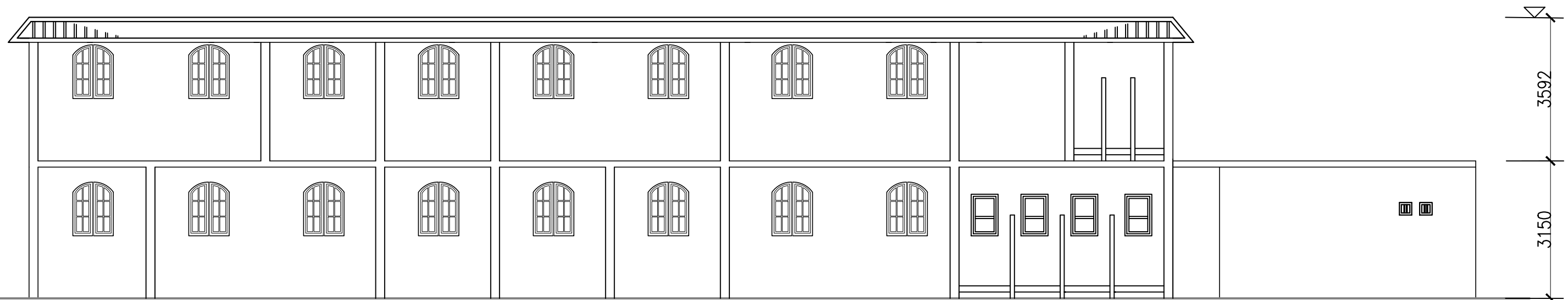
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
SECTION A-A OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

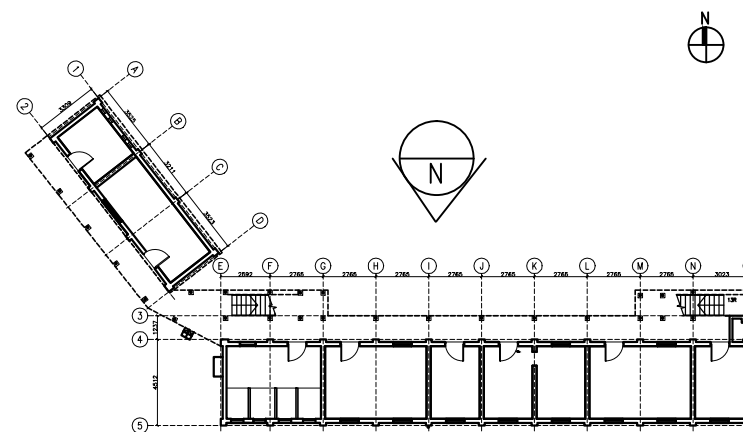
JOB NO: HRT-04-2019	Drawing No. TT-18-S
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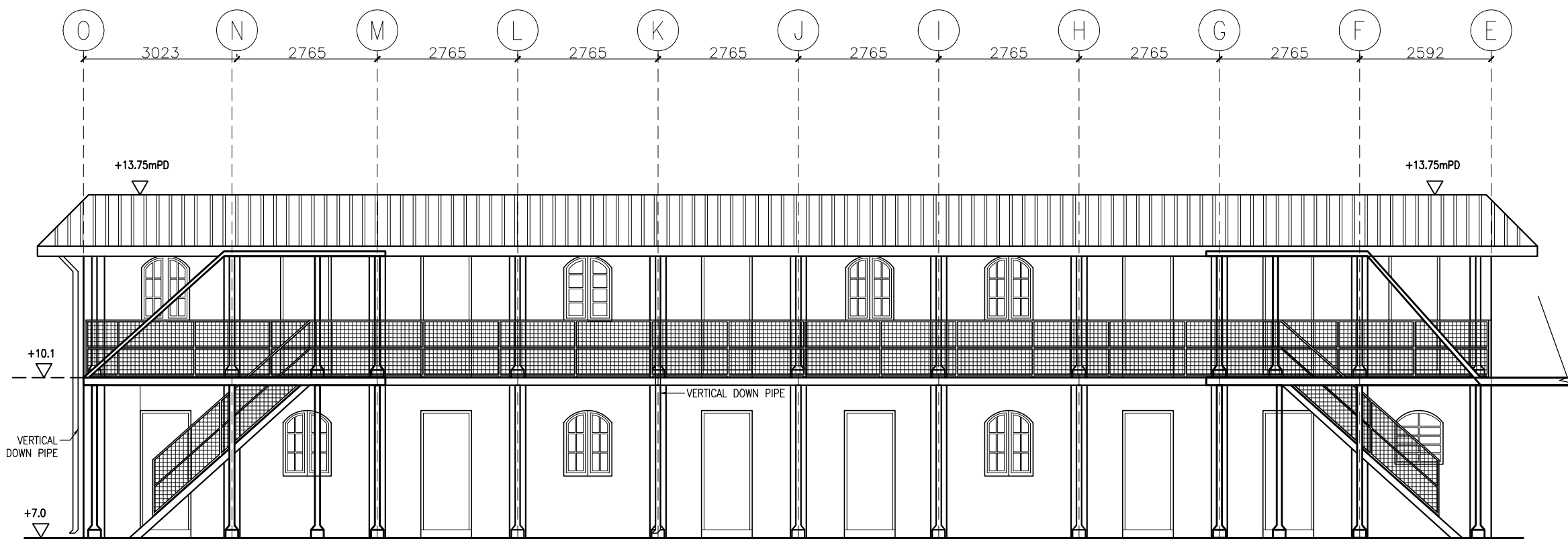


# SECTION A-A

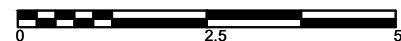
SCALE: 1:100



KEY PLAN



MAIN BUILDING  
NORTH ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
NORTH ELEVATION OF STAFF QUARTER  
(MAIN BUILDING)

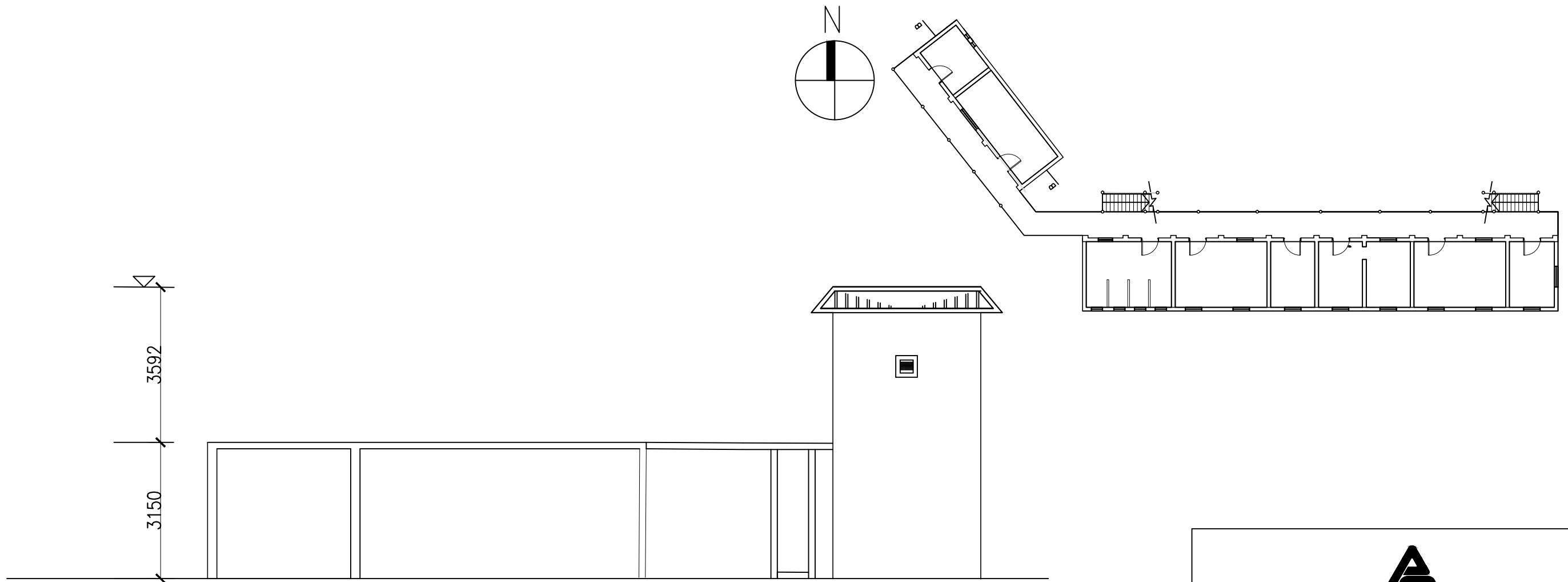
DATE	DRAWN	DESIGNED	CHECKED	SCALE	Title
07/08/2019	TC		NL	1:100	(A3)

JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-19**

STATUS:





# SECTION B-B

SCALE: 1:100



ARCHITECTURAL SERVICES DEPARTMENT



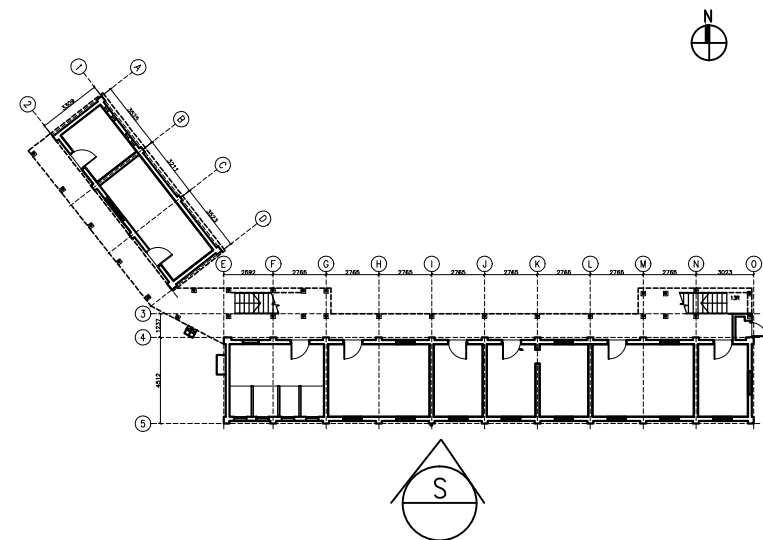
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
SECTION B-B OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)

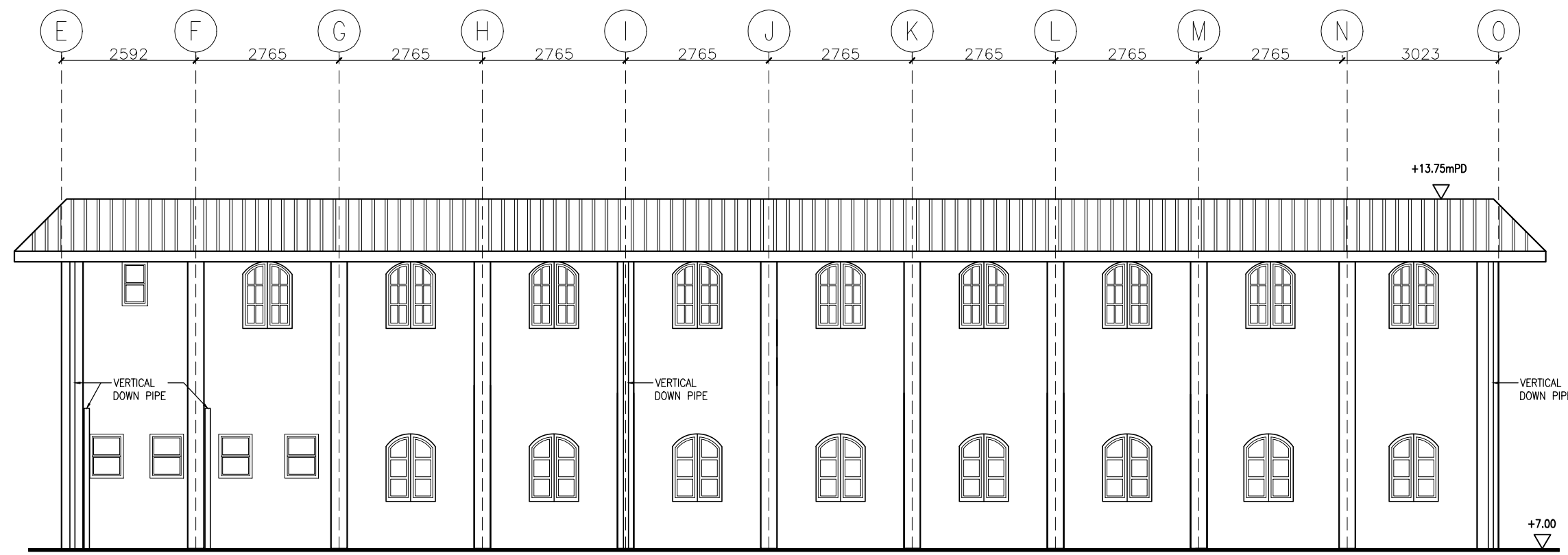
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07/08/2019	TC		NL	1:100 (A3)

JOB NO: HRT-04-2019	Drawing No. TT-19-S
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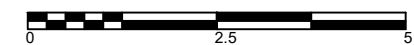
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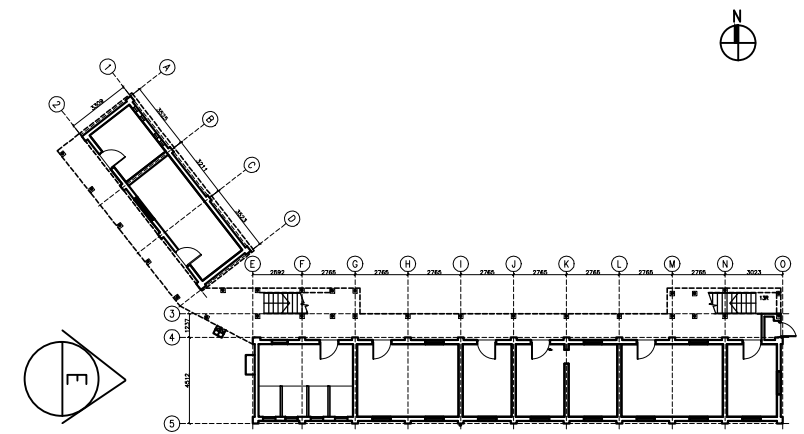
KEY PLAN



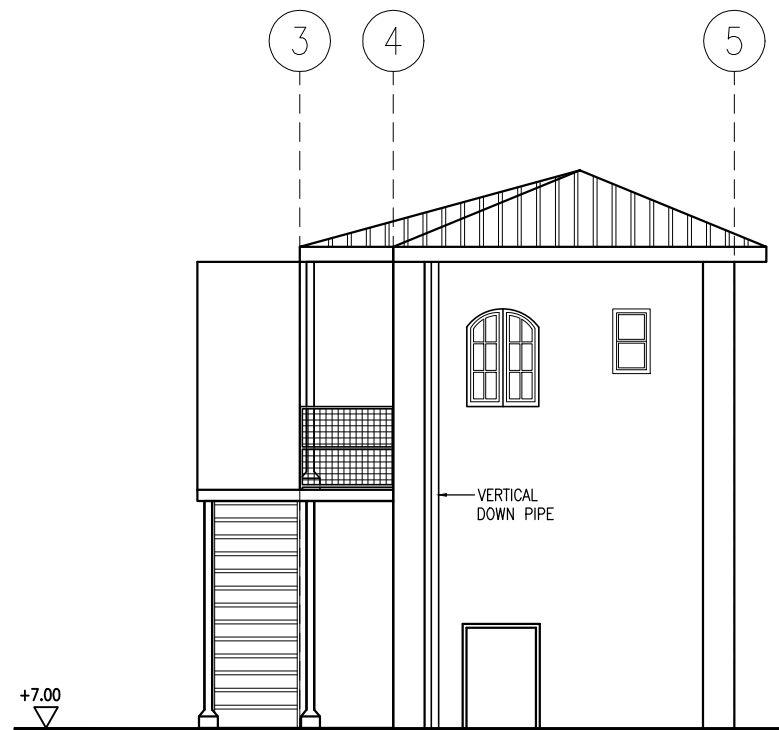
**MAIN BUILDING**  
**SOUTH ELEVATION**



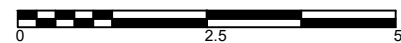
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>SOUTH ELEVATION OF STAFF QUARTER (MAIN BUILDING)</b>				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO: <b>HRT-04-2019</b>			Drawing No. <b>TT-20</b>	
STATUS:				





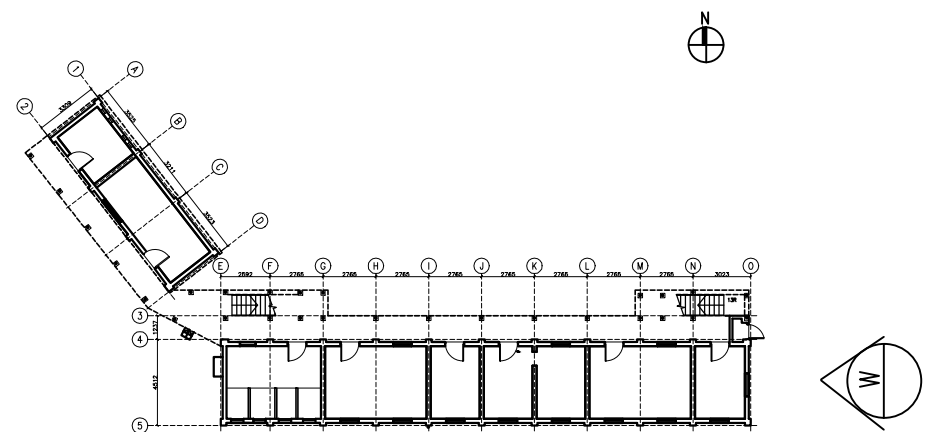
KEY PLAN



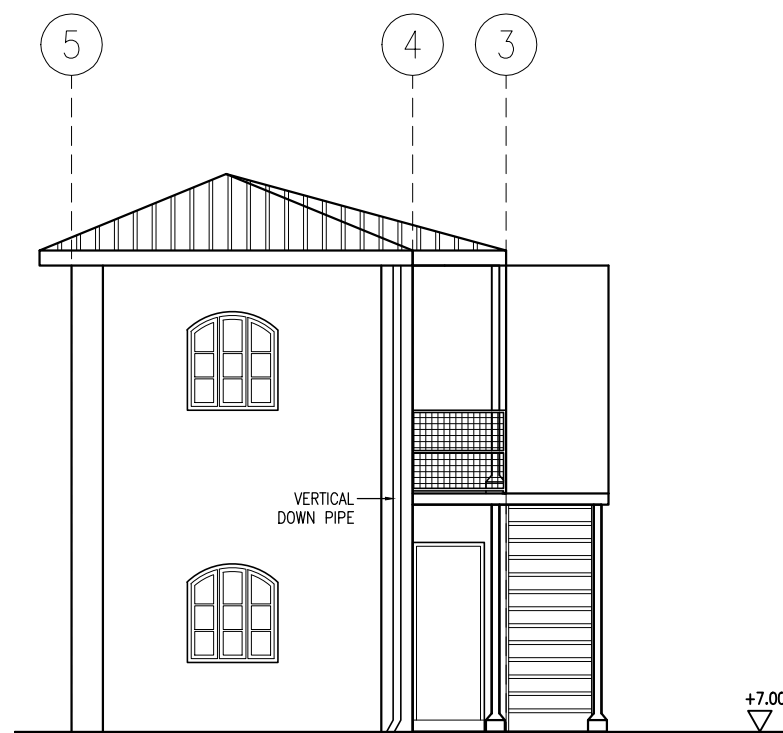
MAIN BUILDING  
EAST ELEVATION



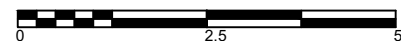
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>EAST ELEVATION OF STAFF QUARTER (MAIN BUILDING)</b>				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO: <b>HRT-04-2019</b>			Drawing No. <b>TT-21</b>	
STATUS:				





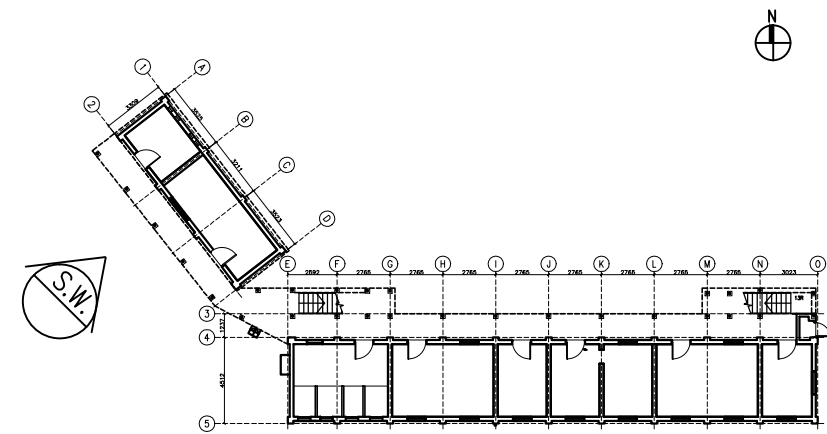
KEY PLAN



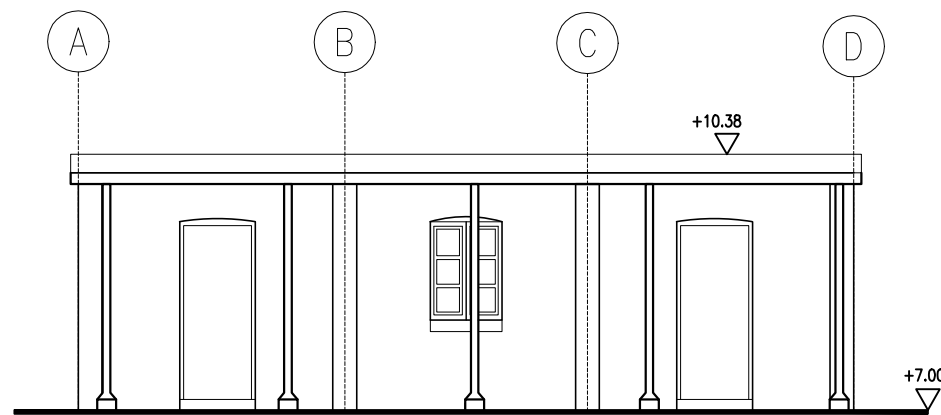
MAIN BUILDING  
WEST ELEVATION



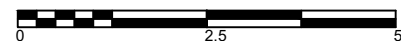
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title		Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong		
Drawing Title WEST ELEVATION OF STAFF QUARTER (MAIN BUILDING)				
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)
JOB NO: HRT-04-2019			Drawing No. TT-22	
STATUS :				



KEY PLAN



STORE BUILDING  
SOUTH WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

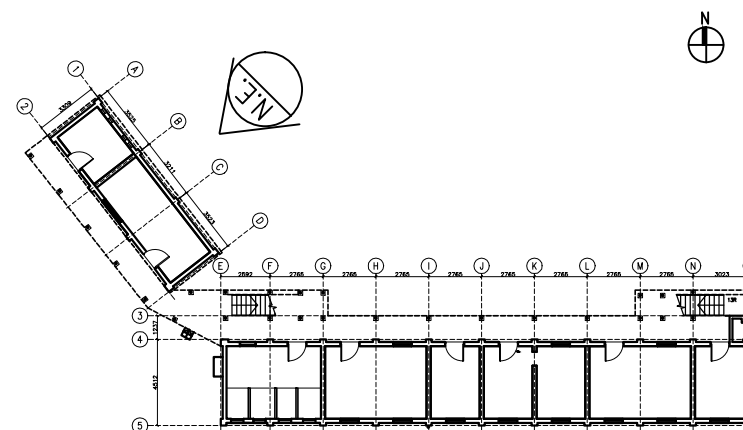
Drawing Title  
SOUTH WEST ELEVATION OF STAFF QUARTER  
(STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

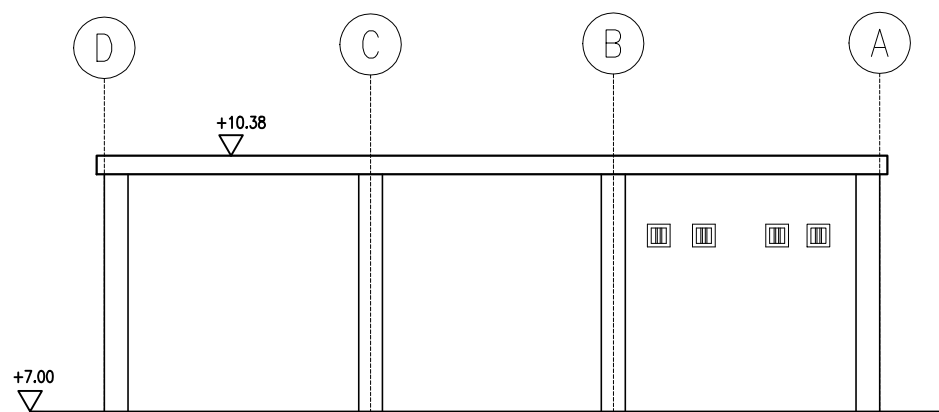
JOB NO:  
**HRT-04-2019**

Drawing No.  
**TT-23**

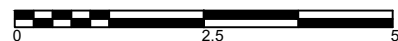
STATUS:



KEY PLAN



STORE BUILDING  
NORHT EAST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

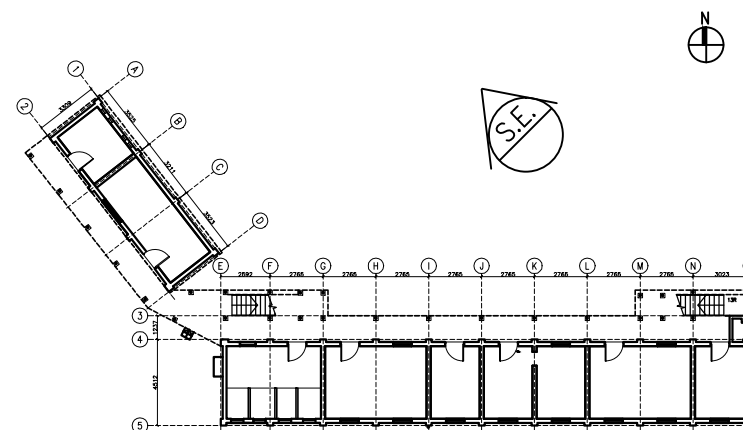
Drawing Title  
NORTH EAST ELEVATION OF STAFF QUARTER  
(STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

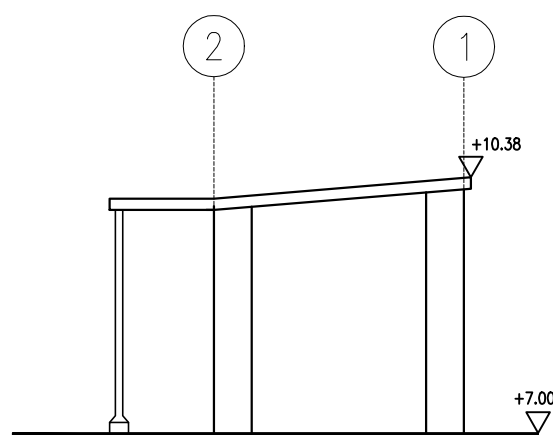
JOB NO:  
HRT-04-2019

Drawing No.  
TT-24

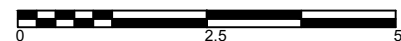
STATUS:



KEY PLAN



STORE BUILDING  
SOUTH EAST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

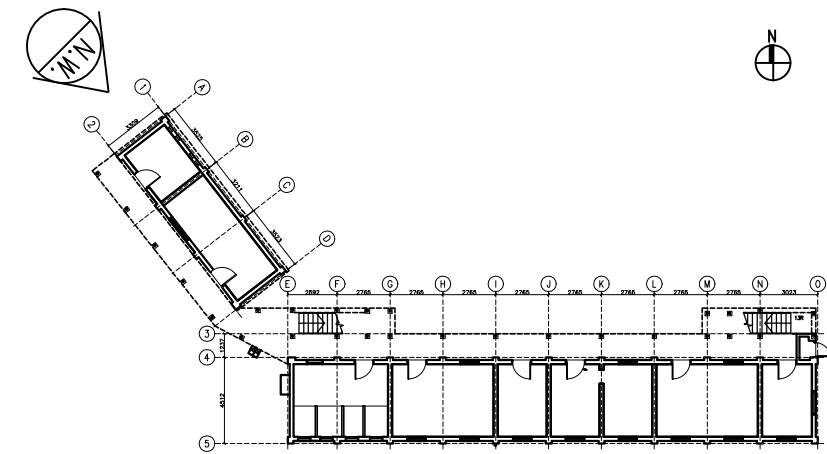
Drawing Title  
SOUTH EAST ELEVATION OF STAFF QUARTER  
(STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

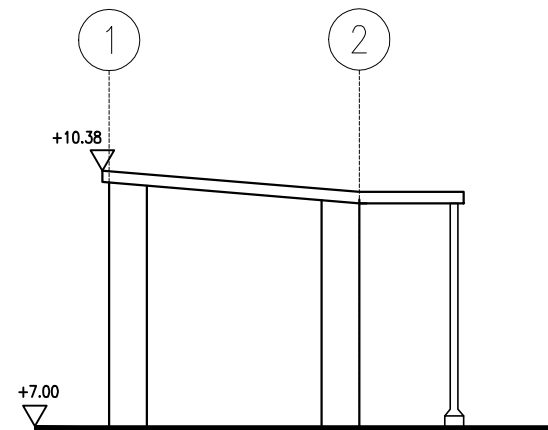
JOB NO:  
**HRT-04-2019**

Drawing No.  
**TT-25**

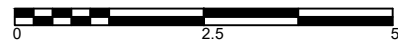
STATUS:



KEY PLAN



STORE BUILDING  
NORHT WEST ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
NORTH WEST ELEVATION OF STAFF QUARTER  
(STORE BUILDING)

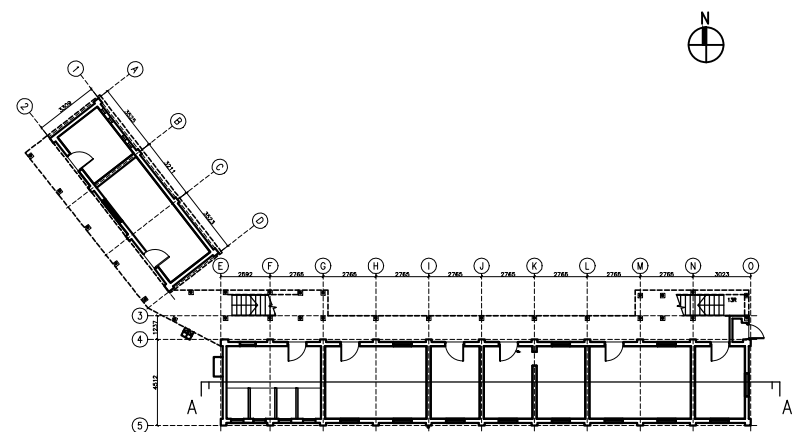
DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

JOB NO:  
**HRT-04-2019**

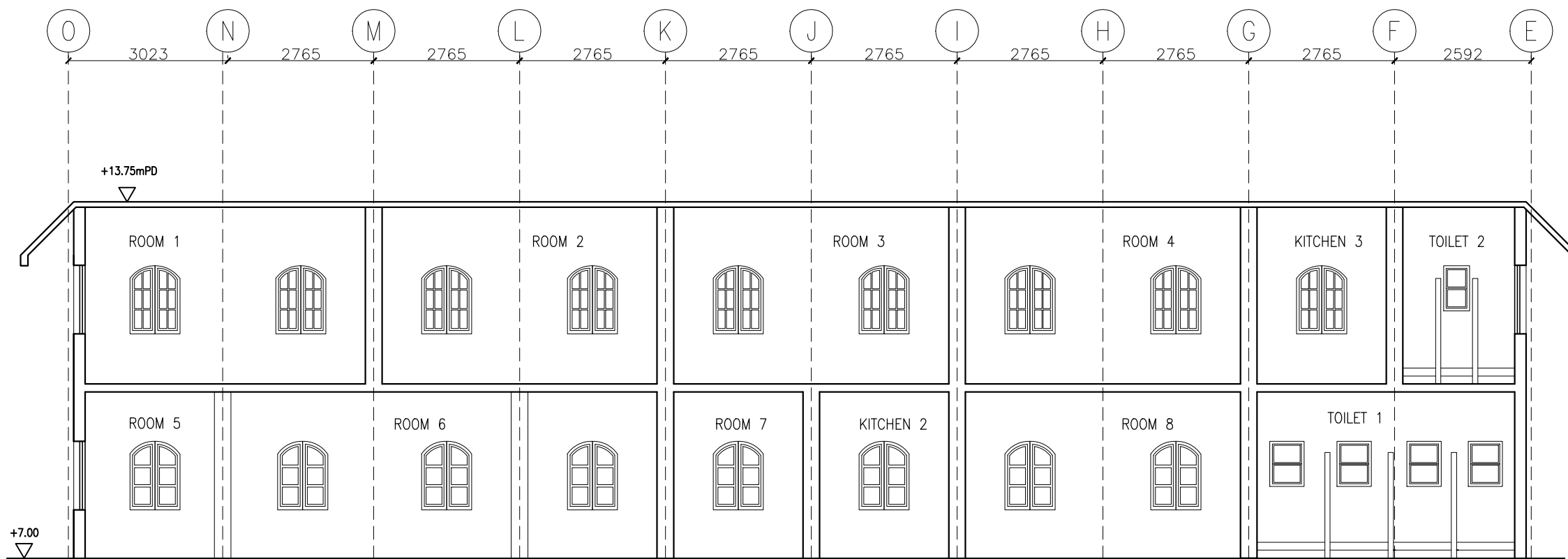
Drawing No.  
**TT-26**

STATUS:

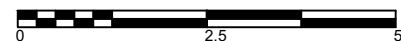




KEY PLAN



SECTION A-A



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

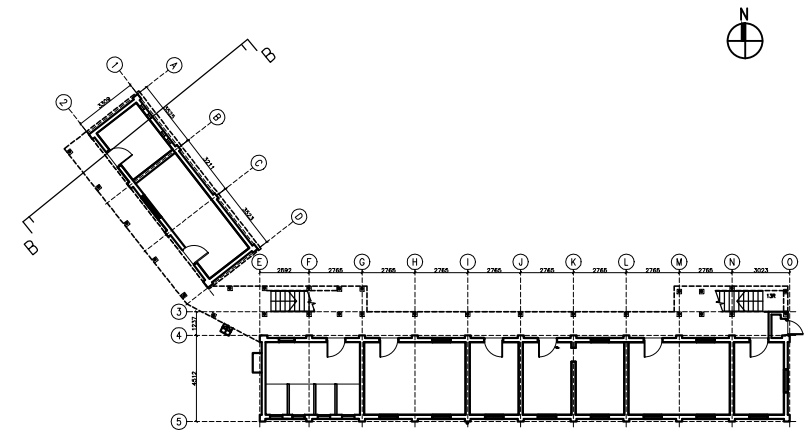
Job Title  
**Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong**

Drawing Title  
**SECTION A-A OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)**

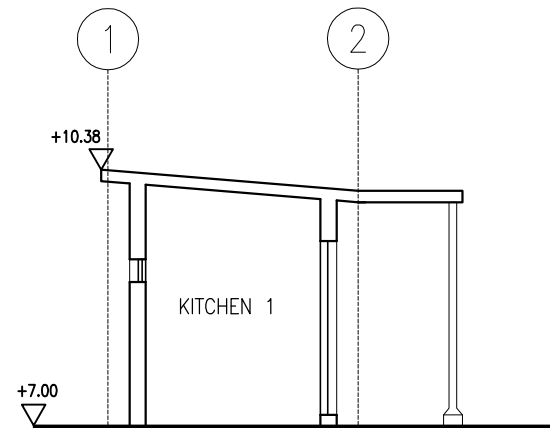
DATE	DRAWN	DESIGNED	CHECKED	SCALE	Title
07/08/2019	TC		NL	1:100 (A3)	

JOB NO: <b>HRT-04-2019</b>	Drawing No. <b>TT-27</b>
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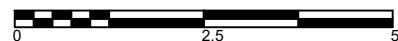
STATUS:



KEY PLAN



SECTION B-B



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

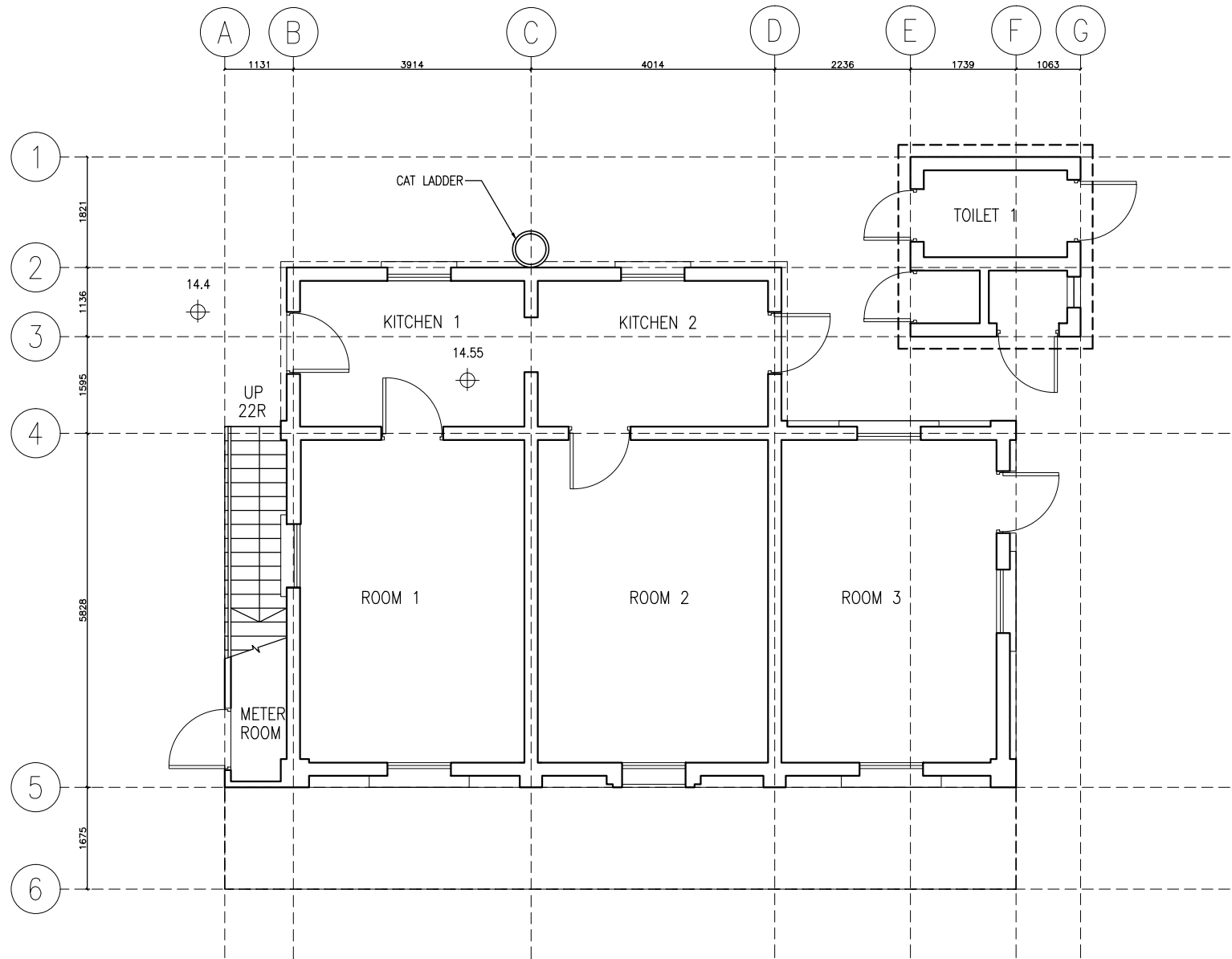
Drawing Title  
SECTION B-B OF STAFF QUARTER  
(MAIN BUILDING AND STORE BUILDING)

DATE	DRAWN	DESIGNED	CHECKED	SCALE Title
07/08/2019	TC		NL	1:100 (A3)

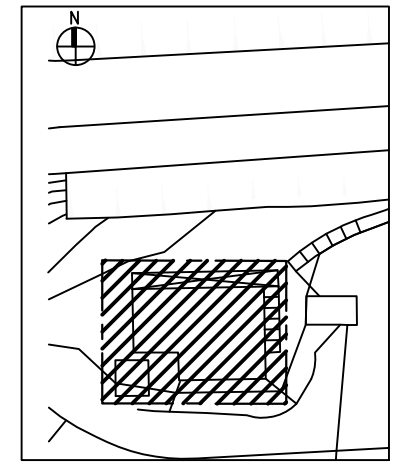
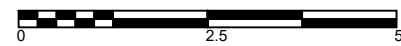
JOB NO:  
**HRT-04-2019**

Drawing No.  
**TT-28**

STATUS:



**NO.2 STAFF QUARTERS  
GROUND FLOOR PLAN**



KEY PLAN



ARCHITECTURAL SERVICES DEPARTMENT



SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

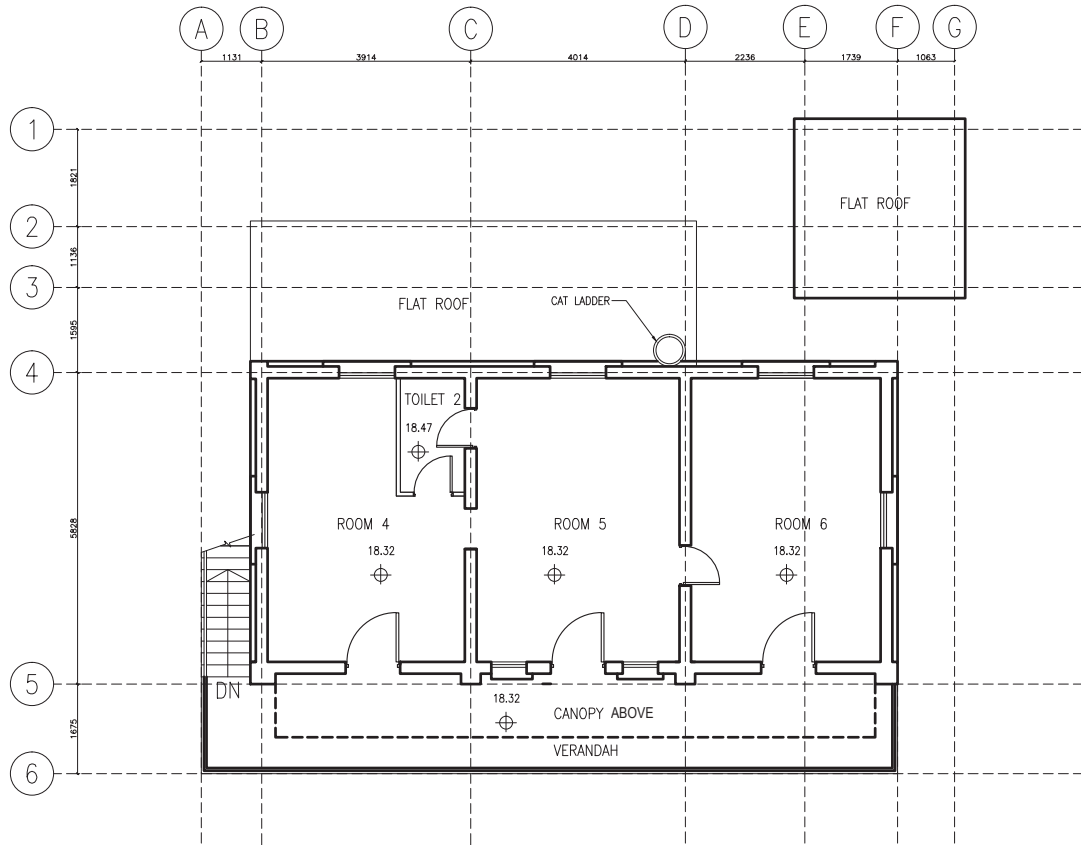
Job Title  
**Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong**

Drawing Title  
**GROUND FLOOR PLAN OF  
NO.2 STAFF QUARTERS  
& NO.2 STAFF QUARTERS-OUTBUILDING**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-29</b>
-------------------------------	-----------------------------

STATUS :



**NO.2 STAFF QUARTERS**  
**FIRST FLOOR PLAN**



ARCHITECTURAL SERVICES DEPARTMENT

Job Title  
**Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong**

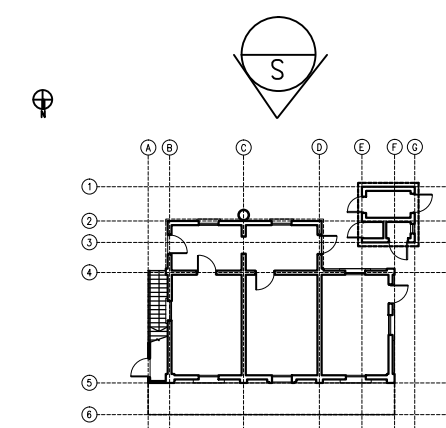
Drawing Title  
**FIRST FLOOR PLAN OF  
NO.2 STAFF QUARTERS  
& NO.2 STAFF QUARTERS-OUTBUILDING**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

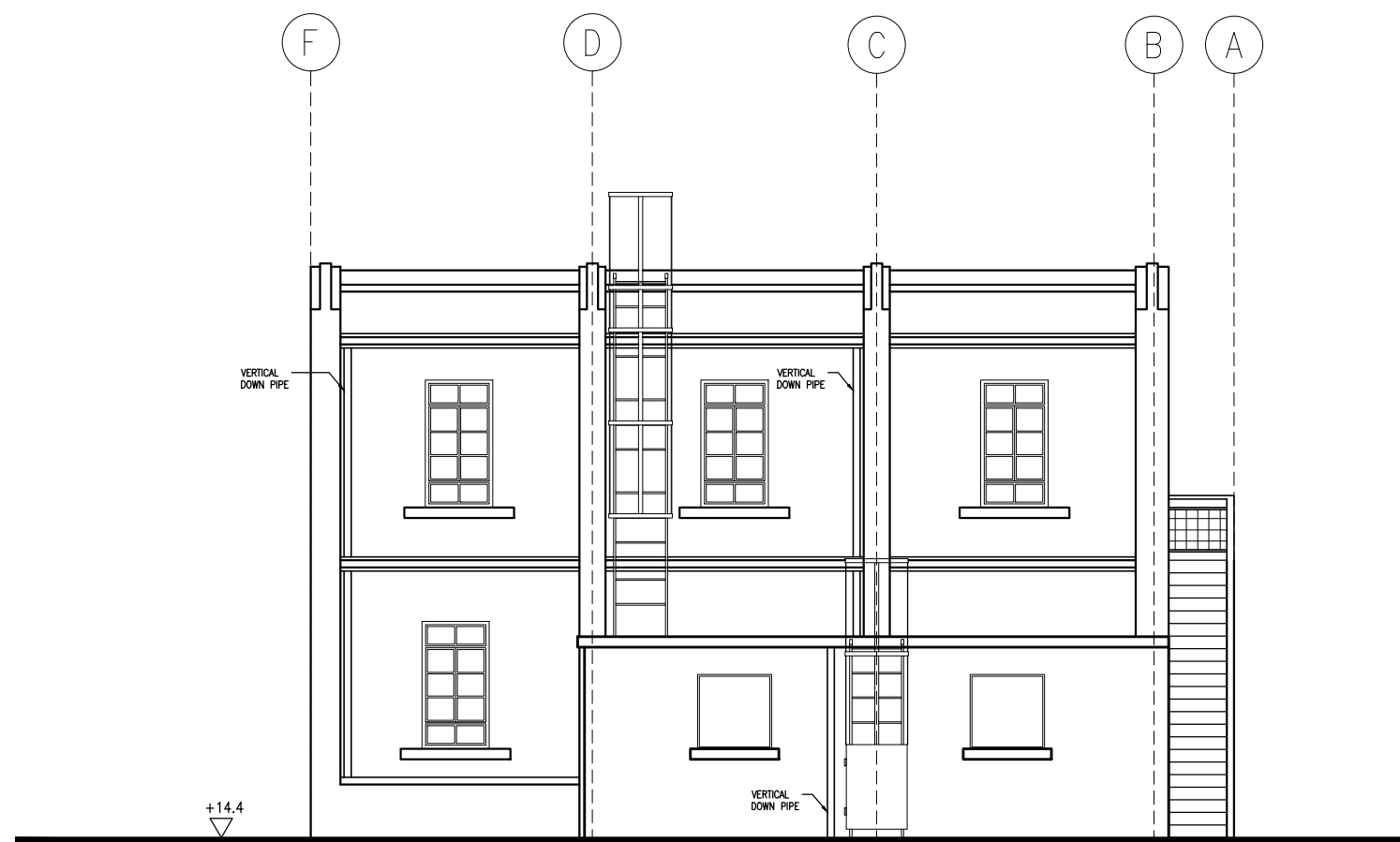
JOB NO.  
**HRT-04-2019**

Drawing No.  
**TT-30**

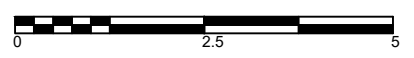
STATUS:




KEY PLAN




NO.2 STAFF QUARTERS  
SOUTH ELEVATION





ARCHITECTURAL SERVICES DEPARTMENT



ample  
SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

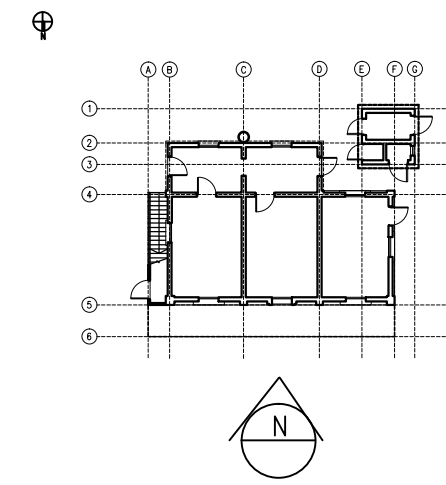
Job Title: Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

Drawing Title: SOUTH ELEVATION OF NO.2 STAFF QUARTERS

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO: **HRT-04-2019**      Drawing No. **TT-31**

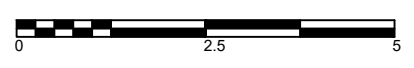
STATUS :





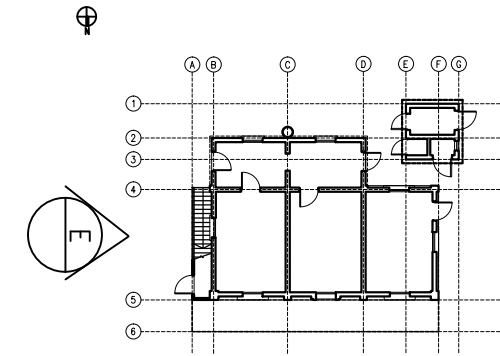
KEY PLAN



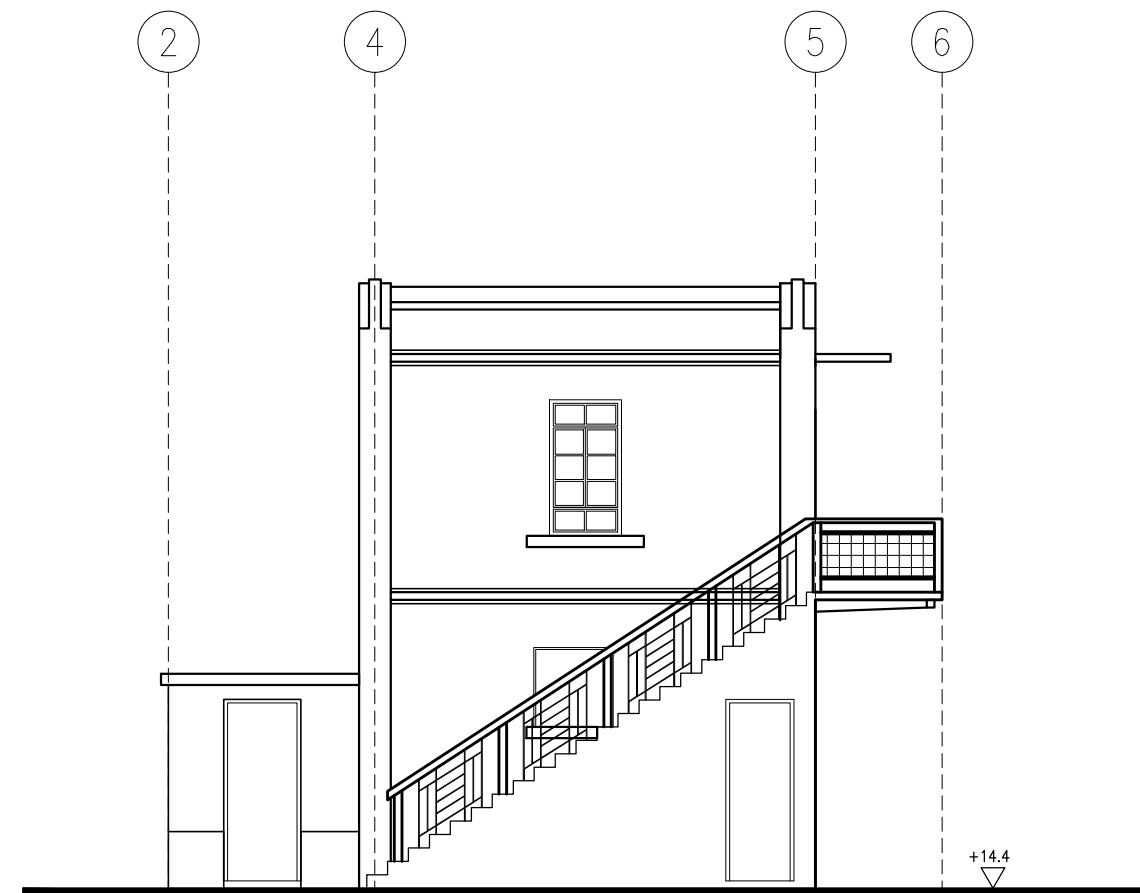
NO.2 STAFF QUARTERS  
NORTH ELEVATION



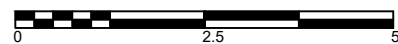
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>NORTH ELEVATION OF NO.2 STAFF QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-32</b>	
STATUS :				




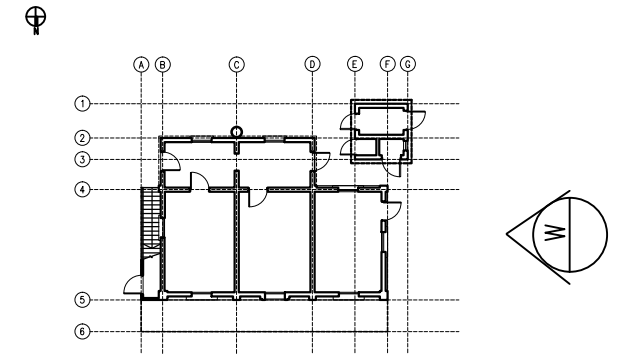
KEY PLAN



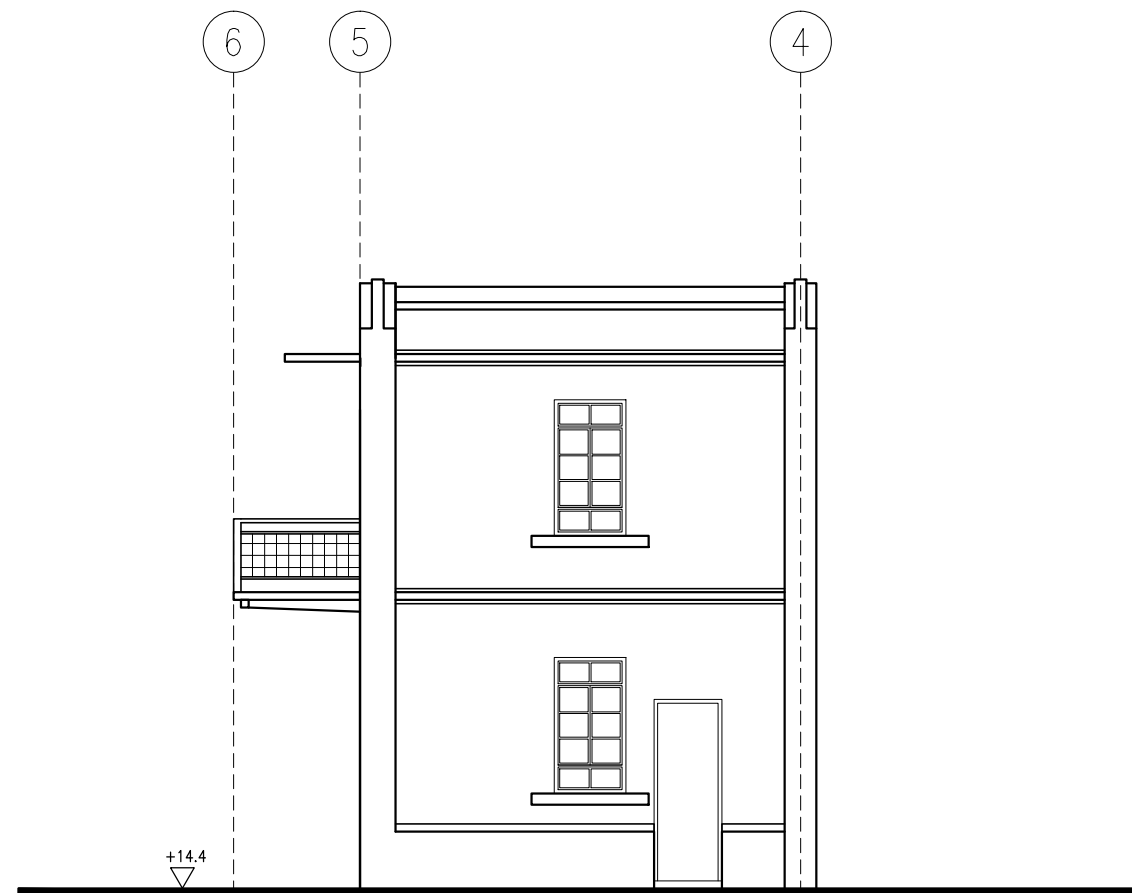
**NO.2 STAFF QUARTERS  
EAST ELEVATION**



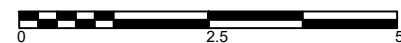
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>EAST ELEVATION OF NO.2 STAFF QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-33</b>	
STATUS :				





KEY PLAN

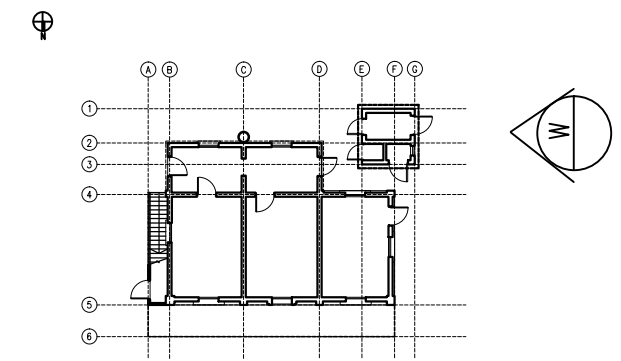


NO.2 STAFF QUARTERS  
WEST ELEVATION

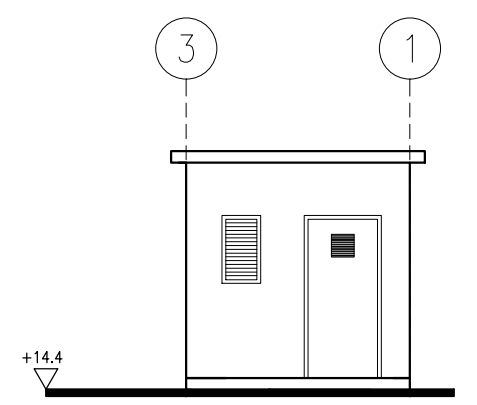


 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>WEST ELEVATION OF NO.2 STAFF QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-34</b>	
STATUS :				

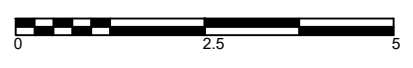






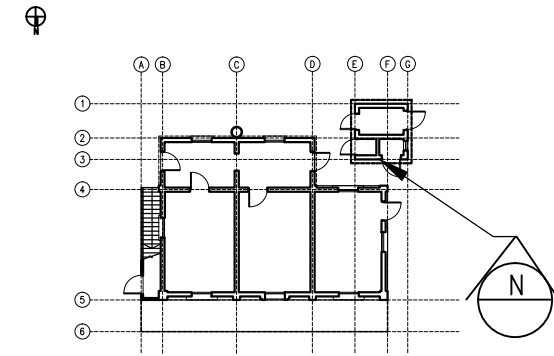
KEY PLAN



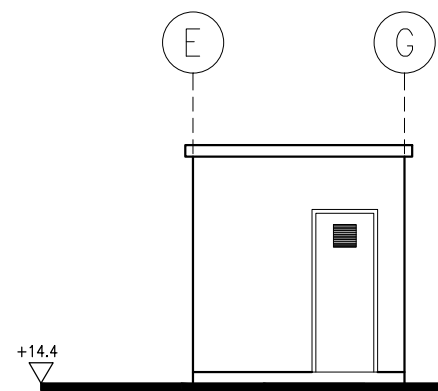
OUT BUILDING  
WEST ELEVATION



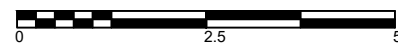
 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>WEST ELEVATION OF NO.2 STAFF QUARTERS-OUT BUILDING</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-35</b>	
STATUS :				



KEY PLAN



OUT BUILDING  
NORTH ELEVATION



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

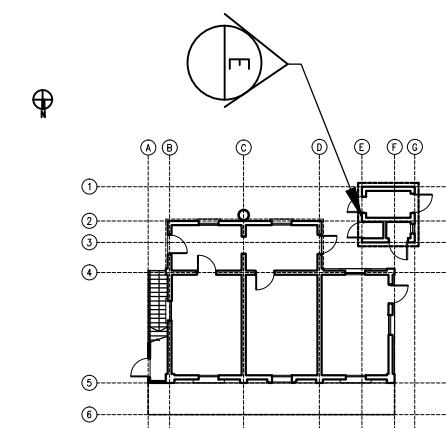
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
NORTH ELEVATION OF  
NO.2 STAFF QUARTERS-OUT BUILDING

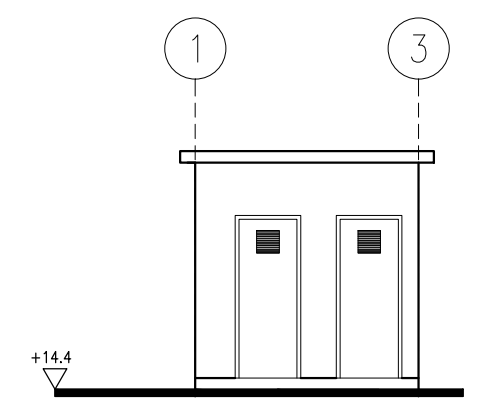
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-36</b>
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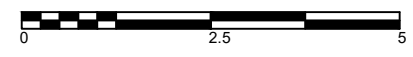
STATUS :





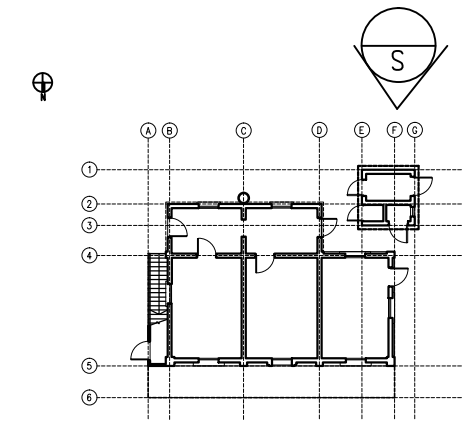
KEY PLAN



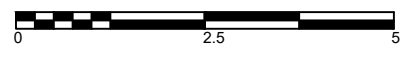
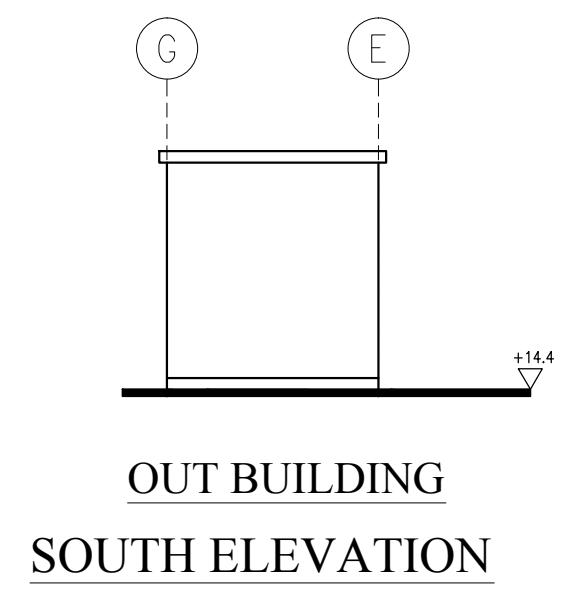
OUT BUILDING  
EAST ELEVATION




 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>EAST ELEVATION OF NO.2 STAFF QUARTERS-OUT BUILDING</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-37</b>	
STATUS : _____				




KEY PLAN





ARCHITECTURAL SERVICES DEPARTMENT



**ample**  
SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

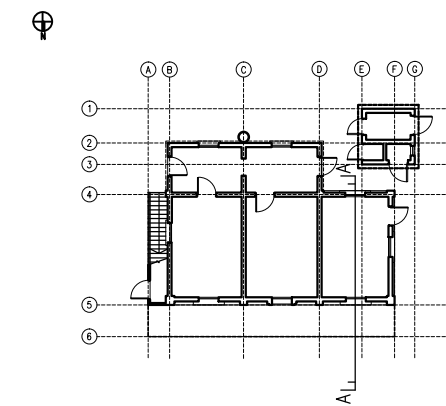
Job Title  
Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

Drawing Title  
SOUTH ELEVATION OF NO.2 STAFF QUARTERS-OUT BUILDING

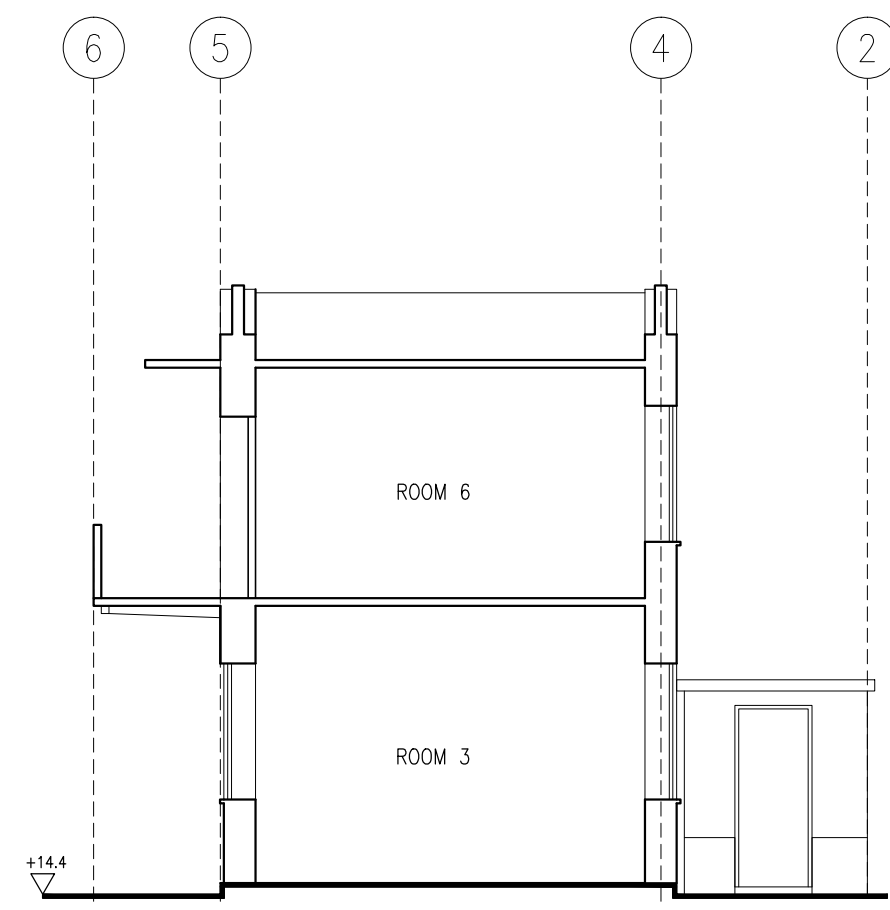
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. **HRT-04-2019**      Drawing No. **TT-38**

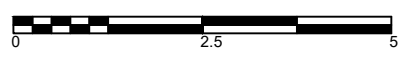
STATUS :





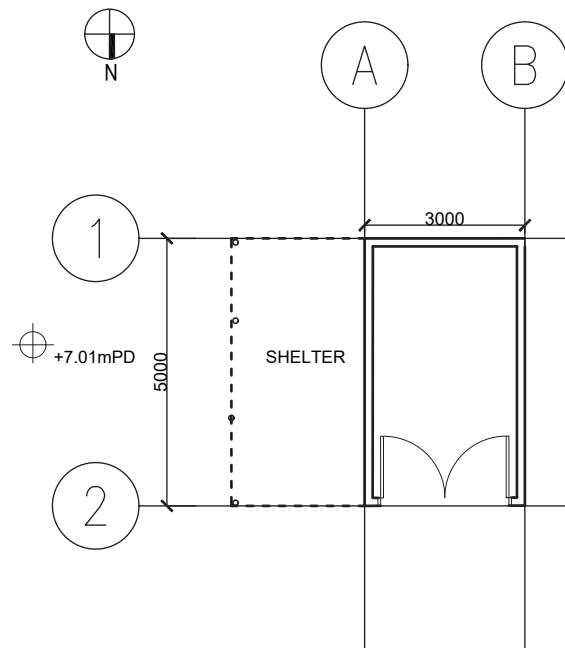
KEY PLAN



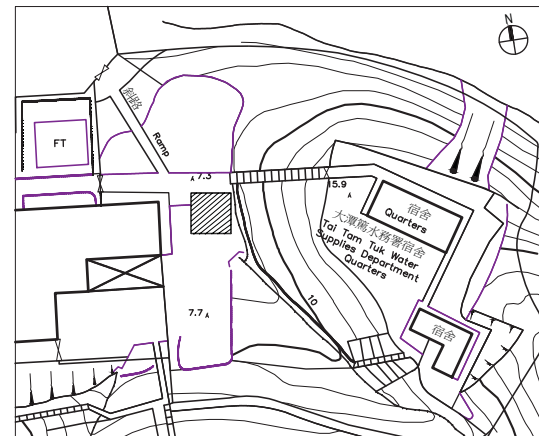
NO.2 STAFF QUARTERS  
SECTION A-A



 ARCHITECTURAL SERVICES DEPARTMENT				
 <b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title <b>Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong</b>				
Drawing Title <b>SECTION A-A OF NO.2 STAFF QUARTERS</b>				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)
JOB NO. <b>HRT-04-2019</b>			Drawing No. <b>TT-39</b>	
STATUS :				



# PLAN OF GARAGE



KEY PLAN



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

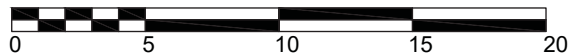
Job Title  
Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

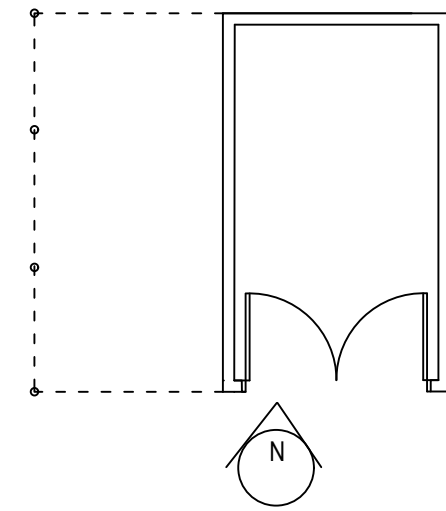
Drawing Title  
**PLAN OF GARAGE**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

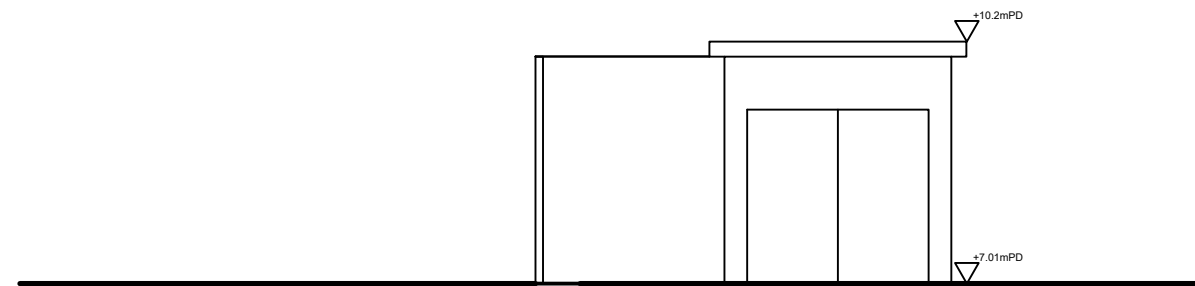
JOB NO. HRT-04-2019 Drawing No. TT-40

STATUS:





KEY PLAN



# NORTH ELEVATION OF GARAGE



ARCHITECTURAL SERVICES DEPARTMENT



SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

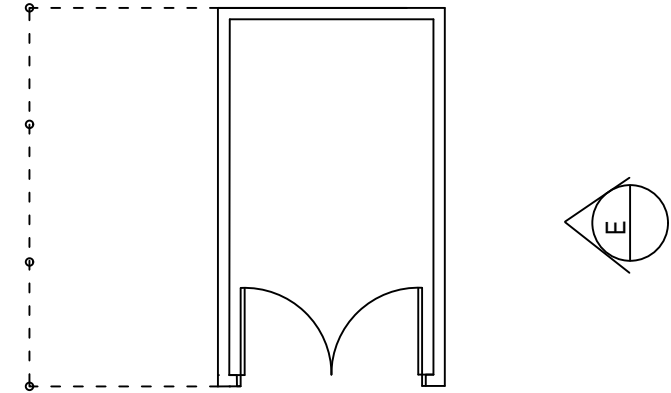
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
NORTH ELEVATION OF GARAGE

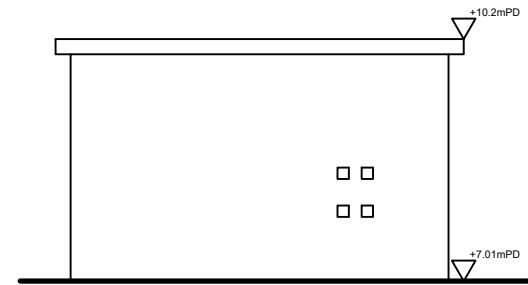
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. HRT-04-2019	Drawing No. TT-41
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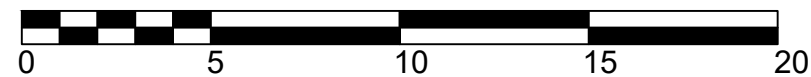
STATUS :



KEY PLAN



# EAST ELEVATION OF GARAGE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

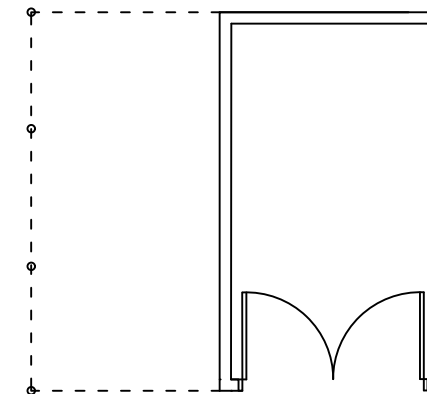
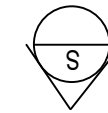
Drawing Title  
**EAST ELEVATION OF GARAGE**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

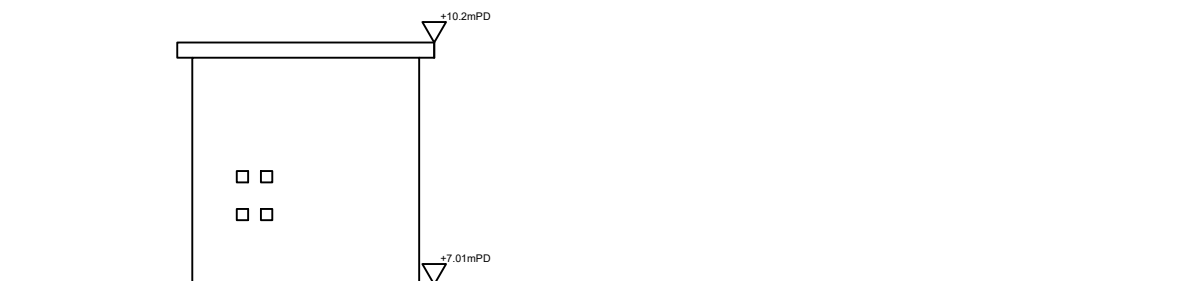
JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-42</b>
-------------------------------	-----------------------------

STATUS :





KEY PLAN



# SOUTH ELEVATION OF GARAGE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

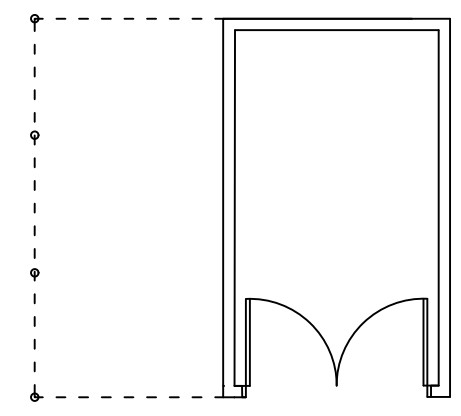
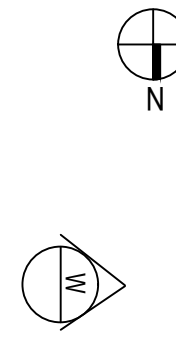
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
**SOUTH ELEVATION OF GARAGE**

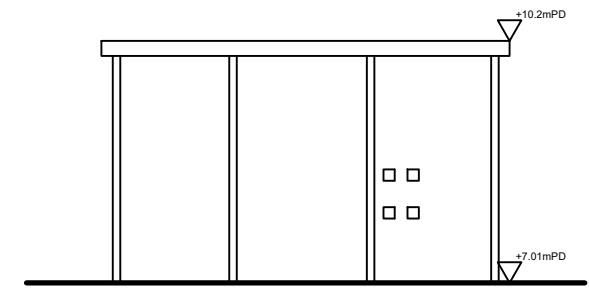
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-43</b>
-------------------------------	-----------------------------

STATUS:




KEY PLAN




# WEST ELEVATION OF GARAGE





ARCHITECTURAL SERVICES DEPARTMENT



ample  
SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

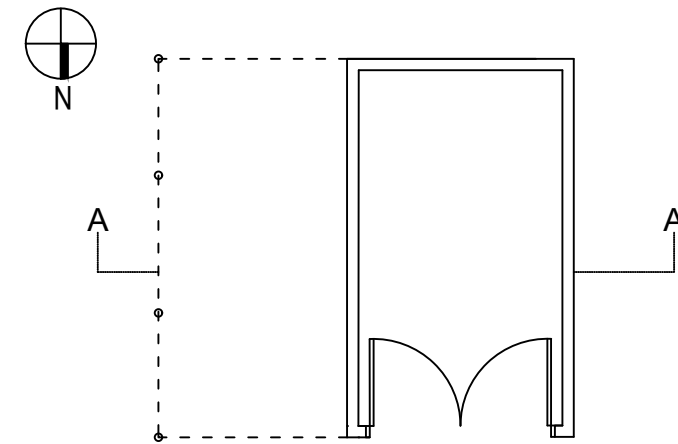
Job Title: Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

Drawing Title: WEST ELEVATION OF GARAGE

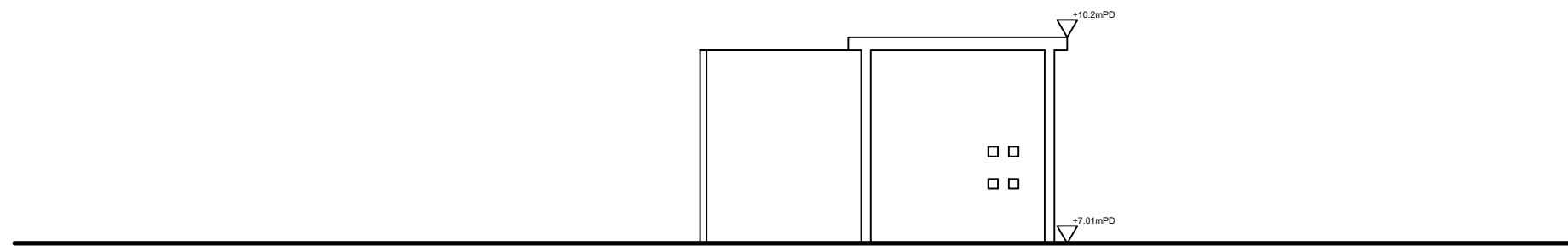
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO.: HRT-04-2019      Drawing No.: TT-44

STATUS:



KEY PLAN



# SECTION A-A OF GARAGE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

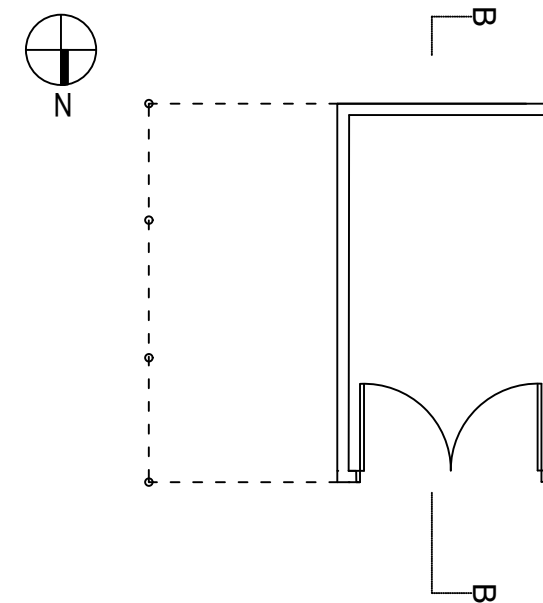
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
**SECTION A-A OF GARAGE**

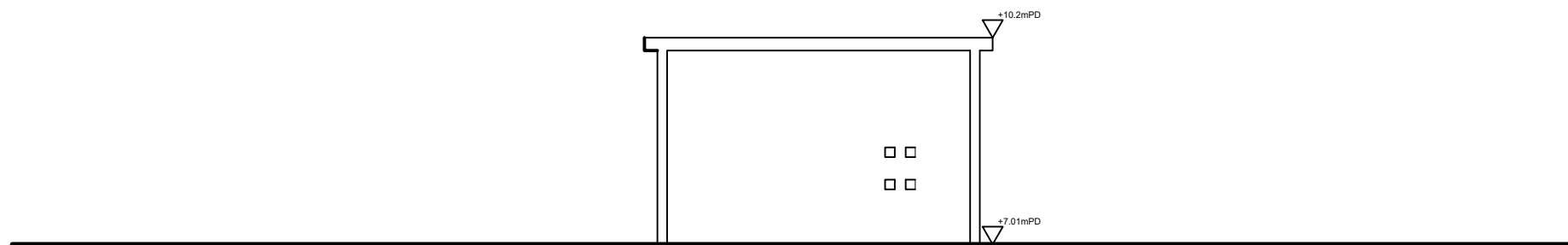
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07/08/2019	TC		NL	1:100 (A3)

JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-45</b>
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STATUS :



KEY PLAN



# SECTION B-B OF GARAGE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

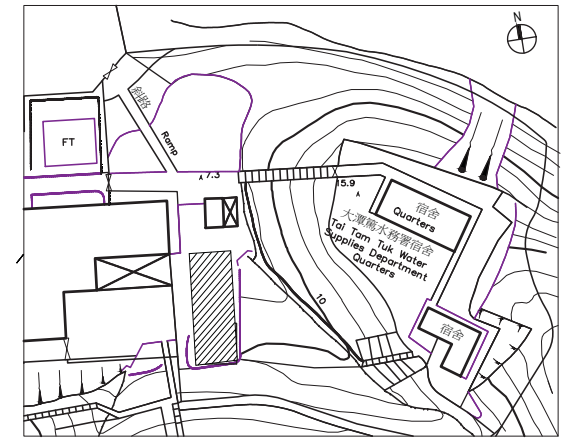
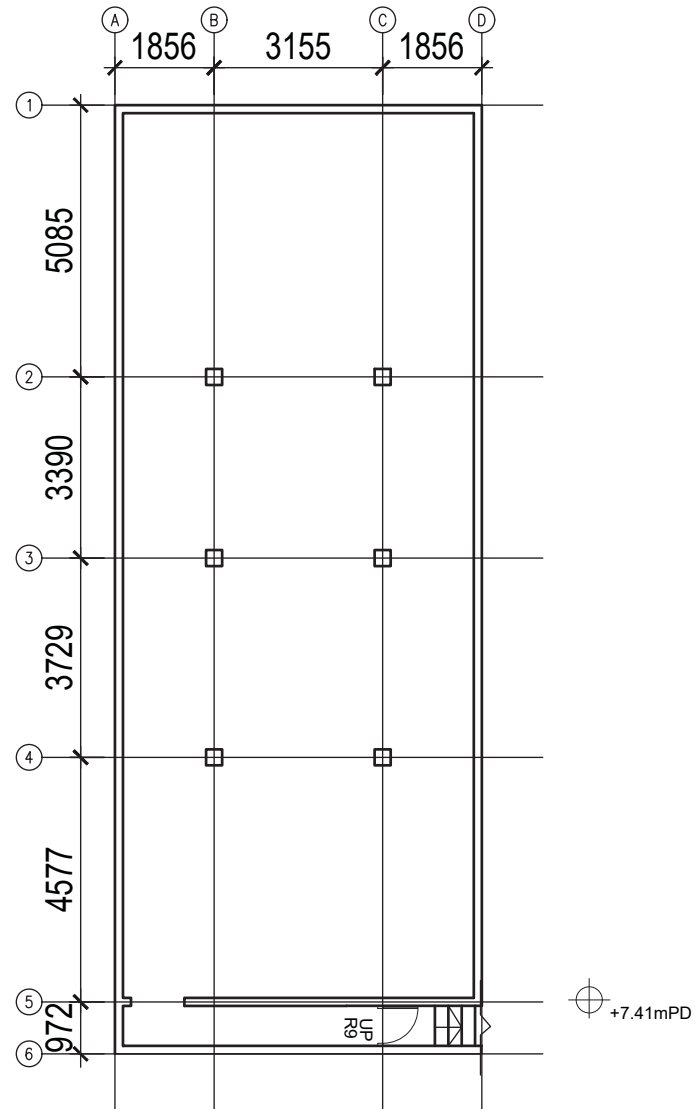
Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
**SECTION B-B OF GARAGE**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

JOB NO. <b>HRT-04-2019</b>	Drawing No. <b>TT-46</b>
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STATUS :



KEY PLAN



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

Drawing Title  
PLAN OF UNDERGROUND CELLAR

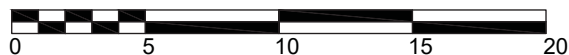
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

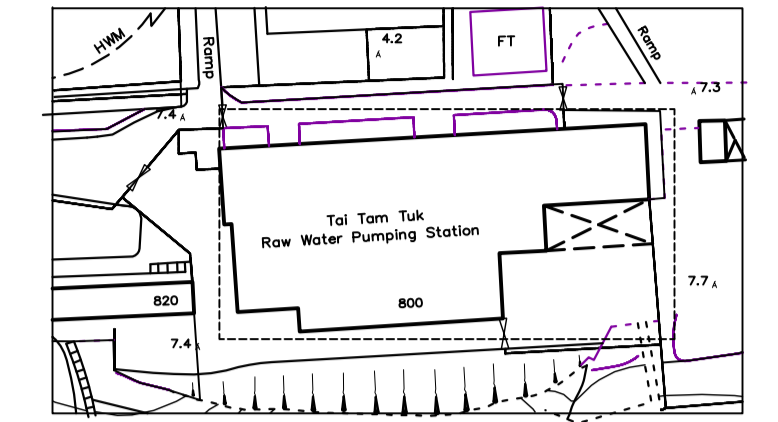
JOB NO.  
HRT-04-2019

Drawing No.  
TT-47

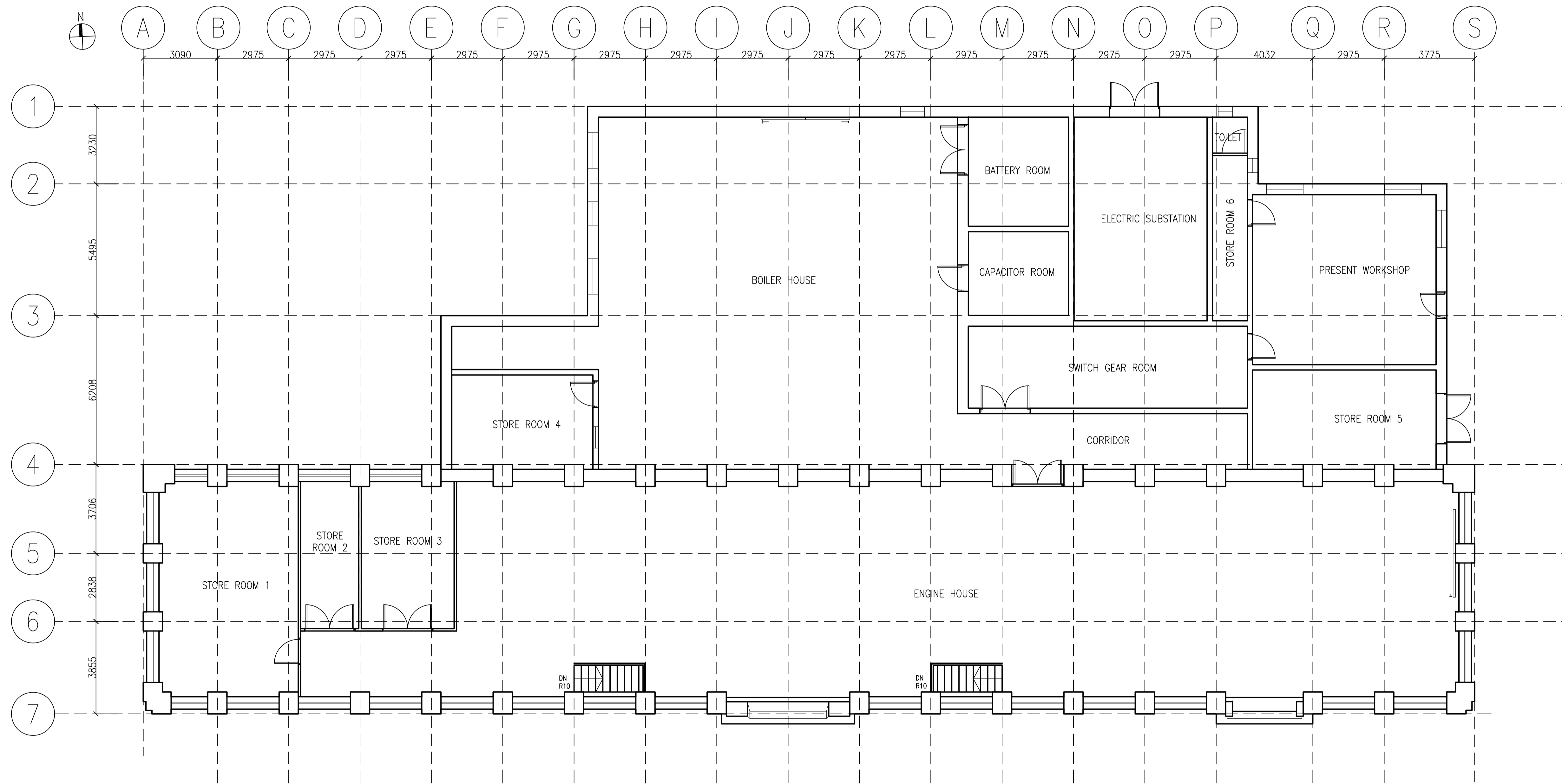
STATUS:

# PLAN OF UNDERGROUND CELLAR





KEY PLAN



# GROUND FLOOR PLAN





ARCHITECTURAL SERVICES DEPARTMENT



安普測量顧問有限公司

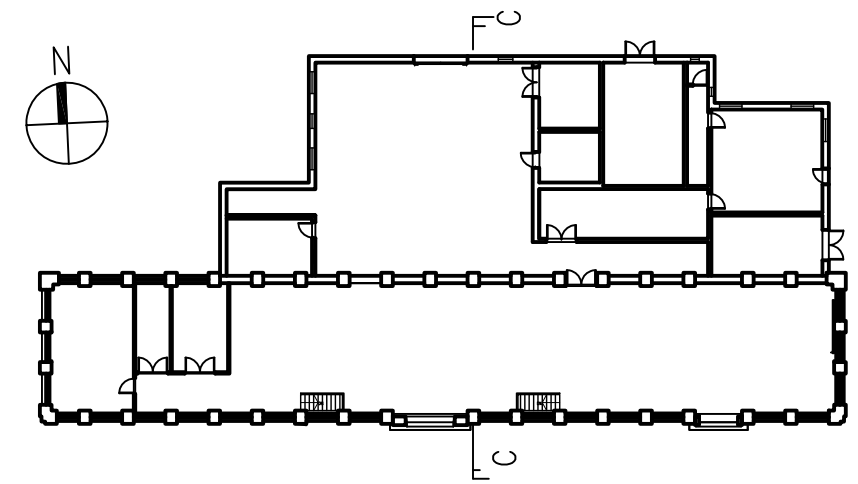
Job Title: Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong

Drawing Title: GROUND FLOOR PLAN OF MAIN BUILDING OF PUMPING STATION

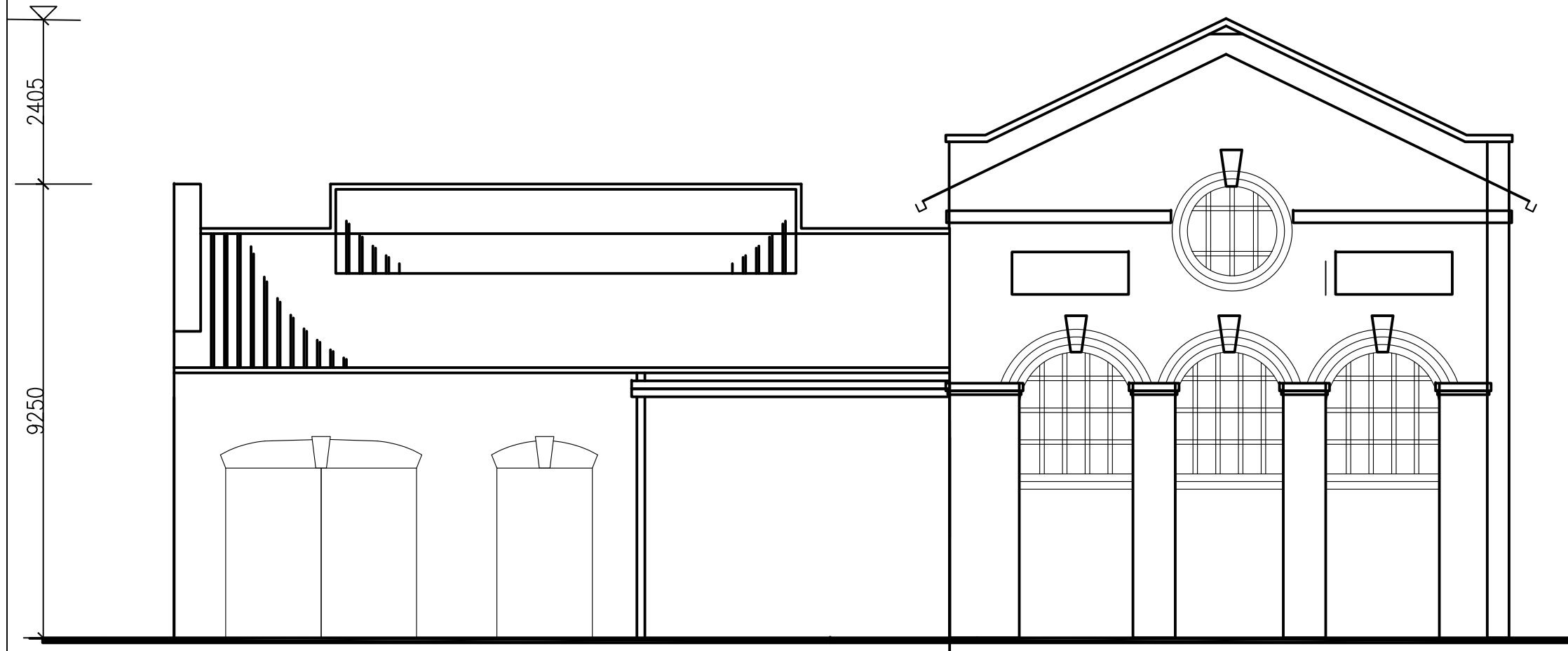
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A1)

JOB No: HRT-04-2019 Drawing No: TT-48

STATUS:



KEY PLAN



CROSS SECTION AT C, C'



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
Resource Kit for Tai Tam Tuk Raw  
Water Pumping Station and Staff  
Quarters, Tai Tam Reservoir  
Road, Tai Tam, Hong Kong

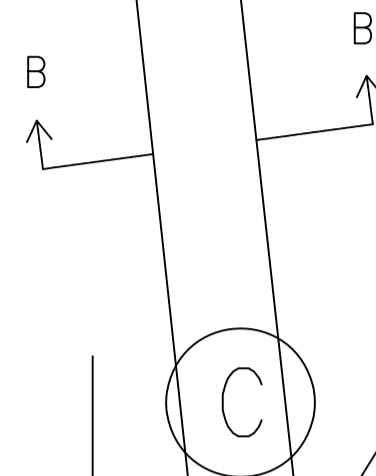
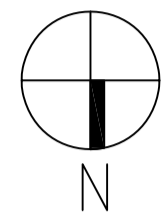
Drawing Title  
SECTION C-C OF MAIN BUILDING OF PUMPING STATION

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

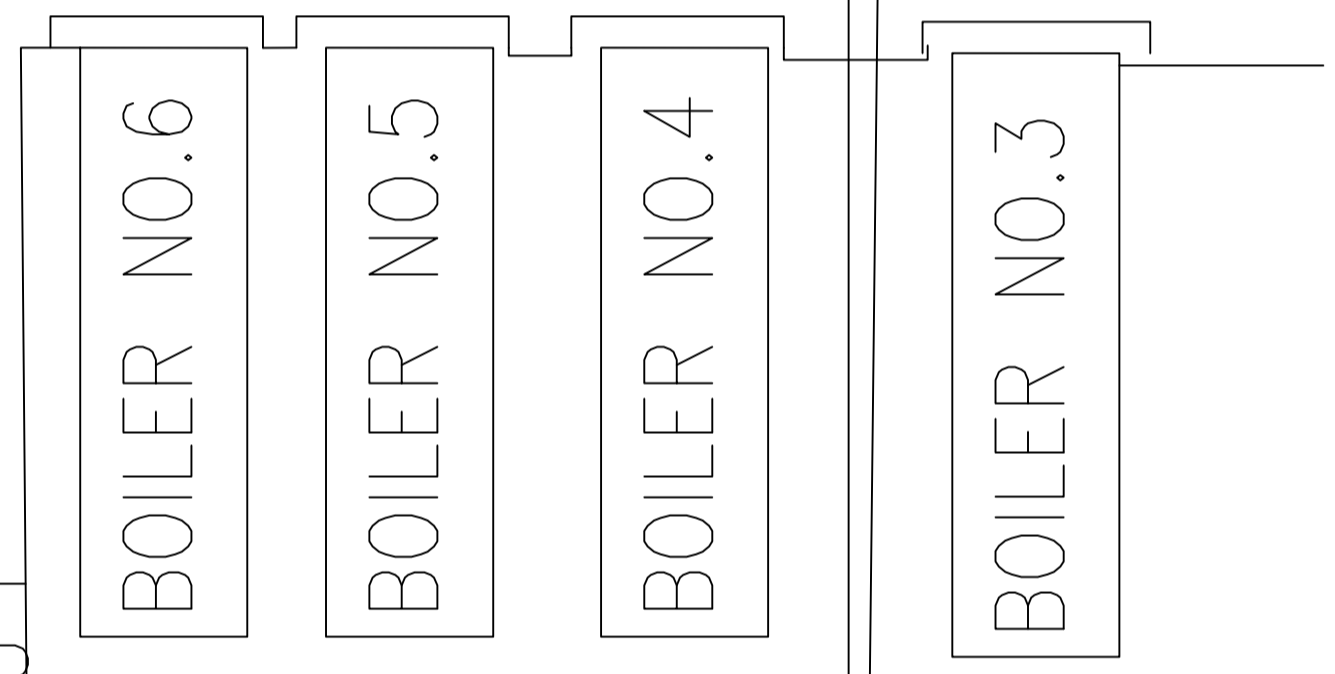
JOB NO:  
**HRT-04-2019**

Drawing No.  
**TT-49**

STATUS:



BOILER HOUSE

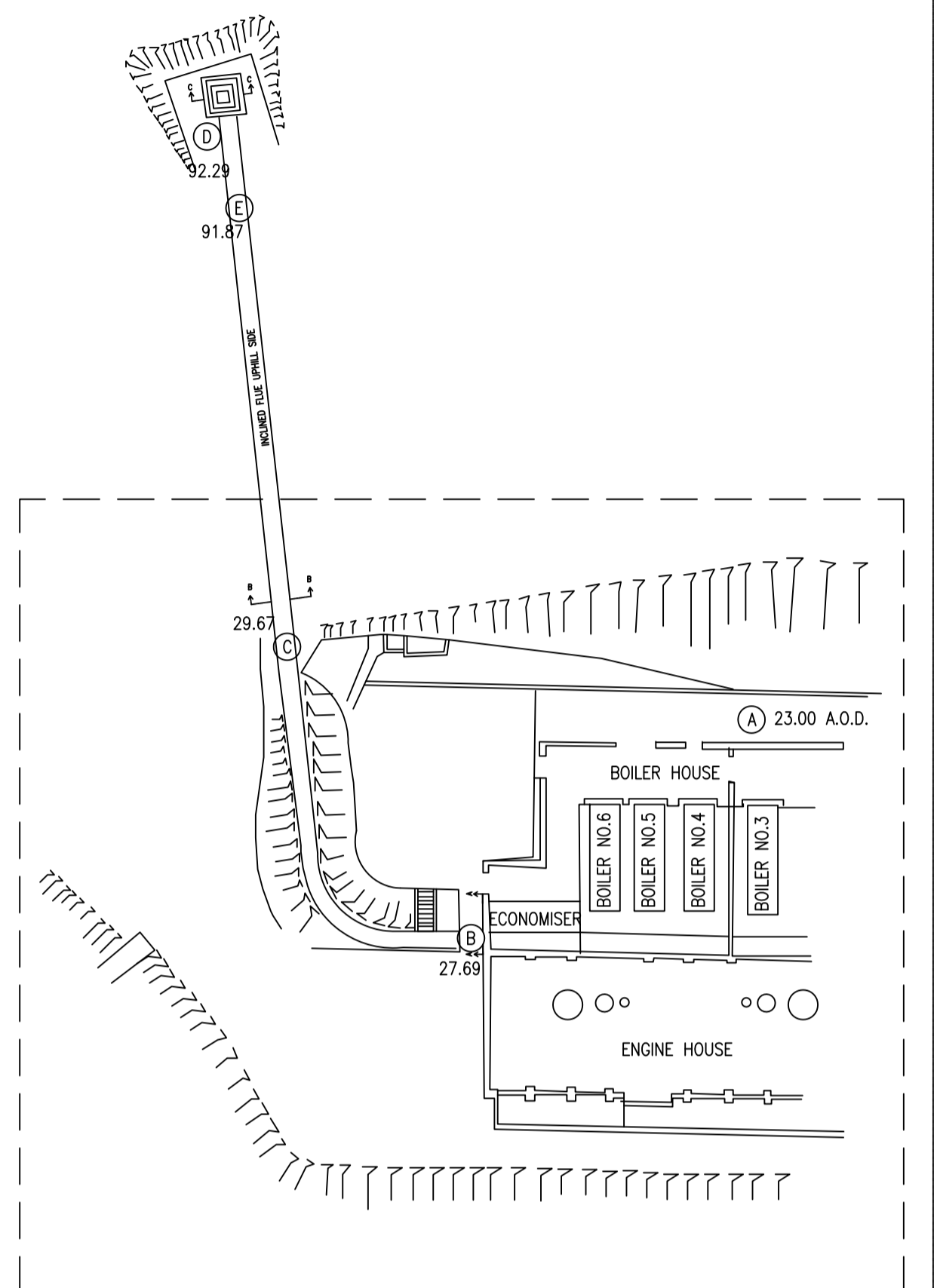
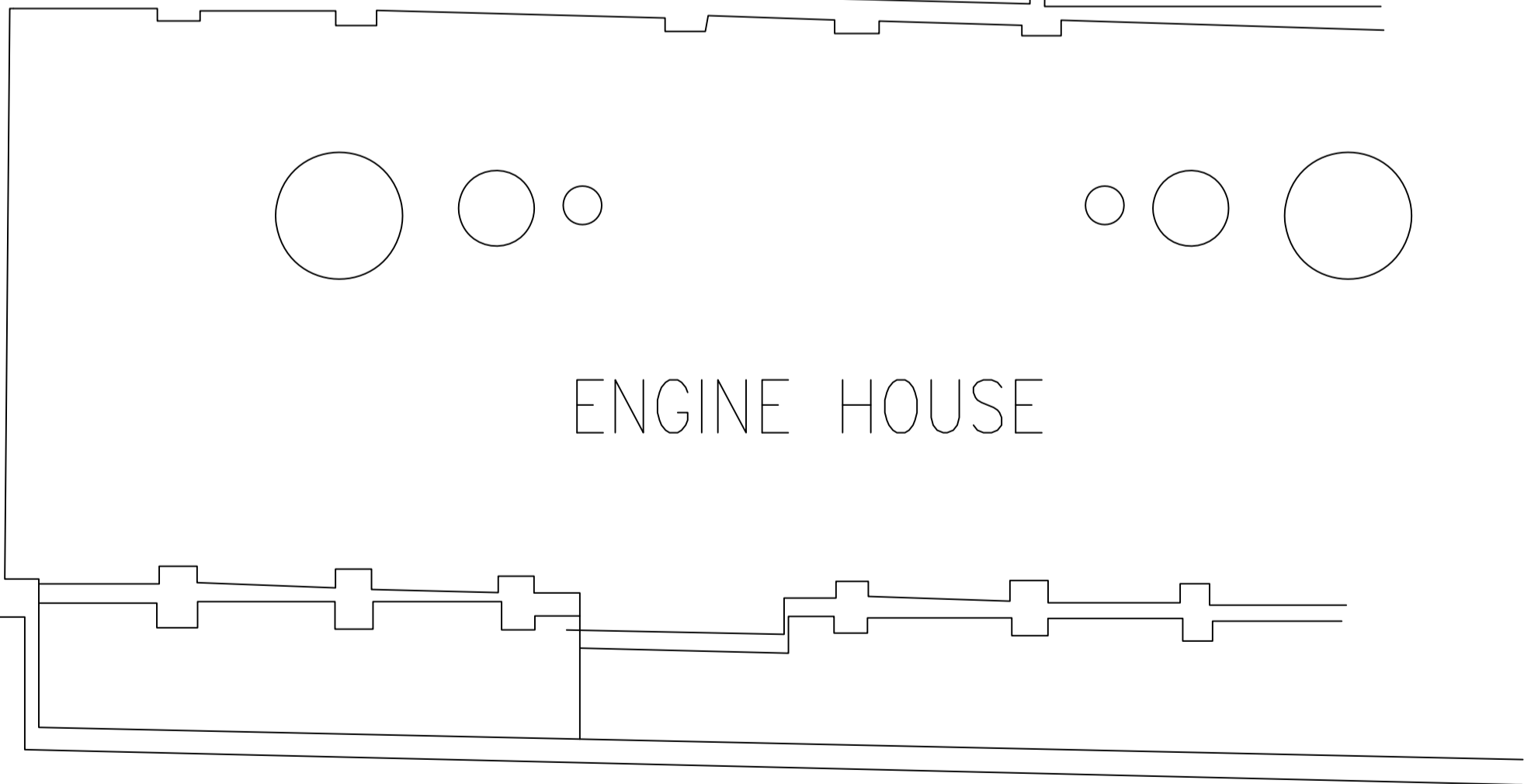


ECONOMISER



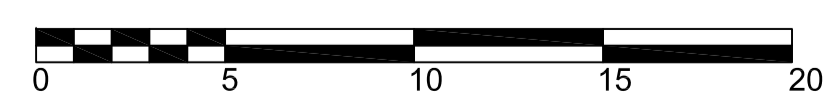
7.33


ENGINE HOUSE



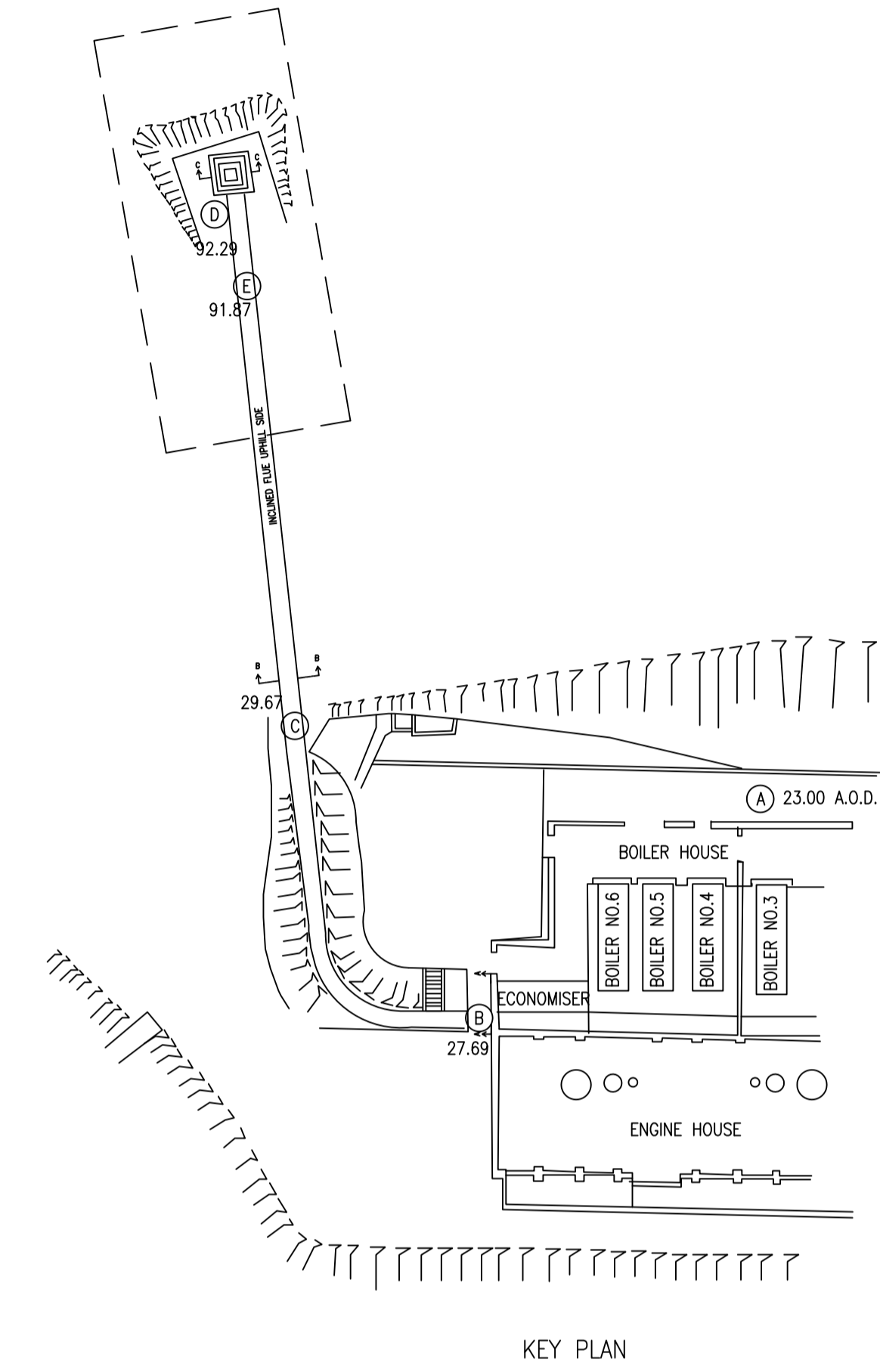
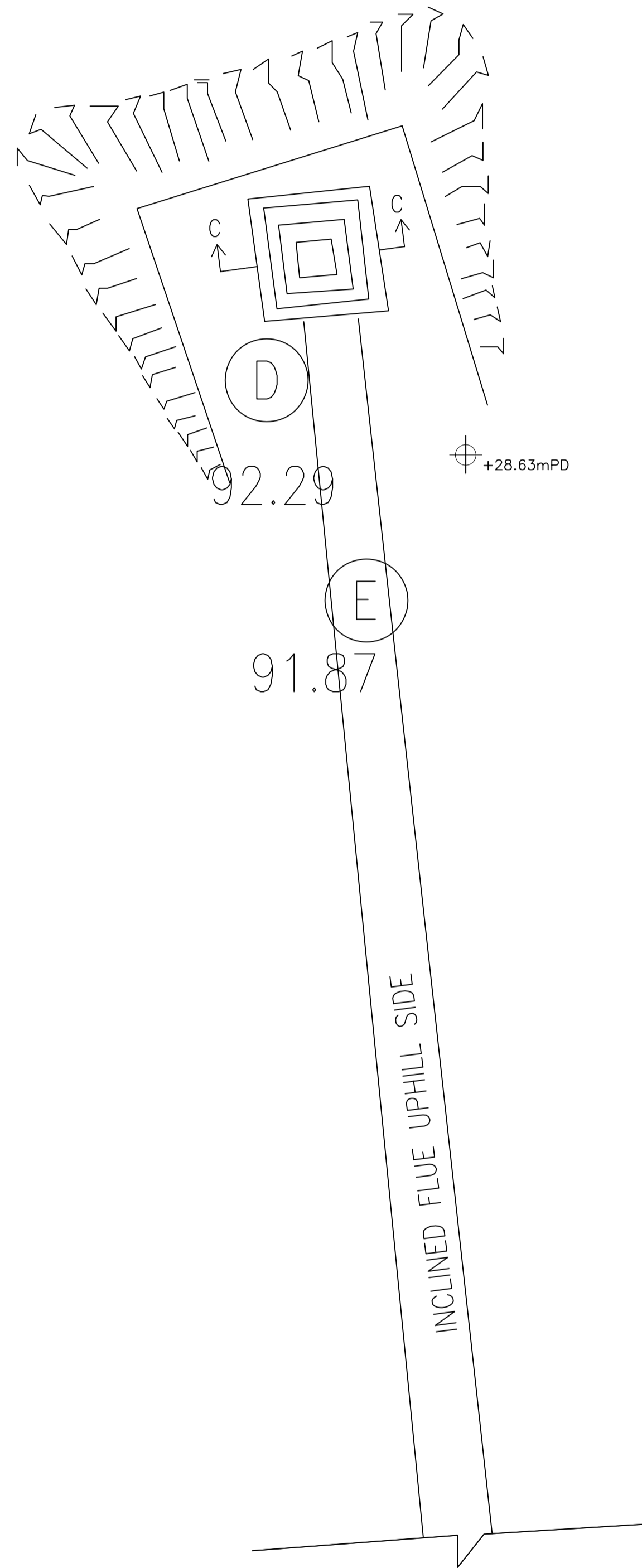
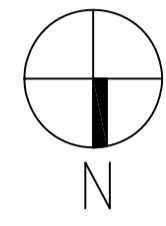
KEY PLAN

# PLAN PART A





 ARCHITECTURAL SERVICES DEPARTMENT				
<b>ample</b> SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong				
Drawing Title PLAN (PART A) OF CHIMNEY SHAFT AND ITS FLUE				
DATE	DRAWN	DESIGNED	CHECKED	SCALE
07/08/2019	TC		NL	1:100 (A1)
JOB No. HRT-04-2019			Drawing No. TT-50	
STATUS:				

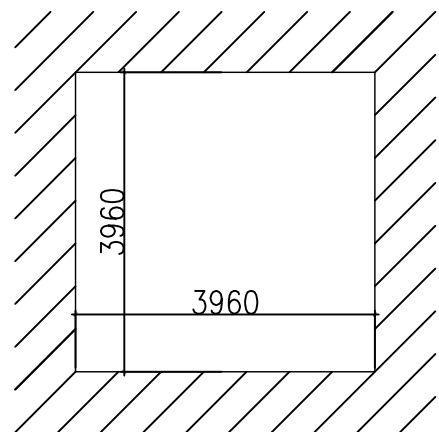




# PLAN PART B

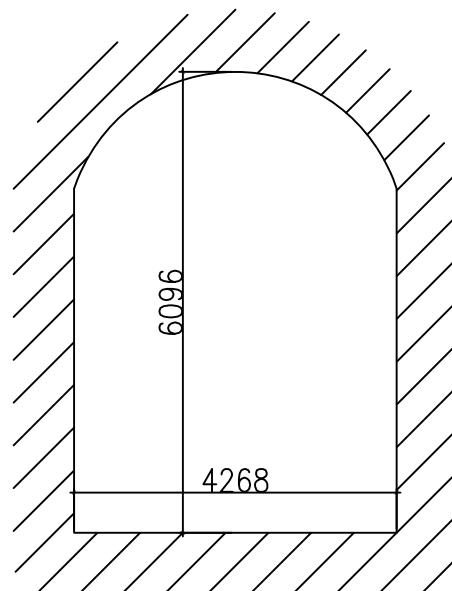


 ARCHITECTURAL SERVICES DEPARTMENT				
 SURVEYOR SERVICES LIMITED 安普測量顧問有限公司				
Job Title Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong				
Drawing Title PLAN (PART B) OF CHIMNEY SHAFT AND ITS FLUE				
DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A1)
JOB No. HRT-04-2019			Drawing No. TT-51	
STATUS:				



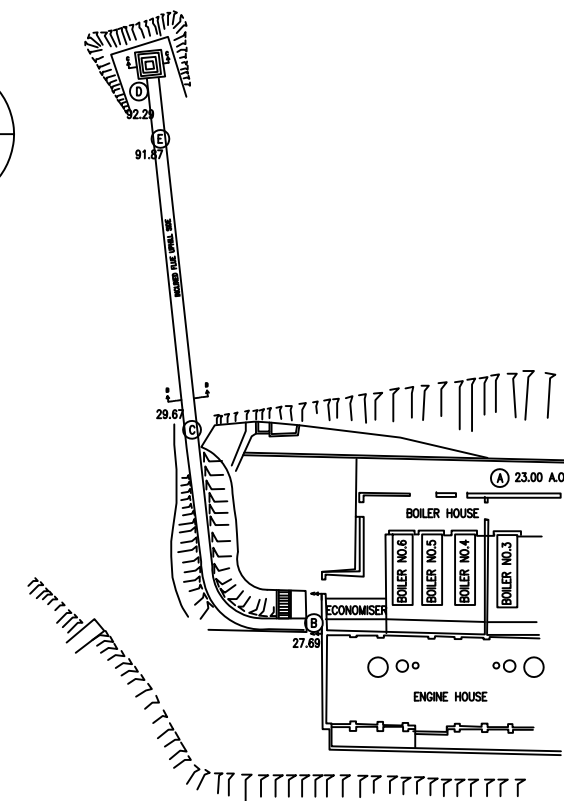
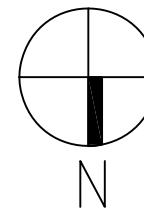
PLAN

CLEAR OPENING OF SHAFT (CHIMNEY) AT BASE

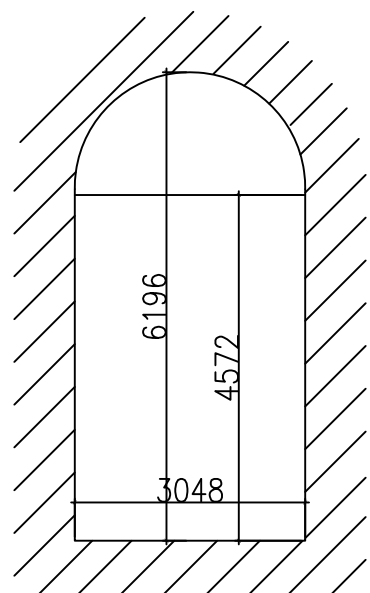


SECTION

CLEAR OPENING OF FLUE AT SECTION A-A

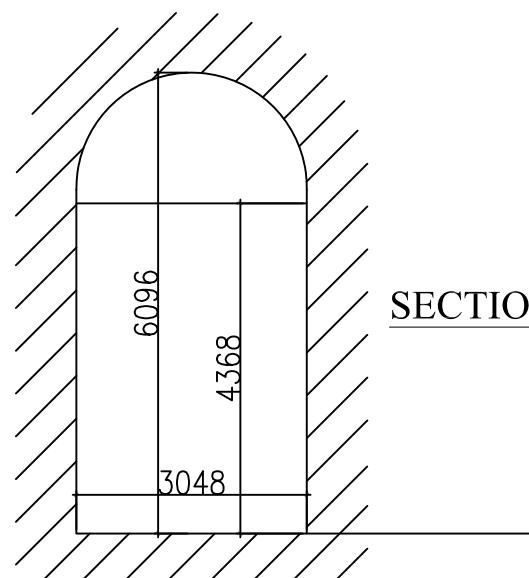


KEY PLAN



SECTION

CLEAR OPENING OF FLUE AT SECTION B-B



SECTION

CLEAR OPENING OF FLUE AT SECTION C-C



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

SURVEYOR SERVICES LIMITED  
安普測量顧問有限公司

Job Title  
**Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong**

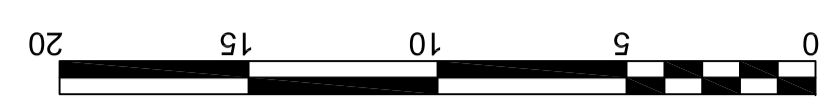
Drawing Title  
**SECTIONS OF CHIMNEY SHAFT AND ITS FLUE**

DATE	DRAWN	DESIGNED	CHECKED	
07/08/2019	TC		NL	1:100 (A3)

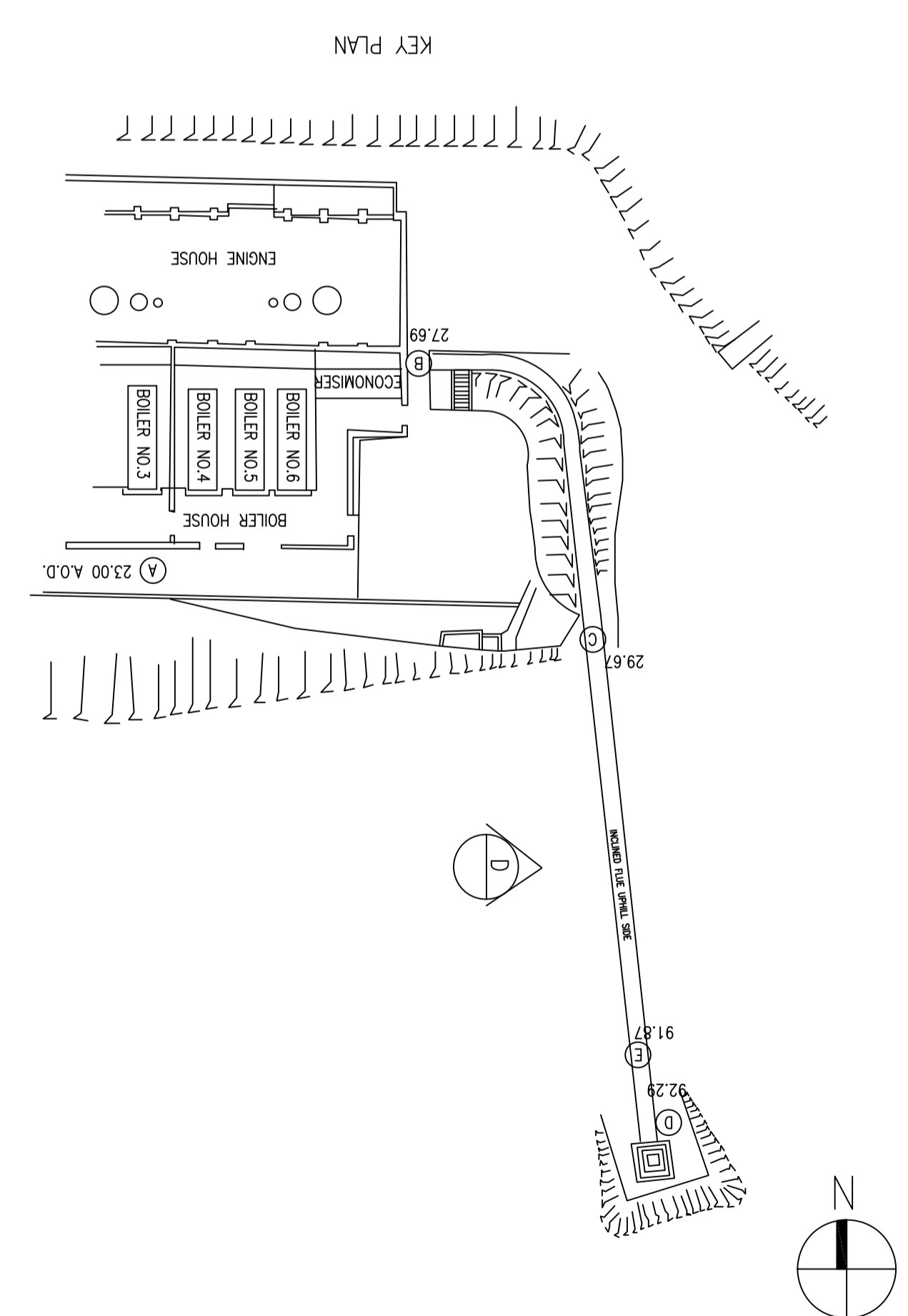
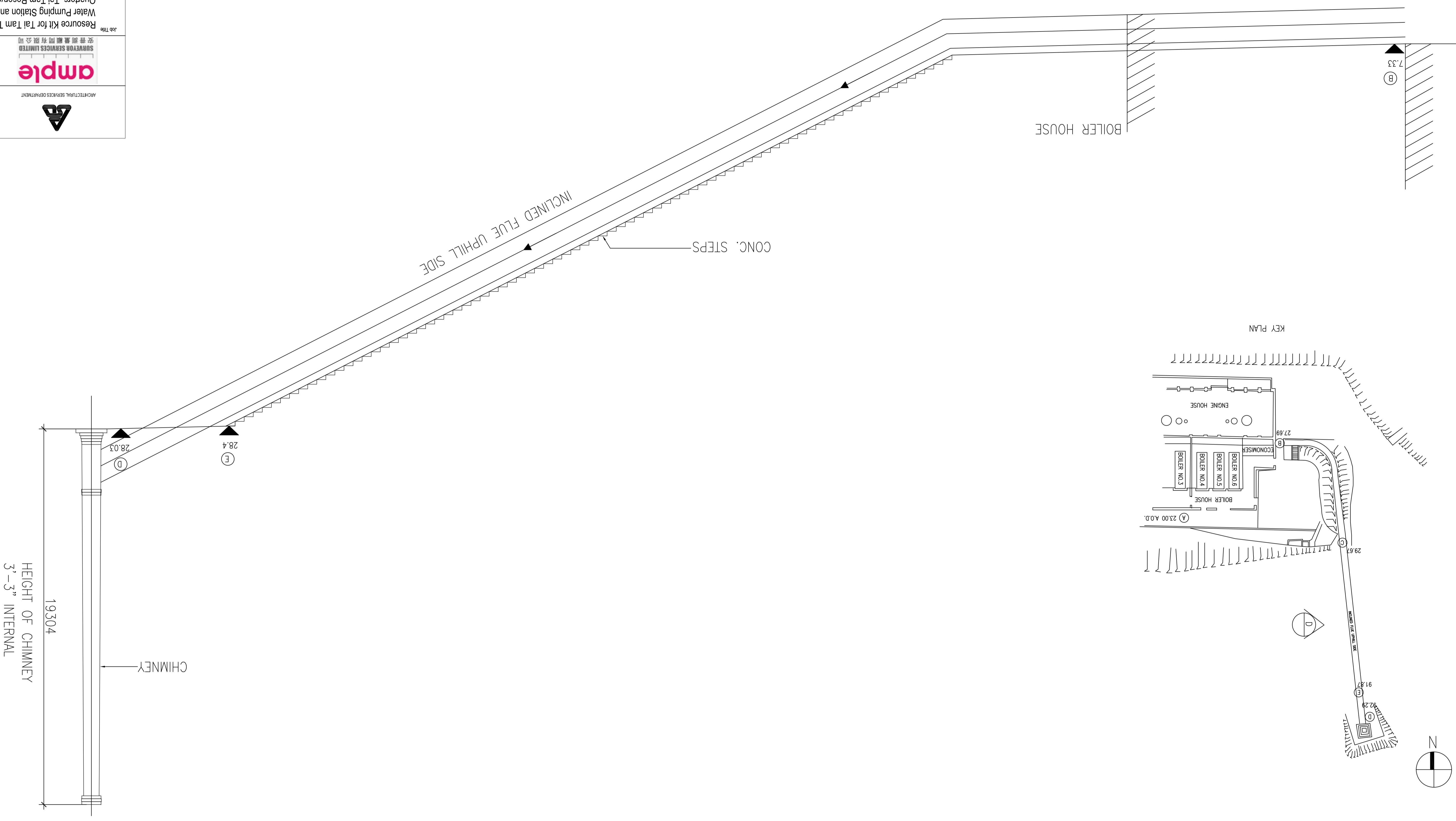
JOB NO: <b>HRT-04-2019</b>	Drawing No. <b>TT-52</b>
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STATUS:

# ELEVATION ALONG D-D



STAGES		JOB No.	
TT-53		HRT-04-2019	
Drawing No.		DATE	
07/08/2019		07/08/2019	
1:100		1:100	
NL		TC	
CHECKED		DESIGNED	
DRAWN		DATE	
ELEVATION D-D OF CHIMNEY SHAFT AND ITS FLUE		Resource Kit for Tai Tam Tuk Raw Water Pumping Station and Staff Quarters, Tai Tam Reservoir Road, Tai Tam, Hong Kong	
Job Title		ARCHITECTURAL SERVICES DEPARTMENT	
SUNTEGA SERVICES LIMITED		ample	



HEIGHT OF CHIMNEY  
3'-3" INTERNAL

CHIMNEY

BOILER HOUSE

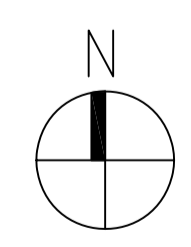
INCLINED FLUE UPHILL SIDE

CONC. STEPS

28.03

28.4

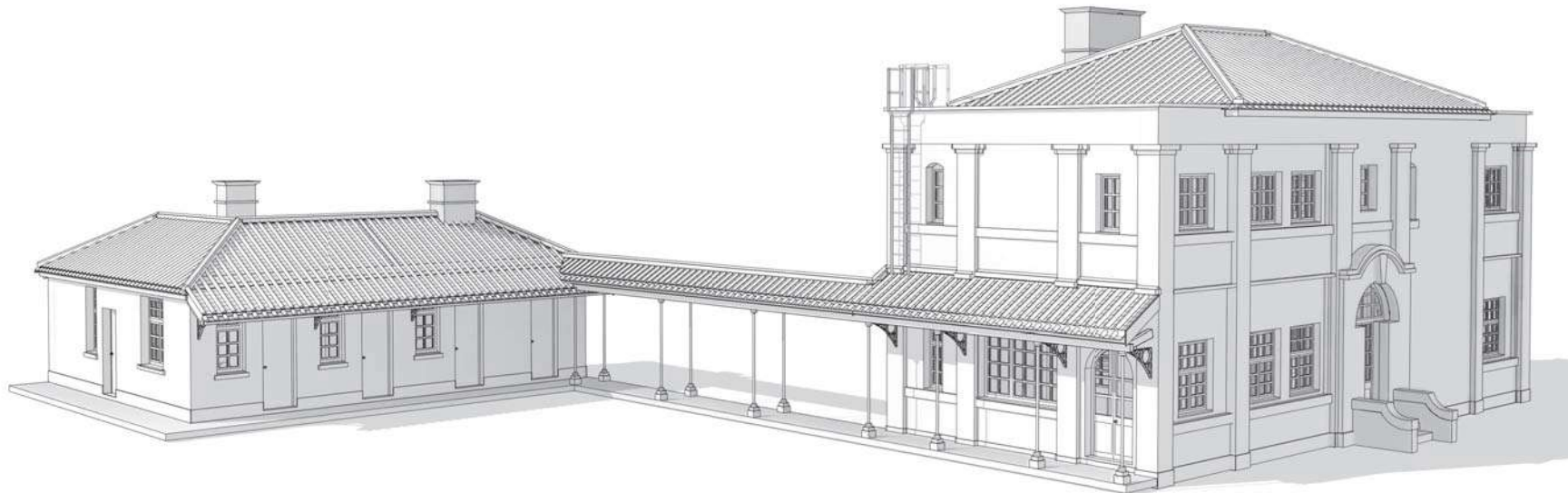
7.33



CLIENT

 建築署  
ARCHITECTURAL SERVICES  
DEPARTMENT  
PROPERTY SERVICES BRANCH

TANG & AU LAND SURVEYORS LIMITED  
ROOM 502, HEADQUARTERS CENTRE,  
NO. 129 ON LOK ROAD, YUEN LONG, N.T.



0 2019.11.25 DRAFT 1  
REVISIONS

PROJECT

MAKING OF COMPUTER 3D MODELS USING  
PHOTOGRAMMETRY / 3D LASER SCAN  
TAI TAM TUK RAW WATER  
PUMPING STATION AND STAFF  
QUARTERS

DRAWING TITLE  
3D PERSPECTIVE 01

PROJECT NO. DATE  
HRT-05/2019 2019.11.xx

SCALE CHECKED BY  
@ A3 -

APPROVED BY

DRAWING NO.  
TTT-4PR-4101

ISSUE DATE REVISION  
2019.11.25 0

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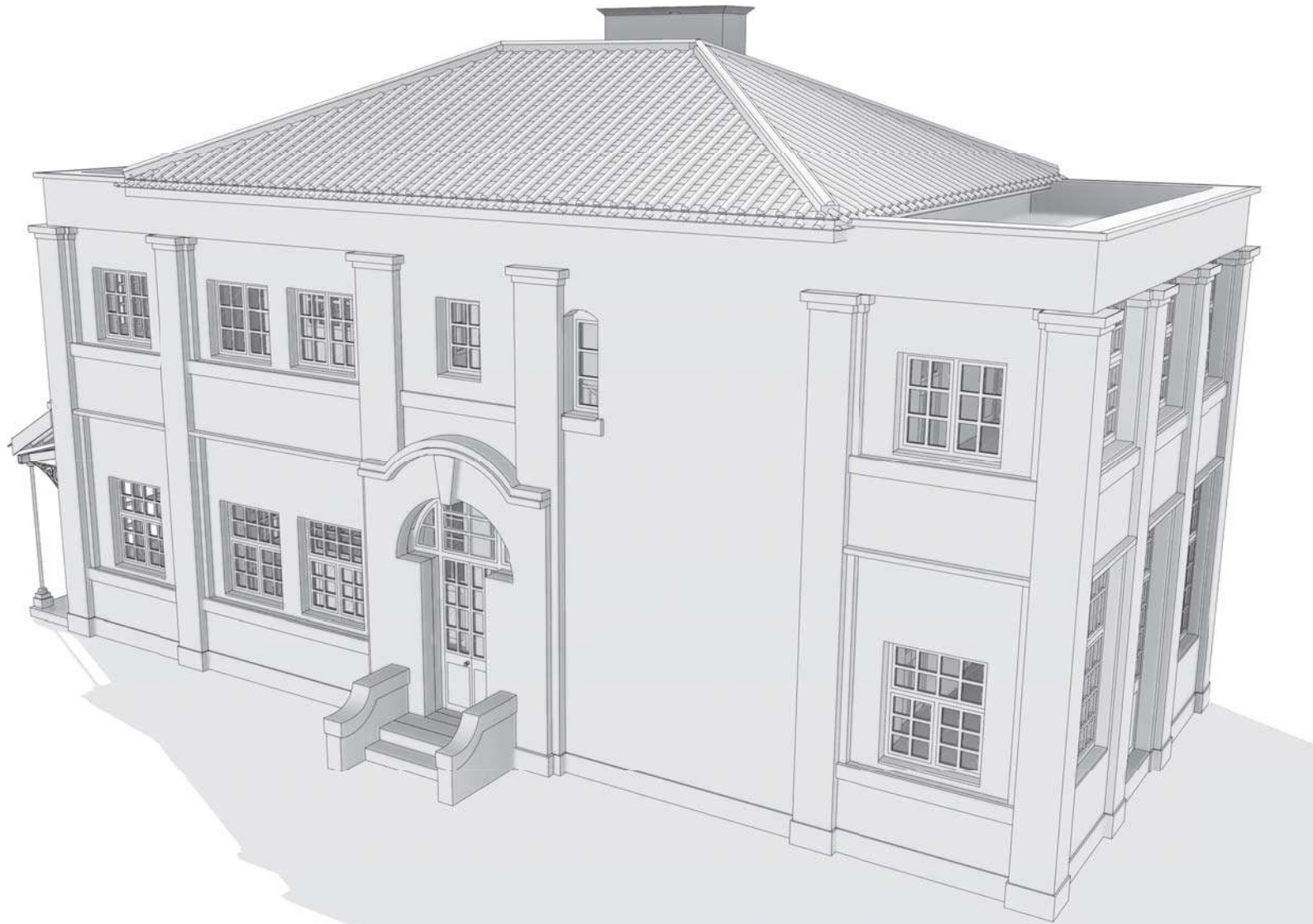
1

SENIOR STAFF QUARTERS - 3D PERSPECTIVE 01

CLIENT

 建築署  
ARCHITECTURAL SERVICES  
DEPARTMENT  
PROPERTY SERVICES BRANCH

TANG & AU LAND SURVEYORS LIMITED  
ROOM 502, HEADQUARTERS,  
NO. 129 ON LOK ROAD, YUEN LONG, N.T.



0 2019.11.25

DRAFT 1

REVISIONS

PROJECT

MAKING OF COMPUTER 3D MODELS USING  
PHOTOGRAMMETRY / 3D LASER SCAN

TAI TAM TUK RAW WATER  
PUMPING STATION AND STAFF  
QUARTERS

DRAWING TITLE

3D PERSPECTIVE 02

PROJECT NO. DATE  
HRT-05/2019 2019.11.xx

SCALE CHECKED BY  
@ A3 -

APPROVED BY

DRAWING NO.

TTT-4PR-4102

ISSUE DATE REVISION  
2019.11.25 0

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SENIOR STAFF QUARTERS - 3D PERSPECTIVE 02



CLIENT


**建築署**  
 ARCHITECTURAL SERVICES  
 DEPARTMENT  
 PROPERTY SERVICES BRANCH

TANG & AU LAND SURVEYORS LIMITED  
 ROOM 502, HEADQUARTERS CENTRE,  
 NO. 129 ON LOK ROAD, YUEN LONG, N.T.

0 2019.11.26 DRAFT 2

REVISIONS

PROJECT

MAKING OF COMPUTER 3D MODELS USING  
 PHOTOGRAMMETRY / 3D LASER SCAN

**TAI TAM TUK RAW WATER  
 PUMPING STATION AND STAFF  
 QUARTERS**

DRAWING TITLE  
**3D PERSPECTIVE 03**

PROJECT NO.	DATE
HRT-05/2019	2019.11.xx

SCALE	CHECKED BY
@ A3	-

APPROVED BY

DRAWING NO.

**TTT-4PR-4103**

ISSUE DATE	REVISION
2019.11.26	0

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1

## SENIOR STAFF QUARTERS - 3D PERSPECTIVE 03

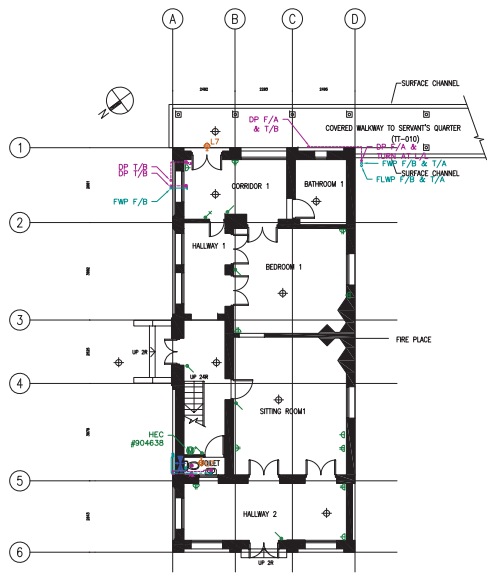
**Appendix VI(B)**  
**Building Services Uwt xg{ 'Drawings**

Appendix VI(B) – Building Services Uwtxg{ 'Drawings

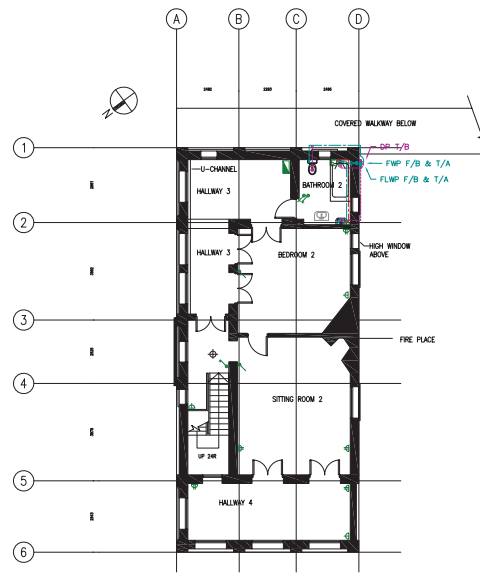
**Drawing List**

	Drawing No.	Drawing Title
1	BS-01	Senior Staff Quarters – Main Building Building Services Plan G/F and 1/F
2	BS-02	Senior Staff Quarters – Servants' Quarters Building Services Plan G/F
3	BS-03	Staff Quarters (Main Building and Store Building) Building Services Plan G/F and 1/F
4	BS-04	No.2 Staff Quarters Building Services Plan G/F and 1/F
5	BS-05	Garage Building Services Plan
6	BS-06	Underground Cellar Building Services Plan
7	BS-07	Main Building of Pumping Station Building Services Plan





GROUND FLOOR PLAN



FIRST FLOOR PLAN

LEGEND (SMALL POWER)

- 13A SINGLE SOCKET OUTLET
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A 1 GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

LEGEND (LIGHTING)

- L1 CEILING MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 SUSPENDED MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 WALL MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L2 LAMP HOLDER W/ LIGHT BULB
- L3 WALL MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L4 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L5 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L6 CEILING MOUNT BATTEN W/ 1200MM 36W T8 FLUO. TUBE
- L7 WALL MOUNT EXTERNAL LIGHT W/ PLC TUBE
- L8 TWIN HEAD EXTERNAL LIGHT
- L9 WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L9 WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L10 WALL MOUNT BATTEN, PRISMATIC DIFFUSER W/ 600MM 18W T8 FLUO. TUBE
- L11 WALL MOUNT BATTEN W/ 600MM 14W T5 FLUO. TUBE
- L12 WALL MOUNT WEATHERPROOF BATTEN W/ 600MM 18W T8 FLUO. TUBE

LEGEND (MVAC)

- WALL MOUNT EXHAUST AIR FAN
- SUSPENDED CEILING FAN
- FAN SPEED SELECTOR
- EXHAUST AIR DUCT
- EXHAUST AIR FAN
- EXHAUST AIR GRILLE
- WINDOW MOUNT A/C
- RANGE HOOD

LEGEND (PLUMBING)

- LOOSE JUMPER STOPCOCK
- GATE VALVE
- POTABLE WATER TARIFF METER
- POTABLE WATER PIPE
- END PLUG
- WATER SUPPLY POINT

LEGEND (DRAINAGE)

- DRAIN PIPE
- FLOOR DRAIN
- DRAIN POINT

LEGEND (FIRE SERVICES)

- SMOKE DETECTOR AT CEILING
- FIRE EXTINGUISHER
- SAND BUCKET
- FUSED SPUR UNIT
- ALARM BELL
- EXIT SIGN

BS-Rev No.1  
F.S.D. Rev. No.1

No.	Date	Revisions

ASO'S OFFICIAL USE



ARCHITECTURAL SERVICES DEPARTMENT



Job No.  
RESOURCES KIT FOR TAI TAM TUK RAW WATER PUMPING STATION STAFF QUARTERS COMPOUND, TAI TAM RESERVOIR ROAD, TAI TAM, HONG KONG

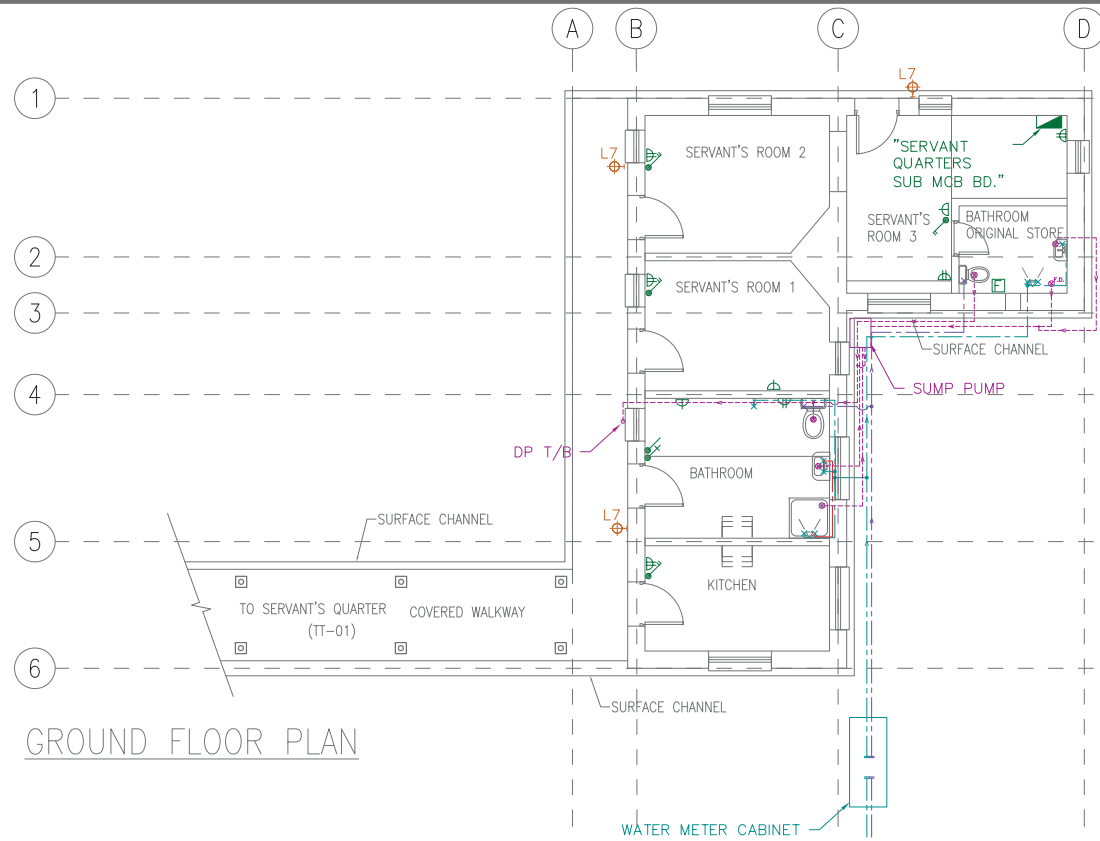
Drawing Title  
SENIOR STAFF QUARTERS - MAIN BUILDING BUILDING SERVICES PLAN G/F AND 1/F

Notes  
Do not scale drawing. Figure dimensions are to be followed. All dimensions are to be unless otherwise stated. Dimensions are to be taken to the centerline of the building. This drawing is to be used in conjunction with the Architect's Specifications & Conditions of Contract. This drawing is copyright and the property of the Architect and shall be returned to the Architect after completion of the works.

Drawn by TC	Checked by NL	Scale 1:100@A1
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Date Issued: 07/08/2019

Job No. HRT-04-2019	Drawing No. BS-01
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GROUND FLOOR PLAN

LEGEND (SMALL POWER)

- 13A SINGLE SOCKET OUTLET
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A 1 GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

LEGEND (LIGHTING)

- L1 CEILING MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 SUSPENDED MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 WALL MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L203 LAMP HOLDER W/ LIGHT BULB
- L3 WALL MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L4-6-4 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L5 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L6 CEILING MOUNT BATTEN W/ 1200MM 36W T8 FLUO. TUBE
- L7 WALL MOUNT EXTERNAL LIGHT W/ PLC TUBE
- L8 TWIN HEAD EXTERNAL LIGHT
- L9 W WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L9 W WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L10 WALL MOUNT BATTEN, PRISMATIC DIFFUSER W/ 600MM 18W T8 FLUO. TUBE
- L11 WALL MOUNT BATTEN W/ 600MM 14W T5 FLUO. TUBE

LEGEND (MVAC)

- WALL MOUNT EXHAUST AIR FAN
- SUSPENDED CEILING FAN
- FAN SPEED SELECTOR
- EXHAUST AIR DUCT
- EXHAUST AIR FAN
- EXHAUST AIR GRILLE

LEGEND (PLUMBING)



- LOOSE JUMPER STOPCOCK
- GATE VALVE
- POTABLE WATER TARIFF METER
- POTABLE WATER PIPE
- END PLUG
- WATER SUPPLY POINT

LEGEND (DRAINAGE)

- DRAIN PIPE
- FLOOR DRAIN
- DRAIN POINT

LEGEND (FIRE SERVICES)

- SMOKE DETECTOR AT CEILING
- FIRE EXTINGUISHER
- SAND BUCKET
- FUSED SPUR UNIT
- ALARM BELL
- EXIT SIGN

ED. Ref. No.:		
F.S.D. Ref. No.:		
No.	Date	Revisions
ADDN OFFICIAL USE		
 ARCHITECTURAL SERVICES DEPARTMENT		
 ample SERVICES LIMITED		
RESOURCES KIT FOR TAI TAM TUK RAW WATER PUMPING STATION STAFF QUARTERS COMPOUND, TAI TAM RESERVOIR ROAD, TAI TAM, HONG KONG		
SENIOR STAFF QUARTERS - SERVANTS' QUARTERS BUILDING SERVICES PLAN G/F		
<small>Do not make any modification to this drawing without the written approval of the Architect. The drawings are to be used for construction only. The drawings are the property of the Architect and shall be returned to the Architect after completion of the project.</small>		
Checked by	Scale	
NL	1:50 @ A1	
07/08/2019		
HRT-04-2019	Drawing No.	BS-02

No.	Date	Revisions

ADDY OPTIONAL USE

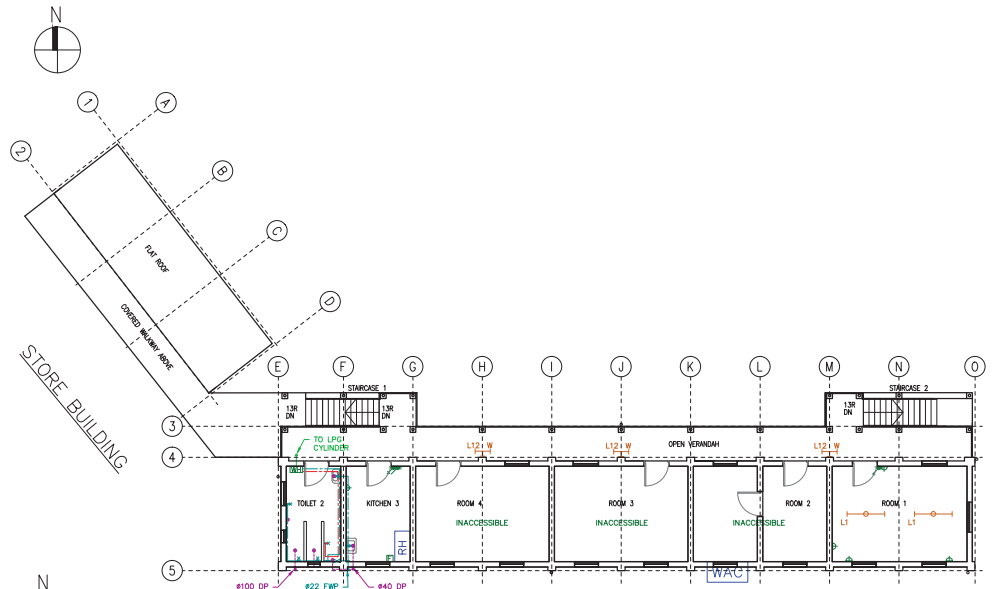


Resources Kit for Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound, Tai Tam Reservoir Road, Tai Tam, Hong Kong

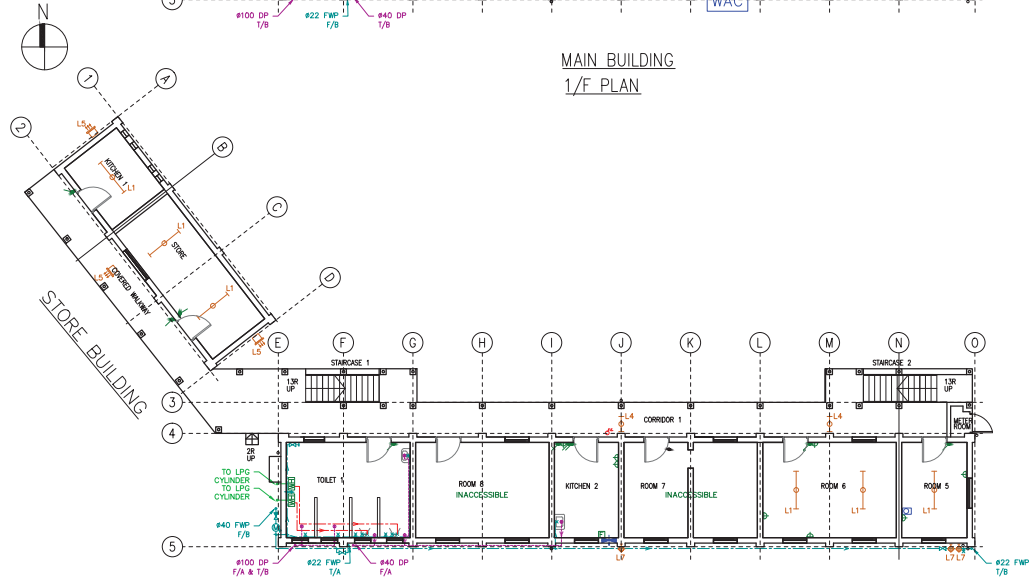
STAFF QUARTERS (MAIN BUILDING AND STORE BUILDING) BUILDING SERVICES PLAN G/F AND 1/F

Notes  
Do not scale drawings. Figured dimensions are to be followed. All dimensions are to be indicated on site. Any discrepancy should be notified to the Architect immediately. This drawing is to be read in conjunction with the Architect's Specifications & Conditions of Contract. The site and its surroundings are the property of the Architect and shall be returned to the Architect after completion of the works.

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Date Issued 07/08/2019	Job No. HRT-04-2019	Drawing No. BS-03



MAIN BUILDING  
1/F PLAN



MAIN BUILDING  
G/F PLAN

LEGEND (SMALL POWER)

- 13A SINGLE SOCKET OUTLET
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A 1 GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

LEGEND (LIGHTING)

- CEILING MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- SUSPENDED MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- WALL MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- LAMP HOLDER W/ LIGHT GLOBE
- WALL MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- CEILING MOUNT BATTEN W/ 1200MM 36W T8 FLUO. TUBE
- WALL MOUNT EXTERNAL LIGHT W/ PLC TUBE
- TWIN HEAD EXTERNAL LIGHT
- WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- WALL MOUNT BATTEN, PRISMATIC DIFFUSER W/ 600MM 18W T8 FLUO. TUBE
- WALL MOUNT BATTEN W/ 600MM 14W T5 FLUO. TUBE
- WALL MOUNT WEATHERPROOF BATTEN W/ 600MM 18W T8 FLUO. TUBE

LEGEND (MVAC)

- WALL MOUNT EXHAUST AIR FAN
- SUSPENDED CEILING FAN
- FAN SPEED SELECTOR
- EXHAUST AIR DUCT
- EXHAUST AIR FAN
- EXHAUST AIR GRILLE
- WINDOW MOUNT A/C
- RANGE HOOD

LEGEND (PLUMBING)

- LOOSE JUMPER STOPCOCK
- GATE VALVE
- POTABLE WATER TARIFF METER
- POTABLE WATER PIPE
- END PLUG
- WATER SUPPLY POINT

LEGEND (DRAINAGE)

- DRAIN PIPE
- FLOOR DRAIN
- DRAIN POINT

LEGEND (FIRE SERVICES)

- SMOKE DETECTOR AT CEILING
- FIRE EXTINGUISHER
- SAND BUCKET
- FUSED SPUR UNIT
- ALARM BELL
- EXIT SIGN

E.D. No.:		
F.S.D. Ref. No.:		
No.	Date	Remarks

ASPECT OF USE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**

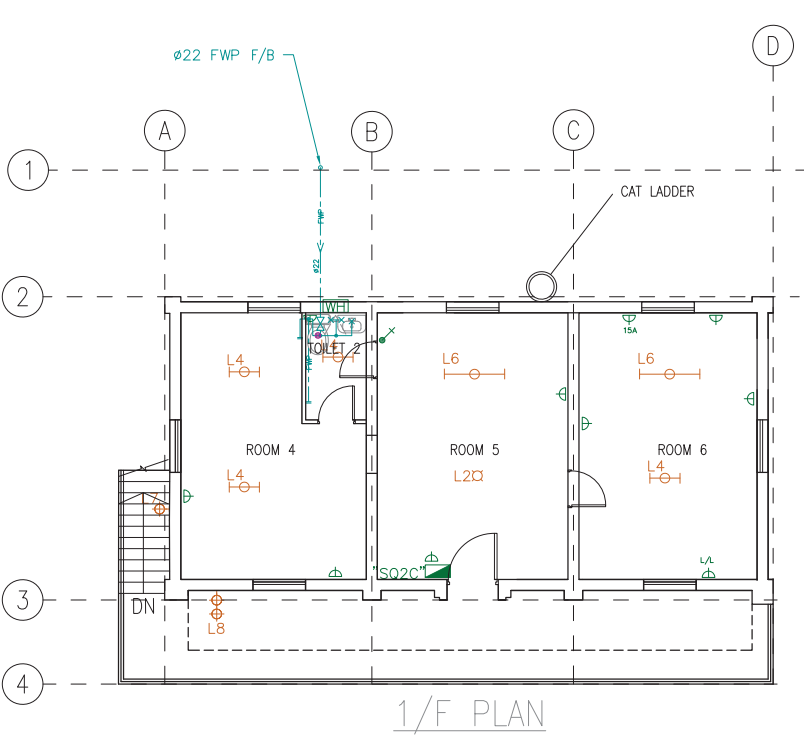
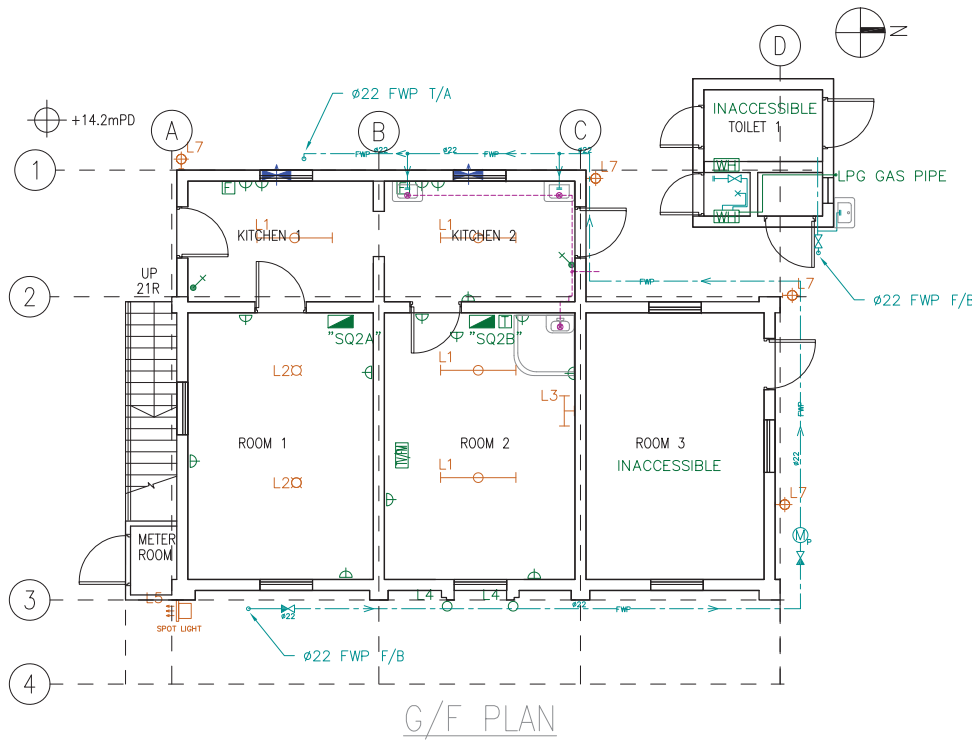
SUBCONTRACT SERVICES LIMITED

NO.2 STAFF QUARTERS  
 TUK RAW WATER PUMPING  
 STATION STAFF QUARTERS  
 COMPOUND, TAI TAM RESERVOIR  
 ROAD, TAI TAM, HONG KONG

NO.2 STAFF QUARTERS  
 BUILDING SERVICES PLAN  
 G/F AND 1/F

Notes  
 Do not scale drawings. Planned dimensions are to be followed. All dimensions are to be confirmed on site. Dimensions shown shall be subject to the final contract documents. The drawings to be used in conjunction with the contract documents. Specific details and conditions of contract. The drawings to be used in conjunction with the contract documents.

Drawn by TC	Checked by NL	Scale 1:50@A1
Date Issue 23/09/2019	Drawing No. HRT-04-2019 BS-04	



**LEGEND (SMALL POWER)**

- 13A SINGLE SOCKET OUTLET
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A 1 GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

**LEGEND (LIGHTING)**

- L1 CEILING MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 SUSPENDED MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L1 WALL MOUNT BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L2 LAMP HOLDER W/ LIGHT BULB
- L3 WALL MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L4 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L5 CEILING MOUNT BATTEN W/ 600MM 18W T8 FLUO. TUBE
- L6 CEILING MOUNT BATTEN W/ 1200MM 36W T8 FLUO. TUBE
- L7 WALL MOUNT EXTERNAL LIGHT W/ PLC TUBE
- L8 TWIN HEAD EXTERNAL LIGHT
- L9 WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L9 WALL MOUNT WEATHERPROOF BATTEN W/ 1500MM 45W T8 FLUO. TUBE
- L10 WALL MOUNT BATTEN, PRISMATIC DIFFUSER W/ 600MM 18W T8 FLUO. TUBE
- L11 WALL MOUNT BATTEN W/ 600MM 14W T5 FLUO. TUBE

**LEGEND (MVAC)**

- WALL MOUNT EXHAUST AIR FAN
- SUSPENDED CEILING FAN
- FAN SPEED SELECTOR
- EXHAUST AIR DUCT
- EXHAUST AIR FAN
- EXHAUST AIR GRILLE

**LEGEND (PLUMBING)**

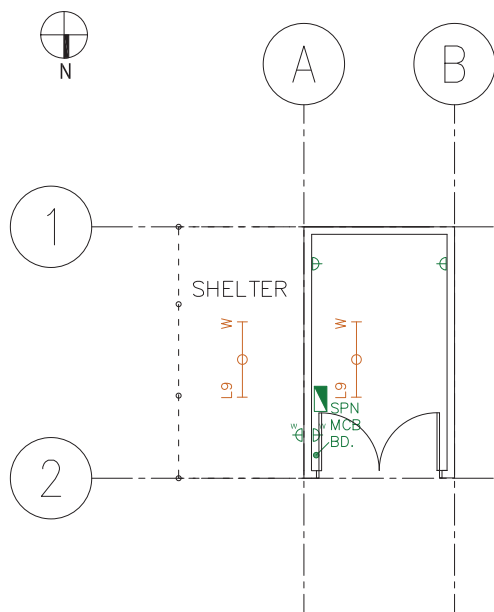
- LOOSE JUMPER STOPCOCK
- GATE VALVE
- POTABLE WATER TARIFF METER
- POTABLE WATER PIPE
- END PLUG
- WATER SUPPLY POINT

**LEGEND (DRAINAGE)**

- DRAIN PIPE
- FLOOR DRAIN
- DRAIN POINT

**LEGEND (FIRE SERVICES)**

- SMOKE DETECTOR AT CEILING
- FIRE EXTINGUISHER
- SAND BUCKET
- FUSED SPUR UNIT
- ALARM BELL
- EXIT SIGN



PLAN OF GARAGE

LEGENDS (SMALL POWER)

- 13A SINGLE SOCKET OUTLET  
(\*W DENOTES WEATHERPROOF TYPE)
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A 1 GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

LEGENDS (LIGHTING)

- CEILING MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- SUSPENDED MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- WALL MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- LAMP HOLDER  
W/ LIGHT BULB
- WALL MOUNT BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- CEILING MOUNT BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- CEILING MOUNT BATTEN  
W/ 1200MM 36W T8 FLUO. TUBE
- WALL MOUNT EXTERNAL LIGHT  
W/ PLC TUBE
- TWIN HEAD EXTERNAL LIGHT
- WALL MOUNT WEATHERPROOF BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- WALL MOUNT WEATHERPROOF BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- WALL MOUNT BATTEN, PRISMATIC DIFFUSER  
W/ 600MM 18W T8 FLUO. TUBE
- WALL MOUNT BATTEN  
W/ 600MM 14W T5 FLUO. TUBE

BS, Ref. No.:

F.S.D. Ref. No.:

No. Date Revisions

ASD'S OFFICIAL USE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**  
SERVICES LIMITED

Job Title:  
RESOURCES KIT FOR TAI TAM  
TUK RAW WATER PUMPING  
STATION STAFF QUARTERS  
COMPOUND, TAI TAM RESERVOIR  
ROAD, TAI TAM, HONG KONG

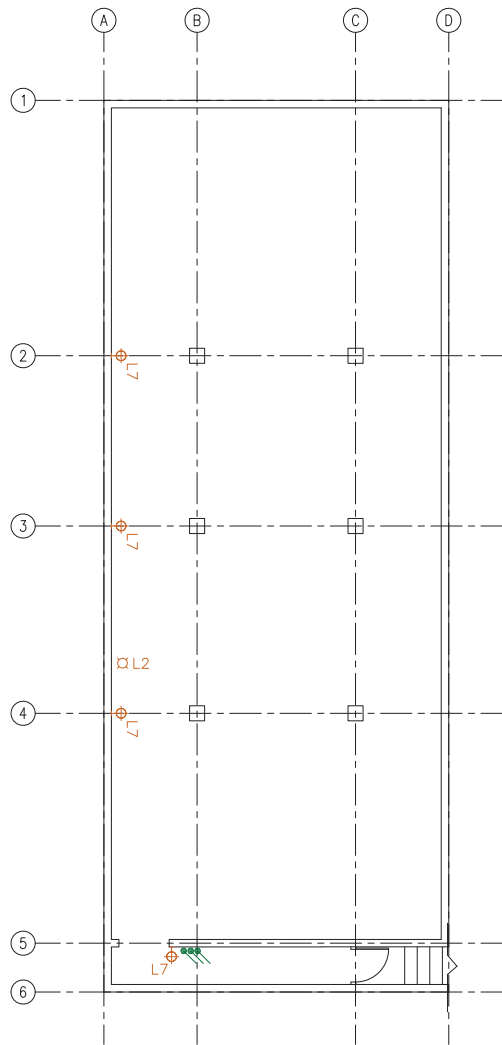
Drawing Title:  
GARAGE  
BUILDING SERVICES PLAN

Notes:  
Do not scale drawings. Figures & dimensions are to be followed. All dimensions are to the center line unless otherwise stated. The drawing shall be used in accordance with the Architect's Standard Method of Contract. The drawing shall be returned to the Architect after completion of the works.

Drawn by: TC  
Checked by: NL  
Scale: 1:50@A1

Date Issue: 23/09/2019

Job No.: HRT-04-2019  
Drawing No.: BS-05



PLAN OF UNDERGROUND CELLAR

LEGENDS (SMALL POWER)

- 13A SINGLE SOCKET OUTLET  
(\*W\* DENOTES WEATHERPROOF TYPE)
- 13A TWIN SOCKET OUTLET
- FUSED SPUR UNIT
- MCB BOARD
- TELEPHONE OUTLET
- TV/FM OUTLET
- 10A GANG 1 WAY LIGHTING SWITCH
- 20A DOUBLE POLE SWITCH
- 15A 3-PIN SINGLE SOCKET OUTLET
- CCTV
- DOOR BELL
- HEC TARIFF METER
- CONNECTION UNIT

LEGENDS (LIGHTING)

- L1 CEILING MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- L1 SUSPENDED MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- L1 WALL MOUNT BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- L2 LAMP HOLDER  
W/ LIGHT BULB
- L3 WALL MOUNT BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- L4 CEILING MOUNT BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- L5 CEILING MOUNT BATTEN  
W/ 600MM 18W T8 FLUO. TUBE
- L6 CEILING MOUNT BATTEN  
W/ 1200MM 36W T8 FLUO. TUBE
- L7 WALL MOUNT EXTERNAL LIGHT  
W/ PLC TUBE
- L8 TWIN HEAD EXTERNAL LIGHT
- L9 WALL MOUNT WEATHERPROOF BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- L9 WALL MOUNT WEATHERPROOF BATTEN  
W/ 1500MM 45W T8 FLUO. TUBE
- L10 WALL MOUNT BATTEN, PRISMATIC DIFFUSER  
W/ 600MM 18W T8 FLUO. TUBE
- L11 WALL MOUNT BATTEN  
W/ 600MM 14W T5 FLUO. TUBE

BS, Ref. No.:

F.S.D. Ref. No.:

No.	Date	Revisions

ASD'S OFFICIAL USE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**  
SERVICES LIMITED

Job Title:  
RESOURCES KIT FOR TAI TAM  
TUK RAW WATER PUMPING  
STATION STAFF QUARTERS  
COMPOUND, TAI TAM RESERVOIR  
ROAD, TAI TAM, HONG KONG

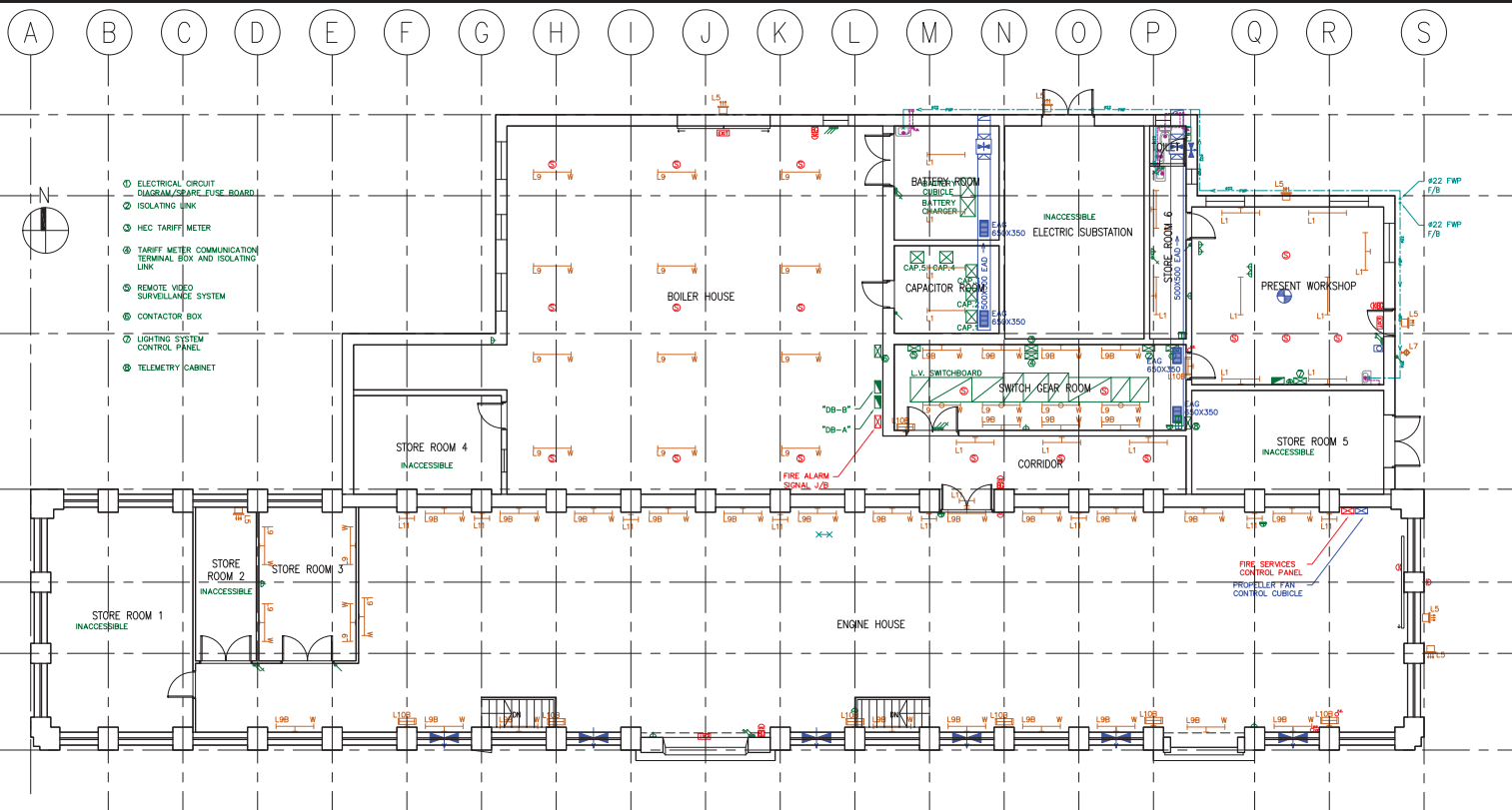
Drawing Title:  
UNDERGROUND CELLAR  
BUILDING SERVICES PLAN

Notes:  
Do not scale drawings. Report dimensions as to be shown. All dimensions are to be finished unless otherwise stated or indicated. The drawing shall be used for construction with the Architect's Standard of Workmanship. The drawing shall be returned to the Architect after completion of the works.

Drawn by: TC      Checked by: NL      Scale: 1:50@A1

Date Issue: 23/09/2019

Job No.: HRT-04-2019      Drawing No.: BS-06




### PUMPING STATION PLAN

BS, Ref. No.:  
 F.S.D. Ref. No.:

No.	Date	Revisions

ASD's OFFICIAL USE



ARCHITECTURAL SERVICES DEPARTMENT

**ample**  
 SERVICES LIMITED

Job Title:  
**RESOURCES KIT FOR TAI TAM  
 TUK RAW WATER PUMPING  
 STATION STAFF QUARTERS  
 COMPOUND, TAI TAM RESERVOIR  
 ROAD, TAI TAM, HONG KONG**

Drawing Title:  
**MAIN BUILDING OF PUMPING  
 STATION  
 BUILDING SERVICES PLAN**

Notes:  
Do not scale drawings. Report dimensions as indicated. All dimensions are to the centerline unless otherwise stated. Dimensions for wall thicknesses are to the face. The drawing is to be used in conjunction with the contract. Specifications, Conditions of Contract, and other documents apply to the property of the Architect and shall be returned to the Architect after completion of the works.

Drawn by <b>TC</b>	Checked by <b>NL</b>	Scale <b>1:100@A1</b>
Date Issue <b>07/08/2019</b>		

Job No.: **HRT-04-2019**      Drawing No.: **BS-07**

**Appendix VI(C)**  
**Underground Utilities Survey Plans**



Appendix VI(C) – Underground Utilities Survey Plan

**Drawing List**

	<b>Drawing No.</b>	<b>Drawing Title</b>
1	ASSL-TTT-CD-001-DW01	Underground Utilities(1)
2	ASSL-TTT-CD-001-DW02	Underground Utilities(2)
3	ASSL-TTT-CD-001-DW03	Underground Utilities(3)
4	ASSL-TTT-CD-001-DW04	Underground Utilities(4)
5	ASSL-TTT-CD-001-DW05	Underground Utilities(5)
6	ASSL-TTT-CD-001-DW06	Underground Utilities(6)
7	ASSL-TTT-CD-001-DW07	Underground Utilities(7)
8	ASSL-TTT-CD-001-DW08	Underground Utilities(8)
9	ASSL-TTT-CD-001-DW09	Underground Utilities(9)
10	ASSL-TTT-CD-001-DW10	Underground Utilities(10)
11	ASSL-TTT-CD-001-DW11	Appendix A – Summary of Cable & Pipe
12	ASSL-TTT-CD-001-DW12	Appendix B – Summary of Manhole & Pit
13	ASSL-TTT-CD-001-DW13	Section A-A, Section B-B, Section C-C



Tai Tam Bay Pier

Dangerous  
Good Store

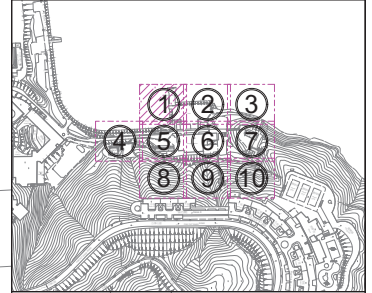
**注意！**

雖合資格人士已用儀器進行有源電纜探測，並探測到供電商的帶電電纜位置，但客戶未有提供相關位置的私人電纜及其他設施圖則，故此客戶在開挖時仍要加倍小心。

除電纜外，可能還有其他地下設施，電線井，電訊線及線槽，如挖掘時要打鑿線井及地下石屎，請立即通知有關合資格人士到現場跟進，並作進一步探測及決定下一步合理工序。

**G** 高進顧問(香港)有限公司  
GORGEOUS CONSULTANT (HK) LTD.

Tel: (+852) 2733 6177 Fax: (+852) 3020 6203  
Website: www.gorgeousconsultant.com



**LEGEND :**

ELEC	Electric Cable	Lamppost
LV	Cable (Low Voltage)	Fire Hydrant
PL	Public Lighting Cable	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
F.WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
FOUL	Foul Water Pipe	Foul Manhole
UN	Unclassified Utility Line	Unclassified Manhole
U-C	U-Channel	HKT Pit
Survey Boundary		Public Lighting Pit
Storm Water Box Culvert		Power Cable Pit
Cable Trench		Earth Pit
Deadend		Catch-Pit
Down Pipe		Gully
		Chamber

**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound  
Resource Kit

**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW01



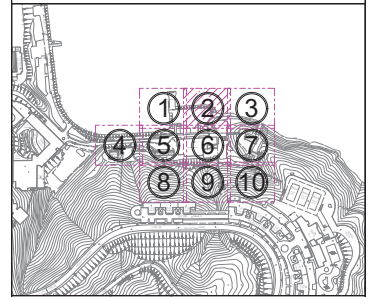
### 注意！

雖合資格人士已用儀器進行有源電纜探測，並探測到供電商的帶電電纜位置，但客戶未有提供相關位置的私人電纜及其他設施圖則，故此客戶在開挖時仍要加倍小心。

除電纜外，可能還有其他地下設施，電線井，電訊線及線槽，如挖掘時要打鑿線井及地下石屎，請立即通知有關合資格人士到現場跟進，並作進一步探測及決定下一步合理工序。

**G** 高進顧問(香港)有限公司  
GORGEOUS CONSULTANT (HK) LTD.

Tel: (+852) 2733 6177 Fax: (+852) 3020 6203  
Website: www.gorgeousconsultant.com



**LEGEND :**

ELEC	Electric Cable	Lampost
LV	Cable (Low Voltage)	Fire Hydrant
PL	Public Lighting Cable	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
F.WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
F.OUL	Foul Water Pipe	Storm Manhole
UN	Unclassified Utility Line	Foul Manhole
U-C	U-Channel	Unclassified Manhole
	Survey Boundary	HKT Pit
	Storm Water Box Culvert	Public Lighting Pit
	Cable Trench	Power Cable Pit
Deadend		Earth Pit
Down Pipe		Catch-Pit
		Gully
		Chamber

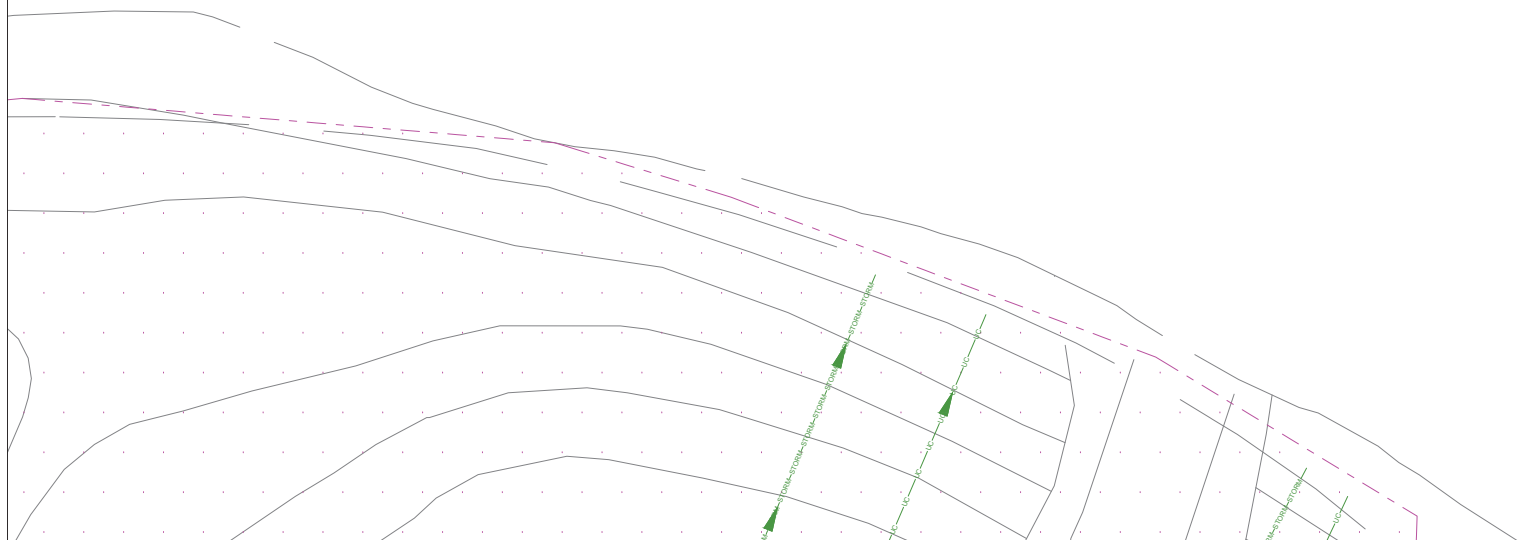
**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound  
Resource Kit

**Drawing Title:** Utilities Mapping Drawings  
**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW02



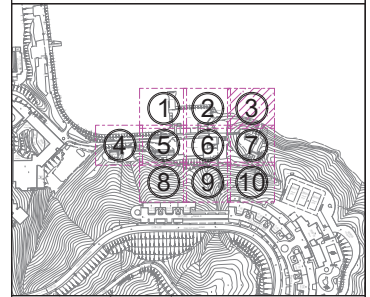
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**LEGEND :**

ELEC	Electric Cable	Lampost
LV	Cable (Low Voltage)	Fire Hydrant
PL	Public Lighting Cable	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
F.WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
F.OUL	Foul Water Pipe	Foul Manhole
UN	Unclassified Utility Line	U-Channel
U.C	U-Channel	Unclassified Manhole
	Survey Boundary	HKT Pit
	Storm Water Box Culvert	Public Lighting Pit
	Cable Trench	Power Cable Pit
	Deadend	Earth Pit
	Down Pipe	Catch-Pit
		Gully
		Chamber

**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

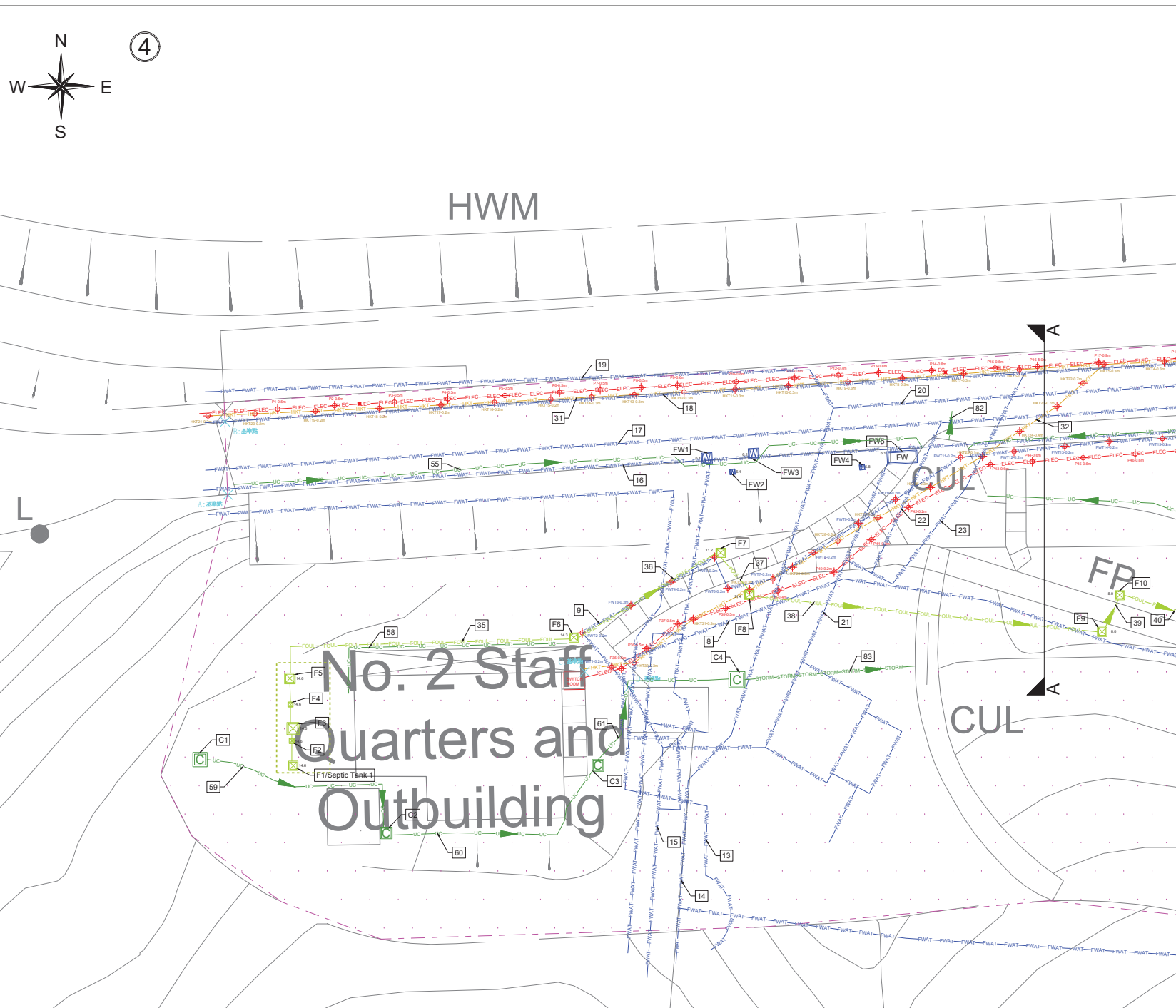
**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

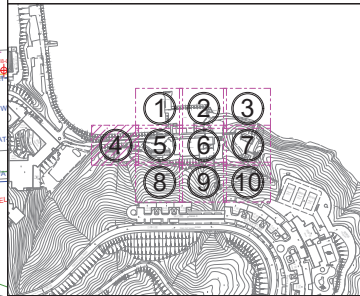
**Drawing No.:** ASSL-TTT-CD-001-DW03



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**LEGEND :**

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LV	Cable (Low Voltage)	⬮	Fire Hydrant
PL	Public Lighting Cable	⬮	Water Valve
HKT	HKT/PCWC Cable	⬮	Water Valve Pit
GAS	Gas Pipe	⬮	Gas Valve
FWAT	Fresh Water Pipe	⬮	Storm Water Pipe
STORM	Storm Water Pipe	⬮	Gas Pit
FOWL	Foul Water Pipe	⬮	Storm Manhole
UN	Unclassified Utility Line	⬮	Foul Manhole
UC	U-Channel	⬮	Unclassified Manhole
⬮	Survey Boundary	⬮	HKT Pit
⬮	Storm Water Box Culvert	⬮	Public Lighting Pit
⬮	Cable Trench	⬮	Power Cable Pit
⬮	Deadend	⬮	Earth Pit
⬮	Down Pipe	⬮	Catch-Pit
		⬮	Gully
		⬮	Chamber

**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

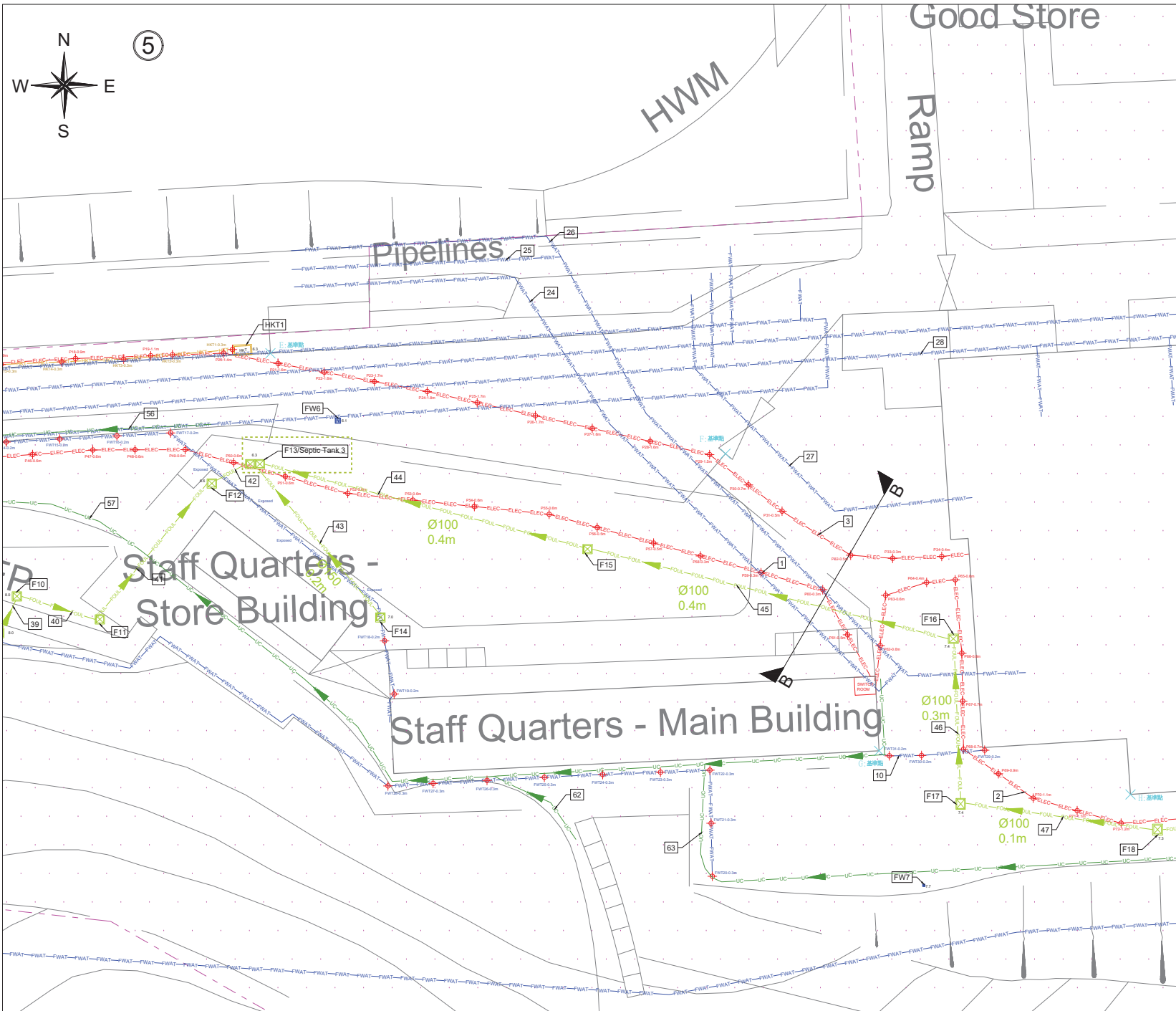
**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW04



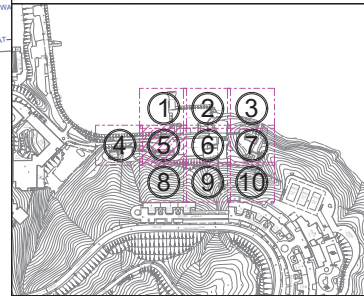
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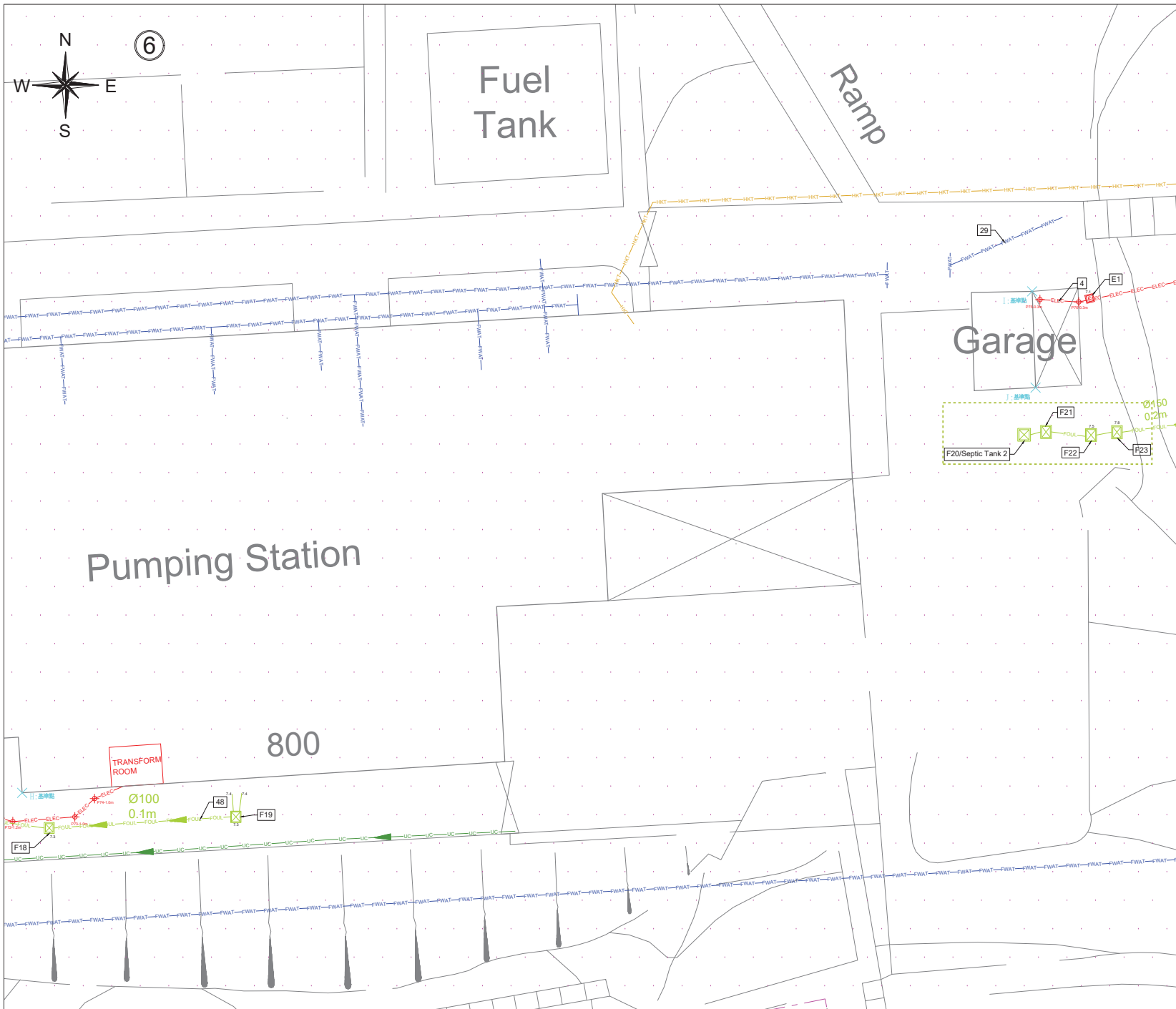


**LEGEND :**

ELEC	Electric Cable	⬮	Lampost
LV	Cable (Low Voltage)	⬮	Fire Hydrant
PL	Public Lighting Cable	⬮	Water Valve
HKT	HKT/PCCW Cable	⬮	Water Valve Pit
GAS	Gas Pipe	⬮	Gas Valve
F WAT	Fresh Water Pipe	⬮	Gas Pit
STORM	Storm Water Pipe	⬮	Storm Manhole
FOWL	Foul Water Pipe	⬮	Foul Manhole
UN	Unclassified Utility Line	⬮	Unclassified Manhole
UC	U-Channel	⬮	HKT Pit
⬮	Survey Boundary	⬮	Public Lighting Pit
⬮	Storm Water Box Culvert	⬮	Power Cable Pit
⬮	Cable Trench	⬮	Earth Pit
⬮	Deadend	⬮	Catch-Pit
⬮	Down Pipe	⬮	Gully
		⬮	Chamber

**Project Title:**  
 Revitalising Historic Buildings Through Partnership Scheme  
 Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

**Drawing Title:** Utilities Mapping Drawings  
**UNIT OF ALL SHOWN IS IN METER**  
 MAP No.: 15-NE-03C  
 15-NE-03D  
 Scale: 1:100(A1)  
 Drawing No.: ASSL-TTT-CD-001-DW05



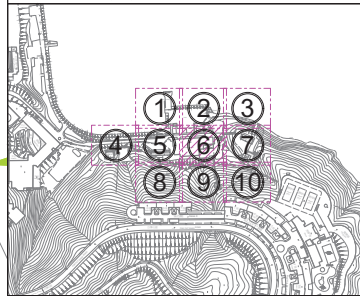
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LV	Cable (Low Voltage)	Fire Hydrant
PL	Public Lighting Cable	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
FWAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
FOUL	Foul Water Pipe	Storm Manhole
UN	Unclassified Utility Line	Foul Manhole
U-C	U-Channel	Unclassified Manhole
Survey Boundary		HKT Pit
Storm Water Box Culvert		Public Lighting Pit
Cable Trench		Power Cable Pit
Deadend		Earth Pit
Down Pipe		Catch-Pit
		Gully
		Chamber

**Project Title:**  
 Revitalising Historic Buildings Through Partnership Scheme  
 Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

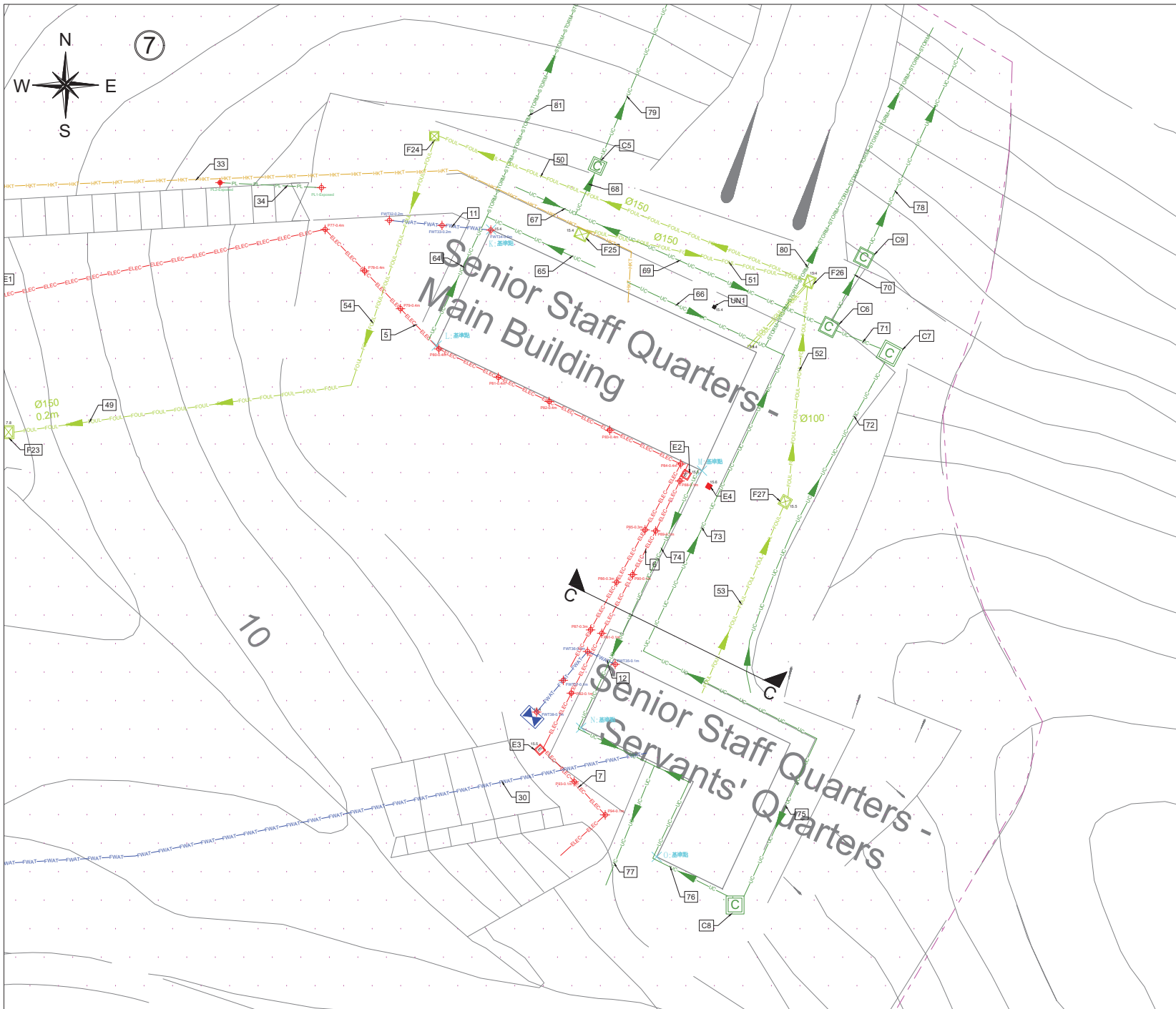
**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

MAP No.: 15-NE-03C  
 15-NE-03D

Scale: 1:100(A1)

Drawing No.: ASSL-TTT-CD-001-DW06



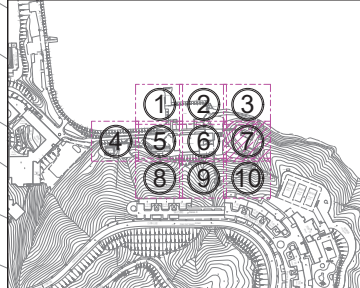
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**LEGEND :**

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LV	Cable (Low Voltage)	⬮	Fire Hydrant
PL	Public Lighting Cable	⬮	Water Valve
HKT	HKT/PCCW Cable	⬮	Water Valve Pit
GAS	Gas Pipe	⬮	Gas Valve
F.WAT	Fresh Water Pipe	⬮	Gas Pit
STORM	Storm Water Pipe	⬮	Storm Manhole
FOUL	Foul Water Pipe	⬮	Unclassified Manhole
UN	Unclassified Utility Line	⬮	HKT Pit
U-C	U-Channel	⬮	Public Lighting Pit
—	Survey Boundary	⬮	Power Cable Pit
—	Storm Water Box Culvert	⬮	Earth Pit
—	Cable Trench	⬮	Catch-Pit
⬮	Deadend	⬮	Gully
⬮	Down Pipe	⬮	Chamber

**Project Title:**  
 Revitalising Historic Buildings Through Partnership Scheme  
 Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
 15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW07





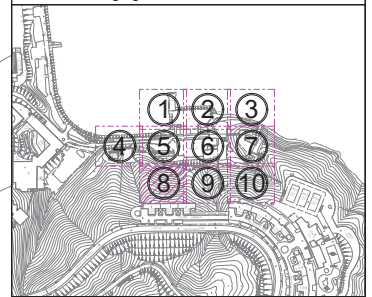
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**LEGEND :**

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HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
F WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
FOUL	Foul Water Pipe	Storm Manhole
UN	Unclassified Utility Line	Foul Manhole
U-C	U-Channel	U-Channel
Survey Boundary		Unclassified Manhole
Storm Water Box Culvert		HKT Pit
Cable Trench		Public Lighting Pit
Deadend		Power Cable Pit
Down Pipe		Earth Pit
		Catch-Pit
		Gully
		Chamber

**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound  
Resource Kit

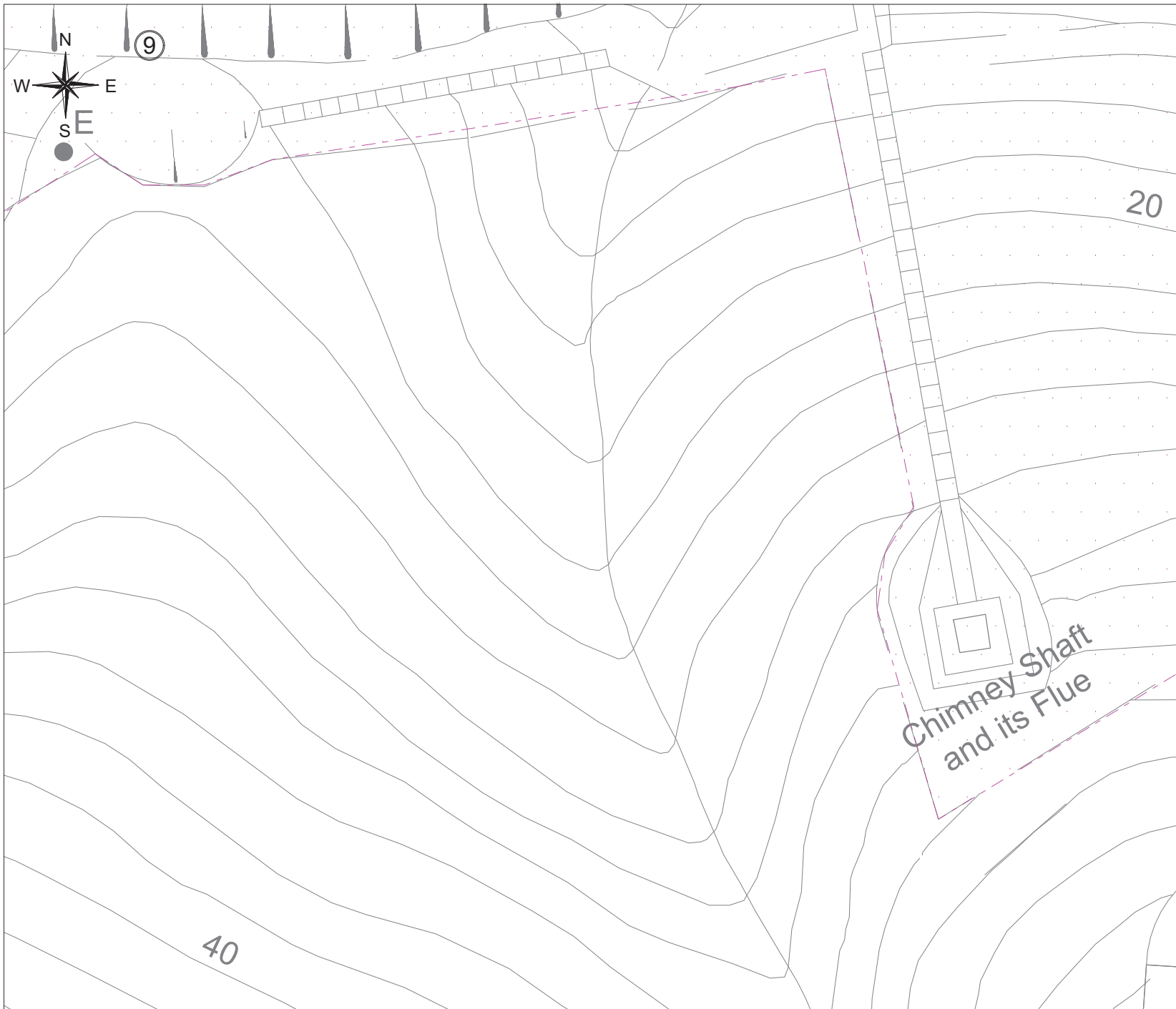
**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW08



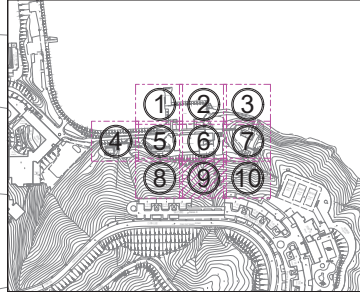
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HKT	HKT/PCCW Cable	Water Valve Pit
GAS	Gas Pipe	Gas Valve
F.WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
F.OUL	Foul Water Pipe	Foul Manhole
UN	Unclassified Utility Line	Unclassified Manhole
U-C	U-Channel	HKT Pit
	Survey Boundary	PL Pit
	Storm Water Box Culvert	Public Lighting Pit
	Cable Trench	Power Cable Pit
Deadend		Earth Pit
Down Pipe		Catch-Pit
		Gully
		Chamber

**Project Title:**  
 Revitalising Historic Buildings Through Partnership Scheme  
 Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
 15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW09



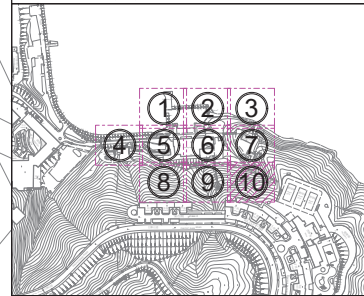
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**LEGEND :**

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PL	Public Lighting Cable	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit
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F.WAT	Fresh Water Pipe	Gas Pit
STORM	Storm Water Pipe	Storm Manhole
FOUL	Foul Water Pipe	Storm Manhole
UN	Unclassified Utility Line	Foul Manhole
U-C	U-Channel	Foul Manhole
	Survey Boundary	Unclassified Manhole
	Storm Water Box Culvert	HKT Pit
	Cable Trench	Public Lighting Pit
	Deadend	Earth Pit
	Down Pipe	Catch-Pit
		Gully
		Chamber

**Project Title:**  
 Revitalising Historic Buildings Through Partnership Scheme  
 Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
 15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW010



Appendix A - Summary of Cable & Pipe

No.	Utilities	Cable/Pipe Size(mm)	Depth(m)	Depth Refer to	Remarks
1	ELECTRIC CABLE	46	0.3 - 0.6	Center of Cable	-
2	ELECTRIC CABLE	46	0.4 - 1.2	Center of Cable	-
3	ELECTRIC CABLE	46	0.4 - 1.8	Center of Cable	-
4	ELECTRIC CABLE	20	0.3	Center of Cable	-
5	ELECTRIC CABLE	20	0.4	Center of Cable	-
6	ELECTRIC CABLE	20	0.1	Center of Cable	-
7	ELECTRIC CABLE	20	0.1	Center of Cable	-
8	POTABLE WATER PIPE	60 CI	Visible - 0.3	Center of Cable	-
9	POTABLE WATER PIPE	43 CI	Visible - 0.2	Center of Cable	-
10	POTABLE WATER PIPE	20 CI	Visible - 0.2	Center of Cable	-
11	POTABLE WATER PIPE	15 CI	Visible - 0.2	Center of Cable	-
12	POTABLE WATER PIPE	27 CI	Visible - 0.1	Center of Cable	-
13	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
14	POTABLE WATER PIPE	38 GL	UNKNOWN	Center of Cable	UNRELIABLE
15	POTABLE WATER PIPE	559 CI	UNKNOWN	Center of Cable	UNRELIABLE
16	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
17	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
18	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
19	POTABLE WATER PIPE	50 uPVC	UNKNOWN	Center of Cable	UNRELIABLE
20	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
21	POTABLE WATER PIPE	152 CI	UNKNOWN	Center of Cable	UNRELIABLE
22	POTABLE WATER PIPE	152 CI	UNKNOWN	Center of Cable	UNRELIABLE
23	POTABLE WATER PIPE	152 CI	UNKNOWN	Center of Cable	UNRELIABLE
24	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
25	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
26	POTABLE WATER PIPE	457 CI	UNKNOWN	Center of Cable	UNRELIABLE
27	POTABLE WATER PIPE	305 CI	UNKNOWN	Center of Cable	UNRELIABLE
28	POTABLE WATER PIPE	762 CI	UNKNOWN	Center of Cable	UNRELIABLE
29	POTABLE WATER PIPE	25 CI	UNKNOWN	Center of Cable	UNRELIABLE
30	POTABLE WATER PIPE	40 GI	UNKNOWN	Center of Cable	UNRELIABLE
31	HKT CABLE	20	0.2 - 0.3	Center of Cable	-
32	HKT CABLE	10	0.1 - 0.7	Center of Cable	-
33	HKT CABLE	UNKNOWN	UNKNOWN	UNKNOWN	UNRELIABLE
34	PUBLIC LIGHTING	10	Visible	Center of Cable	-
35	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
36	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
37	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
38	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
39	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
40	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
41	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
42	FOUL WATER PIPE	100 VC	0.3	Invert of Pipe	-
43	FOUL WATER PIPE	150 VC	0	Invert of Pipe	-

Appendix A - Summary of Cable & Pipe

No.	Utilities	Cable/Pipe Size(mm)	Depth(m)	Depth Refer to	Remarks
44	FOUL WATER PIPE	100 VC	0.4	Invert of Pipe	-
45	FOUL WATER PIPE	100 VC	0.4	Invert of Pipe	-
46	FOUL WATER PIPE	100 VC	0.3	Invert of Pipe	-
47	FOUL WATER PIPE	100 VC	0.1	Invert of Pipe	-
48	FOUL WATER PIPE	100 VC	0.1	Invert of Pipe	-
49	FOUL WATER PIPE	150 CI	0.2	Invert of Pipe	-
50	FOUL WATER PIPE	100 VC	0.3	Invert of Pipe	-
51	FOUL WATER PIPE	100 VC	0.2	Invert of Pipe	-
52	FOUL WATER PIPE	100 VC	0.3	Invert of Pipe	-
53	FOUL WATER PIPE	100 VC	0.3	Invert of Pipe	-
54	FOUL WATER PIPE	UNKNOWN	UNKNOWN	Invert of Pipe	UNRELIABLE
55	U-Channel	150 x 150 CO	0.15	Invert of Pipe	-
56	U-Channel	250 x 150 CO	0.15	Invert of Pipe	-
57	U-Channel	350 x 500 CO	0.5	Invert of Pipe	-
58	U-Channel	200 x 50 CO	0.05	Invert of Pipe	-
59	U-Channel	300 x 250 CO	0.25	Invert of Pipe	-
60	U-Channel	300 x 350 CO	0.35	Invert of Pipe	-
61	U-Channel	300 x 500 CO	0.5	Invert of Pipe	-
62	U-Channel	450 x 300 CO	0.3	Invert of Pipe	-
63	U-Channel	250 x 150 CO	0.15	Invert of Pipe	-
64	U-Channel	300 x 150 CO	0.15	Invert of Pipe	-
65	U-Channel	300 x 50 CO	0.05	Invert of Pipe	-
66	U-Channel	300 x 200 CO	0.2	Invert of Pipe	-
67	U-Channel	250 x 150 CO	0.15	Invert of Pipe	-
68	U-Channel	250 x 150 CO	0.15	Invert of Pipe	-
69	U-Channel	150 PVC	0.2	Invert of Pipe	-
70	U-Channel	250 x 500 CO	0.5	Invert of Pipe	-
71	U-Channel	250 x 400 CO	0.4	Invert of Pipe	-
72	U-Channel	250 x 350 CO	0.35	Invert of Pipe	-
73	U-Channel	300 x 150 CO	0.15	Invert of Pipe	-
74	U-Channel	300 x 150 CO	0.15	Invert of Pipe	-
75	U-Channel	300 x 100 CO	0.1	Invert of Pipe	-
76	U-Channel	300 x 150 CO	0.15	Invert of Pipe	-
77	U-Channel	300 x 150 CO	0.15	Invert of Pipe	-
78	U-Channel	250 x 500 CO	0.5	Invert of Pipe	-
79	U-Channel	250 x 150 CO	0.15	Invert of Pipe	-
80	STORM WATER PIPE	150 PVC	0.15	Invert of Pipe	-
81	STORM WATER PIPE	100 PVC	0.1	Invert of Pipe	-
82	STORM WATER PIPE	450 CO	UNKNOWN	Invert of Pipe	-
83	STORM WATER PIPE	300 PVC	DOWNPIPE	Invert of Pipe	-

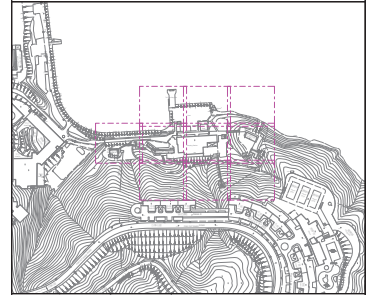
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**LEGEND :**

ELEC - Electric Cable	Lampost
LV - Cable (Low Voltage)	Fire Hydrant
PL - Public Lighting Cable	Water Valve
HKT - HKT/PCW Cable	Water Valve Pit
GAS - Gas Pipe	Gas Valve
F.WAT - Fresh Water Pipe	Storm Manhole
STORM - Storm Water Pipe	Storm Manhole
FOUL - Foul Water Pipe	Foul Manhole
UN - Unclassified Utility Line	Unclassified Manhole
U-Channel	HKT Pit
Survey Boundary	Public Lighting Pit
Storm Water Box Culvert	Power Cable Pit
Cable Trench	Earth Pit
Deadend	Catch-Pit
Down Pipe	Gully
	Chamber

Project Title:  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

Drawing Title: Utilities Mapping Drawings

UNIT OF ALL SHOWN IS IN METER

MAP No.: 15-NE-03C  
15-NE-03D

Scale: 1:100(A1)

Drawing No.: ASSL-TTT-CD-001-DW011



Appendix B - Summary of Manhole & Pit

No.	Manhole/Pit No.	Function	Size(mm)	C.L.(mPD)	I.L.(mPD)	Depth(m)	Remarks
1	E1	ELECTRIC CABLE PIT	450 x 450	7.1	6.7	0.4	-
2	E2	ELECTRIC CABLE PIT	450 x 450	15.6	15.1	0.5	-
3	E3	ELECTRIC CABLE PIT	450 x 450	15.5	15.1	0.4	-
4	E4	ELECTRIC CABLE EARTH PIT	300 x 300	15.6	15.1	0.5	-
5	FW1	FRESH WATER VALVE	600 x 600	6.1	5.6	0.5	-
6	FW2	FRESH WATER VALVE	300 x 300	6.1	5.8	0.3	-
7	FW3	FRESH WATER VALVE	600 x 600	6.1	5.6	0.5	-
8	FW4	FRESH WATER VALVE	300 x 300	6.8	6.5	0.3	-
9	FW5	FRESH WATER VALVE	1650 x 700	6.1	5.5	0.6	-
10	FW6	FRESH WATER VALVE	300 x 300	6.1	5.7	0.4	-
11	FW7	FRESH WATER VALVE	150 x 150	7.7	7.5	0.2	-
12	HKT1	PCCW CABLE PIT	1000 x 550	5.6	4.9	0.7	-
13	UN1	UNKNOWN PIT	150 x 150	15.4	UNKNOWN	UNKNOWN	-
14	F1	FOUL WATER MANHOLE	520 x 520	14.6	UNKNOWN	UNKNOWN	FOW
15	F2	FOUL WATER MANHOLE	290 x 290	14.6	UNKNOWN	UNKNOWN	FOW
16	F3	FOUL WATER MANHOLE	680 x 680	14.6	UNKNOWN	UNKNOWN	FOW
17	F4	FOUL WATER MANHOLE	290 x 290	14.6	14.3	0.3	-
18	F5	FOUL WATER MANHOLE	600 x 600	14.6	14.2	0.4	-
19	F6	FOUL WATER MANHOLE	700 x 700	14.3	UNKNOWN	UNKNOWN	UTR
20	F7	FOUL WATER MANHOLE	500 x 500	11.2	UNKNOWN	UNKNOWN	UTR
21	F8	FOUL WATER MANHOLE	700 x 700	11.4	UNKNOWN	UNKNOWN	UTR
22	F9	FOUL WATER MANHOLE	500 x 500	8.0	UNKNOWN	UNKNOWN	UTR
23	F10	FOUL WATER MANHOLE	500 x 500	8.0	UNKNOWN	UNKNOWN	UTR
24	F11	FOUL WATER MANHOLE	500 x 500	UNKNOWN	UNKNOWN	UNKNOWN	UTS
25	F12	FOUL WATER MANHOLE	500 x 500	6.6	6.3	0.3	-
26	F13	FOUL WATER MANHOLE	650 x 650	6.3	UNKNOWN	UNKNOWN	FOW
27	F14	FOUL WATER MANHOLE	650 x 650	7.0	6.8	0.2	-
28	F15	FOUL WATER MANHOLE	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	UTL
29	F16	FOUL WATER MANHOLE	600 x 600	7.4	7.0	0.4	-
30	F17	FOUL WATER MANHOLE	600 x 600	7.4	7.1	0.3	-
31	F18	FOUL WATER MANHOLE	600 x 600	7.3	7.2	0.1	-
32	F19	FOUL WATER MANHOLE	600 x 600	7.3	7.2	0.1	-
33	F20	FOUL WATER MANHOLE	650 x 650	UNKNOWN	UNKNOWN	UNKNOWN	UTS
34	F21	FOUL WATER MANHOLE	650 x 650	UNKNOWN	UNKNOWN	UNKNOWN	UTS
35	F22	FOUL WATER MANHOLE	650 x 650	7.5	7.2	0.3	-
36	F23	FOUL WATER MANHOLE	650 x 650	7.8	7.6	0.2	-
37	F24	FOUL WATER MANHOLE	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	UTL
38	F25	FOUL WATER MANHOLE	500 x 600	15.4	15.2	0.2	-
39	F26	FOUL WATER MANHOLE	500 x 600	15.4	15.1	0.3	-
40	F27	FOUL WATER MANHOLE	500 x 600	15.5	15.2	0.3	-
41	C1	CATCH PIT	800 x 800	15.1	14.4	0.7	-
42	C2	CATCH PIT	650 x 650	14.9	14.1	0.8	-
43	C3	CATCH PIT	650 x 650	14.9	14.0	0.9	-
44	C4	CATCH PIT	900 x 900	13.2	12.6	0.6	-
45	C5	CATCH PIT	800 x 800	15.7	14.7	1.0	-
46	C6	CATCH PIT	900 x 900	16.0	15.0	1.0	-
47	C7	CATCH PIT	1100 x 1100	16.0	15.1	0.9	-
48	C8	CATCH PIT	1000 x 1000	16.2	15.5	0.7	-
49	C9	CATCH PIT	900 x 900	15.7	14.6	1.1	-

FOW=Full of water UTR=Unable to raise UTS=Unable to survey UTL=Unable to locate

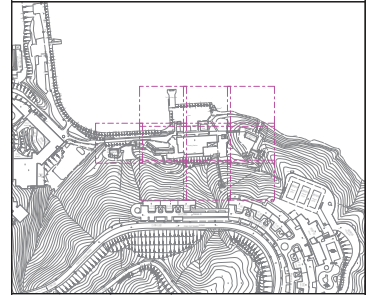
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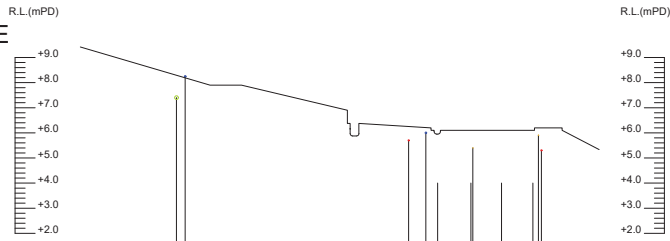
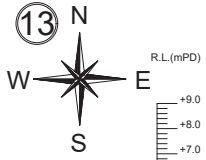


**LEGEND :**

ELEC	Electric Cable	Lampost	Lampost
LV	Cable (Low Voltage)	Fire Hydrant	Fire Hydrant
PL	Public Lighting Cable	Water Valve	Water Valve
HKT	HKT/PCCW Cable	Water Valve Pit	Water Valve Pit
GAS	Gas Pipe	Gas Valve	Gas Valve
F.WAT	Fresh Water Pipe	Gas Pit	Gas Pit
STORM	Storm Water Pipe	Storm Manhole	Storm Manhole
FOUL	Foul Water Pipe	Storm Manhole	Storm Manhole
UN	Unclassified Utility Line	Foul Manhole	Foul Manhole
U-C	U-Channel	U-Channel	U-Channel
	Survey Boundary	UN	Unclassified Manhole
	Storm Water Box Culvert	HKT	HKT Pit
	Cable Trench	PL	Public Lighting Pit
	Deadend	EM	Earth Manhole
	Down Pipe	ATC	Earth Pit
		pm	Catch-Pit
		g	Gully
		Ch	Chamber

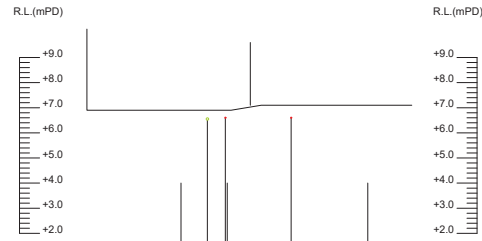
Project Title:  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound  
Resource Kit

Drawing Title: Utilities Mapping Drawings  
UNIT OF ALL SHOWN IS IN METER  
MAP No.: 15-NE-03C  
15-NE-03D  
Scale: 1:100(A1)  
Drawing No.: ASSL-TTT-CD-001-DW012



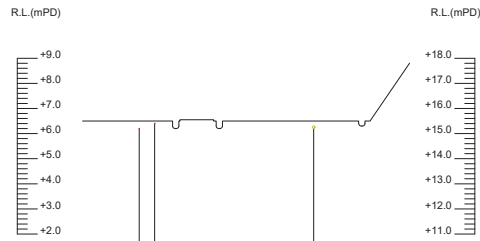
G.L. (mPD)	IL. (mPD)	Depth (m)	Description
8.1	8.1	0.0	UNRELIABLE EXPOSED
8.1	8.1	0.0	UNRELIABLE EXPOSED
6.3	5.7	0.6	1. ELECTRIC CABLE
6.2	6.0	0.2	9. POTABLE WATER PIPE
6.1	UNRELIABLE	UNRELIABLE	16. POTABLE WATER PIPE
6.1	UNRELIABLE	UNRELIABLE	17. POTABLE WATER PIPE
6.1	5.9	0.2	31. PCCW CABLE
6.1	UNRELIABLE	UNRELIABLE	20. POTABLE WATER PIPE
6.1	UNRELIABLE	UNRELIABLE	18. POTABLE WATER PIPE
6.1	5.3	0.8	3. ELECTRIC CABLE

SECTION A-A  
SCALE 1:100



G.L. (mPD)	IL. (mPD)	Depth (m)	Description
6.9	UNRELIABLE	UNRELIABLE	24. POTABLE WATER PIPE
6.9	6.5	0.4	43. EQUI. WATER PIPE
6.9	6.6	0.3	1. ELECTRIC CABLE
6.9	UNRELIABLE	UNRELIABLE	26. POTABLE WATER PIPE
7.1	6.6	0.5	3. ELECTRIC CABLE
7.1	UNRELIABLE	UNRELIABLE	27. POTABLE WATER PIPE

SECTION B-B  
SCALE 1:100



G.L. (mPD)	IL. (mPD)	Depth (m)	Description
15.5	15.5	0.0	5. ELECTRIC CABLE
15.5	15.4	0.1	4. ELECTRIC CABLE
15.5	15.2	0.3	51. EQUI. WATER PIPE

SECTION C-C  
SCALE 1:100

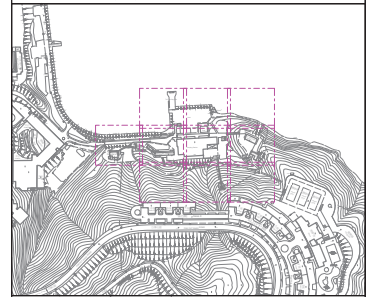
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**LEGEND :**

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STORM - Storm Water Pipe	Storm Manhole
FOUL - Foul Water Pipe	Foul Manhole
UN - Unclassified Utility Line	U-Channel
U-C - U-Channel	Unclassified Manhole
Survey Boundary	HKT Pit
Storm Water Box Culvert	Public Lighting Pit
Cable Trench	Power Cable Pit
Deadend	Earth Pit
Down Pipe	Catch-Pit
	Gully
	Chamber

**Project Title:**  
Revitalising Historic Buildings Through Partnership Scheme  
Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound Resource Kit

**Drawing Title:** Utilities Mapping Drawings

**UNIT OF ALL SHOWN IS IN METER**

**MAP No.:** 15-NE-03C  
15-NE-03D

**Scale:** 1:100(A1)

**Drawing No.:** ASSL-TTT-CD-001-DW013

**Appendix VI(D)**  
**Old Drawings**

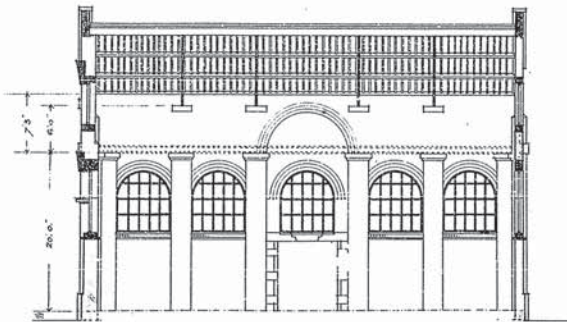
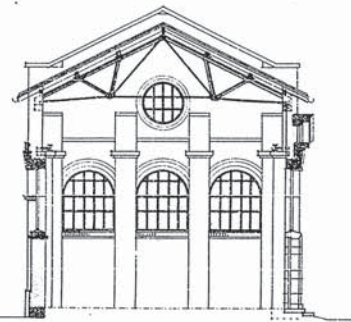
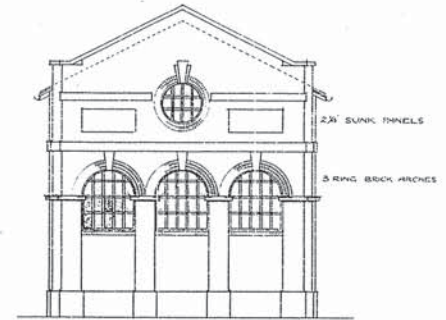
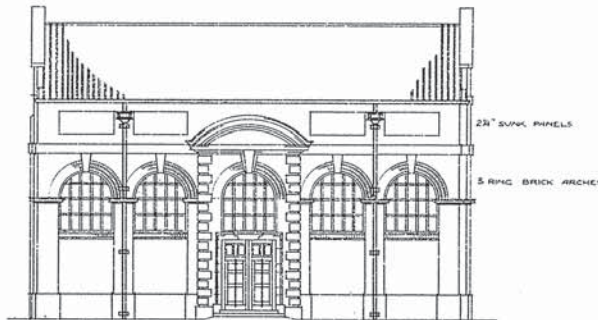
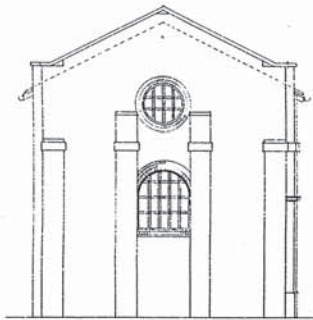
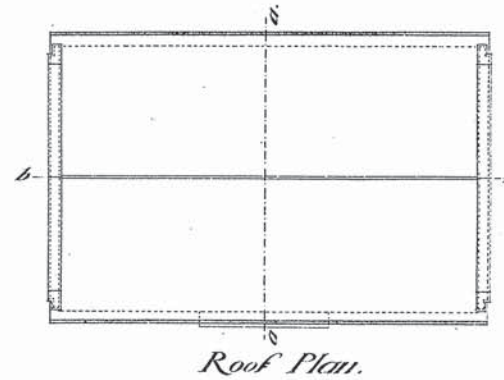
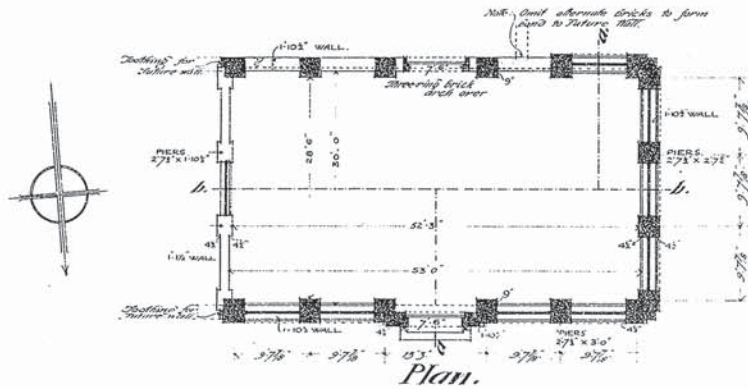
**Appendix VI(D) – Old Drawings**  
**Drawing List**

	<b>Drawing No.</b>	<b>Drawing Title</b>
1	W340	Pumping Station
2	W341	Senior Staff Quarters-Main Building
3	W342	Senior Staff Quarters-Servants' Quarters
4	W343	Senior Staff Quarters-Main Building (2)
5	W348	Pumping Station and Chimney
6	W425	No.2 Staff Quarters
7	W426	No.2 Staff Quarters – Details of Footings, Columns, Slabs, Beams and Stairs
8	W427	No.2 Staff Quarters – Details of Wooden Door and Partitions
9	W631	Chimney Shaft and Its Flue
10	W3155	Staff Quarters(Main Building) - Details of Lav., Kit, Accommodation & Septic Tanks
11	W7129/1	Senior Staff Quarters (Main Building and Servants' Quarters) - Electrical Rewiring
12	W7129/2	Staff Quarters (Main Building and Store Building) - Electrical Installation
13	W7129/3	No.2 Staff Quarters - Electrical Installation
14	W7129/4	No.2 Staff Quarters & Staff Quarters - Schematic Wiring Diagram



PUMPING STATION AT TYTAM TUK :

Drawing No. 1  
Contract No. 23 of 1904.



This is a photographically reduced print and only the scale(s) shown may be used for measurement.

*Very accurate drawing  
2 April 1904  
13. 2. 1904*

A3

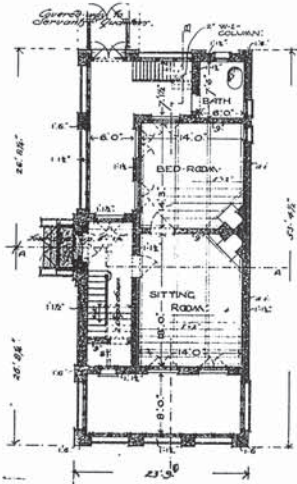
SCALE OF FEET.

PUBLIC WORKS DEPARTMENT  
HONG KONG

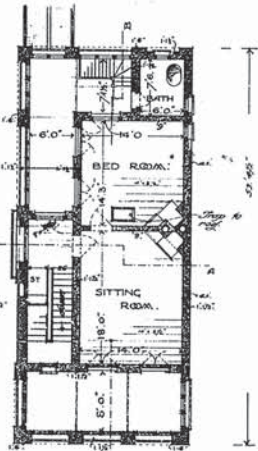
W 340

# EUROPEAN QUARTERS, TYTAM TUK.

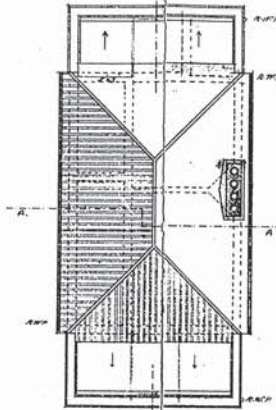
Drawing No. 1  
 Contract No. 27 of 1904.  
 23



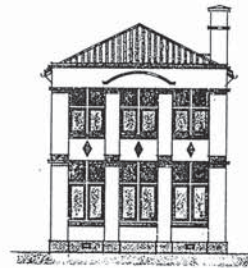
GROUND-FLOOR PLAN.



FIRST-FLOOR PLAN.



ROOF PLAN.

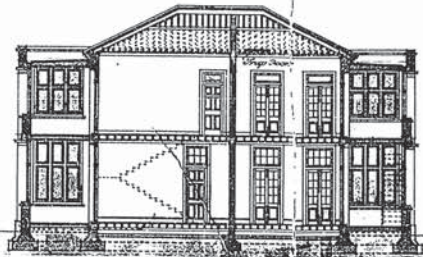


N-WEST FRONT.

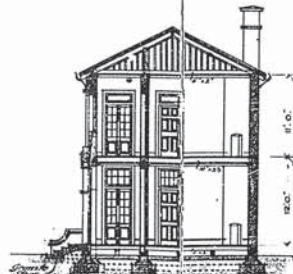


S-EAST FRONT.

This is a photographically reduced print and only the scale(s) shown may be used for measurement.



SECTION 'BB'



SECTION 'AA'



N-EAST FRONT.

SCALE  
 EIGHT FEET TO ONE INCH.

A3

Wm. O. Waller

Contractor Kempton

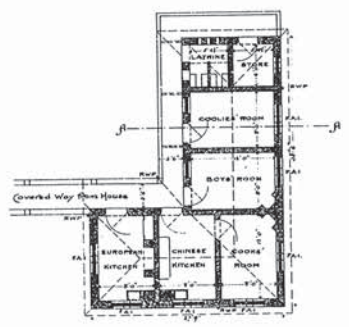
PUBLIC WORKS

Wm. O. Waller

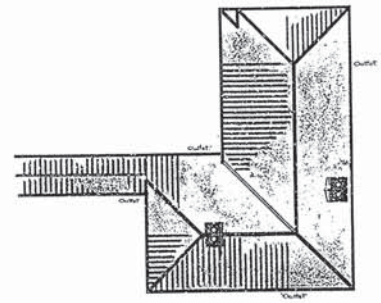
W 341

Servants' Quarters at Tylam Tuk.

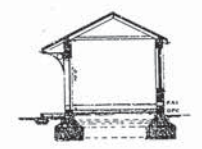
Drawing N<sup>o</sup> 3  
 Contract N<sup>o</sup> 24 of 1904  
 23



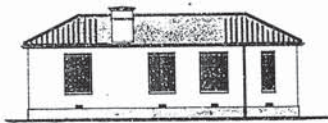
— Ground Floor Plan —



— Roof Plan —



— Section A-A —



— South West Elevation —



— North East Elevation —



— North West Elevation —

Scale of 1/4" = 1' - 0"

— June 1904 —

— Public Works Department —  
 — Hays Keyes —

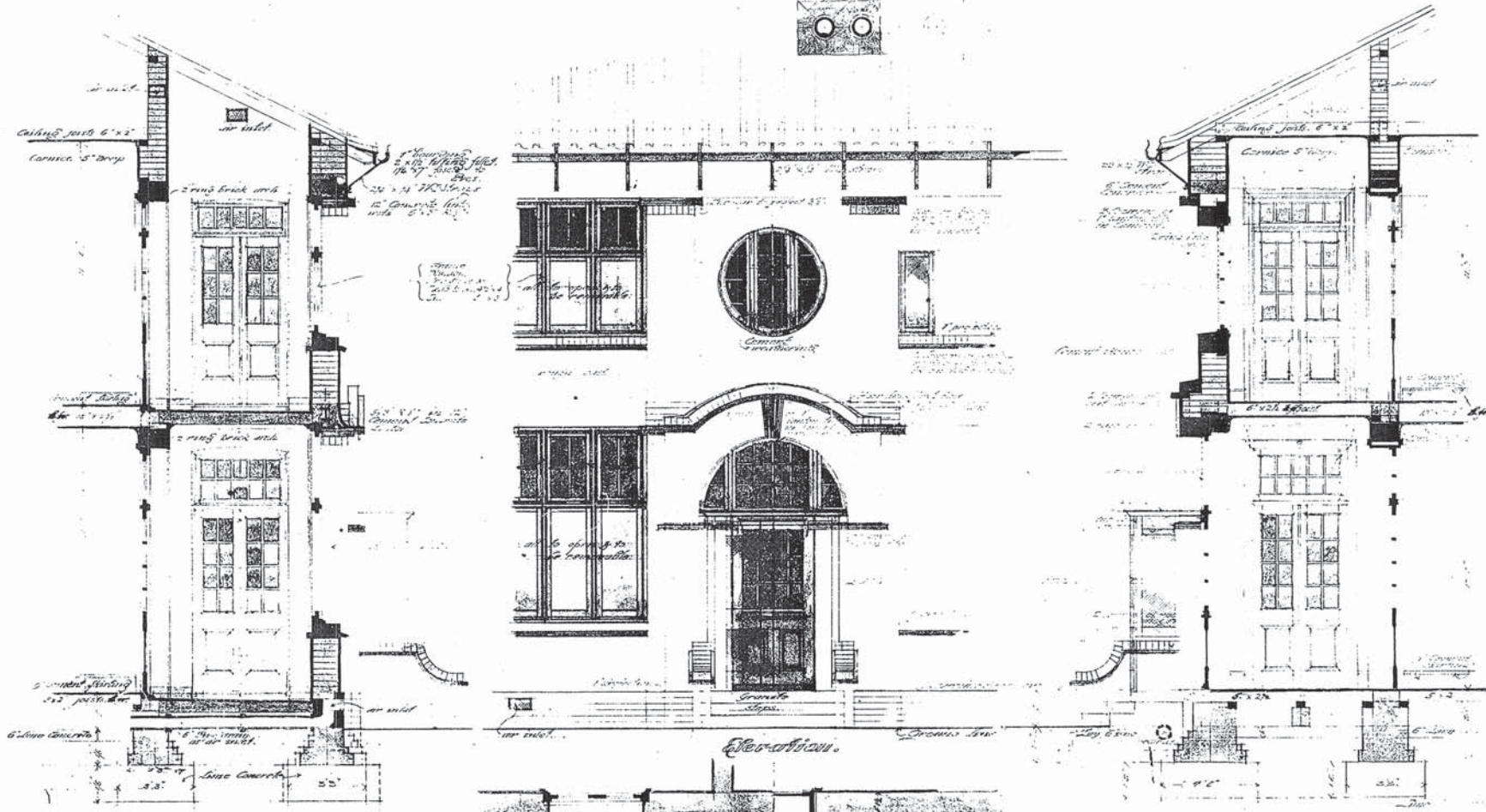
This is a photographically reduced print and only the scale(s) shown may be used for measurement.

Contractor R. A. G. Co.  
 13. 9. 04.

5  
 W 342

EUROPEAN QUARTERS, TYTAM TUK.

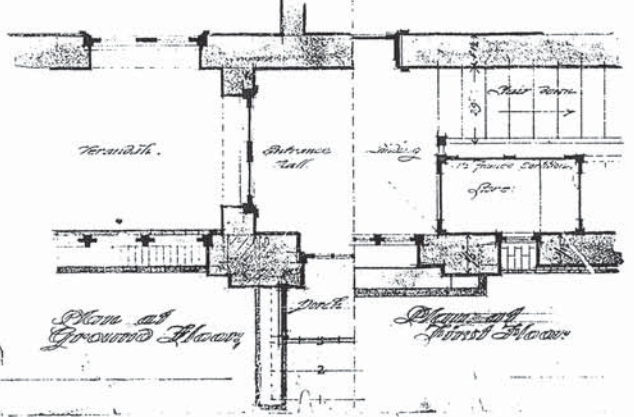
Drawn by E. R.  
Contractor, W. R. B.  
23



Section thro' the window

Elevation

Section thro' the doorway



Site of Building and Surroundings

Plan of Ground Floor

Plan of First Floor

This is a photographically reduced print and only the scale(s) shown may be used for measurement.

Contractor  
Kangon  
13.9.01.  
11.11.01.  
Architect  
Daniel Hoff  
13.9.01.

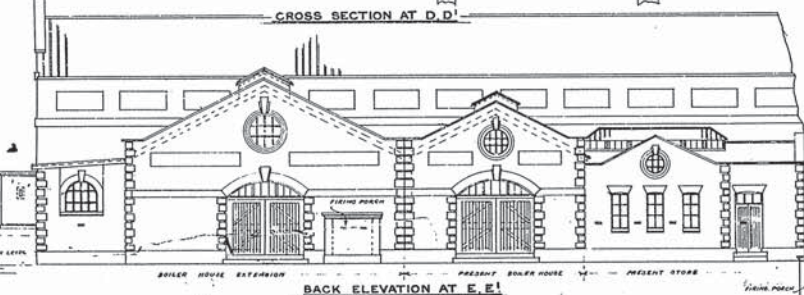
W 343



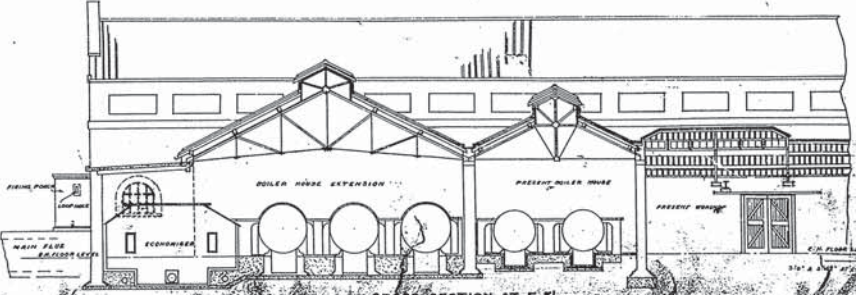
END ELEVATION AT C.C!



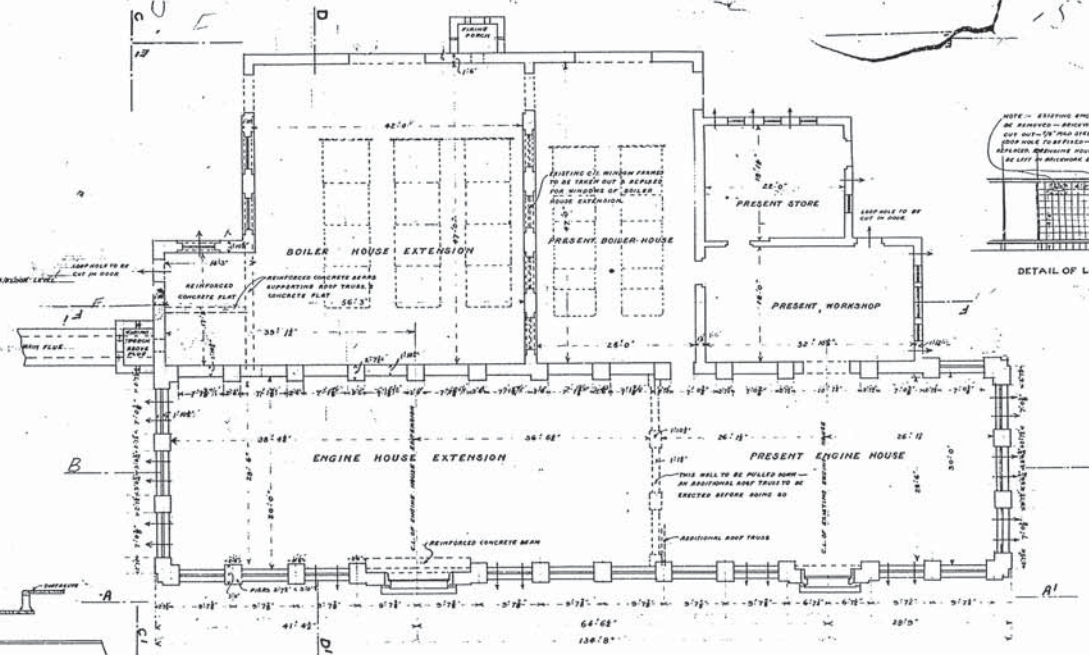
CROSS SECTION AT D.D!



BACK ELEVATION AT E.E!



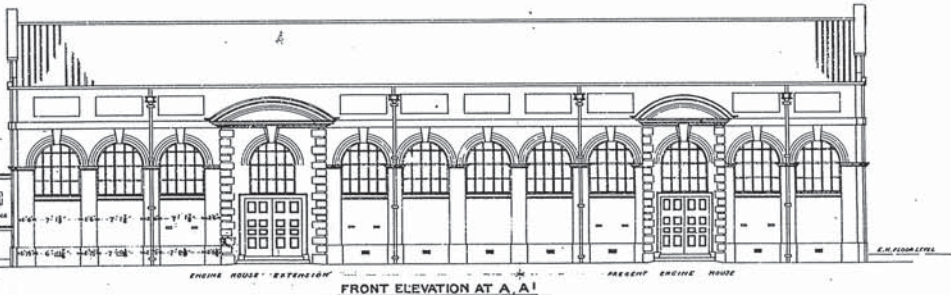
CROSS SECTION AT F.F!



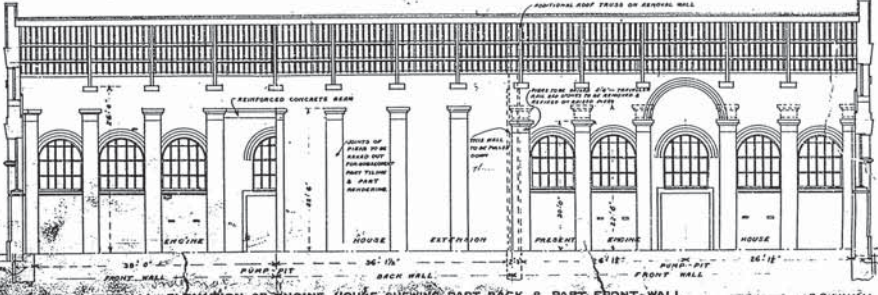
PLAN OF PUMPING STATION AT LEVEL OF ENGINE HOUSE FLOOR SHEWING EXISTING BUILDINGS & EXTENSIONS THERETO

NOTE - EXISTING ENGINE HOUSE IS TO BE AN REINFORCED-CONCRETE BEAM AND TO BE CUT OUT - 12" THICK STEEL PLATE 12" x 12" WITH 2" DIA. HOLES TO BE PROVIDED - SEE CUT FOR DIMENSIONS & REVISIONS. ENGINE HOUSE EXTENSION IS TO BE AS SHOWN IN ACCORDANCE WITH THE PHOTOGRAPH.

DETAIL OF LOOP HOLES



FRONT ELEVATION AT A.A!

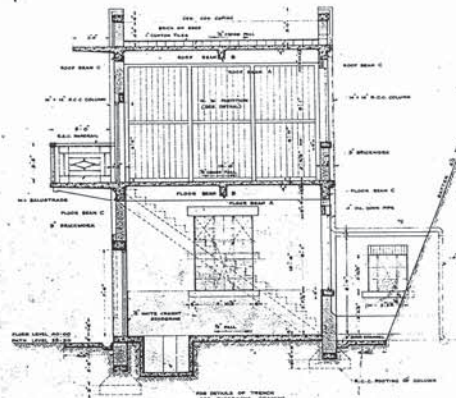
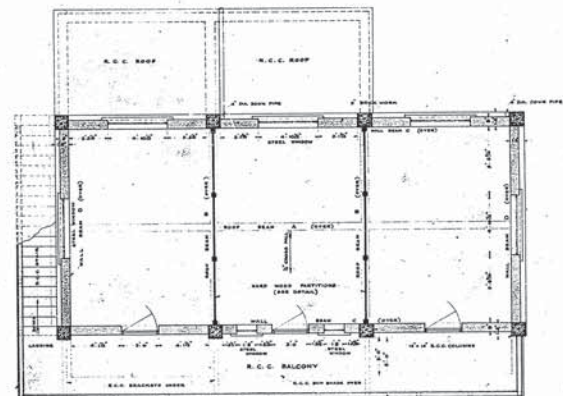
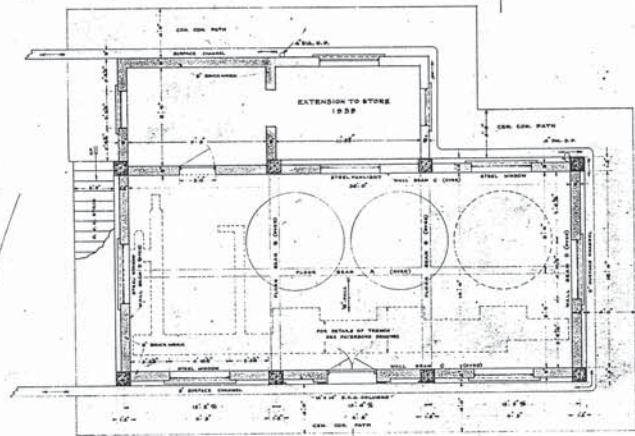
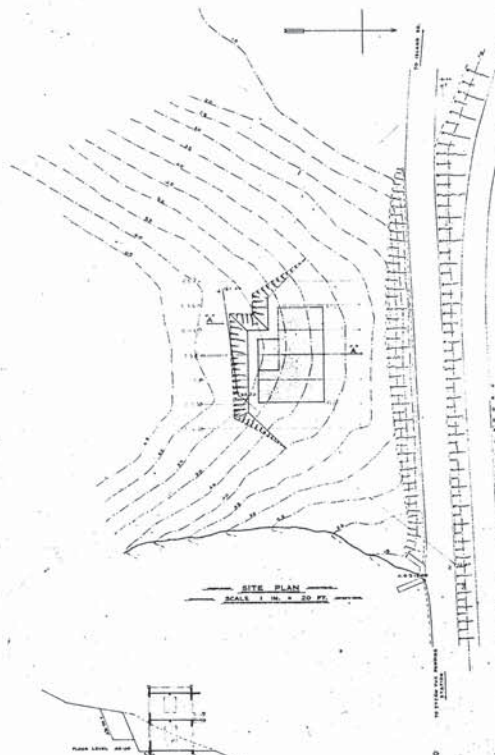


INTERNAL ELEVATION OF ENGINE HOUSE SHEWING PART BACK & PART FRONT WALL

This is a photographically reduced print and only the scale(s) shown may be used for measurement.

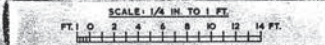
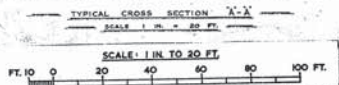
W 348

DRAWN BY  
DRAWN BY



This is a photographically reduced print and only the scale(s) shown may be used for measurement.

**HONG KONG WATER WORKS**  
**STANLEY SUPPLY**  
**PRESSURE FILTER HOUSE**  
**SCALE 1 IN. = 4 FT.**

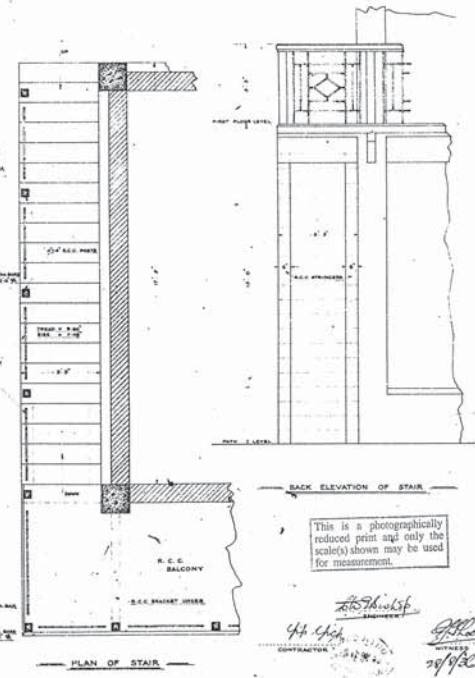
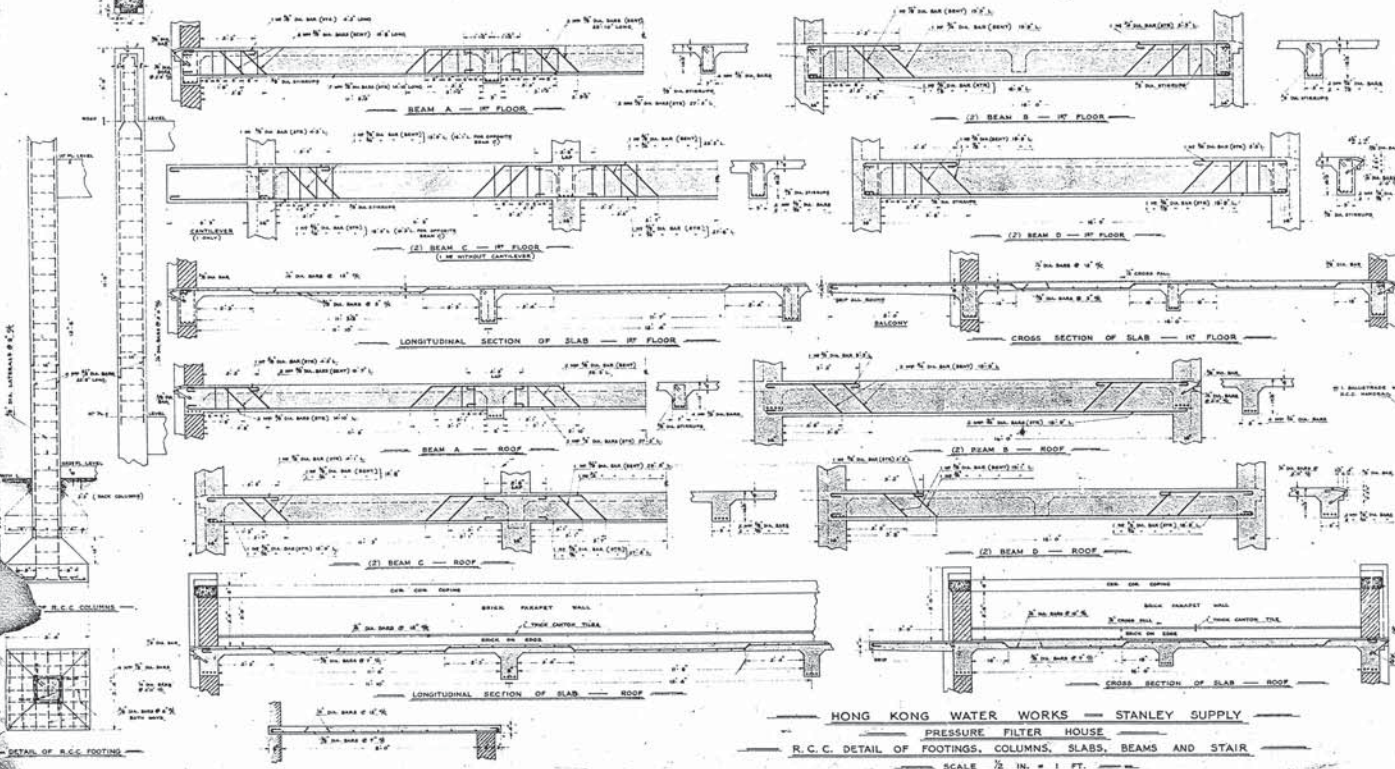
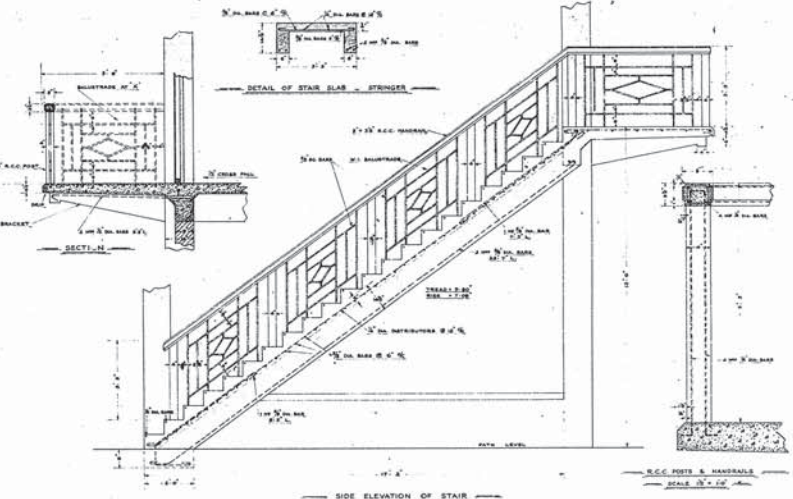
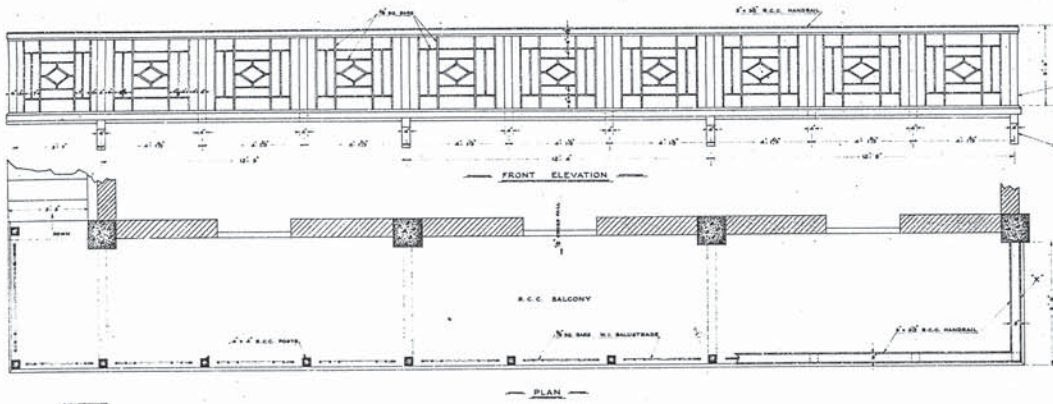


CONTRACT No. 46 OF 1936  
 DRAWING No. 7  
 DRAWER No. 7. W 425

*W. H. H. H.*  
 CONTRACTOR  
 28/8/36

*J. R. R.*  
 WITNESS

SCALE: 1/2 IN. TO 1 FT.  
 FT. 0 1 2 3 4 5 6 7

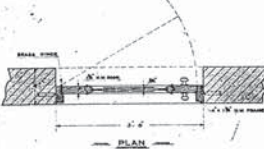
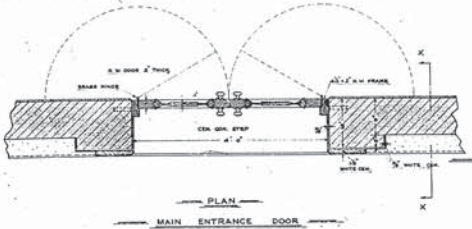
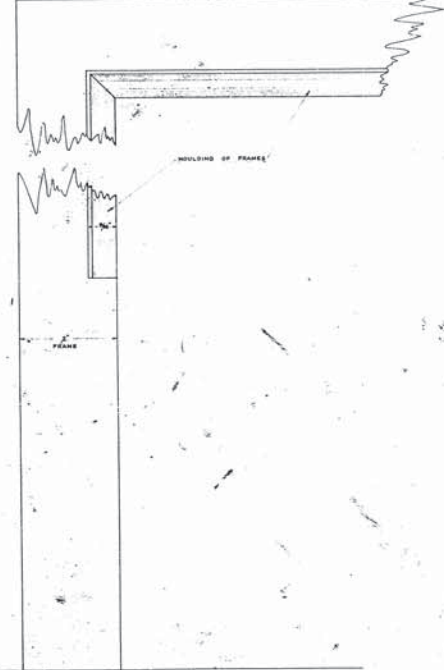
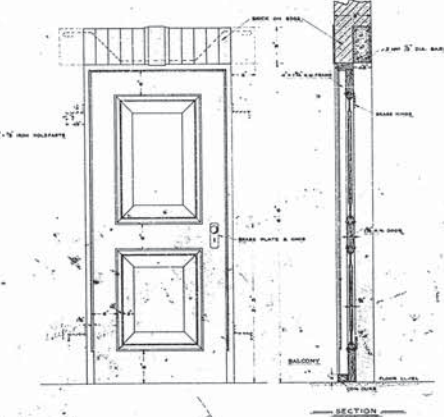
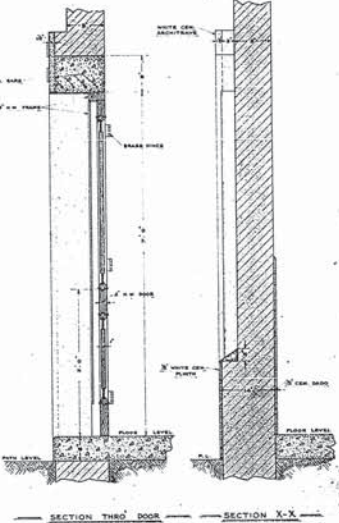
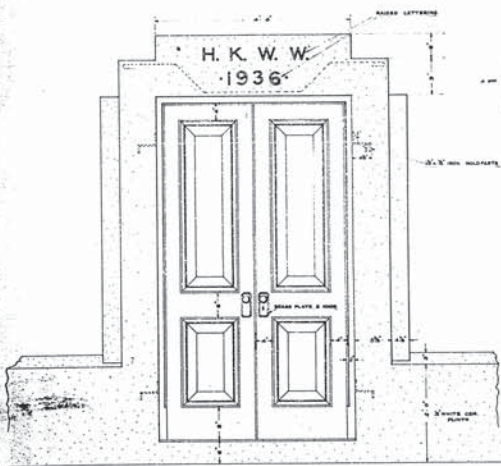
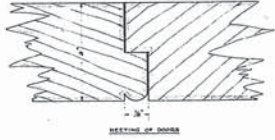
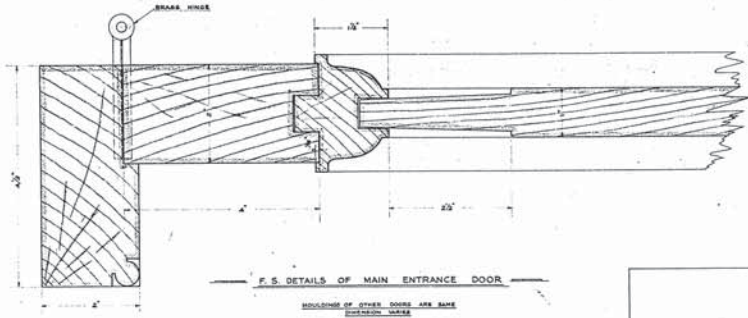
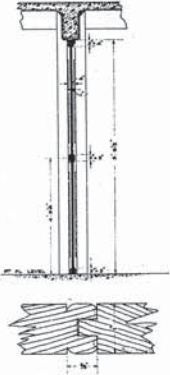
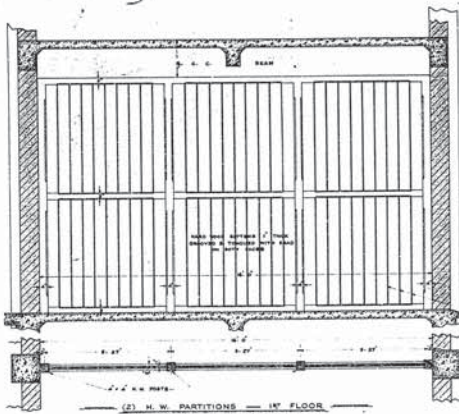


This is a photographically reduced print and only the scale(s) shown may be used for measurement.

48/48  
 CONTRACT NO. 46 OF 1936  
 29/36

HONG KONG WATER WORKS - STANLEY SUPPLY  
 PRESSURE FILTER HOUSE  
 R.C.C. DETAIL OF FOOTINGS, COLUMNS, SLABS, BEAMS AND STAIR  
 SCALE 1/2 IN. = 1 FT.

CONTRACT NO 46 OF 1936  
 DRAWING NO 2  
 DRAWER T. DRG W 426

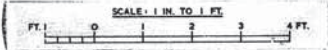


**HONG KONG WATER WORKS**  
**STANLEY SUPPLY**  
**PRESSURE FILTER HOUSE**  
**DETAIL OF WOODEN DOORS & PARTITIONS**  
**SCALE 1 IN. = 1 FOOT**

- (3) DOORS - 1ST FLOOR
- (2) DOOR OF ASP.
- (1) DOOR OF ASP.

This is a photographically reduced print and only the scale(s) shown may be used for measurement.

**CONTRACT N° 46 OF 1936**  
**DRAWING N° 3**



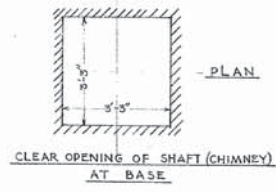
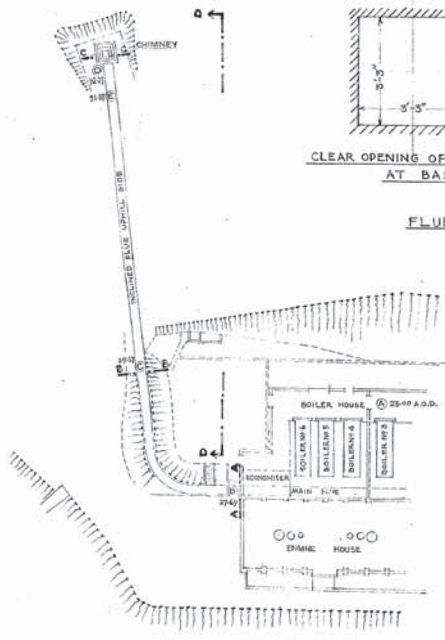
*Handwritten signatures and dates:*  
 14/2/36  
 CONTRACTOR  
 29/1/36  
 ARCHITECT

**W 427**

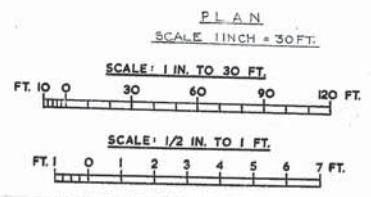
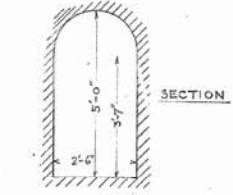
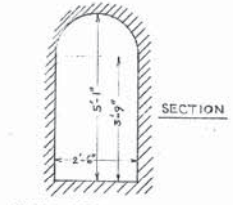
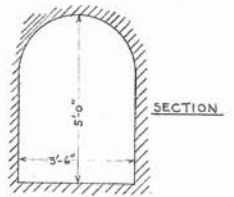


HONG KONG WATER WORKS  
TYTAM TUK PUMPING STATION

T. T. M. No 2

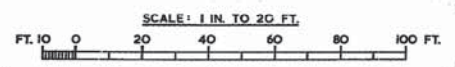
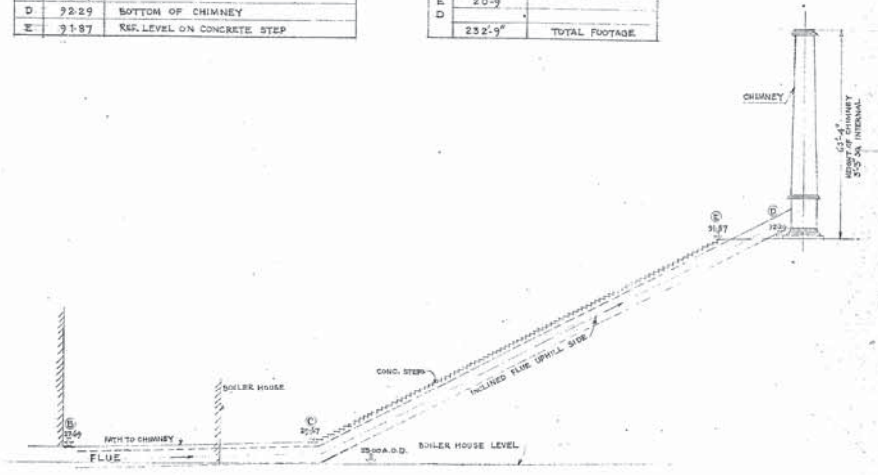


FLUE INTERNAL MEASUREMENTS  
SCALE 1/2" TO 1 FT.



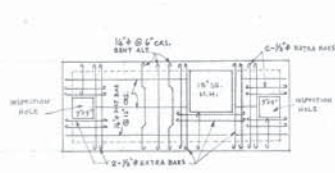
LEVEL	REMARKS
A	23.00 BOILER HOUSE FLOOR LEVEL
B	27.69
C	29.67
D	92.29 BOTTOM OF CHIMNEY
E	91.87 K&C LEVEL ON CONCRETE STEP

SLOPE DISTANCE	REMARKS
B	735'-0"
C	139'-0"
E	20'-9"
D	232'-9"
	TOTAL FOOTAGE

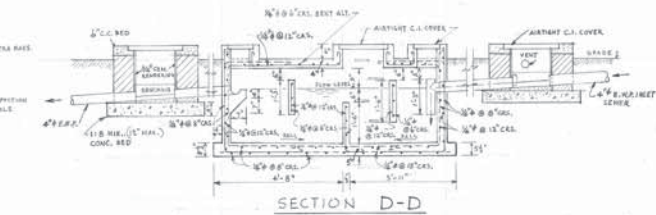


DRG. NO. W 631

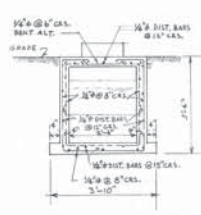
DATE:- 8th.



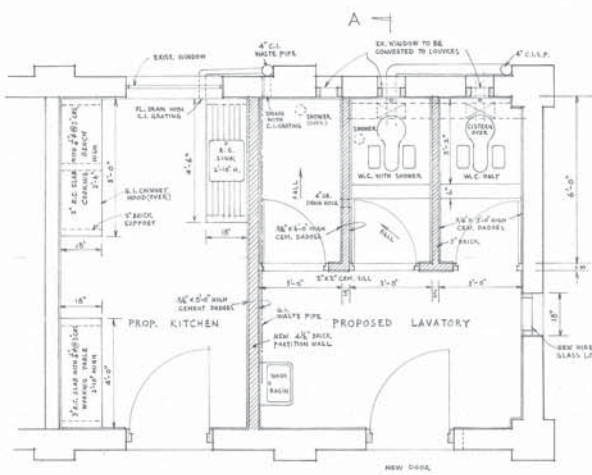
ROOF PLAN



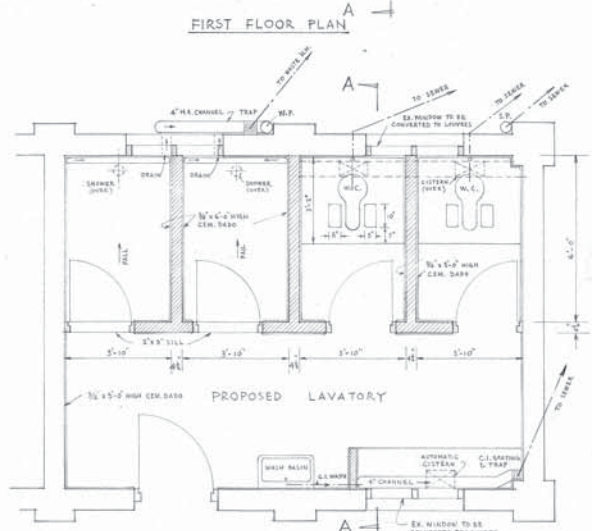
SECTION D-D



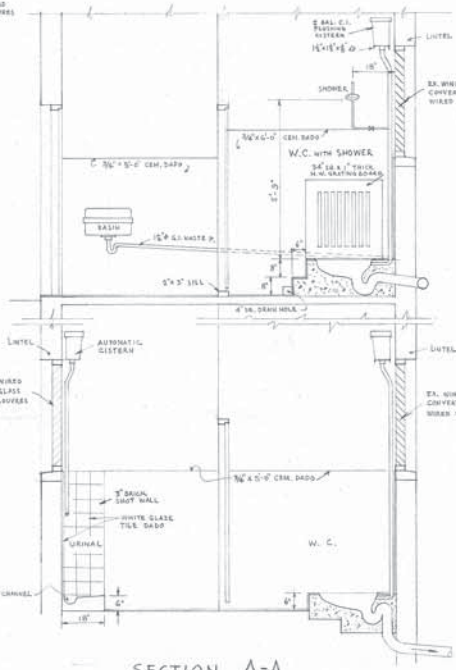
SECT. E-E



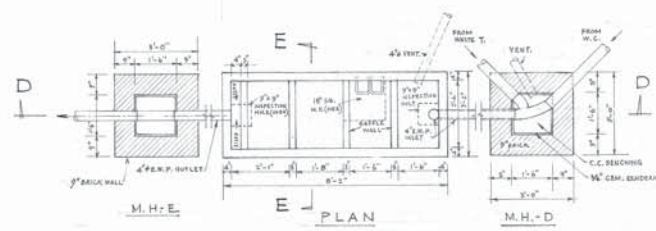
FIRST FLOOR PLAN



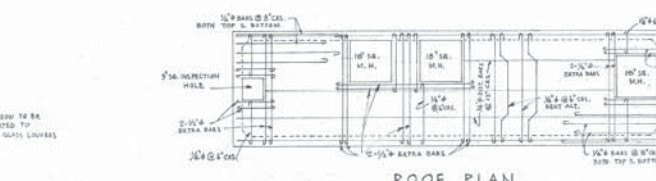
GROUND FLOOR PLAN



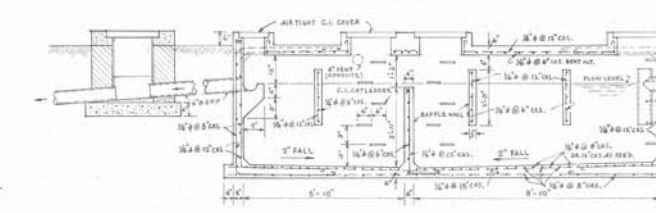
SECTION A-A



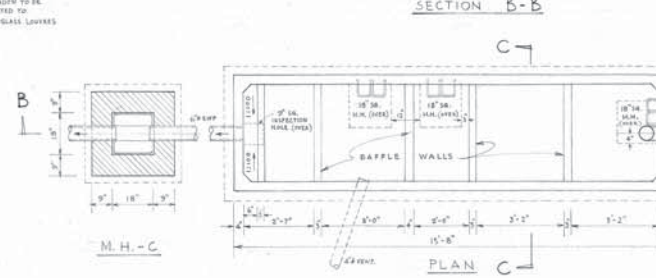
DETAILS OF R.C. SEPTIC TANK TYPE B



ROOF PLAN



SECTION B-B



R.C. SEPTIC TANK TYPE A

NOTE: FOR LAYOUT PLAN SEE W.G. NO. W1013/A

SCALE: 1/2 IN. TO 1 FT.

HONG KONG WATER WORKS  
 TYTAM TUK QUARTERS  
 DETAILS OF LAV., KIT., ACCOMMODATION & SEPTIC TANKS

DRAWN BY	S. K. FAN	DATE	12/4/62	REFERENCE	WATER WORKS OFFICE
TRACED BY					P. W. D.
CHECKED BY					HONG KONG
APPROVED BY					DRAWING NO.
					<b>W 3155</b>

**NOTE:**

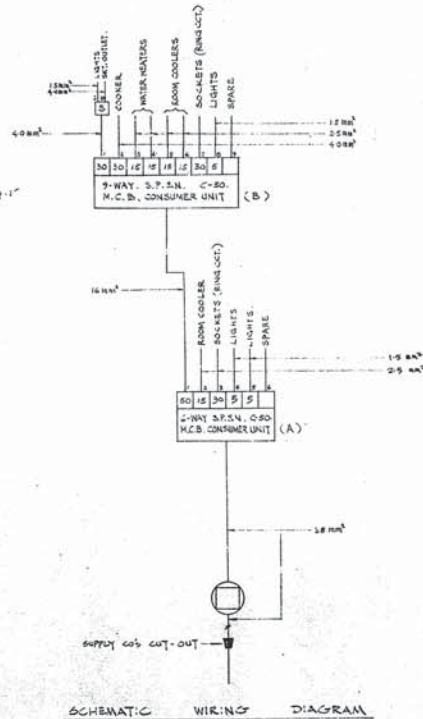
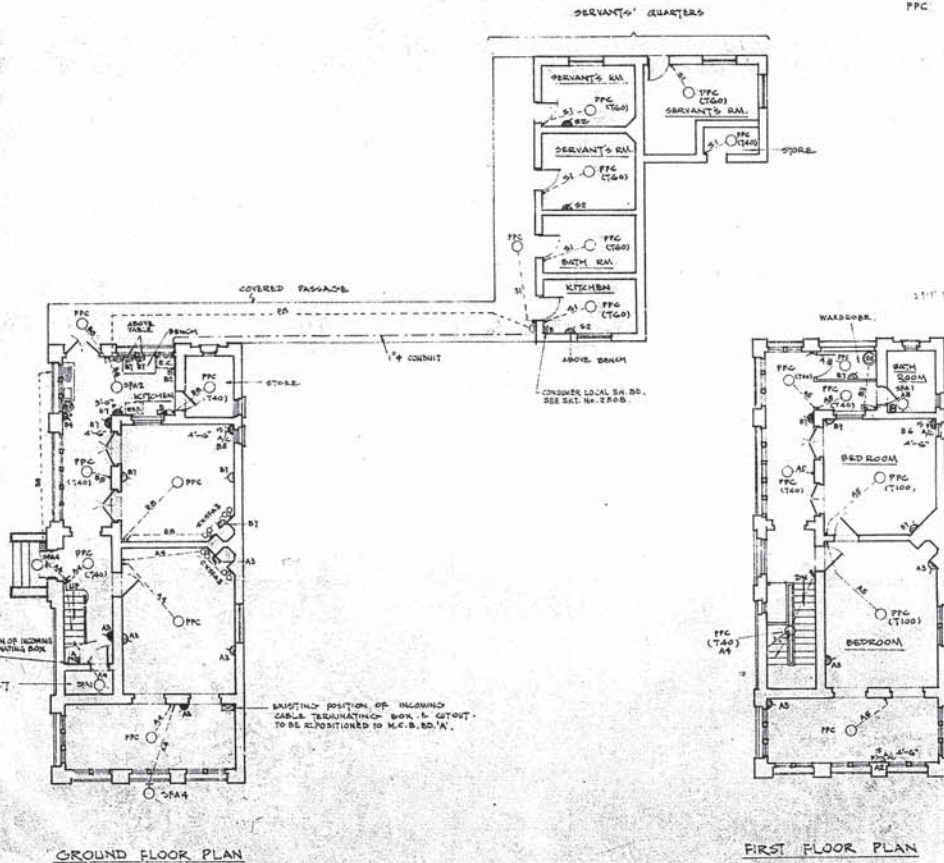
- (1) THE ELECTRICAL INSTALLATION SHALL BE CARRIED OUT WITH PVC MULTI-CORE CABLES RUN ON THE SURFACE.
- (2) WHENEVER POSSIBLE, SOCKETS & LIGHTING SWITCHES SHOULD BE FLUSH MOUNTED.

**LIGHTING FITTING SCHEDULE**

- OPAI 6" DIA. GLASSWARE LIGHTING FITTING (T60) (EXISTING)
- OPAD 8" DIA. GLASSWARE LIGHTING FITTING (T100) (EXISTING)
- OPAF 2" DIA. WALL MOUNTED BRACKET FITTING (T40) (EXISTING)
- OPAA WELL-GLASS LIGHTING FITTING WITH GUARD & REFLECTOR (T60) (EXISTING)
- PFC PLAIN PENDANT.

**ELECTRICAL SYMBOLS**

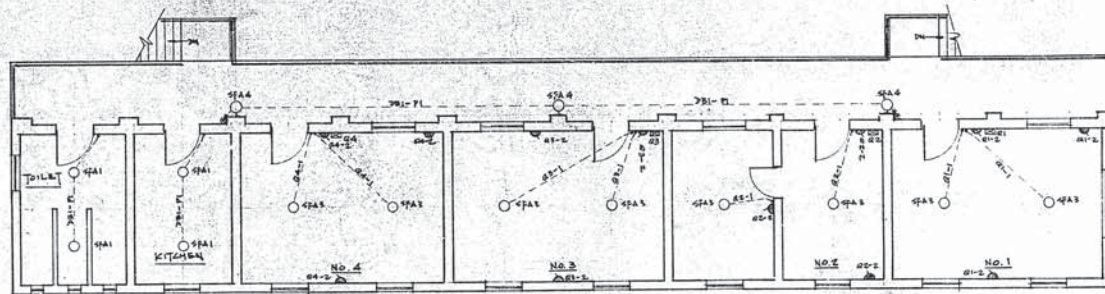
- WALL MOUNTED LIGHTING FITTING
- CEILING MOUNTED LIGHTING FITTING
- ⊕ SWITCH SOCKET WITH PILOT LIGHT IS A 3 PIN.
- ⊕ SWITCH SOCKET WITH PILOT LIGHT IS A 3 PIN FOR ROOM COOLER
- ⊕ LIGHTING SWITCH 5A ONE WAY
- ⊕ LIGHTING SWITCH 5A TWO WAY
- ⊕ SUPPLY JOB METER
- ⊕ 0.5 GAL. WATER HEATER
- ⊕ 10 GAL. WATER HEATER
- ⊕ ELECTRIC SHAVER SOCKET
- ⊕ REFRIGERATOR
- ⊕ ELECTRIC COOKER
- ⊕ COOKER CONTROL UNIT
- ⊕ CONSUMER LOCAL SWITCH BOARD (SEE SAC NO. 2508)
- ⊕ 0.5 A 3 P. SWITCH WITH PILOT LIGHT
- ⊕ WALL MOUNTED CALL BELL PUNCH
- ⊕ ELECTRIC BELL
- ⊕ 2-ARM WALL MOUNTED BRACKET FITTING
- ⊕ SWITCHBOARD



This is a photographically reduced print and only the scale(s) shown may be used for measurement.

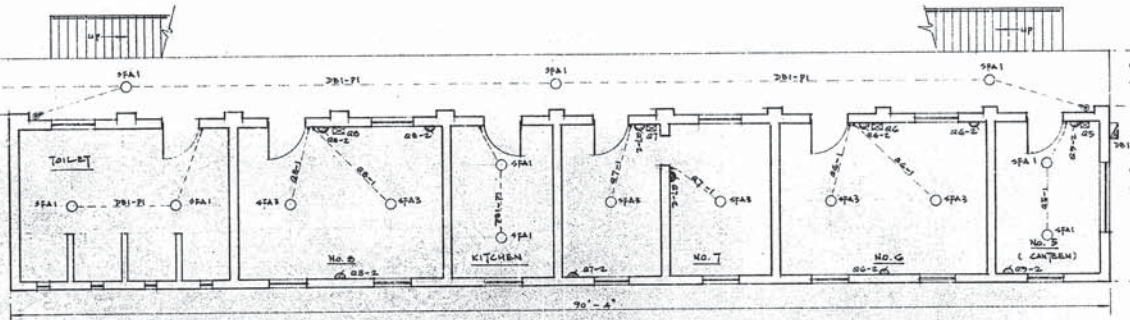
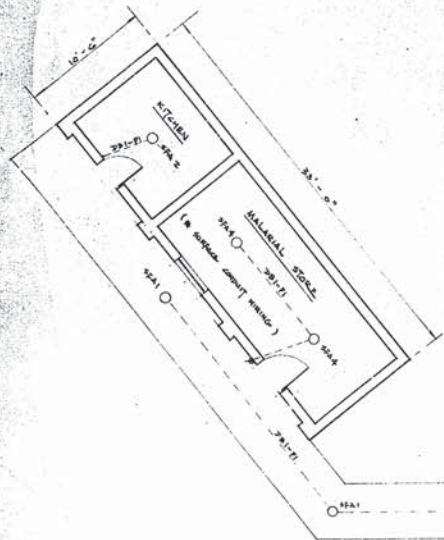
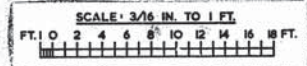
SCALE: 1/8 IN. TO 1 FT.  
 FT. 10 2 4 6 8 10 12 14 16 18 20 22 24 FT.

CONTRACT NO. OF 196		WATERWORKS OFFICE, P.W.D., HONG KONG.	
SCALE: 1/8 IN. TO 1 FT.		TAI TAM TUK SENIOR STAFF QUARTERS	
		ELECTRICAL REWIRING	
REFERENCE DATA	SURVEYED	SIGNED	DRAWING NO.
JUNIOR STAFF QTR. W7129/1, 2 & 3		20/5/71	W7129/1
9/5 W6670/2	DRAWN	CHIEF ELECTRICAL ENGINEER	
	DESIGNED		
	CHECKED		
	APPROVED		



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

- LIGHTING FITTING SCHEDULE**
- SFA1 6" DIA. GLOBE GLASSHARE LIGHTING FITTING (T60)
  - SFA2 8" DIA. GLOBE GLASSHARE LIGHTING FITTING (T100)
  - SFA3 8" DIA. GLOBE GLASSHARE LIGHTING FITTING WITH GYDT AND 1/2" DIA. WHITE PLASTIC COLLAR (T60)
  - SFA4 6" DIA. GLOBE GLASSHARE LIGHTING FITTING AS 'COUNTRY' BY 10 (T60)

**ELECTRICAL SYMBOLS**

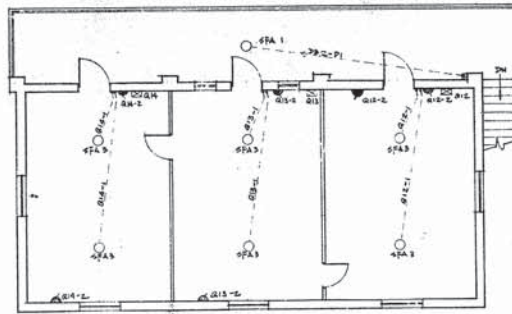
- WALL MOUNTED LIGHTING FITTING
- CEILING MOUNTED LIGHTING FITTING
- LIGHTING SWITCH, S.A. ONE WAY
- MOUNTING LIGHTING SWITCH, S.A. ONE WAY
- MOUNTING LIGHTING SWITCH, S.A. TWO WAY
- 13 A. 50 M. SWITCH SOCKET
- CONSUMER LOCAL CONTROL SWITCH-DON (SEE SKETCH NO. 2308)
- WATER BOARD (SEE SKETCH NO. 2101/2)

**NOTE:**

- (1) THE EXTERNAL ELECTRICAL INSTALLATION, INCLUDING THE MATERIAL STORE, & KITCHEN, SHALL BE CARRIED OUT WITH SEPARATE CONDUIT WIRING SYSTEM.
- (2) THE INTERNAL ELECTRICAL INSTALLATION SHALL BE CARRIED OUT WITH PVC MULTI-CORE CABLES RUN ON THE SURFACE.
- (3) WHEREVER POSSIBLE, SOCKETS & LIGHTING SWITCHES SHALL BE PLUSH MOUNTED.
- (4) FOR SCHEMATIC WIRING DIAGRAM, SEE D.S. NO. W.T.29/4

This is a photographically reduced print and only the scale(s) shown may be used for measurement.

REFERENCE DATA:	CONTRACT NO.	OF 196
	SCALE:	AS SHOWN
	SURVEYED	WATERWORKS OFFICE, P.W.D., HONG KONG.
	DRAWN	TAI TAM TUK JUNIOR STAFF QUARTERS (1)
DESIGNED	ELECTRICAL INSTALLATION	
CHECKED	16/3/71	SIGNATURE
APPROVED	07/1	CHIEF ELECTRICAL ENGINEER
		DRAWING NO.
		W 7129/2



FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOLS

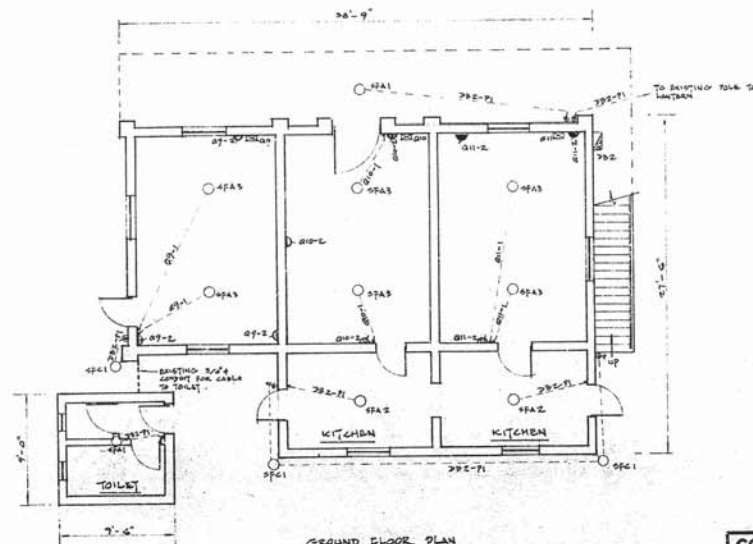
- WALL MOUNTED LIGHTING FITTING
- CEILING MOUNTED LIGHTING FITTING
- ✓ LIGHTING SWITCH, 5 A, ONE WAY
- ⊘ WATERPROOF LIGHTING SWITCH, 5 A, ONE WAY
- ⊘ WATERPROOF LIGHTING SWITCH, 5 A, TWO WAY
- ⊘ 13 A 5-PIN SWITCH SOCKET
- ⊘ CONTRACTOR'S LOCAL CONTROL SWITCH - RCM (SEE SCHEDULE NO. 0503)
- ⊘ METER BOARD (SEE SCHEDULE NO. 0101/C)

LIGHTING FITTING SCHEDULE

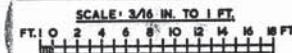
- SPA 1 6" DIA. GLOBE GLASSWARE LIGHTING FITTING (TGO)
- SPA 2 6" DIA. GLOBE GLASSWARE LIGHTING FITTING (TGO)
- SPA 3 PATTERNS LAMP HOLDER WITH GLOBE AND 11" DIA. WHITE PLASTIC LAMPHOOD SHADE (TGO)
- SPC 1 HELIXGLASS LIGHTING FITTING, CHANCKER WITH GUARD & REFLECTOR AS 'CONTRACTOR' 4W 10/1GR (TGO)  
(SUPPLIED BY CONTRACTOR)

NOTE:

- 1) THE INTERNAL ELECTRICAL INSTALLATION SHALL BE CARRIED OUT WITH SURFACE CONDUIT WIRING SYSTEM (INCLUDING INSTALLATION IN KITCHENS).
- 2) THE INTERNAL ELECTRICAL INSTALLATION SHALL BE CARRIED OUT WITH PVC MULTI-CORE CABLES RUN ON THE SURFACE.
- 3) WHEREVER POSSIBLE, SOCKETS & LIGHTING SWITCHES SHALL BE FLUSH MOUNTED.
- 4) FOR SCHEMATIC WIRING DIAGRAM, SEE DRG. NO. W 7129/1-A.



GROUND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

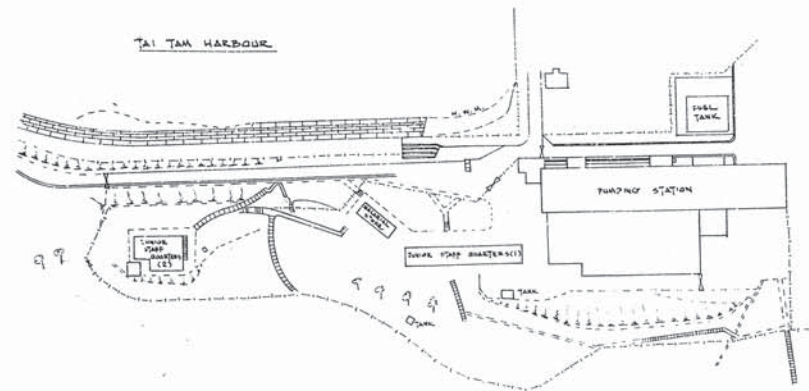
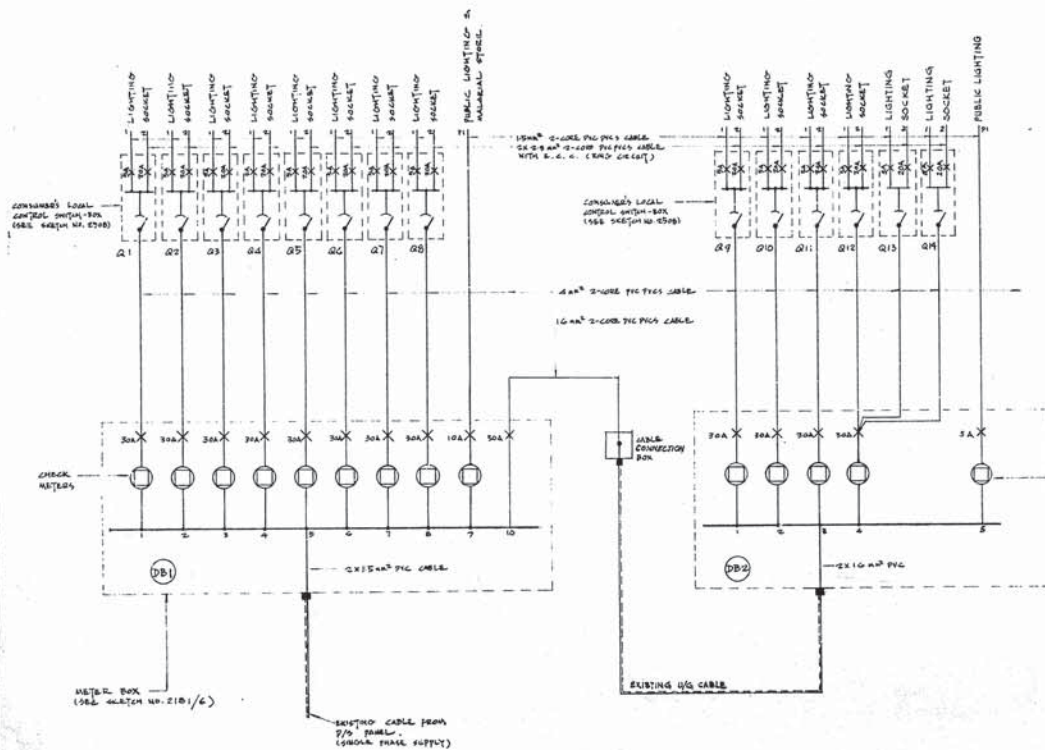


This is a photographically reduced print and only the scale(s) shown may be used for measurement.

RECORD DRAWING  
13-1-76

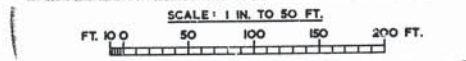
REFERENCE DATA:

CONTRACT NO.	OF 196	A	TWO SHEETS UNLIMITED	25/1/76
SCALE: AS SHOWN	WATERWORKS OFFICE, P.W.D., HONG KONG.			
SURVEYED		TAI TAM TUK JUNIOR STAFF QUARTERS (2)		
DRAWN		ELECTRICAL INSTALLATION		
DESIGNED				
CHECKED	<i>Milk</i>	SIGNATURE	16/3/76	DRAWING NO.
APPROVED	<i>W</i>	<i>S. C. Wong</i>		W 7129/3 A
		CHIEF ELECTRICAL ENGINEER		



SITE PLAN

SCALE: 1 IN. = 50 FT.



NOTE:

- 01 FOR ELECTRICAL INSTALLATION OF JUNIOR STAFF QUARTERS (1) . SEE DDO NO. W 7129 / 2 .
- 02 FOR ELECTRICAL INSTALLATION OF JUNIOR STAFF QUARTERS (2) . SEE DDO NO. W 7129 / 3 .

This is a photographically reduced print and only the scale(s) shown may be used for measurement.

REFERENCE DATA :	CONTRACT NO. OF 196		A	SWITCHGEAR DELIVERED.	12/14/71
	SCALE :	WATERWORKS OFFICE, P.W.D., HONG KONG.			
SURVEYED		TAI TAM TUK JUNIOR STAFF QUARTERS			
DRAWN		SCHEMATIC WIRING DIAGRAM			
DESIGNED		SIGNED	12/13/71	DRAWING NO	
CHECKED		D. G. [Signature]		W 7129 / 4 A	
APPROVED		[Signature]		CHIEF ELECTRICAL ENGINEER	

**Appendix VII**  
**Photos of the Site and Buildings**

1. The site



1.1 Aerial View of Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound



1.2 Aerial View of Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound





1.3 View of Main Entrance from Tai Tam Reservoir Road



1.4 View of Interior Gate from Yard to Senior Staff Quarters  
(Main Building & Servant's Quarters)



1.5 View from Tai Tam Reservoir Road



1.6 View of ramp from Tai Tam Reservoir Road to Yard

## 2. Senior Staff Quarters – Main Building



2.1 View of Senior Staff Quarters – Main Building



2.2 View of Senior Staff Quarters – Main Building



2.3 View of 1/F Sitting Room 2



2.4 View of 1/F Hallway 4



2.5 View from 1/F Hallway 3



2.6 View of staircase



2.7 View of G/F Sitting Room 1



2.8 View of G/F Bed Room 1



2.9 View from main entrance

### 3. Senior Staff Quarters - Servants' Quarters



3.1 View of Senior Staff Quarters - Servants' Quarters

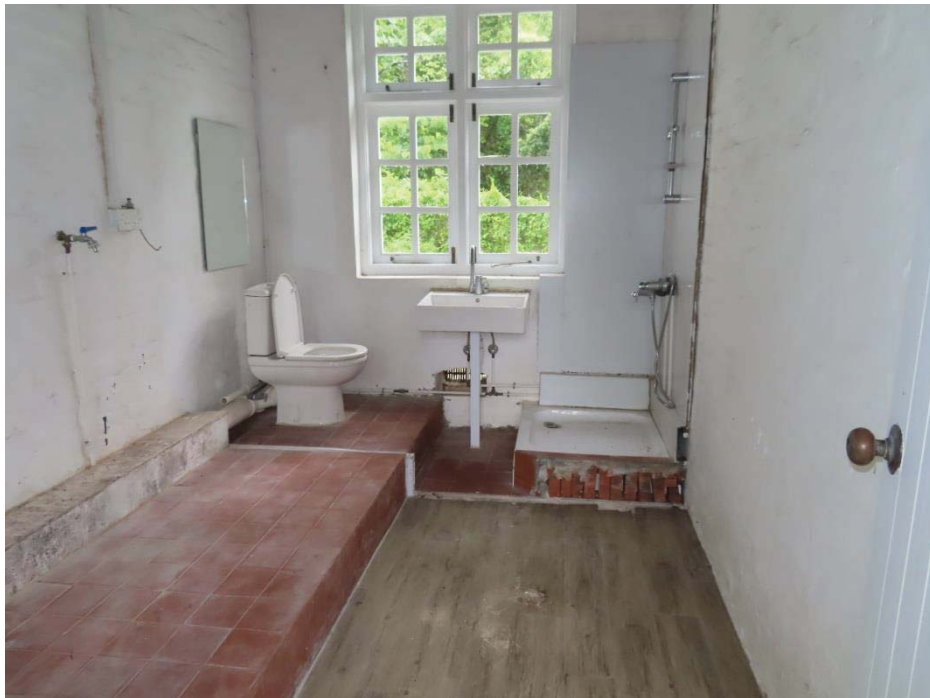


3.2 View of Senior Staff Quarters - Servants' Quarters





3.3 View of Kitchen



3.4 View of Bathroom



3.5 View of Servant's Room 3

#### 4. Staff Quarters – Main Building



4.1 View of Staff Quarters - Main Building



4.2 View of Staff Quarters - Main Building



4.3 View of G/F Toilet 1



4.4 View of G/F Kitchen 2



4.5 View of G/F Room 7



4.6 View of 1/F Open Verandah



4.7 View of 1/F Kitchen 3



4.8 View of 1/F Toilet 2

## 5. Staff Quarters – Store Building



5.1 View of Store Building



5.2 View of Store Building



5.3 View of Store



6. No. 2 Staff Quarters



6.1 View of No. 2 Staff Quarters



6.2 View of G/F Room 1



6.3 View of 1/F Room 5



6.4 View from Balcony of 1/F



6.5 View from Balcony of 1/F

7. No. 2 Staff Quarters - Outbuilding



7.1 View of No. 2 Staff Quarters - Outbuilding

8. Dangerous Goods Store



8.1 View of Dangerous Goods Store

## 9. Yard



9.1 View of Yard



9.2 Aerial view of Yard



9.3 View of Yard

10. Fuel Tank



10.1 Aerial view of Fuel Tank



10.2 View of Fuel Tank



## 11. Garage



11.1 View of Garage

12. Underground Cellar



12.1 View of Entrance of Underground Cellar

13. Main Building of Pumping Station



13.1 View of Pumping Station



13.2 View of Pumping Station



13.3 View of Pumping Station



13.4 View of Pumping Station

## 14. Chimney Shaft and its Flue



14.1 View of Chimney Shaft



14.2 View of Chimney Shaft and its Flue

## 15. Tai Tam Bay Pier

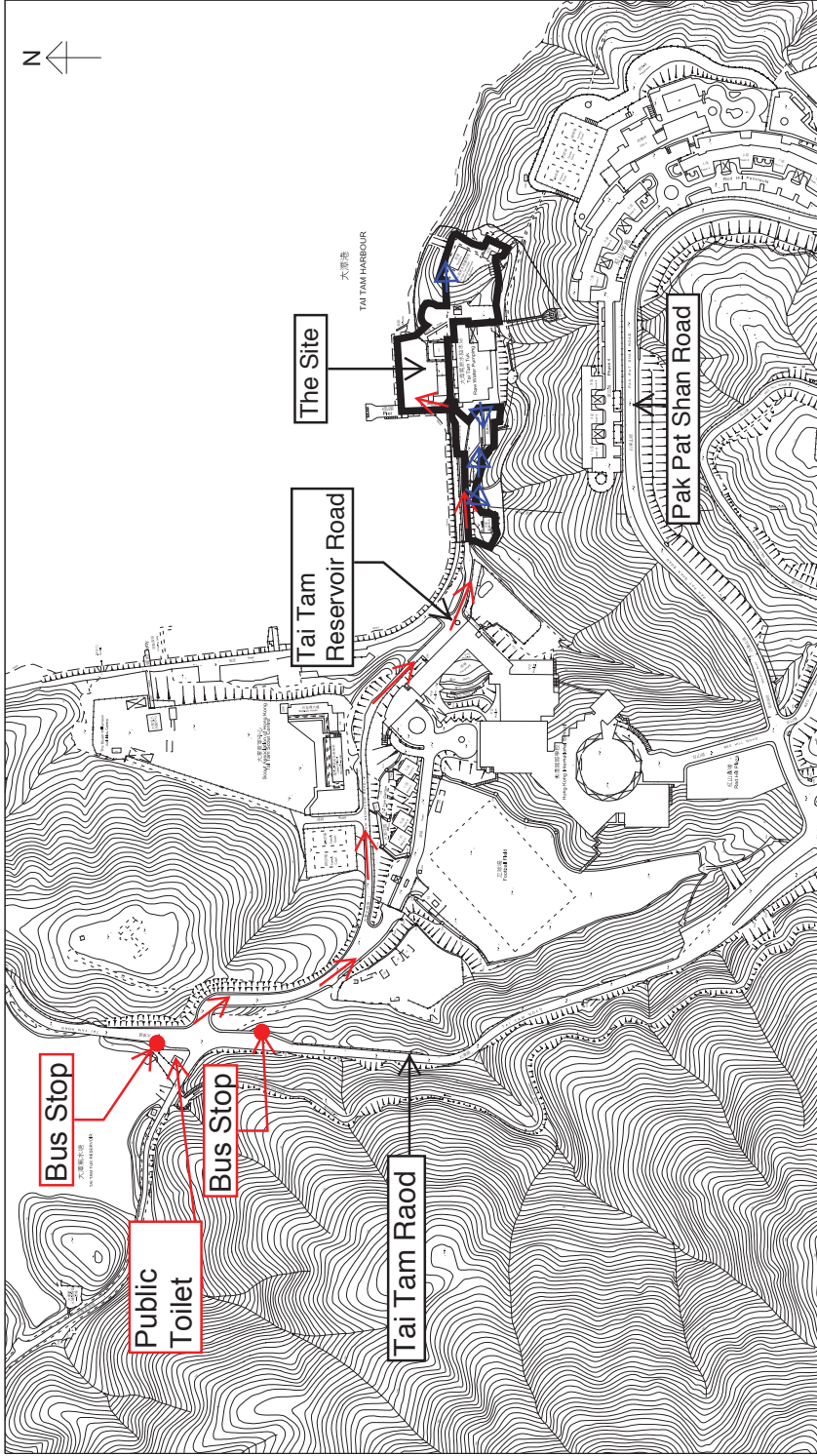


15.1 View of Tai Tam Bay Pier



15.2 View of Tai Tam Bay Pier

**Appendix VIII**  
**Access Plan**



<p><b>THE SITE</b></p> <p>VEHICLE &amp; PEDESTRIAN</p> <p>PEDESTRIAN ONLY</p>	<p>TAI TAM TUK RAW WATER PUMPING STATION AND STAFF QUARTERS</p> <p>TAI TAM RESERVOIR ROAD TAI TAM, HONG KONG</p>	<p>DRAWING NO.: APPENDIX ACCESS PLAN</p> <p>1:5000 @ A4</p>
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**Appendix IX(A)**

**List of Architectural Features to be Preserved**

**Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound**  
**List of Architectural Features to be Preserved**

**1A. SENIOR STAFF QUARTERS – MAIN BUILDING**

Item	Architectural Feature
1A.1	<p><u>Building Facades</u>            All building facades in symmetrical design with rendered walls painted in white and with horizontal features highlighted, including all classical architectural features such as pilasters, centrally placed entrance porch and doorway with semi-circular arched fanlight above and arched windows etc.</p>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>North-east elevation</p> </div> <div style="text-align: center;">  <p>North-west elevation</p> </div> </div>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>South-west elevation</p> </div> <div style="text-align: center;">  <p>South-east elevation</p> </div> </div>

Item	Architectural Feature
1A.2	<p data-bbox="332 226 560 256"><u>Wooden Windows</u></p> <p data-bbox="332 262 1453 361">Wooden casement windows and arched windows, including the original openings, window frames with mouldings at interior, grid glazing patterns, original ironmongeries, protruded window heads and window sills. (Some of the windows openings have been altered.)</p> <div style="text-align: center;">  <p data-bbox="732 1066 1052 1096">Wooden casement window</p> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div style="text-align: center;">  <p data-bbox="500 1703 693 1732">Arched window</p> </div> <div style="text-align: center;">  <p data-bbox="1013 1703 1295 1732">Original ironmongeries</p> </div> </div>

**Item**

**Architectural Feature**

1A.3

Entrance Porch and Main Entrance Door

The entrance porch and main entrance door including the steps and the patterned floor finishes, door threshold, the parapet walls, the arched fin and the keystone. The original wooden French door with semi-circular arched fanlight including the door frame, grid glazing patterns and the original ironmongeries.



Item	Architectural Feature
1A.4	<p><u>Side Entrance Door and Internal French Doors</u>            External and internal timber French doors to the hallways (some of the doors are not original and have been replaced), including door panels with grid glazing patterns, door frames, top hung fanlight, original ironmongeries and arched opening at side entrance.</p>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Side entrance door</p> </div> <div style="text-align: center;">  <p>Original French doors to hallways on G/F</p> </div> </div>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>French doors to hallways on 1/F</p> </div> <div style="text-align: center;">  <p>Original ironmongery</p> </div> </div>

Item	Architectural Feature
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1A.5	<p><u>Hipped Roof at the Middle and Flat Roof at the Sides</u>            Flat roofs at two sides with parapet walls. Hipped roof structure at the middle laid with double-layered Chinese pan and roll tiles including all timber rafter and fascia boards.</p>
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Hipped roof at the central and flat roofs at two sides



Timber rafter



Item	Architectural Feature
1A.6	<p><u>Chimney Stack</u> The Chimney stack at both exterior and interior connecting to the fireplaces at the rooms of G/F and 1/F.</p>
	

Item	Architectural Feature
1A.7	<p data-bbox="329 254 743 285"><u>Original Cast Iron Rainwater pipe</u></p> <p data-bbox="329 285 1455 352">All historical cast iron rainwater pipes including hopper, pipe works and their associated parts.</p> 








Item	Architectural Feature
1A.8	<p data-bbox="332 233 657 273"><u>Original ventilation grilles</u></p> <p data-bbox="332 273 909 304">All historical cast iron ventilation grilles at G/F.</p>  A photograph showing a close-up of a blue-painted concrete base. A black, rectangular cast iron ventilation grille is embedded in the base. The grille has a grid pattern. The base is set against a light-colored wall. The foreground shows a concrete surface with some debris and a red brick.

Item	Architectural Feature
1A.9	<p><u>Fireplaces</u>            Fireplaces at rooms on G/F and 1/F including the tiling, shanghai plaster finishes, surrounds, grates, hearths and mantel shelves and the old fireplace mark on timber floor finishes on 1/F.</p>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Fireplace at Bedroom 1 on G/F</p> </div> <div style="text-align: center;">  <p>Fireplace at Sitting Room 1 on G/F</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div style="text-align: center;">  <p>Fireplace at Sitting Room 2 on 1/F</p> </div> <div style="text-align: center;">  <p>Old fireplace mark on timber floor finishes on 1/F</p> </div> </div>

Item	Architectural Feature
1A.10	<p><u>Mosaic Tiled Finishes</u> Original mosaic tiled finishes at the original hallways at G/F and 1/F including the drainage channels.</p>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;"> <div style="text-align: center; width: 45%;">  <p>Hallway 1 on G/F</p> </div> <div style="text-align: center; width: 45%;">  <p>Hallway 3 on 1/F</p> </div> <div style="text-align: center; width: 45%;">  <p>Hallway 2 on G/F</p> </div> <div style="text-align: center; width: 45%;">  <p>Hallway 4 on 1/F</p> </div> </div>	

Item	Architectural Feature
1A.11	<p data-bbox="347 289 932 352"><u>Timber Floor Cover</u> Timber floor cover of the original staircase void.</p> <div data-bbox="360 445 922 869"></div> <p data-bbox="477 1050 805 1083">Timber Floor Cover on 1/F</p> <div data-bbox="980 445 1409 1033"></div> <p data-bbox="1036 1050 1351 1138">Timber floor cover on 1/F (view from G/F)</p>

Item	Architectural Feature
1A.12	<p data-bbox="349 241 609 273"><u>Timber Floor System</u></p> <p data-bbox="349 273 1453 346">Timber floor system including timber floor joists hidden above the suspended ceiling, timber column, timber floor finishes and mouldings at the side.</p> <div style="display: flex; justify-content: space-around; align-items: flex-start; padding: 20px;"> <div style="text-align: center;">  <p data-bbox="462 1008 722 1045">Mouldings at the side</p> </div> <div style="text-align: center;">  <p data-bbox="1019 1008 1279 1045">Timber floor finishes</p> </div> </div> <div style="text-align: center; margin-top: 20px;">  <p data-bbox="500 1654 690 1690">Timber column</p> </div>



Item	Architectural Feature
1A.13	<p data-bbox="349 191 673 222"><u>Timber Suspended Ceiling</u></p> <p data-bbox="349 224 1133 256">Timber suspended ceiling with crown mouldings on G/F and 1/F.</p> <div data-bbox="521 346 1279 772">A photograph showing a close-up view of a white-painted timber suspended ceiling. The ceiling features a decorative crown moulding at the junction with the walls. The timber planks are arranged in a grid pattern. A portion of a window with a dark frame is visible in the lower right corner.</div> <p data-bbox="602 789 1198 821">Crown moulded timber suspended ceiling on G/F</p> <div data-bbox="521 840 1279 1266">A photograph showing a close-up view of a white-painted timber suspended ceiling, similar to the one on the ground floor. It features a decorative crown moulding at the junction with the walls. The timber planks are arranged in a grid pattern. A portion of a window with a dark frame is visible in the lower right corner.</div> <p data-bbox="602 1283 1198 1314">Crown moulded timber suspended ceiling on 1/F</p>

Item	Architectural Feature
1A.14	<p data-bbox="349 241 844 304"><u>Cement Skirting</u> Moulded cement skirting on G/F and 1/F.</p> 




Item	Architectural Feature
1A.15	<p data-bbox="347 239 818 275"><u>Internal Arched Doorway and Opening</u></p> <p data-bbox="347 275 1451 338">Segmental arched doorway at Hallway 3 on 1/F and arched opening between Bedroom 1 and Sitting Room 1 on G/F.</p>
	<div data-bbox="685 428 1112 995" data-label="Image"></div> <p data-bbox="678 1014 1122 1045">Arched doorway at Hallway 3 on 1/F</p> <div data-bbox="685 1062 1112 1575" data-label="Image"></div> <p data-bbox="513 1591 1287 1623">Arched opening between Bedroom 1 and Sitting Room 1 on G/F</p>



Item	Architectural Feature
1A.16	<p data-bbox="347 239 662 275"><u>Original Timber Staircase</u></p> <p data-bbox="347 275 1166 310">Original timber staircase with timber balustrades, railings and steps.</p>
	<div data-bbox="386 394 813 961"></div> <div data-bbox="938 394 1365 976"></div>

Item	Architectural Feature
1A.17	<u>Vistas to Tai Tam Harbour and the Pumping Station</u> Vistas to Tai Tam Harbour and the Pumping Station.
	 <p data-bbox="532 972 1268 1003">Vistas from the Senior Staff Quarters to the Tai Tam Harbour</p>  <p data-bbox="532 1606 1268 1638">Vistas from the Senior Staff Quarters to the Pumping Station</p>

## 1B. SENIOR STAFF QUARTERS – SERVANTS' QUARTERS

Item	Architectural Feature
1B.1	<p data-bbox="329 302 922 365"><u>Building Facades</u> All building facades with painted rendered walls.</p>  <p data-bbox="667 898 1110 930">North-east and north-west elevations</p>  <p data-bbox="662 1392 1115 1423">South-west and north-west elevations</p>  <p data-bbox="670 1885 1107 1917">Southwest and south-east elevations</p>

Item	Architectural Feature
1B.2	<p data-bbox="329 247 678 279"><u>Wooden Casement Windows</u></p> <p data-bbox="329 281 1453 348">Wooden casement windows including all window frames, ironmongeries, grid glazing patterns and protruded windows sills.</p>
<div data-bbox="410 436 812 1108"></div> <div data-bbox="954 436 1382 1108"></div>	

Item	Architectural Feature
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1B.3	<u>Hipped Roof with Double-layered Chinese Pan and Roll tiles</u> Hipped roof laid with double-layered Chinese pan and roll tiles including all timber rafter, fascia boards and ornamental cast iron brackets.
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Hipped roof laid with double-layered pan and roll tiles



Timber rafter



Cast Iron brackets

Item	Architectural Feature
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1B.4	<p><u>Chimney Stacks</u> Chimney stacks at both exterior and interior connecting to the fireplace and the remains of chimney stacks at interior.</p>
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Chimney stacks at roof



Remains of chimney stacks at interior

Item	Architectural Feature
1B.5	<u>Original Ventilation Grilles</u> All historical cast iron ventilation grilles at low level of walls
 A photograph showing a section of a white wall. On the left, there is a dark, rectangular ventilation grille set into the wall. To the right, a series of blue-painted pipes run horizontally along the wall, supported by a concrete base. The pipes are connected to various fittings and valves. The wall shows some signs of weathering and discoloration.	

Item	Architectural Feature
1B.6	<u>Fireplace</u> The fireplace including the brickwork surround and the cement hearth.
 A photograph of a fireplace. The fireplace is built into a white wall. It features a brick surround with a decorative, arched opening. Below the opening is a dark, rectangular opening, likely the firebox. In front of the fireplace is a wooden floor, which serves as the hearth. The fireplace appears to be made of light-colored bricks or stone.	

Item	Architectural Feature
1B.7	<p data-bbox="329 243 1453 348"><u>Internal Arched doorway</u> The original segmental arched doorways and the segmental arched brickworks remains at walls.</p> <div data-bbox="397 436 824 1066"></div> <p data-bbox="446 1081 776 1117">Segmental arched doorway</p> <div data-bbox="932 436 1406 865"></div> <p data-bbox="938 1081 1399 1117">Segmental arched brickworks remains</p>




## 1C. SENIOR STAFF QUARTERS – COVERED WALKWAY

Item	Architectural Feature
1C.1	<p><u>Structure and Extent of Covered Walkway</u> The covered walkway connecting the south-east façade of Main Building to the south-west façade of Servants' Quarters supported by cast iron columns with granite stone bases, ornamental cast iron brackets, cast iron bracings and rods.</p>
	



Item	Architectural Feature
1C.2	<p data-bbox="329 195 1079 231"><u>Pitched Roof with Double-layered Chinese Pan and Roll Tiles</u></p> <p data-bbox="329 231 1453 300">Pitched roof laid with double-layered Chinese Pan and Roll Tiles including the timber rafter, purlins and fascia boards.</p>
	



## 1D. SENIOR STAFF QUARTERS – SURROUNDING AREAS

Item	Architectural Feature
1D.1	<p><u>Open Space and Lawn around the Main Building and Servants' Quarters</u> The open space and lawn around the Main Building and the Servants' Quarters.</p>
	

Item	Architectural Feature
1D.2	<p data-bbox="331 247 1328 315"><u>Classic cast iron lamp post</u> The classic cast iron lamp post beside the access stairs to the Senior Staff Quarters.</p> 

## 2A. STAFF QUARTERS – MAIN BUILDING

Item	Architectural Feature
2A.1	<p><u>Building Facades</u> All building facades with exposed columns and paint applied directly on brick walls.</p>
 A photograph showing the north elevation of a two-story building. The building has a light-colored facade with exposed columns and a balcony on the upper floor. The ground in front is grassy with some trees and a yellow vehicle visible in the background.	
<p>North elevation</p>	
 A photograph showing the south elevation of the main building. The building has a light-colored facade with exposed columns and a balcony on the upper floor. The ground in front is paved and there are some construction materials (bags of cement) visible in the foreground.	
<p>South elevation</p>	

Item	Architectural Feature
2A.2	<p><u>Verandahs on the North Elevation</u> Open verandahs supported by cast iron round columns on G/F and 1/F including granite stones bases on G/F, concrete slab and tubular metal balustrades on 1/F.</p>
	<div data-bbox="410 422 810 1129">A photograph showing a long, covered walkway on the ground floor. The walkway is supported by a series of dark, cylindrical cast iron columns. The ground is paved with concrete slabs. In the background, a white van is parked on a grassy area.</div> <p data-bbox="505 1150 711 1178">Verandah on G/F</p> <div data-bbox="902 422 1435 1129">A photograph showing a verandah on the first floor. The verandah has a concrete slab floor and is enclosed by a tubular metal balustrade. The building has a tiled roof and a yellowish wall. A date stamp '2019/06/05' is visible in the bottom right corner of the image.</div> <p data-bbox="1068 1150 1274 1178">Verandah on 1/F</p>

Item	Architectural Feature
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2A.3	<p><u>Open Staircases</u> Open Staircases at east and west ends of the north elevation, connecting to the verandahs on 1/F including the cast iron round columns, concrete roof slabs, steps with granolithic finishes and tubular metal balustrades</p>
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Open staircase on the east end






Open staircase on the west end





Item	Architectural Feature
2A.4	<p><u>Segmental Arched Wooden Casement Windows</u> All original segmental arched wooden casement windows including the segmental arched brickworks, grid glazing patterns, rounded edge window sills and all ironmongeries.</p>
	




Item	Architectural Feature
2A.5	<p><u>Segmental Arched Wooden Doors</u> All original segmental arched wooden panel door including the original ironmongeries, the grid glazing pattern, the segmental arched brickworks, and granite stones for the fixing of the hinges and granite thresholds.</p>
	



Item	Architectural Feature
2A.6	<p data-bbox="332 239 1071 273"><u>Hipped Roof with Double-layered Chinese Pan and Roll tiles</u></p> <p data-bbox="332 275 1455 340">Hipped roof laid with double-layered Chinese pan and roll tiles including all timber rafter, timber trusses, timber purlins, metal beams and bracings, and timber fascia boards.</p> <div data-bbox="516 409 1269 974">A photograph showing the exterior of a building with a hipped roof. The roof is covered with two layers of dark grey Chinese pan and roll tiles. The structure is supported by dark wooden rafters and trusses. In the background, there are green trees and a hillside under a cloudy sky. A small orange timestamp '2019/06/15' is visible in the bottom right corner of the image.</div> <p data-bbox="643 993 1143 1026">Double-layered Chinese pan and roll tiles</p> <div data-bbox="516 1041 1269 1470">A photograph showing the interior of the roof structure. It features a complex arrangement of dark wooden timber trusses and rafters. A prominent white steel beam runs diagonally across the structure. The roof is supported by a network of dark wooden beams and bracings.</div> <p data-bbox="659 1486 1127 1520">Timber truss, steel beams and bracings</p>

Item	Architectural Feature
2A.7	<p data-bbox="332 233 665 268"><u>Original Ventilation Grilles</u></p> <p data-bbox="332 268 1006 304">All historical cast iron ventilation grilles at G/F and 1/F.</p> 



Item	Architectural Feature
2A.8	<p data-bbox="332 241 576 273"><u>Stencilled Signages</u></p> <p data-bbox="332 277 1453 340">All stencilled signages at external walls including those above or beside door openings showing the room nos. and the usage of the rooms.</p> <div data-bbox="370 409 852 835">A photograph showing a stencilled sign with the Chinese characters '廚房' (Kitchen) in white on a dark background, mounted on a light-colored wall above a doorway.</div> <div data-bbox="922 409 1421 835">A photograph showing a stencilled sign with the Chinese characters '廁所' (Toilet) in white on a dark background, mounted on a light-colored wall above a doorway.</div> <div data-bbox="370 850 852 1276">A photograph showing a stencilled sign with the text 'NO 7' in white on a dark background, mounted on a light-colored wall.</div> <div data-bbox="922 850 1421 1276">A photograph showing a stencilled sign with the text 'NO 8' in white on a dark background, mounted on a light-colored wall.</div>

Item	Architectural Feature
2A.9	<p><u>Original Cast Iron Rainwater Pipe</u> All historical cast iron rainwater pipes including hopper, pipe works and their associated parts.</p>
	



Item	Architectural Feature
2A.10	<p><u>Jack arch slabs</u> All jack arch slabs on 1/F floor slab with bottom of metal beams exposed including brick corbels.</p>
	 <p>The top photograph shows a ceiling with several dark, heavy metal beams crossing in a grid pattern. The white plaster on the ceiling is peeling and damaged, revealing the underlying structure. A small orange circular object is visible on one of the beams. The bottom photograph shows a similar view from a different angle, highlighting the intersection of the beams and the brick corbels supporting them. The walls are white and show signs of wear.</p>


Item	Architectural Feature
2A.11	<p data-bbox="347 239 1019 275"><u>Vistas to the Tai Tam Harbour and the Pumping Station</u></p> <p data-bbox="347 275 1304 310">Vistas from the Staff Quarters to the Tai Tam Harbour and the Pumping Station.</p>
<div data-bbox="427 373 1373 1083"></div> <p data-bbox="581 1100 1219 1136">Vista from the Staff Quarters to the Tai Tam Harbour</p> <div data-bbox="427 1150 1373 1860"></div> <p data-bbox="581 1877 1219 1913">Vista from the Staff Quarters to the Pumping Station</p>	



## 2B. STAFF QUARTERS – STORE BUILDING



Item	Architectural Feature
2B.1	<p><u>Building Facades</u> All building facades with exposed columns and paint applied directly on brick walls.</p>
 A photograph showing the south-west elevation of a single-story brick building. The building has a flat roof and is supported by several vertical concrete columns. The walls are painted a light yellowish-tan color. There are several doorways and windows visible. The building is situated outdoors with trees and a paved area in the foreground.	
<p>South-west elevation</p>	
 A photograph showing the north-east and north-west elevations of the same brick building. The building is a simple rectangular structure with a flat roof. The walls are made of brick and are painted a light tan color. There are several small, square windows near the roofline. The building is surrounded by trees and a paved area.	
<p>North-east and North-west elevations</p>	





Item	Architectural Feature
2B.2	<p><u>Verandah on South-west Elevation and Covered walkway</u> Open verandah and covered walkway linking the Store Building and the Main Building supported by metal round columns with granite stones bases.</p>
	
	<p>Verandah on the South-west elevation</p>
	
	<p>Covered Walkway linking the Store and the Main Building</p>

Item	Architectural Feature
2B.3	<p data-bbox="329 243 914 275"><u>Segmental Arched Wooden Casement Windows</u></p> <p data-bbox="329 279 1451 342">All original segmental arched wooden casement windows including the segmental arched brickworks, grid glazing patterns, rounded edge window sills and all ironmongeries.</p> 


Item	Architectural Feature
2B.4	<p><u>Segmental Arched Wooden Doors</u> All original segmental arched wooden panel door including the original ironmongery, the segmental arched brickworks, and granite stones for the fixing of the hinges and granite thresholds.</p>
	<div data-bbox="402 443 824 1199"></div> <p data-bbox="415 1220 812 1251">Segmental Arched Wooden Door</p> <div data-bbox="959 443 1382 1199"></div> <p data-bbox="1065 1220 1276 1251">Granite threshold</p>

Item	Architectural Feature
2B.5	<p data-bbox="332 233 1177 304"><u>Ventilation Openings</u> All ventilation openings on the north-east elevation with metal grilles.</p>  <p data-bbox="651 724 1133 758">Ventilation openings view from exterior</p>  <p data-bbox="651 1171 1133 1205">Ventilation openings view from interior</p>



Item	Architectural Feature
2B.6	<p data-bbox="332 233 682 304"><u>Mono-pitched Roof</u> Concrete mono-pitched roof.</p> 

Item	Architectural Feature
2B.7	<p data-bbox="332 233 820 304"><u>Stencilled Signages</u> All stencilled signages at external walls.</p> <div data-bbox="609 373 1177 800">A photograph showing a close-up of a yellow-painted wall made of rectangular blocks. A blue stencilled sign with the text 'TT.7' is mounted on the wall. A small red date stamp '21/10/13' is visible in the bottom right corner of the image.</div> <div data-bbox="609 814 1177 1241">A photograph showing a close-up of a white-painted wall made of rectangular blocks. A blue stencilled sign with the text 'TT.5' is mounted on the wall. A small red date stamp '21/10/13' is visible in the bottom right corner of the image.</div>

## 2C. STAFF QUARTERS – OPEN SPACE

Item	Architectural Feature
2C.1	<p><u>Lawn</u> The lawn in front of the Main Building and the Store Building.</p>
	

### 3. NO. 2 STAFF QUARTERS

Item	Architectural Feature
3.1	<p data-bbox="332 289 548 319"><u>Building Facades</u></p> <p data-bbox="332 323 1437 390">All elevations including fair-faced red bricks, Shanghai plaster finishes on exposed columns and along the bottom of walls.</p> <div data-bbox="516 457 1269 1024">A photograph showing the North and East elevations of the building. The structure is a two-story building with a prominent concrete balcony on the upper level. The facade is primarily composed of red bricks, with concrete elements around the balcony and entrance. A set of stone steps leads up to the entrance. The building is situated on a hillside with lush green trees in the background under a blue sky with scattered clouds.</div> <p data-bbox="734 1041 1052 1071">North and East Elevations</p> <div data-bbox="610 1087 1175 1843">A photograph showing the South and West elevations of the building. This view highlights the brickwork and the concrete columns that support the balcony. The building is surrounded by trees, and a portion of a yellow structure is visible in the foreground. The sky is bright and clear.</div> <p data-bbox="734 1860 1052 1890">South and West Elevations</p>



**Item**

**Architectural Feature**

3.2

Verandah on the North Elevation


Open verandah including the concrete railings and posts of balustrades, the cantilevered slab and the concrete canopy.




Open verandah at 1/F



Metal balustrades with concrete railings and posts

Item	Architectural Feature
3.3	<p><u>Open Staircase</u> Concrete open staircase connecting to the verandah on 1/F including the stairs, balustrade with concrete posts and railings and granolithic floor finishes.</p>
	 A photograph showing an external concrete staircase with metal railings and concrete posts. The stairs lead up to a verandah on the first floor of a brick building. The ground is paved with granolithic floor finishes. A small green object is visible on the ground near the base of the stairs.

Item	Architctural Feature
3.4	<p><u>Doorcase of Original Main Entrance</u> Geometric doorcase of the original main entrance, including the Shanghai plaster finishes, and the signs of “H.K.W.W.” and “1936”.</p>
	

**Item**


**Architectural Feature**

3.5


Window Head and Window Sill.

Brick window head and concrete window sill including the old ironmongeries at the sides. (The openings of the windows have been altered.)



Item	Architectural Feature
3.6	<p data-bbox="332 233 836 304"><u>Door Openings</u> Door openings with brick door heads on 1/F.</p> 

Item	Architectural Feature
3.7	<p data-bbox="332 241 535 273"><u>Concrete Beams</u></p> <p data-bbox="332 273 958 304">All concrete beams with sloping corners on G/F and 1/F.</p>
	 <p>The top photograph shows a concrete beam with a sloping top edge, set against a white ceiling. A small hole is visible in the ceiling above the beam. The bottom photograph shows a similar concrete beam with a sloping top edge, also against a white ceiling, with a small hole visible in the ceiling above it.</p>

Item	Architectural Feature
3.8	<u>Coved Ceiling</u> All coved ceilings on G/F and 1/F.
	

**Item**


**Architectural Feature**


3.9


Wooden partitions on 1/F  
Wooden partitions on 1/F.





Item	Architectural Feature
3.10	<p><u>Original Cast Iron Rainwater Pipe</u> All historical cast iron rainwater pipes including hopper, pipe works and their associated parts.</p>
	

Item	Architectural Feature
3.11	<p data-bbox="332 239 581 268"><u>Historical wall lamp</u></p> <p data-bbox="332 275 829 304">The historical wall lamp at external wall.</p>
	

Item	Architectural Feature
3.12	<u>Flat Roofs</u> All flat roofs.
 <p>The top photograph shows a two-story brick building with a flat roof, situated on a hillside. The building has several windows and a concrete walkway leading to it. The bottom photograph shows a similar view of the building from a different angle, highlighting the flat roof and the surrounding greenery.</p>	

**Item**

**Architectural Feature**

3.13

Vistas to Tai Tam Harbour and Pumping Station  
Vistas to Tai Tam Harbour and Pumping Station.






Vistas to the Tai Tam Harbour




Vistas to the Pumping Station

#### 4. SURROUNDING AREAS

Item	Architectural Feature
4.1	<p><u>Existing Underground Cellar/ Air Raid Shelters</u> The existing Underground Cellar/ air raid shelters and all the associated staircase and tunnels, if any.</p>
	<div data-bbox="386 457 846 1073"></div> <p data-bbox="407 1094 821 1125">Access to the Underground Cellar</p> <div data-bbox="943 457 1403 1073"></div> <p data-bbox="964 1094 1382 1125">Interior of the Underground Cellar</p>

Item	Architectural Feature
4.2	<u>Old tracks</u> The old tracks for transportation of coal.
	


Item	Architectural Feature
4.3	<u>Garage</u> The garage building beside the Pumping Station including the shelter.
	

**Appendix IX(B)**

**List of Required Treatments to Architectural Features**

## **Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound** **Required Treatments to Architectural Features**



### **1A. SENIOR STAFF QUARTERS – MAIN BUILDING**

<b>Item</b>	<b>Architectural Feature</b>	<b>Required Treatments</b>
1A.1	<u>Building Facades</u>	<ul style="list-style-type: none"> <li>a. All elevations including classical architectural features should be generally kept intact except for restoration works and necessary alteration and addition works to meet current statutory requirements, subjected to Antiquities Authority's approval.</li> <li>b. Any restoration works should be based on further research and/or site investigations with sufficient evidence.</li> <li>c. Any alteration and addition works should be fully justified and carried out at less prominent area at the rear side in order to keep their visual impact on the declared monument and the landscape nearby to minimal and subjected to AMO and/or Antiquities Authority's approval as necessary if the Declared Monument is affected.</li> <li>d. Apart from Item 1A.1 b &amp; 1A.1 c, no new structures, awning, additional shading fins, equipment etc. should be installed on the building facades.</li> <li>e. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to Antiquities Authority for approval.</li> <li>f. No alteration to the existing opening or blockage to openings or formation of new opening should be made unless approved by Antiquities Authority.</li> <li>g. Rendered walls and the features are to be repaired as necessary to match existing and repaint with reversible painting system and colour approved by Antiquities Authority.</li> </ul>
		

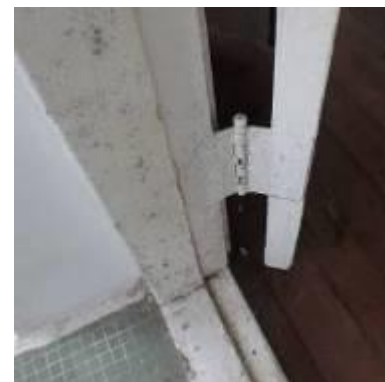


Item	Architectural Feature	Required Treatments
1A.2	<u>Wooden Windows</u>	<ul style="list-style-type: none"> <li>a. A research study on the window openings is to be conducted to find out if some of the window openings has been altered and the original design of the wooden windows. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record.</li> <li>b. The window openings which have been altered should be restored to the original size with new wooden windows following the original design or similar design of the period, subjected to Antiquities Authority's approval.</li> <li>c. Other wooden windows with original openings including the window frames with mouldings at interior, grid glazing patterns, original ironmongeries, protruded window heads and window sills should be preserved in-situ as far as practicable with necessary repair works to match existing. If the wooden windows and ironmongeries are beyond repair, they are to be replaced with new wooden windows and ironmongeries based on the existing design, subjected to Antiquities Authority's approval.</li> <li>d. Wood preservative treatment are to be provided to all the timber elements.</li> </ul>




Item	Architectural Feature	Required Treatments
1A.3	<u>Entrance Porch and Main Entrance Door</u>	<ul style="list-style-type: none"> <li>a. The entrance porch and main entrance door including the steps and the patterned floor finishes, door threshold, the parapet walls, the arched fin and the keystone should be preserved in-situ.</li> <li>b. The original wooden French door with semi-circular arched fanlight including the door frame, grid glazing patterns and the original ironmongeries should be preserved in-situ.</li> <li>c. Any defective floor finishes, parapet walls, steps are to be repaired as necessary to match existing.</li> <li>d. If the wooden French door are beyond repair, they are to be replaced with new wooden door and ironmongeries based on existing design, subjected to Antiquities Authority's approval.</li> <li>e. Wood preservative treatment to all the timber elements is to be provided.</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		


Item	Architectural Feature	Required Treatments
1A.4	<u>Side Entrance Door and Internal French Doors</u>	<ul style="list-style-type: none"> <li>a. A research study on the original door openings and the original French door design is to be conducted. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record.</li> <li>b. For external doors, any later formed door openings at the external walls and any French doors replaced with altered design should be restored as far as practicable based on the research.</li> <li>c. For internal doors, the original French doors with original design door panels including the grid glazing patterns, door frames, top hung fanlight, original ironmongeries and arched opening should be preserved in-situ, while the French doors which have been replaced with altered design at original openings should be restored to the original design as far as practicable.</li> <li>d. If the wooden French doors are beyond repair, they are to be replaced with new wooden doors and ironmongeries based on the original design as far as practicable and subjected to Antiquities Authority's approval.</li> <li>e. Wood preservative treatment is to be provided to all the timber elements.</li> </ul>




Item	Architectural Feature	Required Treatments
1A.5	<u>Hipped Roof at the Middle and Flat Roof at the Sides</u>	<ul style="list-style-type: none"> <li>a. The form and the materials of the roofs are not to be changed.</li> <li>b. The hipped roof with the double-layered Chinese pan and roll tiles are to be checked and repaired as necessary to maintain waterproof matching with existing.</li> <li>c. The structural condition is to be checked, the defective timber trusses, rafters and purlins are to be repaired as necessary. New replacement of the timber elements is acceptable if the elements are beyond repair and the replacements should follow the existing materials and design.</li> <li>d. Termite eradication and monitoring system is to be installed.</li> <li>e. The defective roofing membrane at flat roof is to be repaired as necessary.</li> <li>f. No construction of additional storey at roof is permitted.</li> <li>g. Installation of building services equipment, ductwork, pipeworks, etc. on the flat roof could be considered, provided that the new installations should be setback from the facades with no visual impact created to the declared monument and subjected to Registered Structural Engineer's confirmation that no structural strengthening works is necessary, and is subjected to Antiquities Authority's approval.</li> </ul>

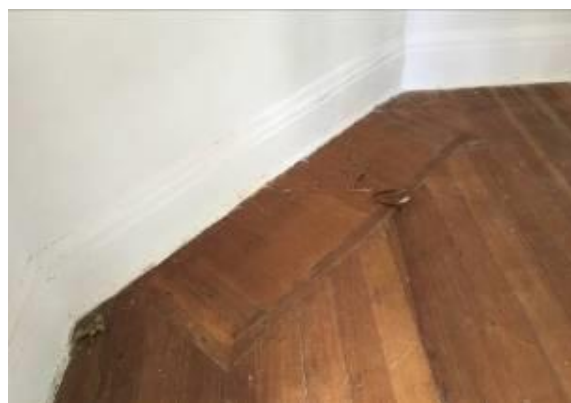



Item	Architectural Feature	Required Treatments
1A.6	<u>Chimney Stack</u>	<ul style="list-style-type: none"> <li>a. The chimneys on roof together with the chimney stack in the interior should be preserved in-situ</li> <li>b. Any defective brickworks are to be repaired as necessary and repaint to match existing.</li> <li>c. Blocking the openings of chimney at roof to prevent water seepage in a reversible manner may be considered provided that the appearance of the chimney is not affected.</li> </ul>
		


Item	Architectural Feature	Required Treatments
1A.7	<u>Original Cast Iron Rainwater pipe</u>	<ul style="list-style-type: none"> <li>a. All historical cast iron rainwater pipes, including hopper, pipe works and their associated parts, should be preserved in-situ as far as practical.</li> <li>b. Any defective part(s) of the drainage system are to be repaired and replaced as necessary. Any blockage in the drainage system is to be cleared to restore its function.</li> <li>c. If defective pipework is beyond repair, they should be replaced with cast iron pipework and to be painted to match existing.</li> </ul>
		

Item	Architectural Feature	Required Treatments
1A.8	<u>Original ventilation grilles</u>	<ol style="list-style-type: none"><li>a. All original ventilation grilles should be preserved in-situ.</li><li>b. The grilles should not be blocked to maintain its function.</li><li>c. Any defective grilles are to be repaired, de-rusted and repainted as necessary.</li></ol>
		




Item	Architectural Feature	Required Treatments
1A.9	<u>Fireplaces</u>	<ul style="list-style-type: none"> <li>a. The existing fireplaces including the tiling, shanghai plaster finishes, surrounds, grates, hearths and mantel shelves should be preserved in-situ and exposed to public for appreciation.</li> <li>b. The old fireplace mark on timber floor finishes should be preserved in-situ.</li> <li>c. Restoration of the fireplaces may be considered if sufficient evidence of the original design and appearance could be provided, subjected to the Antiquities Authority's approval.</li> <li>d. The fireplace is to be repaired as necessary and wood preservative treatment is to be provided to all the timber elements.</li> </ul>




Item	Architectural Feature	Required Treatments
1A.10	<u>Mosaic Tiled Finishes</u>	<ul style="list-style-type: none"> <li>a. The green mosaic tiles including the drainage channels should be preserved in situ.</li> <li>b. The mosaic tiled finishes are to be cleaned and defective tiles are to be repaired as necessary for public appreciation.</li> </ul>
		


Item	Architectural Feature	Required Treatments
1A.11	<u>Timber Floor Cover</u>	<ul style="list-style-type: none"> <li>a. The timber floor cover should be preserved in-situ as far as practicable.</li> <li>b. The timber floor cover is to be repaired and wood preservative treatment is to be provided to all the timber elements and the existing defective elements is to be replaced based on the existing materials as necessary.</li> <li>c. Covering the timber floor cover in a reversible manner may be permitted, subjected to Antiquities Authority's approval.</li> </ul>
		






Item	Architectural Feature	Required Treatments
1A.12	<u>Timber Floor System</u>	<ul style="list-style-type: none"> <li>a. The timber floor system including the timber floor joists, timber column and timber floor finishes should be preserved in-situ.</li> <li>b. The timber floor system is to be repaired as necessary and wood preservative treatment is to be provided to all the timber elements.</li> <li>c. New replacement of the elements is acceptable if the elements are beyond repair and the replacements should follow the existing structural systems and materials.</li> <li>d. Upgrading of timber floor system to suit modern statutory requirements and operation needs in a reversible manner may be permitted, subjected to the advice from the Registered Structural Engineer, and is subjected to Antiquities Authority's approval.</li> <li>e. Covering the timber floor finishes in a reversible manner may be considered, and is subjected to Antiquities Authority's approval.</li> </ul>
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Item	Architectural Feature	Required Treatments
1A.13	<u>Timber Suspended Ceiling</u>	<ul style="list-style-type: none"> <li>a. The timber suspended ceiling including crown moulding on G/F and 1/F should be preserved in-situ.</li> <li>b. The timber suspended ceiling is to be repaired as necessary and wood preservative treatment is to be provided to all the timber elements.</li> <li>c. New replacement of the elements is acceptable if the elements are beyond repair and the replacements should follow the existing materials and design.</li> <li>d. If upgrading works of 1/F timber floor system is necessary upon the advice from the Registered Structural Engineer, dismantle and reinstatement of the timber suspended ceiling for the upgrading works may be permitted, subjected to Antiquities Authority's approval.</li> </ul>
 <p>The image contains two photographs of a timber suspended ceiling. The top photograph shows a close-up view of the ceiling with a decorative crown moulding at the junction of the ceiling and the wall. The bottom photograph shows a wider view of the same ceiling, highlighting the parallel wooden slats and the crown moulding.</p>		

Item	Architectural Feature	Required Treatments
1A.14	<u>Cement Skirting</u>	a. Moulded cement skirting on G/F and 1/F should be preserved in-situ and repaired as necessary.
		




Item	Architectural Feature	Required Treatments
1A.15	<u>Internal Arched Doorway and Opening</u>	<p>a. The segmental arched doorway at Hallway 3 on 1/F and arched opening between Bedroom 1 and Sitting Room 1 on G/F are not to be altered.</p> <p>b. Blocking of the opening by glass door or glass panel in a reversible manner to suit operation needs may be permitted, subjected to Antiquities Authority's approval.</p>
		



Item	Architectural Feature	Required Treatments
1A.16	<u>Original Timber Staircase</u>	<ul style="list-style-type: none"> <li>a. The original timber staircase, including the timber balustrades, railings and steps, should be preserved in-situ.</li> <li>b. The original timber staircase is to be repaired as necessary and wood preservative treatment is to be provided to all the timber elements.</li> <li>c. New replacement of the elements is acceptable if the elements are beyond repair and the replacements should follow the existing materials and design.</li> <li>d. Upgrading works to the existing handrails and balustrades as required by statutory requirements that are installed in a reversible manner may be considered. The design should be distinguishable from and compatible with the existing handrails and balustrades and is subjected to Antiquities Authority's approval.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		

Item	Architectural Feature	Required Treatments
1A.17	<u>Vistas to Tai Tam Harbour and the Pumping Station</u>	a. Any new structure or installation should not block the vistas from the Main Building to Tai Tam Harbour and the Pumping Station
<div style="display: flex; justify-content: space-around;">   </div>		

<b>Item</b>	<b>Architectural Feature</b>	<b>Required Treatments</b>
1A.18	<u>Internal walls</u>	<p>a. Any damage sections of the walls is to be repaired by using materials matching existing as necessary.</p> <p>b. The existing interior planning should be kept intact in general. Alteration to the existing walls or addition of new partitions is not allowed unless approved by Antiquities Authority, and is subjected to the advice of a Registered Structural Engineer.</p>
		

**1B. SENIOR STAFF QUARTERS – SERVANTS’ QUARTERS**




Item	Architectural Feature	Required Treatments
1B.1	<u>Building Facades</u>	<ul style="list-style-type: none"> <li>a. All elevations with painted rendered walls should be generally kept intact except for restoration works, subjected to Antiquities Authority’s approval.</li> <li>b. Any restoration works should be based on further research and/or site investigations with sufficient evidence.</li> <li>c. No new structures, awning, additional shading fins, equipment etc. should be installed on the building facades.</li> <li>d. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to Antiquities Authority for approval.</li> <li>e. No alteration to the existing opening or blockage to openings or formation of new opening should be made unless approved by Antiquities Authority.</li> <li>f. The rendered walls and the features are to be repaired as necessary to match existing and to be repainted with reversible painting system and colour approved by Antiquities Authority.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div> <div style="text-align: center; margin-top: 20px;">  </div>		


Item	Architectural Feature	Required Treatments
1B.2	<u>Wooden Casement Windows</u>	<ul style="list-style-type: none"> <li>a. All wooden windows with original openings including all window frames, ironmongeries, grid glazing patterns and protruded windows sills should be preserved in-situ as far as practical with necessary repair works to match existing.</li> <li>b. If the wooden windows and ironmongeries are beyond repair, they are to be replaced with new wooden windows and ironmongeries based on the existing design, subjected to Antiquities Authority's approval.</li> <li>c. Wood preservative treatment is to be provided to all the timber elements.</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		


Item	Architectural Feature	Required Treatments
1B.3	<u>Hipped Roof with Double-layered Chinese Pan and Roll tiles</u>	<ul style="list-style-type: none"> <li>a. The form and the materials of the roofs are not to be changed.</li> <li>b. The hipped roofs with the double-layered Chinese pan and roll tiles are to be checked and repaired to maintain waterproof matching existing.</li> <li>c. Structural condition is to be checked and the defective timber trusses, rafters and purlins are to be repaired as necessary.</li> <li>d. The ornamental cast iron brackets are to be repaired and repainted as necessary.</li> <li>e. Wood preservative treatment is to be provided to all the timber elements and termite eradication and monitoring system is to be installed.</li> <li>f. At least part of the timber structure should be exposed for public appreciation.</li> </ul>









Item	Architectural Feature	Required Treatments
1B.4	<u>Chimney Stacks</u>	<ul style="list-style-type: none"> <li>a. The chimneys on roof together with the chimney stack in the interior connecting to fireplace and the remains should be preserved in-situ.</li> <li>b. Any defective brickworks are to be repaired as necessary and repaint to match existing.</li> <li>c. Blocking the openings of chimney at roof to prevent water seepage in a reversible manner may be considered provided that the appearance of the chimney is not affected.</li> </ul>
<div style="text-align: center;">  </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div style="text-align: center;">  </div> <div style="text-align: center;">  </div> </div>		

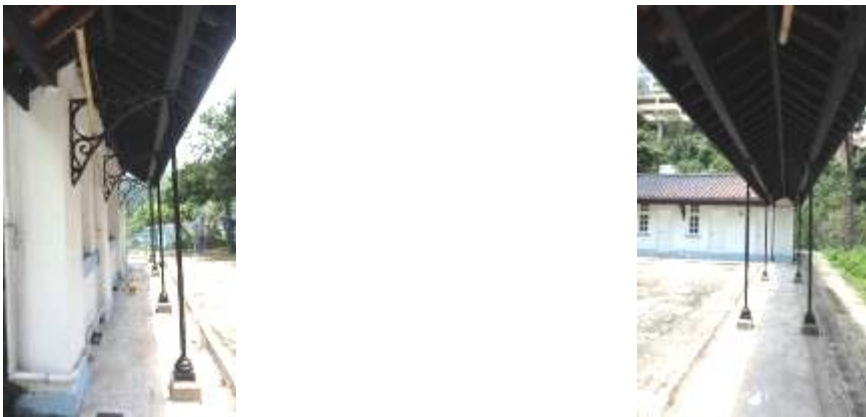
Item	Architectural Feature	Required Treatments
1B.5	<u>Original Ventilation Grilles</u>	<ul style="list-style-type: none"> <li>a. All original ventilation grilles should be preserved in-situ.</li> <li>b. The grilles should not be blocked to maintain its function.</li> <li>c. Any defective grilles are to be repaired, de-rusted and repainted as necessary.</li> </ul>
		


Item	Architectural Feature	Required Treatments
1B.6	<u>Fireplace</u>	<ul style="list-style-type: none"> <li>a. The existing fireplaces including brickwork surrounds and the cement hearth should be preserved in-situ and exposed to public for appreciation.</li> <li>b. Restoration of the fireplaces may be considered if sufficient evidence of the original design and appearance could be provided, subjected to the Antiquities Authority's approval.</li> </ul>
		

Item	Architectural Feature	Required Treatments
1B.7	<u>Internal Arched Doorway</u>	<ul style="list-style-type: none"> <li>a. The segmental arched doorway are not to be altered.</li> <li>b. All segmental arched brickworks remains at walls should be preserved in-situ</li> <li>c. Blocking of the opening by glass door or glass panel in a reversible manner to suit operation needs may be permitted, subjected to Antiquities Authority's approval.</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		





Item	Architectural Feature	Required Treatments
1B.8	<u>Internal Walls</u>	<ul style="list-style-type: none"> <li>a. Any damage sections of the walls are to be repaired by using materials matching existing as necessary.</li> <li>b. The existing interior planning should be kept intact in general. Alteration to the existing walls or addition of new partitions is not allowed unless approved by Antiquities Authority, and is subjected to the advice of a Registered Structural Engineer.</li> <li>c. Plaster should not be applied on walls.</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		


## 1C. SENIOR STAFF QUARTERS – COVERED WALKWAY

Item	Architectural Feature	Required Treatments
1C.1	<u>Structure and Extent of Covered Walkway</u>	<ol style="list-style-type: none"> <li>The form and the materials of the covered walkway are not to be altered.</li> <li>The covered walkway should maintain open at the sides.</li> <li>All the structural elements including the cast iron columns with granite stone bases, ornamental cast iron brackets and cast iron bracings and rods should be preserved in-situ, repaired and repainted as necessary.</li> </ol>
		



Item	Architectural Feature	Required Treatments
1C.2	<u>Pitched roof with Double-layered Chinese Pan and Roll Tiles</u>	<ol style="list-style-type: none"> <li>The pitched roofs is to be checked and repaired with the double-layered Chinese pan and roll tiles to maintain waterproof matching existing.</li> <li>Structural condition is to be checked and the defective timber trusses, rafters and purlins are to be repaired as necessary.</li> <li>The ornamental cast iron brackets are to be repaired and repainted as necessary.</li> <li>Wood preservative treatment is to be provided to all the timber elements and termite eradication and monitoring system is to be installed.</li> </ol>
		

## 1D. SENIOR STAFF QUARTERS – SURROUNDING AREAS

Item	Architectural Feature	Required Treatments
1D.1	<p><u>Open Space and Lawn around the Main Building and Servants’ Quarters.</u></p>	<ol style="list-style-type: none"> <li>a. The open space and lawn around the Main Building and Servants’ Quarters should be remained as open as possible to allow the general public to pay due respect to the declared monuments.</li> <li>b. No above-ground structure or installation at the north-eastern side of the Main Building and the Servants’ Quarters (refer to the open spaces as shown in the photos below) is allowed.</li> <li>c. Erection of above-ground new access facilities i.e. lift and means of escape staircase, and installation of building services with proper screening (“Proposed Works A”) at the south-western lawn behind the Main Building and open space behind the Servants’ Quarters to meet current statutory requirements for new use could be considered, and are subjected to the approval from Antiquities Authority. Other than the proposed access facilities, the existing lawn should be maintain as lawn.</li> <li>d. The Proposed Works A should be compatible with and distinguishable from the declared monuments with minimal size to minimize the visual impact on the declared monuments.</li> <li>e. The Proposed Works A should be structurally independent and should not adversely affect the structure of declared monuments.</li> <li>f. Unless approved by the Antiquities Authority, the ultimate height of the new lift and staircase should be lower than the top level of the parapet wall of roof.</li> <li>g. Any new underground structure at the open spaces and lawn to meet the current statutory requirements could be considered provided that no adverse impact would cause to the structure and foundation of the declared monuments, subjected to the advice from a Registered Structural Engineer and is subjected to the Antiquities Authority’s approval.</li> </ol>
<div style="display: flex; justify-content: space-around;">   </div> <p style="text-align: center;">South-western lawn and open space at the rear side of the declared monuments</p> <div style="display: flex; justify-content: space-around;">   </div> <p style="text-align: center;">North-eastern open spaces in front of the declared monuments</p>		

<b>Item</b>	<b>Architectural Feature</b>	<b>Required Treatments</b>
1D.2	<u>Classic cast iron lamp post</u>	<p>a. The classic cast iron lamp post should be preserved in-situ.</p> <p>b. The cast iron lamp post is to be repaired and its function is to be restored as far as practicable.</p>
		

## 2A. STAFF QUARTERS – MAIN BUILDING

Item	Architectural Feature	Required Treatments
2A.1	<u>Building Facades</u>	<ul style="list-style-type: none"> <li>a. All elevations with exposed columns should be generally kept intact except for restoration works and necessary alteration and addition works to meet current statutory requirements, subjected to Antiquities Authority's approval.</li> <li>b. Any restoration works should be based on further research and/or site investigations with sufficient evidence.</li> <li>c. Any alteration and addition works should be carried out at less prominent area at the rear side in order to keep their visual impact on the Main Building and the Store Building to minimal.</li> <li>d. Apart from Item 2A.1b &amp; 2A.1c no new structures, awning, additional shading fins, equipment etc. should be installed on the building facades.</li> <li>e. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to Antiquities Authority for approval.</li> <li>f. No alteration to the existing opening or blockage to openings or formation of new opening should be made unless approved by Antiquities Authority.</li> <li>g. The rendered walls and the features are to be repaired as necessary to match existing and repaint with reversible painting system and colour approved by Antiquities Authority.</li> <li>h. No plaster should be applied on walls.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		


Item	Architectural Feature	Required Treatments
2A.2	<u>Verandahs on North Elevation</u>	<ul style="list-style-type: none"> <li>a. The open verandahs including the cast iron metal round columns on G/F and 1/F and granite stones bases should be preserved in-situ.</li> <li>b. No enclosure of the verandah, wholly or partially is permitted.</li> <li>c. The existing slab is to be repaired based on existing structural system as necessary.</li> <li>d. The existing tubular metal balustrade should be preserved as far as practicable, upgrading of existing balustrade to meet current statutory requirements in a reversible manner and with minimum disturbance to the balustrades may be considered, subjected to the Antiquities Authority's approval.</li> <li>e. A research study on the authenticity of the existing metal balustrade is to be conducted. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record. If sufficient evidence could be provided that the balustrade is not original, replacement of balustrade with similar design of simple tubular metal balustrade which is compatible with the building design may be considered, subjected to the Antiquities Authority's approval.</li> </ul>










Item	Architectural Feature	Required Treatments
2A.3	<u>Open Staircases</u>	<ul style="list-style-type: none"> <li>a. The open staircases including the cast iron round columns, concrete roof slabs and steps with granolithic finishes should be preserved in situ.</li> <li>b. The staircase should be kept open, no enclosure of open staircase is permitted.</li> <li>c. The existing tubular metal balustrade should be preserved as far as practicable, upgrading of existing balustrade to meet current statutory requirements in a reversible manner and with minimum disturbance to the balustrades may be considered, subjected to the Antiquities Authority's approval.</li> <li>d. A research study on the authenticity of the existing metal balustrade is to be conducted. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record. If sufficient evidence could be provided that the balustrade is not original, replacement of balustrade with similar design of simple tubular metal balustrade which is compatible with the building design may be considered, subjected to the Antiquities Authority's approval.</li> </ul>








Item	Architectural Feature	Required Treatments
2A.4	<u>Segmental Arched</u> <u>Wooden Casement</u> <u>Windows</u>	<ul style="list-style-type: none"> <li>a. All original segmental arched wooden casement windows including the segmental arched brickworks, grid glazing patterns, rounded edge window sills and all ironmongeries should be preserved in-situ.</li> <li>b. The wooden windows are to be repaired to match existing as necessary. If the wooden windows and ironmongeries are beyond repair, replace the windows with new wooden windows and ironmongeries following the existing design, subjected to Antiquities Authority's approval.</li> <li>c. Wood preservative treatment is to be provided to all the timber elements.</li> <li>d. Modification of the window openings into door openings to meet the current statutory requirements may be considered, provided that the modification works would be carried out at the rear side of the Main Building at less prominent area, and is subjected to the Antiquities Authority's approval.</li> </ul>
		



Item	Architectural Feature	Required Treatments
2A.5	<u>Segmental Arched Wooden Doors</u>	<ul style="list-style-type: none"> <li>a. All original segmental arched wooden panel door including the original ironmongeries, the grid glazing pattern, the segmental arched brickworks, and granite stones for the fixing of the hinges and granite thresholds should be preserved in-situ.</li> <li>b. The wooden doors are to be repaired to match existing as necessary. If the wooden windows and ironmongeries are beyond repair, they are to be replaced with new wooden doors and ironmongeries based on the existing design, subjected to Antiquities Authority's approval.</li> <li>c. Wood preservative treatment is to be provided to all the timber elements.</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		



Item	Architectural Feature	Required Treatments
2A.6	<u>Hipped Roof with Double-layered Chinese Pan and Roll tiles</u>	<ul style="list-style-type: none"> <li>a. The form and the materials of the roofs are not to be changed.</li> <li>b. The hipped roofs are to be checked and repaired with the double-layered pan and roll tiles to maintain waterproof matching existing.</li> <li>c. Structural condition is to be checked and the defective timber trusses, rafters, purlins and metal beams and bracings are to be repaired as necessary to match existing. Termite eradication and monitoring system is to be installed.</li> </ul>
<div style="display: flex; flex-direction: column; align-items: center;">   </div>		

<b>Item</b>	<b>Architectural Feature</b>	<b>Required Treatments</b>
2A.7	<u>Original Ventilation Grilles</u>	<ul style="list-style-type: none"><li>a. All original ventilation grilles should be preserved in-situ.</li><li>b. The grilles should not be blocked to maintain its function.</li><li>c. Repair, de-rust and repaint any defective grilles as necessary.</li></ul>
		

Item	Architectural Feature	Required Treatments
2A.8	<u>Stencilled Signages</u>	a. All stencilled signages at external walls including those above or beside door openings showing the room nos. and the function of the rooms should be preserved in-situ. b. The stencilled signage are not to be covered and should be displayed for public appreciation.
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;">     </div>		



Item	Architectural Feature	Required Treatments
2A.9	<u>Original Cast Iron Rainwater Pipe</u>	<ul style="list-style-type: none"> <li>a. Some of the rainwater pipes and the gutters have been altered or replaced with new materials. A research study on the original rainwater drainage system is to be conducted and the drainage system is to be restored by using the materials of the period as far as practicable.</li> <li>b. All historical cast iron rainwater pipes, including hopper, pipe works and their associated parts, should be preserved in-situ as far as practicable.</li> <li>c. Historical cast iron rainwater pipes and any defective part(s) of are to be repaired to restore its function. If defective pipework is beyond repair, the replacement pipework should be cast iron and painted to match existing.</li> </ul>
		



Item	Architectural Feature	Required Treatments
2A.10	<u>Jack Arch slabs</u>	<ul style="list-style-type: none"> <li>a. The jack arch slabs on 1/F with bottom of metal beams exposed and the supporting brick corbels should be preserved in-situ.</li> <li>b. The condition of the Jack arch slabs are to be checked and they are to be repaired as necessary following the existing structural system. New replacement of the elements is acceptable if the elements are beyond repair and the replacements should follow the existing structural system, materials and design.</li> <li>c. If upgrading works of the slab to meet current statutory requirements is necessary upon the advice from the Registered Structural Engineer, upgrading works may be permitted, subjected to Antiquities Authority's approval.</li> <li>d. Any upgrading works should be reversible in manner with the metal beams and arched ceiling to be exposed for public appreciation as far as practicable.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		


Item	Architectural Feature	Required Treatments
2A.11	<u>Vistas to the Tai Tam Harbour</u>	<ul style="list-style-type: none"> <li>a. The vistas from the Staff Quarters to the Tai Tam Harbour and the Pumping Station should be maintained.</li> <li>b. Erection of new structure at the north side in front of the Staff Quarters and at the east side between the Staff Quarters and the Pumping Station should be avoided.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		





## 2B. STAFF QUARTERS – STORE BUILDING


Item	Architectural Feature	Required Treatments
2B.1	<u>Building Facades</u>	<ul style="list-style-type: none"><li>a. All elevations with exposed columns should be generally kept intact, subjected to Antiquities Authority's approval.</li><li>b. No new structures, awning, additional shading fins, equipment etc. should be installed on the building facades.</li><li>c. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to AMO for approval.</li><li>d. No alteration to the existing opening or blockage to openings or formation of new opening should be made unless approved by AMO.</li><li>e. The rendered walls and the features are to be repaired as necessary to match existing and repaint with reversible painting system and colour approved by AMO.</li><li>f. No plaster should be applied on walls.</li></ul>
		


Item	Architectural Feature	Required Treatments
2B.2	<u>Verandah on South-west Elevation and Covered walkway</u>	<ul style="list-style-type: none"> <li>a. The open verandah and the covered walkway linking the Store Building and the Main Building including the cast iron metal round columns with granite stones bases should be preserved in-situ.</li> <li>b. No enclosure of the verandah, wholly or partially is permitted.</li> <li>c. The existing roof slab is to be repaired following existing structural system as necessary.</li> </ul>
		

Item	Architectural Feature	Required Treatments
2B.3	<u>Segmental Arched Wooden Casement Windows</u>	<ul style="list-style-type: none"><li>a. All original segmental arched wooden casement windows including the segmental arched brickworks, grid glazing patterns, rounded edge window sills and all ironmongeries should be preserved in-situ.</li><li>b. The wooden windows are to be repaired to match existing as necessary. If the wooden windows and ironmongeries are beyond repair, they are to be replaced with new following the existing design.</li><li>c. Wood preservative treatment is to be provided to all the timber elements.</li></ul>
		


Item	Architectural Feature	Required Treatments
2B.4	<u>Segmental Arched Wooden Doors</u>	<ul style="list-style-type: none"><li>a. All original segmental arched wooden panel door including the original ironmongeries, the segmental arched brickworks, and granite stones for the fixing of the hinges and granite thresholds should be preserved in-situ.</li><li>b. The wooden doors are to be repaired to match existing as necessary. If the wooden windows and ironmongeries are beyond repair, they are to be replaced with new following the existing design.</li><li>c. Wood preservative treatment is to be provided to all the timber elements.</li></ul>
		



Item	Architectural Feature	Required Treatments
2B.5	<u>Ventilation Openings</u>	<ul style="list-style-type: none"> <li>a. The wall openings on the north-east elevation with metal grilles should be preserved in-situ.</li> <li>b. Blockage of the openings in a reversible manner may be considered to meet statutory requirement, and is subjected to AMO's approval.</li> </ul>
		

Item	Architectural Feature	Required Treatments
2B.6	<u>Mono-pitched Roof</u>	<ul style="list-style-type: none"> <li>a. The form and the materials of the roof are not to be changed.</li> <li>b. The roof slab is to be checked and repaired following existing material and design as necessary.</li> <li>c. Roofing membrane at flat roof is to be applied in a reversible-manner to improve the waterproof as necessary.</li> </ul>
		

Item	Architectural Feature	Required Treatments
2B.7	<u>Stencilled Signages</u>	a. All stencilled signages at external walls should be preserved in-situ.  



## 2C. STAFF QUARTERS – OPEN SPACE



Item	Architectural Feature	Required Treatments
2C.1	<u>Lawn</u>	<ol style="list-style-type: none"><li>a. The lawn in front of the Staff Quarters should be remained as open as possible with the existing lawn to be maintained as a lawn.</li><li>b. Erection of above-ground or underground new structures or installation of building services equipment at the lawn should be avoided.</li></ol>
		


Item	Architectural Feature	Required Treatments
2C.2	<u>Open Space at the rear side of Staff Quarters</u>	<ul style="list-style-type: none"> <li>a. Erection of above-ground new access facilities such as lift and means of escape staircase, and installation of building services equipment underground or above-aground with proper screening (“Proposed Works B”) at the rear side of the Staff Quarters to meet current statutory requirements for new use could be considered, and are subjected to the approval from Antiquities Authority.</li> <li>b. The Proposed Works B should be compatible with and distinguishable from the Main Building and the Store Building with minimal size to minimize the visual impact on the declared monuments.</li> <li>c. The Proposed Works B should be structurally independent and should not adversely affect the structure and foundation of the Main Building and the Store Building, subjected to the advice from a Registered Structural Engineer.</li> <li>d. Unless approved by the Antiquities Authority, the ultimate height of the new lift and staircase should be lower than the top level of the existing hipped roof.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		





### 3. NO. 2 STAFF QUARTERS


Item	Architectural Feature	Required Treatments
3.1	<u>Building Facades</u>	<ul style="list-style-type: none"> <li>a. All elevations including fair-faced red bricks, Shanghai plaster finishes on exposed columns and along the bottom of walls should be generally kept intact except for restoration works and necessary alteration and addition works to meet current statutory requirements, subjected to Antiquities Authority's approval.</li> <li>b. Any restoration works should be based on further research and/or site investigations with sufficient evidence.</li> <li>c. Any alteration and addition works should be carried out at less prominent area at the south and west side of building in order to keep their visual impact on the declared monument to minimal.</li> <li>d. Apart from Item 3.1b &amp; 3.1c, no new structures, awning, additional shading fins, equipment etc. should be installed on the building facades.</li> <li>e. Installation of new signage on the facade may be permitted provided that it will not overwhelm the existing elevation design and should be submitted to Antiquities Authority for approval.</li> <li>f. No alteration to the existing opening or blockage to openings or formation of new opening should be made unless approved by Antiquities Authority.</li> <li>g. The walls and the finishes are to be repaired as necessary to match existing.</li> <li>h. No painting should be applied on walls.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		



Item	Architectural Feature	Required Treatments
3.2	<u>Verandahs on North Elevation</u>	<ul style="list-style-type: none"> <li>a. The open verandahs including the concrete railings and posts of balustrades should be preserved in-situ.</li> <li>b. No enclosure of the verandah, wholly or partially is permitted.</li> <li>c. The existing slab and canopy is to be repaired following existing structural system as necessary.</li> <li>d. The existing metal balustrade is not original. A research study on the original design of the metal balustrade is to be conducted and the metal balustrade is to be restored to the original design. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record.</li> <li>e. Upgrading of the balustrade to meet current statutory requirements in a reversible manner and with minimum disturbance to the concrete railings and posts of balustrades may be considered, subjected to the Antiquities Authority's approval.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		


Item	Architectural Feature	Required Treatments
3.3	<u>Open Staircase</u>	<ul style="list-style-type: none"> <li>a. The concrete open staircase connecting to the verandah on 1/F should be preserved in-situ.</li> <li>b. The existing metal balustrade is not original. A research study is to be conducted on the original design of the metal balustrade and the metal balustrade is to be restored to the original design. The study should be based on archival research and site investigations, and supplemented with photos, drawings, etc. for AMO's record.</li> <li>c. Upgrading of the balustrade to meet current statutory requirements in a reversible manner and with minimum disturbance to the concrete railings and posts of balustrades may be considered, subjected to the Antiquities Authority's approval.</li> </ul>
		



Item	Architectural Feature	Required Treatments
3.4	<u>Doorcase of Original Main Entrance</u>	<ul style="list-style-type: none"> <li>a. The geometric doorcase of the original main entrance including the shanghai plaster finishes and the signs of "H.K.W.W." and "1936" should be preserved in-situ.</li> <li>b. The original door opening which have been altered into window opening should be restored and the surrounding should be made good.</li> <li>c. The doorcase Shanghai plaster finishes is to be repaired to match existing as necessary.</li> </ul>
		


Item	Architectural Feature	Required Treatments
3.5	<u>Window Head and Window Sill</u>	<ul style="list-style-type: none"> <li>a. All brick window head and concrete window sill including the old ironmongeries at the sides should be preserved in-situ and repaired as necessary.</li> <li>b. A research study on the original design of the steel windows is to be conducted. The study should be based on archival research and site investigations, supplemented with photos, drawings, etc. for AMO's record.</li> <li>c. The altered window openings should be restored to the original size and replaced with new steel windows following the original design.</li> </ul>
		


Item	Architectural Feature	Required Treatments
3.6	<u>Door Openings</u>	<ul style="list-style-type: none"> <li>a. A research study and site investigation is to be conducted to identify the original door openings and later-formed door openings, and the original design of the doors. The study should be based on archival research and site investigations, supplemented with photos, drawings, etc. for AMO's record.</li> <li>b. The brick door heads on 1/F should be preserved in-situ and repaired as necessary.</li> <li>c. The original door openings are to be restored with new doors following the original design or the design of the period.</li> <li>d. Altered door openings or later-formed door openings should be restored to window openings or reinstated with brickworks to match with existing walls, unless with justifications approved by the Antiquities Authority.</li> </ul>
		


Item	Architectural Feature	Required Treatments
3.7	<u>Concrete Beams</u>	<ul style="list-style-type: none"> <li>a. All concrete beams with sloping corners on G/F and 1/F should be preserved in-situ and be exposed for public appreciation as far as practicable.</li> <li>b. The concrete beams are to be repaired as necessary following the existing profile.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		


Item	Architectural Feature	Required Treatments
3.8	<u>Coved Ceiling</u>	<ul style="list-style-type: none"> <li>a. All coved ceiling on G/F and 1/F should be preserved in-situ and be exposed for public appreciation as far as practicable.</li> <li>b. The coved moulding is to be reinstated to match existing after any ceiling repair work as necessary.</li> </ul>
<div style="text-align: center;">  </div>		


Item	Architectural Feature	Required Treatments
3.9	<u>Wooden Partitions on 1/F</u>	<ul style="list-style-type: none"> <li>a. The wooden partitions on 1/F, though have been altered, should be preserved as far as practicable.</li> <li>b. The defective elements of wooden partitions are to be repaired and replaced with new following the existing design and materials as necessary. Wood preservative treatment is to be provided to all the timber elements.</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		

Item	Architectural Feature	Required Treatments
3.10	<u>Original Cast Iron Rainwater Pipe</u>	<ul style="list-style-type: none"> <li>a. All historical cast iron rainwater pipes, including hopper, pipe works and their associated parts, should be preserved in-situ as far as practicable.</li> <li>b. Any defective part(s) of the drainage system are to be repaired and replaced with new as necessary. Clear any blockage in the drainage system to restore its function.</li> <li>c. If defective pipework is beyond repair, the replacement pipework should be cast iron and painted to match existing.</li> </ul>
<div style="text-align: center;">  </div>		



Item	Architectural Feature	Required Treatments
3.11	<u>Historical Wall Lamp</u>	<ul style="list-style-type: none"> <li>a. The historic wall lamp should be preserved in-situ.</li> <li>b. It is to be repaired and its function is to be restored as far as practicable.</li> </ul>
		

Item	Architectural Feature	Required Treatments
3.12	<u>Flat Roofs</u>	<ul style="list-style-type: none"> <li>a. The form and the materials of the roof are not to be changed</li> <li>b. The roof slab is to be checked and repaired following existing material and design as necessary.</li> <li>c. Roofing membrane at flat roof is to be applied in a reversible-manner to improve the waterproof as necessary.</li> </ul>
		

Item	Architectural Feature	Required Treatments
3.13	<u>Vistas to Tam Tam Harbour and Pumping Station</u>	a. Any new structure or installation should not block the vistas from the Main Building to Tai Tam Harbour and the Pumping Station
		

Item	Architectural Feature	Required Treatments
3.14	<u>Outbuilding</u>	a. The outbuilding (used as bathroom) at the southern side of the No. 2 Staff Quarters is a later addition. b. No objection to demolish to make way for new access facilities if necessary, subjected to the approval by the AMO.
		




Item	Architectural Feature	Required Treatments
3.15	<u>Open Spaces surrounding the No. 2 Staff Quarters</u>	<ul style="list-style-type: none"> <li>a. The open spaces around the No. 2 Staff Quarters should be remained as open as possible and the existing lawn should maintain as lawn to allow the general public to pay due respect to the declared monument.</li> <li>b. No above-ground structure or installation should erect at the northern side of the No. 2 Servants' Quarters.</li> <li>c. Erection of above-ground new access facilities i.e. lift and means of escape staircase, and installation of building services equipment with proper screening ("Proposed Works C") at the southern and western side to meet current statutory requirements for new use could be considered, and are subjected to the approval from Antiquities Authority.</li> <li>d. The Proposed Works C should be compatible with and distinguishable from the declared monument with minimal size to minimize the visual impact on the declared monument.</li> <li>e. The Proposed Works C should be structurally independent and should not adversely affect the structure of declared monument.</li> <li>f. Unless approved by the Antiquities Authority, the ultimate height of the new lift and staircase should be lower than the top level of the parapet wall of roof.</li> <li>g. Any new underground structure at the open spaces to meet the current statutory requirements could be considered provided that no adverse impact would cause to the structure and foundation of the declared monuments, subjected to the advice from a Registered Structural Engineer and is subjected to the Antiquities Authority's approval.</li> </ul>
 <p data-bbox="422 1624 742 1657">Western and Southern side</p>		 <p data-bbox="1093 1624 1252 1657">Northern side</p>


#### 4. SURROUNDING AREAS

Item	Architectural Feature	Required Treatments
4.1	<u>Underground Structures within the Site</u>	<ul style="list-style-type: none"> <li>a. A research study and site investigation are to be conducted on the Underground Cellar/ air raid shelter to find out the extent and locations of the air raid shelter and the associated staircase (and tunnels if any). The study should be based on archival research and site investigations, supplemented with photos, drawings, etc. for AMO's record.</li> <li>b. All the Underground Cellar/ air raid shelter (and tunnels if any) should be preserved in-situ and repaired with materials matching existing as necessary.</li> <li>c. No erection of new structure at the land above the existing Underground Cellar except for lift facilities as mentioned in Item 4.5 below will be permitted. Any new structure or strengthening works for proposed new use of the land above should not cause any damage on the underground structures.</li> <li>d. All new above-ground or underground structure, alteration works or strengthening works to the existing underground structures should be subjected to the advice from a Registered Structural Engineer and is subjected to the Antiquities Authority's approval.</li> <li>e. The Underground Cellar is to be re-used as far as practicable. Any formation of new openings to the Underground Cellar should be approved by the AMO.</li> </ul>

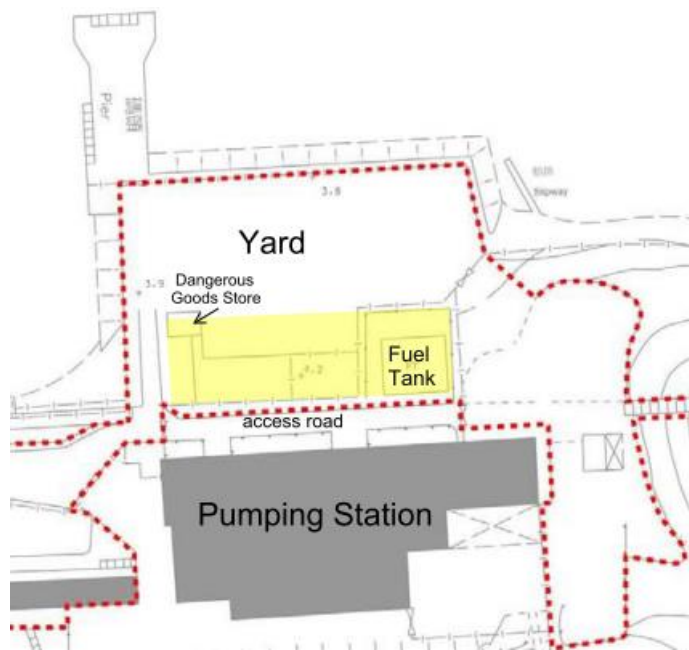


Underground Cellar

Item	Architectural Feature	Required Treatments
4.2	<u>Old Tracks</u>	a. The old tracks along the road should be preserved in-situ and exposed for public appreciation.
		

Item	Architectural Feature	Required Treatments
4.3	<u>Garage</u>	<p>a. A research study on the Garage to be conducted to find out its history. The study should be based on archival research and site investigations, supplemented with photos, drawings, etc. for AMO's record.</p> <p>b. The Garage and the shelter should be preserved in-situ.</p> <p>c. The Garage and the shelter is to be repaired and repainted to match existing and is to be reused as far as practicable.</p> <p>d. Roofing membrane is to be applied at flat roof in a reversible-manner to improve the waterproof as necessary.</p>
		

Item	Architectural Feature	Required Treatments
4.4	<u>Yard</u>	<ul style="list-style-type: none"> <li>a. Construction of new structure(s) within the site for ancillary use (“Proposed Works D”) may be considered in area highlighted as yellow on part plan below which the design and extent is subjected to AMO’s approval.</li> <li>b. No above-ground or underground structure should be built outside the yellow area in the Yard.</li> <li>c. The Proposed Works D should be compatible with and distinguishable from the declared monuments. The overall building mass of the Proposed Works D should be as small as practicable and not overwhelm the Pumping Station at the rear to minimize the visual impact on the declared monuments.</li> <li>d. The Proposed Works D should be structurally independent and should not adversely affect the structure of other nearby buildings.</li> <li>e. The ultimate building height of the Proposed Works D should not be higher than the finishes floor level of the access road in front of the Pumping Station at the rear and the vista from the Yard to the Pumping Station should not be blocked.</li> <li>f. No objection to demolish the Fuel Tank and the Dangerous Goods Store in the Yard to facilitate the Proposed Works D.</li> </ul>



Fuel Tank



Pumping Station



Dangerous Goods Store


Item	Architectural Feature	Required Treatments
4.5	<u>Slopes at the West Side of Senior Staff Quarters and Slopes/ Retaining Walls at the North Side of No. 2 Staff Quarters</u>	<ul style="list-style-type: none"> <li>a. For provision of barrier free access, construction of ramp(s) or lift facilities may be required from the vehicular road level to the higher platforms of the Senior Staff Quarters and the No. 2 Staff Quarters.</li> <li>b. Construction of ramp(s) or lift facilities should match the existing topography as far as practicable in order to keep the overall visual impact to a minimum.</li> <li>c. The lift facilities if any should be of minimal size, and the design should be compatible and distinguishable from the declared monuments to minimize the visual impact on the declared monuments.</li> <li>d. The design and materials of the ramp(s), lift facilities if any and related landscaping or sloping works should be submitted to AMO for approval.</li> </ul>



Slope at the west side of Senior Staff Quarters



Slopes/ retaining walls at the north side of No. 2 Staff Quarters


Item	Architectural Feature	Required Treatments
4.6	<u>Natural Landscape and Natural Terrain of the Surrounding Areas</u>	a. The existing natural landscape and natural terrain at the surrounding areas should be maintained. Any proposed improvement works at the surrounding areas of declared monuments should be made compatible with the existing natural landscape and natural terrain to avoid creating adverse visual impact on the natural environment.
		

**Appendix IX(C)**

**List of Recommended Treatments to Architectural Features**


**Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound**  
**Recommended Treatments to Architectural Features**

**1. STAFF QUARTERS**

<b>Item</b>	<b>Architectural Feature</b>	<b>Recommended Treatments</b>
1.1	<u>Segmental Arched</u> <u>Wooden Casement</u> <u>Windows</u>	a. Original door openings which have been altered into window openings should be restored to segmental arched wooden panel doors matching existing design.
		

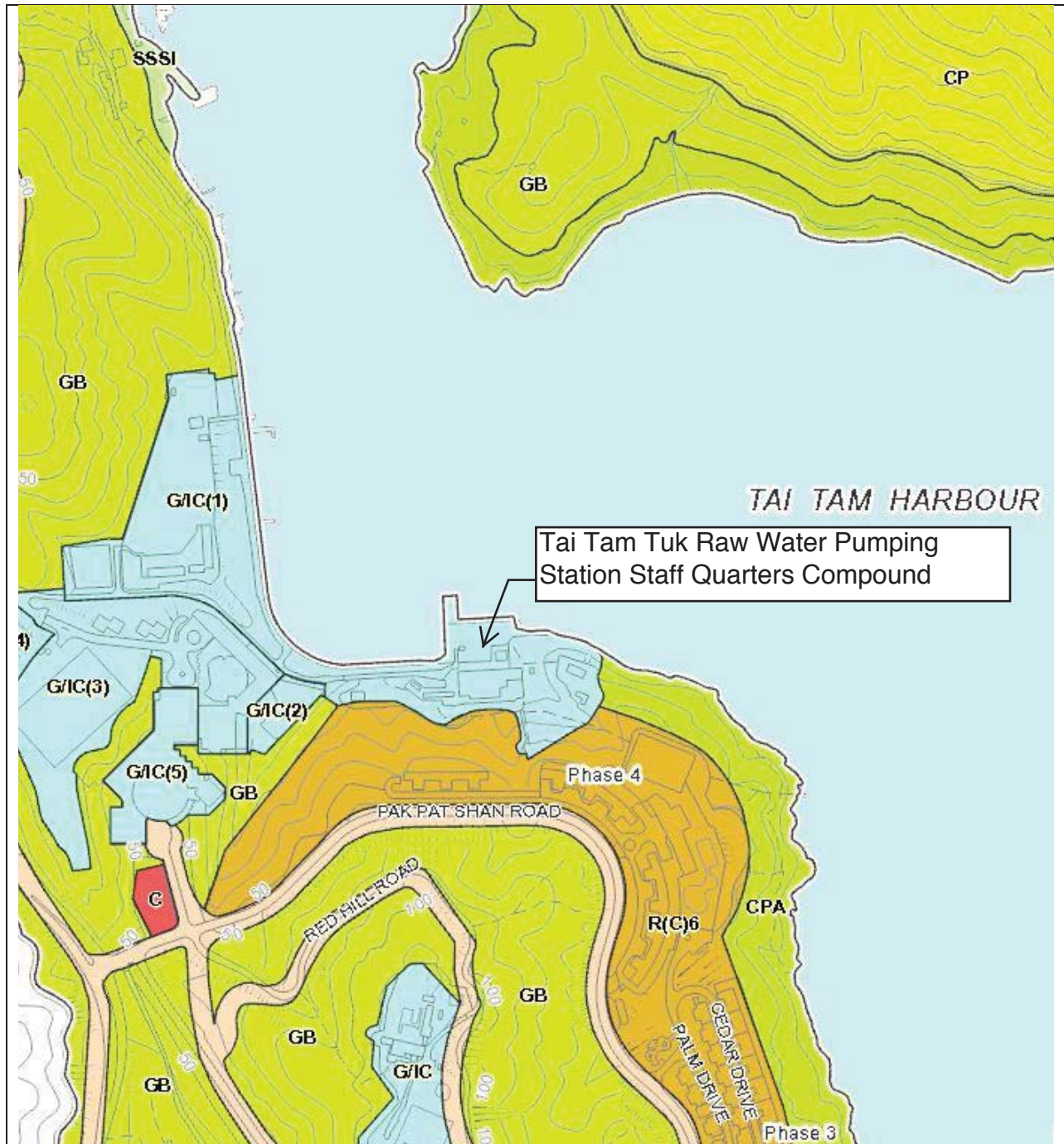


## 2. NO. 2 STAFF QUARTERS

Item	Architectural Feature	Recommended Treatments
2.1	Room under Open Staircase	b. The room under the open staircase is later-addition. The later-added room is to be demolished to restore the appearance of the side elevation of Building.
 <p>The photograph shows the exterior of a brick building. A concrete staircase with a metal railing leads up to a second-story level. Below the staircase, there is a small, enclosed room with a yellow door. The brickwork is red, and the concrete elements are grey. The ground in front is a dark, paved area.</p>		

Item	Architectural Feature	Required Treatments
2.2	<u>Wooden partitions on 1/F</u>	a. The altered wooden partitions are to be restored to original design without door openings.
 <p>The two photographs show the interior of a room with wooden partitions. The left photo shows a blue door set within a partition wall. The right photo shows a doorway where a partition wall has been removed, creating an opening. The wood appears aged and worn.</p>		

**Appendix X**  
**Outline Zoning Plan**



Tai Tam Tuk Raw Water Pumping Station Staff Quarters Compound

TAI TAM TUK RAW WATER PUMPING STATION STAFF QUARTERS COMPOUND

DRAWING NO.: APPENDIX XI EXTRACT OF OUTLINE ZONING PLAN



**圖例 NOTATION**

<b>ZONES</b>	<b>地帶</b>
COMMERCIAL	商業
RESIDENTIAL GROUP A	住宅 (A類)
RESIDENTIAL GROUP B	住宅 (B類)
RESIDENTIAL GROUP C	住宅 (C類)
VALUE TIER DEVELOPMENT	劃分式發展
GOVERNMENT INSTITUTION OR COMPOUND	政府、機構或處
OPEN SPACE	綠地
OTHER SPECIFIED USES	其他指定用途
LAND TOWNSHIP	鄉鎮發展區
GREEN BELT	綠化地帶
CENTRAL PROTECTION AREA	中央保護區
SITE OF SPECIAL SCIENTIFIC INTEREST	具有特殊科學價值地點
COUNTRY PARK	郊野公園

<b>COMMUNICATIONS</b>	<b>交通</b>
ROAD AND AIR JUNCTION	主要道路及路口

<b>MISCELLANEOUS</b>	<b>其他</b>
BOUNDARY OF PLANNING SCHEME	規劃區界線
BOUNDARY OF COUNTRY PARK	郊野公園界線

**土地用途及面積一覽表 SCHEDULE OF USES AND AREAS**

USES	土地用途及面積		用途
	公頃 HECTARES	% 佔總面積	
COMMERCIAL	0.17	0.0	商業
RESIDENTIAL GROUP A	3.20	0.0	住宅 (A類)
RESIDENTIAL GROUP B	9.40	0.0	住宅 (B類)
RESIDENTIAL GROUP C	1.44	0.0	住宅 (C類)
VALUE TIER DEVELOPMENT	1.44	0.0	劃分式發展
GOVERNMENT INSTITUTION OR COMPOUND	0.21	0.0	政府、機構或處
OPEN SPACE	0.21	0.0	綠地
OTHER SPECIFIED USES	0.00	0.0	其他指定用途
LAND TOWNSHIP	34.00	0.0	鄉鎮發展區
GREEN BELT	288.71	28.0	綠化地帶
CENTRAL PROTECTION AREA	91.28	8.8	中央保護區
SITE OF SPECIAL SCIENTIFIC INTEREST	13.90	1.3	具有特殊科學價值地點
COUNTRY PARK	89.62	8.6	郊野公園
MAJOR ROAD ETC.	26.62	2.6	主要道路等
<b>TOTAL PLANNED ZONING AREA</b>	<b>1118.75</b>	<b>100.0</b>	<b>總劃定發展區</b>

THE ATTACHED NOTES ALSO FORM PART OF THIS PLAN  
 本計劃的《註釋》亦是本計劃的一部分

香港城市規劃委員會依據城市規劃條例擬備的大潭及石澳(港島規劃區第18區)分區計劃大綱圖  
 TOWN PLANNING ORDINANCE, HONG KONG TOWN PLANNING BOARD  
 HONG KONG PLANNING AREA No. 18 - TAI TAM & SHEK O - OUTLINE ZONING PLAN

圖則編號 S/H18/10  
 PLAN No.

香港城市規劃委員會  
 HONG KONG TOWN PLANNING BOARD  
 THE DIRECTOR OF THE TOWN PLANNING BOARD

日期: 2008年5月8日  
 圖則編號: S/H18/10  
 SECTION No. 11 (A) 圖則發展範圍  
 SECTION No. 11 (A) OF THE TOWN PLANNING ORDINANCE ON 8 MAY 2008

LAM Chung-tung, Tony  
 總主任  
 CLERK TO THE EXECUTIVE COUNCIL

GOVERNMENT, INSTITUTION OR COMMUNITY

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Cable Car Route and Terminal Building Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Pier Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Correctional Institution Driving School Eating Place (not elsewhere specified) Flat Helicopter Landing Pad Helipad Fuelling Station Holiday Camp Hotel House Marine Fuelling Station Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

Planning Intention

This zone is intended primarily for the provision of Government, Institution or Community facilities serving the needs of the local residents and/or a wider district, region or the territory.

It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

Remarks

- (a) On land designated “Government, Institution or Community (1)”, “Government, Institution or Community (2)”, “Government, Institution or Community (3)”, “Government, Institution or Community (4)” and “Government, Institution or Community (5)”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building height set out below or the height of the existing building, whichever is the greater :

<u>Sub-area</u>	<u>Restriction</u>
“Government, Institution or Community (1)”	Maximum 20 metres above Hong Kong Principal Datum
“Government, Institution or Community (2)”	Maximum 40 metres above Hong Kong Principal Datum
“Government, Institution or Community (3)”	Maximum 40 metres above Hong Kong Principal Datum
“Government, Institution or Community (4)”	Maximum 48 metres above Hong Kong Principal Datum
“Government, Institution or Community (5)”	Maximum 73 metres above Hong Kong Principal Datum

- (b) For any new development or redevelopment, except alteration and/or modification to an existing building, on land designated “Government, Institution or Community (2)” and “Government, Institution or Community (4)”, planning permission from the Town Planning Board under section 16 of the Town Planning Ordinance is required.
- (c) Based on the individual merits of a development or redevelopment proposal, minor relaxation of building height restrictions stated in paragraph (a) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

7.3.3 There is a general intention to maintain the established character and amenity of the Area. The “R(C)” zone is further divided into six sub-areas, each with its own height restriction. The maximum building height permitted in the sub-areas ranges from three to seven storeys with the exception of the sub-area “R(C)6” which permits a maximum of 19 storeys. The sub-area “R(C)6” covers part of a lot at the Red Hill area where the form of development was committed prior to the first exhibition of the OZP. The appropriate site coverage and plot ratio restrictions are shown in the Notes attached to the Plan. However, to provide flexibility for innovative design adapted to the characteristic of particular sites, minor relaxation of the plot ratio, site coverage and building height restrictions may be considered by the Board through the planning permission system. Each proposal will be considered on its individual planning merits.

7.3.4 The majority of the residential developments in the Area located along Tai Tam Road and at Red Hill, Big Wave Bay and Shek O are under this zoning.

7.4 Village Type Development (“V”) : Total Area 2.44 ha

7.4.1 The planning intention of this zone is primarily for the provision of land for the retention and expansion of existing villages as well as reservation of land for the reprovisioning of village houses affected by Government projects. Selected commercial and community uses serving the needs of the villagers and in support of the village development are always permitted on the ground floor of a house. Other commercial, community and recreational uses may be permitted on application to the Board.

7.4.2 This zoning covers the existing Shek O Village which is a long-established village settlement. Some shops have been established within the village to serve local residents and beachgoers.

7.4.3 In order to ensure that any future development or redevelopment within Shek O Village would be compatible with the existing character of the area, a building height restriction is incorporated into the Notes for the “V” zone. However, to provide flexibility for innovative design adapted to the characteristic of particular sites, minor relaxation of the building height restriction may be considered by the Board through the planning permission system. Each proposal will be considered on its individual planning merits.

7.5 Government, Institution or Community (“G/IC”) : Total Area 13.50 ha

7.5.1 This zone is intended primarily for the provision of Government, Institution or Community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

7.5.2 There are three major “G/IC” sites in the Area. The one next to Rocky Bay Beach abutting Shek O Road includes a telephone exchange, a health centre, a bus terminus and a proposed fire station. These facilities mainly serve the residents of Shek O Village and Shek O Headland and the beachgoers to Shek O Beach and Rocky Bay Beach. Another one at the Inner Cove of Tai Tam Harbour in the vicinity of Red Hill covers other major existing facilities, including a pumping station, the camping ground and hostel of the Boy Scouts Association of Hong Kong and the Hong Kong International School. A “G/IC” site to the northwest of Shek O Beach is proposed for the development of a public transport terminus, car and coach parking areas to cater for the increasing number of visitors to the Shek O area.

7.5.3 To maintain the general amenity and existing character of the area, the “G/IC” site at the Inner Cove of Tai Tam Harbour is divided into 5 sub-areas, each subject to specific control on building height ranging from 20 to 73 metres above Principal Datum. This “G/IC” site is located on a sloping area running down from Tai Tam Road to Tai Tam Harbour, which is a greenery and scenic area with low to medium-rise development. The restriction on building height is to respect the natural topography and maintain the existing character of the “G/IC” development at the site. Furthermore, to ensure that future new development in the “G/IC” site will be in keeping with the character of the surrounding area, planning permission from the Board under section 16 of the Ordinance is required for new development in the “G/IC(2)” and “G/IC(4)” sub-areas.

7.5.4 To provide flexibility for innovative design adapted to the characteristic of particular sites, minor relaxation of the building height restriction for development in the 5 sub-areas of the “G/IC” zone may be considered by the Board through the planning permission system. Each proposal will be considered on its individual planning merits.

7.6 Open Space (“O”): Total Area 8.23 ha

7.6.1 This zone is intended primarily for the provision of outdoor open-air space for active and/or passive recreational uses serving the needs of local residents as well as the general public.

7.6.2 The existing open spaces include Turtle Cove Beach, Big Wave Bay Beach, Shek O Beach and Rocky Bay Beach. These beaches are of territorial significance and are well visited by people from other parts of the Territory, particularly during summer.

7.6.3 The existing car park and its adjacent area to the north of Shek O Beach is also under this zoning where the Shek O Obstacle Golf Course and an open space including a children's playground, barbecue areas and some ancillary beach facilities such as changing rooms and shower facilities are found.



**Appendix XI**  
**Tree Schedule**

Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0001	<i>Roystonea regia</i>	王棕	0.9	7	3	Fair	Medium	Medium	Medium	-	811055.434	841262.419	6.210
T0002	<i>Roystonea regia</i>	王棕	0.9	7	3	Fair	Medium	Medium	Medium	-	811055.458	841265.567	6.120
T0003	<i>Mallotus paniculatus</i>	白楸	0.7	5	2	Fair	Medium	Medium	Medium	-	811053.289	841271.712	6.210
T0004	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.8	5	4	Fair	Low	Low	Low	leaning	811051.690	841258.334	6.700
T0005	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.6	5	4	Fair	Low	Low	Low	leaning	811052.293	841261.155	6.940
T0006	<i>Sterculia lanceolata</i>	假蒺藜	0.7	5	3	Fair	Low	Low	Low	-	811052.032	841267.857	7.070
T0007	(Dead tree)	(枯死樹木)	0.6	4	3	Dead	Low	Low	Low	dehydrated, dead branches	811046.533	841248.920	10.180
T0008	<i>Mallotus paniculatus</i>	白楸	0.6	3	3	Fair	Low	Low	Low	leaning	811050.402	841262.027	7.960
T0009	<i>Sterculia lanceolata</i>	假蒺藜	0.3	8	1	Fair	Low	Low	Low	-	811047.005	841257.477	8.950
T0010	<i>Sterculia lanceolata</i>	假蒺藜	0.6	6	3	Fair	Medium	Medium	Low	-	811046.283	841257.591	9.220
T0011	<i>Sterculia lanceolata</i>	假蒺藜	0.5	3	2	Withering	Low	Low	Low	-	811045.827	841258.427	9.450
T0012	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.5	5	4	Fair	Low	Low	Low	leaning	811054.543	841250.574	8.040
T0013	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.8	7	4	Fair	Low	Low	Low	abnormal bark crack, cavity, exposed dead wood	811054.013	841247.483	9.490
T0014	<i>Schefflera heptaphylla</i>	鴨腳木	0.6	5	3	Fair	Low	Low	Low	-	811054.938	841246.460	9.030
T0015	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.7	6	4	Fair	Low	Low	Low	wound, dead branches	811053.526	841244.928	10.320
T0016	<i>Ficus subpisocarpa</i>	筆管榕	0.6	4	3	Fair	Medium	Low	Low	-	811054.658	841241.191	9.700
T0017	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	4	2	Fair	Low	Low	Low	-	811054.264	841241.182	10.040
T0018	<i>Ficus hispida</i>	對葉榕	0.5	4	2	Fair	Medium	Low	Low	leaning	811051.718	841236.014	12.800
T0019	<i>Ficus hispida</i>	對葉榕	0.6	7	3	Fair	Low	Low	Low	-	811051.689	841236.448	12.980
T0020	<i>Clauseria lansium</i>	黃皮	0.8	4	3	Fair	Medium	Low	Low	exposed dead wood, dead stub	811047.859	841294.533	7.110
T0021	<i>Arcauria heterophylla</i>	異葉南洋杉	2.0	15	2	Fair	Low	Low	Low	leaning, sparse crown	811048.575	841304.790	7.120
T0022	<i>Carica papaya</i>	番木瓜	0.5	2	0	Withering	Low	Low	Low	topped	811063.083	841217.833	4.610
T0023	<i>Carica papaya</i>	番木瓜	0.4	2	0	Withering	Low	Low	Low	broken trunk	811063.203	841221.168	4.690
T0024	<i>Ilex rotunda</i> Thunb. var. <i>microcarpa</i>	小果鐵冬青	0.4	4	2	Fair	Medium	Medium	Medium	-	811064.120	841259.358	4.780
T0025	<i>Ilex rotunda</i> Thunb. var. <i>microcarpa</i>	小果鐵冬青	0.4	4	2	Fair	Medium	Medium	Medium	leaning	811064.250	841256.152	4.710
T0026	<i>Liquidambar formosana</i>	楓香	0.3	4	2	Fair	Medium	Medium	Medium	-	811064.064	841253.162	4.890
T0027	<i>Liquidambar formosana</i>	楓香	0.3	4	1	Fair	Medium	Medium	Medium	-	811064.040	841249.832	4.800
T0028	<i>Ilex rotunda</i> Thunb. var. <i>microcarpa</i>	小果鐵冬青	0.4	4	2	Fair	Medium	Medium	Medium	-	811063.293	841243.783	4.810
T0029	<i>Roystonea regia</i>	王棕	0.7	8	2	Withering	Low	Low	Low	-	811073.613	841330.721	3.990
T0030	<i>Roystonea regia</i>	王棕	1.0	8	2	Fair	Medium	Medium	Medium	-	811073.568	841327.360	3.920
T0031	<i>Leucaena leucoccephala</i>	銀合歡	0.4	6	2	Fair	Medium	Low	Low	leaning	811105.071	841364.524	3.580
T0032	<i>Celtis sinensis</i>	朴樹	0.9	5	4	Fair	Medium	Medium	Medium	hanger, defective branch	811105.516	841331.115	3.530

Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0033	<i>Celtis sinensis</i>	朴樹	0.8	4	3	Withering	Medium	Low	Low	asymmetric canopy, dead branches, hanger	811105.177	841326.071	3.520
T0034	<i>Hibiscus tiliaceus</i>	黃槿	0.6	3	3	Fair	Low	Low	Low	-	811105.879	841316.097	3.260
T0035	<i>Casuarina equisetifolia</i>	木麻黃	1.2	8	5	Fair	Medium	Low	Low	asymmetric canopy, dead branches, dead stub	811105.934	841363.002	3.920
T0036	<i>Celtis sinensis</i>	朴樹	0.8	6	4	Fair	Medium	Medium	Medium	leaning	811094.717	841364.267	3.960
T0037	<i>Casuarina equisetifolia</i>	木麻黃	1.2	8	5	Fair	Low	Low	Low	asymmetric canopy, dead branches, broken branch, decayed wound	811105.452	841351.149	3.865
T0038	<i>Casuarina equisetifolia</i>	木麻黃	1.2	8	5	Fair	Low	Low	Low	defective branch	811105.198	841344.598	3.767
T0039	<i>Lophostemon confertus</i>	紅膠木	0.9	6	3	Withering	Low	Low	Low	asymmetric canopy, topped trunk	811076.485	841319.146	5.315
T0040	<i>Lophostemon confertus</i>	紅膠木	0.7	7	3	Fair	Medium	Medium	Low	-	811077.917	841319.200	5.095
T0041	<i>Sterculia lanceolata</i>	假蘋婆	0.3	4	2	Fair	Medium	Medium	Low	topped trunk	811078.555	841318.722	4.812
T0042	<i>Lophostemon confertus</i>	紅膠木	0.6	7	4	Fair	Low	Low	Low	leaning, asymmetric canopy	811078.494	841320.944	5.539
T0043	<i>Lophostemon confertus</i>	紅膠木	0.5	4	3	Fair	Low	Low	Low	asymmetric canopy	811078.961	841319.712	4.983
T0044	<i>Roystonea regia</i>	王棕	0.8	7	2	Fair	Medium	Medium	Medium	-	811071.361	841323.110	4.088
T0045	<i>Roystonea regia</i>	王棕	0.7	6	2	Withering	Low	Low	Low	dead fronds	811071.068	841325.915	3.895
T0046	<i>Roystonea regia</i>	王棕	0.8	7	2	Withering	Low	Low	Low	dead fronds	811071.350	841329.148	3.827
T0047	<i>Roystonea regia</i>	王棕	0.8	7	2	Fair	Medium	Medium	Medium	-	811071.723	841331.702	3.935
T0048	<i>Roystonea regia</i>	王棕	0.8	7	2	Withering	Low	Low	Low	dead fronds	811071.635	841334.719	3.879
T0049	<i>Roystonea regia</i>	王棕	0.8	7	2	Withering	Low	Low	Low	-	811073.991	841336.470	3.978
T0050	<i>Roystonea regia</i>	王棕	1.0	7	2	Fair	Medium	Medium	Medium	dead fronds	811073.953	841333.364	4.004
T0051	<i>Roystonea regia</i>	王棕	0.8	7	2	Fair	Medium	Medium	Medium	-	811073.400	841324.387	3.986
T0052	<i>Murraya paniculata</i>	九里香	0.4	1	1	Fair	Low	Low	Low	hard pruned, sparse crown	811047.358	841288.281	7.043
T0053	<i>Morus alba</i>	桑	0.5	4	3	Healthy	Medium	Medium	Medium	-	811031.860	841309.694	7.978
T0054	<i>Sterculia lanceolata</i>	假蘋婆	0.6	7	3	Fair	Medium	Medium	Low	-	811033.955	841291.976	10.290
T0055	<i>Sterculia lanceolata</i>	假蘋婆	0.6	5	3	Withering	Medium	Low	Low	-	811033.335	841296.341	8.745
T0056	<i>Sterculia lanceolata</i>	假蘋婆	0.7	4	3	Withering	Low	Low	Low	broken branch	811032.971	841297.266	8.645
T0057	<i>Sterculia lanceolata</i>	假蘋婆	0.4	6	3	Fair	Low	Low	Low	-	811029.529	841430.864	17.453
T0058	<i>Sterculia lanceolata</i>	假蘋婆	0.5	4	3	Fair	Low	Low	Low	-	811037.168	841282.731	11.258
T0059	<i>Sterculia lanceolata</i>	假蘋婆	0.6	6	3	Fair	Low	Low	Low	dead branches	811043.520	841270.468	9.497
T0060	<i>Sterculia lanceolata</i>	假蘋婆	0.4	4	3	Withering	Low	Low	Low	-	811041.735	841267.238	10.261
T0061	<i>Ficus fistulosa</i>	水同木	0.4	4	2	Fair	Low	Low	Low	-	811041.064	841269.952	11.086
T0062	<i>Sterculia lanceolata</i>	假蘋婆	0.3	5	2	Fair	Low	Low	Low	-	811040.695	841273.095	11.771
T0063	<i>Sterculia lanceolata</i>	假蘋婆	0.6	6	3	Fair	Medium	Medium	Low	-	811040.458	841280.203	8.399
T0064	<i>Sterculia lanceolata</i>	假蘋婆	0.4	4	2	Fair	Medium	Medium	Low	-	811040.701	841279.119	8.655

Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0065	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.6	4	3	Fair	Low	Low	Low	leaning	811042.114	841277.380	8.502
T0066	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.6	7	3	Fair	Medium	Low	Low	-	811043.041	841275.912	8.666
T0067	<i>Sterculia lanceolata</i>	假蒺藜	0.6	5	3	Fair	Low	Low	Low	-	811038.752	841277.313	11.269
T0068	<i>Schefflera heptaphylla</i>	鴨腳木	0.8	7	4	Fair	Medium	Medium	Medium	dead stub	811036.733	841279.738	12.348
T0069	<i>Sterculia lanceolata</i>	假蒺藜	0.6	7	3	Fair	Medium	Medium	Low	-	811039.049	841280.912	9.820
T0070	<i>Celtis sinensis</i>	朴樹	0.6	4	3	Fair	Low	Low	Low	-	811051.401	841233.311	13.497
T0071	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.5	4	3	Fair	Low	Low	Low	sparse crown	811049.189	841228.356	14.098
T0072	<i>Aleurites moluccana</i>	石栗	0.5	7	3	Fair	Medium	Medium	Low	-	811031.215	841224.350	20.183
T0073	<i>Ficus hispida</i>	對葉榕	0.3	3	2	Fair	Low	Low	Low	leaning	811031.335	841225.856	20.067
T0074	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	4	2	Fair	Low	Low	Low	-	811030.776	841226.077	20.367
T0075	<i>Celtis sinensis</i>	朴樹	0.4	6	2	Fair	Low	Low	Low	-	811031.032	841227.427	20.516
T0076	<i>Mallotus paniculatus</i>	白楸	0.5	4	2	Fair	Low	Low	Low	leaning	811031.198	841227.623	20.103
T0077	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.5	5	3	Fair	Low	Low	Low	leaning	811043.435	841214.805	14.437
T0078	<i>Phyllanthus emblica</i>	油甘子	0.8	5	3	Fair	Low	Low	Low	-	811034.394	841220.099	18.165
T0079	<i>Sterculia lanceolata</i>	假蒺藜	0.4	7	3	Withering	Low	Low	Low	vined	811034.816	841249.117	13.191
T0080	<i>Sterculia lanceolata</i>	假蒺藜	0.3	2	1	Withering	Low	Low	Low	epicormics, exposed dead wood	811034.667	841249.570	12.999
T0081	<i>Sterculia lanceolata</i>	假蒺藜	0.3	6	3	Withering	Medium	Low	Low	-	811036.292	841249.560	12.435
T0082	<i>Mallotus paniculatus</i>	白楸	0.4	7	2	Fair	Medium	Low	Low	wound	811036.938	841248.916	12.281
T0083	<i>Sterculia lanceolata</i>	假蒺藜	0.5	4	3	Fair	Low	Low	Low	dead branch	811036.141	841252.703	10.705
T0084	<i>Sterculia lanceolata</i>	假蒺藜	0.5	4	3	Fair	Low	Low	Low	-	811037.506	841252.783	11.329
T0085	<i>Sterculia lanceolata</i>	假蒺藜	0.3	5	3	Fair	Medium	Medium	Low	-	811039.577	841253.805	11.363
T0086	<i>Sterculia lanceolata</i>	假蒺藜	0.4	5	3	Fair	Medium	Medium	Low	-	811041.544	841252.532	10.358
T0087	<i>Sterculia lanceolata</i>	假蒺藜	0.4	7	3	Fair	Medium	Medium	Low	-	811043.673	841253.222	10.039
T0088	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.8	7	5	Fair	Low	Low	Low	-	811039.933	841256.789	11.849
T0089	<i>Sterculia lanceolata</i>	假蒺藜	0.4	4	3	Fair	Low	Low	Low	-	811039.518	841258.172	12.350
T0090	<i>Sterculia lanceolata</i>	假蒺藜	0.3	5	3	Fair	Medium	Medium	Low	-	811037.412	841257.695	13.137
T0091	<i>Mallotus paniculatus</i>	白楸	0.5	3	2	Fair	Low	Low	Low	leaning	811030.990	841235.147	20.257
T0092	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.4	4	2	Fair	Low	Low	Low	leaning	811031.366	841231.138	19.898
T0093	<i>Tetradium gibrifolium</i>	棘葉吳茱萸	0.5	7	3	Fair	Low	Low	Low	-	811031.269	841229.844	19.987
T0094	<i>Sterculia lanceolata</i>	假蒺藜	0.3	5	3	Fair	Low	Low	Low	-	811031.484	841241.086	18.547
T0095	<i>Ficus hispida</i>	對葉榕	0.4	4	3	Fair	Low	Low	Low	-	811031.651	841241.496	18.482
T0096	<i>Mallotus paniculatus</i>	白楸	0.5	3	3	Withering	Low	Low	Low	leaning, cracks on trunk, root plate movement	811038.093	841260.426	13.596

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Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0097	<i>Sterculia lanceolata</i>	假蒺藜	0.4	5	3	Fair	Medium	Medium	Low	-	811039.070	841263.071	13.318
T0098	<i>Sterculia lanceolata</i>	假蒺藜	0.4	4	3	Fair	Low	Low	Low	leaning	811038.284	841264.597	13.751
T0099	<i>Sterculia lanceolata</i>	假蒺藜	0.4	5	3	Fair	Low	Low	Low	-	811036.892	841266.364	14.595
T0100	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	5	3	Fair	Low	Low	Low	-	811035.373	841267.861	15.455
T0101	<i>Tetradium glabrifolium</i>	棘葉吳茱萸	0.5	7	3	Withering	Low	Low	Low	-	811032.521	841263.541	16.076
T0102	<i>Ilea chinensis</i>	老鼠刺	0.4	5	3	Fair	Low	Low	Low	-	811028.787	841280.644	18.136
T0103	<i>Sterculia lanceolata</i>	假蒺藜	0.4	5	3	Fair	Medium	Medium	Medium	-	811040.114	841266.503	12.657
T0104	<i>Sterculia lanceolata</i>	假蒺藜	0.4	5	3	Fair	Low	Low	Low	-	811038.879	841267.756	12.750
T0105	<i>Machilus chekiangensis</i>	浙江潤楠	0.5	7	3	Fair	Medium	Medium	Medium	-	811031.589	841377.958	11.826
T0106	<i>Artocarpus hypericifolius</i>	白桂木	0.8	8	3	Fair	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811030.086	841380.215	12.987
T0107	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.8	6	3	Withering	Low	Low	Low	-	811036.229	841373.465	9.185
T0108	<i>Leucaena leucocephala</i>	銀合歡	0.7	7	3	Fair	Low	Low	Low	asymmetric canopy	811039.539	841373.727	7.835
T0109	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	7	1	Fair	Medium	Low	Low	-	811048.351	841374.729	7.393
T0110	<i>Sterculia lanceolata</i>	假蒺藜	0.4	6	3	Fair	Medium	Medium	Medium	-	811033.314	841368.782	8.357
T0111	<i>Ficus microcarpa</i>	細葉榕	1.8	8	8	Fair	Medium	Low	Medium	asymmetric canopy	811030.516	841366.735	10.557
T0112	<i>Sterculia lanceolata</i>	假蒺藜	1.5	8	6	Fair	Low	Low	Low	-	811025.575	841373.502	14.491
T0113	<i>Ficus microcarpa</i>	細葉榕	0.6	4	0	Withering	Low	Low	Low	-	811024.691	841374.745	15.566
T0114	(Dead tree)	(枯死樹木)	0.4	5	3	Dead	Low	Low	Low	-	811027.391	841373.305	13.531
T0115	<i>Ficus microcarpa</i>	細葉榕	0.7	7	3	Withering	Low	Low	Low	-	811014.329	841376.747	20.841
T0116	<i>Schefflera heptaphylla</i>	鴨腳木	0.6	6	3	Fair	Medium	Medium	Medium	-	811017.460	841376.238	19.195
T0117	<i>Sterculia lanceolata</i>	假蒺藜	0.7	5	3	Withering	Low	Low	Low	-	811018.843	841375.874	18.299
T0118	<i>Glochidion zeylanicum</i>	香港算盤子	0.4	4	3	Fair	Medium	Low	Low	cavity	810996.567	841376.919	29.740
T0119	<i>Artocarpus hypericifolius</i>	白桂木	0.5	7	3	Fair	Medium	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	810995.435	841376.056	30.217
T0120	<i>Sterculia lanceolata</i>	假蒺藜	0.3	6	3	Fair	Low	Low	Low	-	810993.425	841384.456	29.016
T0121	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	6	3	Fair	Medium	Medium	Medium	-	810993.048	841385.272	30.495
T0122	<i>Melicope pteleifolia</i>	三椏苦	0.3	4	1	Fair	Medium	Low	Low	-	810995.398	841384.863	30.003
T0123	<i>Sterculia lanceolata</i>	假蒺藜	0.4	3	2	Fair	Low	Low	Low	-	811000.138	841383.284	29.518
T0124	<i>Artocarpus hypericifolius</i>	白桂木	0.4	3	1	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811000.004	841383.900	29.907
T0125	<i>Macaranga tanarius var. tomentosa</i>	血桐	1.0	6	3	Withering	Low	Low	Low	leaning, abnormal bark cracks, exposed dead wood, sparse crown	811087.913	841368.714	5.069
T0126	<i>Pinus massoniana</i>	馬尾松	1.0	9	3	Fair	Low	Low	Low	broken branch	811070.665	841367.854	6.999
T0127	<i>Pinus massoniana</i>	馬尾松	1.0	8	3	Fair	Medium	Low	Low	-	811075.239	841367.555	6.897
T0128	(Dead tree)	(枯死樹木)	1.2	3	1	Dead	Low	Low	Low	dehydrated crown, dehydrated trunk	811079.538	841363.822	5.690

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T0129	<i>Pinus massoniana</i>	馬尾松	0.7	9	3	Withering	Low	Low	Low	-	811079.503	841371.987	6.751
T0130	<i>Pinus massoniana</i>	馬尾松	1.0	9	4	Fair	Low	Low	Low	broken branch	811072.874	841376.615	6.980
T0131	<i>Pinus massoniana</i>	馬尾松	0.9	9	3	Fair	Medium	Low	Low	sparse crown, dead branches	811075.598	841375.758	7.027
T0132	<i>Pinus massoniana</i>	馬尾松	0.6	7	3	Withering	Low	Low	Low	sparse crown	811077.817	841380.417	6.970
T0133	(Dead tree)	(枯死樹木)	0.7	8	3	Dead	Low	Low	Low	leaning, dead branches	811080.597	841377.009	6.770
T0134	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	6	3	Withering	Low	Low	Low	-	811082.421	841386.279	7.169
T0135	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.9	8	4	Fair	Medium	Low	Low	-	811082.983	841385.970	7.160
T0136	<i>Leucaena leucocephala</i>	銀合歡	0.4	5	3	Fair	Low	Low	Low	leaning	811083.743	841387.204	7.046
T0137	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	6	3	Fair	Low	Low	Low	wound	811088.956	841391.345	6.866
T0138	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	7	3	Fair	Low	Low	Low	-	811089.602	841391.344	6.866
T0139	<i>Celtis sinensis</i>	朴樹	0.4	7	3	Fair	Low	Low	Low	-	811089.992	841391.656	6.066
T0140	<i>Leucaena leucocephala</i>	銀合歡	0.4	7	3	Fair	Low	Low	Low	-	811089.609	841393.598	6.966
T0141	<i>Leucaena leucocephala</i>	銀合歡	0.6	6	3	Withering	Low	Low	Low	topped, exposed dead wood	811090.898	841396.595	7.166
T0142	<i>Leucaena leucocephala</i>	銀合歡	0.4	5	3	Fair	Medium	Low	Low	-	811088.023	841393.813	6.966
T0143	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	7	3	Fair	Medium	Low	Low	-	811087.196	841394.647	7.066
T0144	<i>Leucaena leucocephala</i>	銀合歡	0.6	7	3	Fair	Medium	Low	Low	-	811086.367	841394.678	6.966
T0145	<i>Leucaena leucocephala</i>	銀合歡	0.7	8	3	Fair	Low	Low	Low	leaning, wound	811088.466	841388.324	6.772
T0146	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.8	7	3	Fair	Medium	Low	Low	-	811075.904	841404.548	13.241
T0147	<i>Ficus hispida</i>	對葉榕	0.5	6	3	Fair	Medium	Low	Low	-	811075.891	841405.785	13.648
T0148	<i>Ficus hispida</i>	對葉榕	0.4	4	3	Fair	Low	Low	Low	-	811074.964	841404.896	13.803
T0149	<i>Ficus hispida</i>	對葉榕	0.7	5	3	Fair	Medium	Low	Low	-	811074.550	841405.218	13.914
T0150	<i>Livistona chinensis</i>	蒲葵	0.6	5	3	Fair	Medium	Medium	Medium	-	811072.954	841403.689	13.656
T0151	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	2	1	Withering	Low	Low	Low	topped	811076.540	841412.449	13.902
T0152	<i>Ficus variegata</i>	青果榕	0.7	7	3	Fair	Low	Low	Low	-	811077.910	841413.091	13.283
T0153	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.7	7	3	Fair	Low	Low	Low	-	811078.448	841415.256	12.373
T0154	<i>Dimocarpus longan</i>	龍眼	2.0	8	5	Fair	Medium	Low	Low	-	811078.921	841418.612	11.738
T0155	<i>Pinus massoniana</i>	馬尾松	1.2	9	5	Fair	Medium	Low	Low	-	811044.768	841419.461	15.622
T0156	<i>Pinus massoniana</i>	馬尾松	1.0	9	4	Fair	Medium	Low	Low	-	811036.560	841421.365	15.365
T0157	<i>Pinus massoniana</i>	馬尾松	1.2	9	5	Fair	Medium	Low	Low	-	811050.661	841410.056	15.353
T0158	<i>Sterculia lanceolata</i>	假蘋婆	0.4	4	2	Withering	Low	Low	Low	dead branches	811041.962	841408.904	10.915
T0159	<i>Ficus hispida</i>	對葉榕	0.5	7	3	Fair	Low	Low	Low	suppressed growth	811061.261	841440.520	17.405
T0160	<i>Litsea glutinosa</i>	潺槁樹	0.8	8	4	Fair	Low	Low	Low	asymmetric canopy	811061.027	841439.533	17.288

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T0161	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.7	5	3	Fair	Low	Low	Low	asymmetric canopy, diseased branch	811061.591	841440.146	16.910
T0162	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.4	3	3	Fair	Medium	Low	Low	-	811075.990	841426.655	11.849
T0163	<i>Schefflera heptaphylla</i>	鴨腳木	0.6	6	3	Fair	Medium	Medium	Medium	-	811036.128	841444.612	25.866
T0164	<i>Tetradium glabrifolium</i>	棟葉吳茱萸	0.6	3	3	Withering	Low	Low	Low	-	811039.025	841444.675	26.232
T0165	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.3	4	3	Fair	Low	Low	Low	leaning, asymmetric canopy	811041.883	841445.130	25.489
T0166	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.3	4	3	Fair	Low	Low	Low	asymmetric canopy	811046.475	841441.324	23.924
T0167	<i>Machilus chekiangensis</i>	浙江酒楠	0.3	5	3	Fair	Medium	Medium	Medium	-	811048.603	841440.243	23.423
T0168	<i>Mallotus paniculatus</i>	白楸	0.4	4	3	Fair	Low	Low	Low	leaning, asymmetric canopy	811055.437	841439.371	20.503
T0169	<i>Ficus hispida</i>	對葉榕	0.5	4	3	Fair	Low	Low	Low	asymmetric canopy, dead stub	leaning	841418.014	15.264
T0170	<i>Ficus hispida</i>	對葉榕	0.4	6	3	Fair	Low	Low	Low	-	811035.519	841410.318	10.136
T0171	<i>Sterculia lanceolata</i>	假蘋婆	0.4	6	3	Fair	Medium	Medium	Medium	-	811037.544	841409.382	10.239
T0172	(Dead tree)	(枯死樹木)	0.4	5	1	Dead	Low	Low	Low	topped	811042.492	841410.492	11.982
T0173	<i>Dimocarpus longan</i>	龍眼	2.5	10	6	Fair	Medium	Low	Low	-	811044.229	841411.538	12.853
T0174	<i>Sterculia lanceolata</i>	假蘋婆	0.3	4	2	Fair	Medium	Medium	Medium	-	811045.050	841410.458	12.833
T0175	<i>Ficus hispida</i>	對葉榕	0.3	3	2	Fair	Low	Low	Low	-	811050.489	841403.042	10.981
T0176	<i>Ficus hispida</i>	對葉榕	0.5	6	3	Fair	Medium	Low	Low	-	811052.512	841403.845	12.788
T0177	<i>Ficus hispida</i>	對葉榕	0.7	7	4	Fair	Medium	Low	Low	-	811051.197	841406.007	12.988
T0178	<i>Sterculia lanceolata</i>	假蘋婆	0.9	4	3	Withering	Low	Low	Low	topped, cavity	811036.443	841405.734	9.217
T0179	<i>Ficus hispida</i>	對葉榕	0.5	5	3	Withering	Low	Low	Low	vined	811043.790	841402.872	8.599
T0180	<i>Sterculia lanceolata</i>	假蘋婆	0.5	5	3	Fair	Medium	Medium	Low	-	811039.232	841400.669	8.937
T0181	<i>Sterculia lanceolata</i>	假蘋婆	0.3	5	2	Fair	Low	Low	Low	-	811038.136	841399.393	9.663
T0182	<i>Ficus hispida</i>	對葉榕	0.3	5	2	Fair	Low	Low	Low	-	811037.747	841400.626	9.750
T0183	<i>Ficus hispida</i>	對葉榕	0.4	5	3	Fair	Low	Low	Low	-	811036.932	841400.346	10.076
T0184	<i>Sterculia lanceolata</i>	假蘋婆	0.4	6	3	Fair	Medium	Medium	Low	-	811037.085	841399.732	10.217
T0185	<i>Sterculia lanceolata</i>	假蘋婆	0.4	6	3	Fair	Medium	Medium	Low	-	811038.058	841401.938	9.264
T0186	<i>Sterculia lanceolata</i>	假蘋婆	0.4	6	3	Fair	Medium	Medium	Low	-	811036.004	841401.051	10.572
T0187	<i>Sterculia lanceolata</i>	假蘋婆	0.3	6	2	Fair	Medium	Medium	Low	-	811034.372	841401.188	10.489
T0188	<i>Sterculia lanceolata</i>	假蘋婆	0.5	9	3	Withering	Low	Low	Low	topped	811035.511	841397.206	10.359
T0189	<i>Sterculia lanceolata</i>	假蘋婆	0.4	2	1	Withering	Low	Low	Low	broken trunk, epicormics	811029.997	841405.129	10.871
T0190	<i>Sterculia lanceolata</i>	假蘋婆	0.3	3	1	Fair	Medium	Medium	Low	cracked trunk	811030.322	841405.494	10.834
T0191	<i>Ficus hispida</i>	對葉榕	0.4	7	3	Fair	Low	Low	Low	vined	811031.493	841407.256	10.924
T0192	<i>Sterculia lanceolata</i>	假蘋婆	0.4	7	3	Fair	Low	Low	Low	-	811030.721	841410.012	11.029

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Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0193	<i>Ficus hispida</i>	對葉榕	0.5	7	3	Fair	Low	Low	Low	-	811031.503	841414.192	11.513
T0194	<i>Bauhinia variegata</i>	宮粉羊蹄甲	0.7	8	3	Fair	Low	Low	Low	-	811031.672	841414.909	11.588
T0195	<i>Sterculia lanceolata</i>	假蘋婆	0.6	8	4	Fair	Low	Low	Low	-	811021.536	841423.704	15.240
T0196	<i>Mallotus paniculatus</i>	白楸	0.3	5	3	Fair	Low	Low	Low	-	811027.621	841436.069	19.856
T0197	<i>Schefflera heptaphylla</i>	鴨腳木	0.8	5	3	Withering	Low	Low	Low	vined	811039.411	841376.901	7.559
T0198	<i>Ficus variegata</i>	青果榕	0.7	8	3	Fair	Medium	Low	Low	-	811027.318	841432.371	17.939
T0199	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	7	3	Fair	Low	Low	Low	-	811027.868	841432.705	18.187
T0200	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	6	3	Fair	Medium	Medium	Medium	-	811031.250	841432.998	19.111
T0201	<i>Reevesia thyrsoidea</i>	梭羅樹	0.3	6	3	Fair	Medium	Medium	Low	-	811029.942	841437.822	21.780
T0202	<i>Tetradium glabrifolium</i>	棟葉吳茱萸	0.4	6	3	Fair	Low	Low	Low	-	811028.242	841438.642	21.755
T0203	<i>Sterculia lanceolata</i>	假蘋婆	0.3	6	3	Fair	Low	Low	Low	-	811025.050	841437.371	19.351
T0204	<i>Ficus variegata</i>	青果榕	0.6	8	4	Fair	Low	Low	Low	vined	811023.431	841436.527	18.104
T0205	<i>Ficus variegata</i>	青果榕	0.4	5	3	Withering	Low	Low	Low	-	811020.625	841434.430	17.283
T0206	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	3	1	Withering	Low	Low	Low	asymmetric canopy, vined	811025.296	841431.419	16.700
T0207	<i>Eurya chinensis</i>	米碎花	0.3	3	2	Fair	Medium	Low	Low	-	811035.919	841437.977	22.884
T0208	<i>Litchi chinensis</i>	荔枝	0.4	3	3	Fair	Medium	Low	Low	-	811056.263	841384.675	7.451
T0209	<i>Pinus massoniana</i>	馬尾松	0.7	9	3	Fair	Medium	Low	Low	-	811055.426	841385.661	7.510
T0210	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	6	3	Fair	Low	Low	Low	asymmetric canopy	811055.603	841389.945	6.995
T0211	<i>Sterculia lanceolata</i>	假蘋婆	0.3	3	3	Fair	Medium	Medium	Low	-	811052.111	841389.178	6.855
T0212	<i>Sterculia lanceolata</i>	假蘋婆	0.4	4	3	Fair	Medium	Medium	Low	-	811045.639	841389.909	8.514
T0213	<i>Sterculia lanceolata</i>	假蘋婆	0.5	5	3	Withering	Low	Low	Low	-	811049.553	841396.693	7.380
T0214	<i>Sterculia lanceolata</i>	假蘋婆	0.5	5	3	Fair	Medium	Medium	Low	exposed dead wood, wound	811051.983	841392.431	6.731
T0215	<i>Ficus variegata</i>	青果榕	0.4	5	3	Fair	Medium	Low	Low	-	811053.094	841397.011	9.180
T0216	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	5	4	Fair	Low	Low	Low	-	811052.294	841396.331	8.879
T0217	<i>Ficus hispida</i>	對葉榕	0.4	4	3	Fair	Low	Low	Low	asymmetric canopy	811057.432	841397.413	10.309
T0218	<i>Ficus hispida</i>	對葉榕	0.5	5	3	Fair	Low	Low	Low	asymmetric canopy	811057.394	841397.763	10.509
T0219	<i>Ficus hispida</i>	對葉榕	0.5	7	3	Fair	Low	Low	Low	-	811056.868	841399.279	11.287
T0220	<i>Ficus hispida</i>	對葉榕	0.5	6	3	Fair	Low	Low	Low	vined	811056.685	841400.402	11.896
T0221	<i>Ficus variegata</i>	青果榕	1.0	9	5	Fair	Medium	Low	Low	-	811058.152	841400.770	12.887
T0222	<i>Ficus hispida</i>	對葉榕	0.4	3	2	Fair	Low	Low	Low	leaning	811059.140	841393.940	9.135
T0223	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.4	3	3	Fair	Low	Low	Low	asymmetric canopy	811059.175	841391.288	8.159
T0224	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.6	7	3	Fair	Low	Low	Low	-	811058.860	841391.507	8.109
T0225	<i>Sterculia lanceolata</i>	假蘋婆	0.3	6	2	Fair	Medium	Medium	Low	-	811056.250	841391.064	7.402



Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0226	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	0.4	4	3	Fair	Low	Low	Low	-	811054.987	841390.008	7.026
T0227	<i>Pinus massoniana</i>	馬尾松	1.0	9	4	Fair	Medium	Low	Low	dead branches	811047.173	841376.179	7.383
T0228	<i>Michelia x alba</i>	白蘭	0.3	5	3	Fair	Low	Low	Low	-	811044.451	841376.494	7.809
T0229	<i>Ficus hispida</i>	對葉榕	0.8	5	3	Withering	Low	Low	Low	vined, topped	811048.071	841386.762	7.595
T0230	<i>Mallotus paniculatus</i>	白楸	0.5	4	3	Withering	Low	Low	Low	-	811001.678	841386.681	29.688
T0231	<i>Artocarpus hypargyreus</i>	白桂木	0.4	6	3	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811002.774	841385.608	28.542
T0232	(Dead tree)	(枯死樹木)	0.4	5	3	Dead	Low	Low	Low	-	811006.009	841385.453	27.872
T0233	<i>Schefflera heptaphylla</i>	鴨腳木	0.6	7	4	Withering	Low	Low	Low	-	811006.587	841387.587	26.972
T0234	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	5	3	Withering	Low	Low	Low	-	810997.947	841388.431	31.891
T0235	<i>Sterculia lanceolata</i>	假藥婆	0.5	5	3	Withering	Low	Low	Low	topped, epicormics	810999.815	841392.189	31.690
T0236	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	5	3	Fair	Low	Low	Low	leaning	810994.258	841389.870	33.522
T0237	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	5	3	Withering	Low	Low	Low	-	810992.021	841388.488	34.965
T0238	<i>Mallotus paniculatus</i>	白楸	0.5	4	3	Withering	Low	Low	Low	leaning	810993.852	841391.540	34.135
T0239	<i>Sterculia lanceolata</i>	假藥婆	0.5	6	3	Fair	Medium	Medium	Low	vined	810995.810	841393.919	33.319
T0240	<i>Machilus chekiangensis</i>	浙江酒楠	0.6	4	3	Withering	Low	Low	Low	leaning	810998.323	841394.421	31.602
T0241	<i>Machilus chekiangensis</i>	浙江酒楠	0.4	4	2	Withering	Low	Low	Low	broken trunk, exposed dead wood	810999.200	841392.972	31.190
T0242	<i>Artocarpus hypargyreus</i>	白桂木	0.4	6	3	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811000.452	841395.741	30.336
T0243	<i>Machilus chekiangensis</i>	浙江酒楠	0.4	4	2	Withering	Low	Low	Low	-	811001.270	841395.219	29.859
T0244	<i>Ficus hispida</i>	對葉榕	0.4	4	2	Withering	Low	Low	Low	-	811001.853	841395.883	29.760
T0245	<i>Mallotus paniculatus</i>	白楸	0.3	5	3	Withering	Low	Low	Low	-	811002.691	841394.871	28.987
T0246	<i>Artocarpus hypargyreus</i>	白桂木	0.4	6	3	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811006.691	841395.501	26.358
T0247	<i>Sterculia lanceolata</i>	假藥婆	0.6	4	3	Withering	Low	Low	Low	-	811008.429	841396.586	25.388
T0248	<i>Antirhea chinensis</i>	毛茶	0.4	5	3	Fair	Low	Low	Low	-	811010.017	841391.000	25.400
T0249	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	4	3	Fair	Low	Low	Low	-	811008.823	841389.911	25.549
T0250	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	6	3	Fair	Low	Low	Low	-	811011.469	841395.855	23.812
T0251	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	5	3	Withering	Low	Low	Low	leaning, vined	811012.754	841389.438	23.329
T0252	<i>Artocarpus hypargyreus</i>	白桂木	0.5	5	3	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811014.070	841390.865	22.723
T0253	<i>Sterculia lanceolata</i>	假藥婆	0.5	5	3	Withering	Low	Low	Low	-	811017.219	841394.523	19.912
T0254	<i>Artocarpus hypargyreus</i>	白桂木	0.5	5	1	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811021.089	841391.739	18.364
T0255	<i>Artocarpus hypargyreus</i>	白桂木	0.4	5	3	Withering	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811023.701	841387.510	17.576
T0256	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	5	3	Fair	Medium	Medium	Medium	-	811021.404	841386.468	18.276
T0257	(Dead tree)	(枯死樹木)	0.7	5	4	Dead	Low	Low	Low	-	811017.359	841389.504	18.676
T0258	<i>Schefflera heptaphylla</i>	鴨腳木	0.8	5	4	Fair	Medium	Medium	Medium	-	811019.428	841387.024	18.676

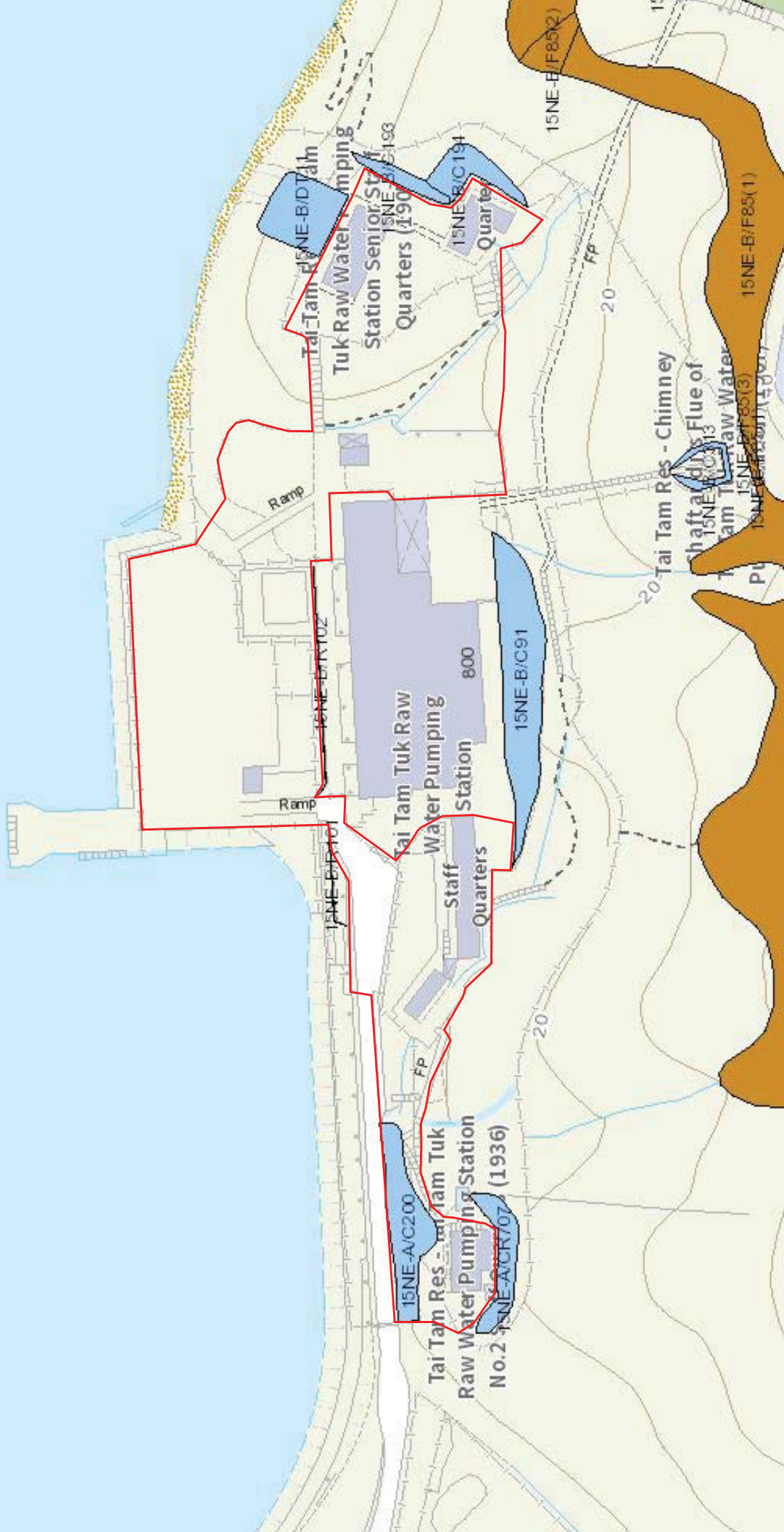
Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0259	<i>Artocarpus hypargyreus</i>	白桂木	0.6	7	3	Fair	Low	High	Low	Classified as "VU" in IUCN Red List of Threatened Species	811021.265	841379.368	17.423
T0260	<i>Sterculia lanceolata</i>	假蘋婆	0.5	5	3	Withering	Low	Low	Low	-	811026.749	841388.861	14.983
T0261	<i>Sterculia lanceolata</i>	假蘋婆	0.4	3	3	Withering	Low	Low	Low	-	811026.034	841390.878	15.613
T0262	<i>Mallotus paniculatus</i>	白楸	0.6	5	3	Withering	Low	Low	Low	pest infestation	811034.279	841391.085	11.450
T0263	<i>Sterculia lanceolata</i>	假蘋婆	0.4	4	3	Fair	Low	Low	Low	-	811032.230	841296.994	9.345
T0264	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.4	5	3	Fair	Low	Low	Low	-	811018.688	841296.328	18.102
T0265	<i>Sterculia lanceolata</i>	假蘋婆	0.3	5	2	Fair	Low	Low	Low	wounded trunk	811018.999	841296.426	18.102
T0266	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.7	6	4	Fair	Low	Low	Low	-	811022.350	841302.187	14.595
T0267	<i>Sterculia lanceolata</i>	假蘋婆	0.3	5	1	Fair	Medium	Medium	Low	leaning	811023.197	841300.955	14.517
T0268	<i>Celtis sinensis</i>	朴樹	0.5	3	1	Withering	Low	Low	Low	broken trunk	811051.462	841232.708	13.337
T0269	<i>Ficus hispida</i>	對葉榕	1.0	7	3	Withering	Low	Low	Low	-	811048.759	841217.581	12.570
T0270	<i>Celtis sinensis</i>	朴樹	0.8	6	3	Withering	Low	Low	Low	-	811047.134	841217.980	13.385
T0271	<i>Ficus microcarpa</i>	細葉榕	0.4	3	3	Withering	Low	Low	Low	-	811027.992	841289.979	13.655
T0272	<i>Sterculia lanceolata</i>	假蘋婆	0.6	5	3	Fair	Low	Low	Low	-	811042.660	841265.142	11.105
T0273	<i>Sterculia lanceolata</i>	假蘋婆	0.4	7	3	Fair	Low	Low	Low	-	811025.991	841294.978	13.452
T0274	<i>Sterculia lanceolata</i>	假蘋婆	0.3	5	3	Fair	Low	Low	Low	-	811017.954	841414.909	17.727
T0275	<i>Sterculia lanceolata</i>	假蘋婆	0.4	7	4	Withering	Low	Low	Low	-	811012.954	841404.908	22.130
T0276	<i>Sterculia lanceolata</i>	假蘋婆	0.4	7	3	Fair	Medium	Medium	Low	-	811027.031	841379.039	14.274
T0277	<i>Schefflera heptaphylla</i>	鴨腳木	0.5	5	3	Fair	Medium	Medium	Medium	-	810990.220	841377.587	32.426
T0278	(Dead tree)	(枯死樹木)	0.4	5	3	Dead	Low	Low	Low	vined, topped	810990.621	841381.566	33.399
T0279	<i>Schefflera heptaphylla</i>	鴨腳木	0.4	4	3	Withering	Low	Low	Low	-	810996.157	841374.424	29.837
T0280	<i>Litchi chinensis</i>	荔枝	0.3	2	2	Withering	Low	Low	Low	broken branch, vined	810998.373	841384.641	30.774
T0281	<i>Leucaena leucocephala</i>	銀合歡	0.5	4	1	Withering	Low	Low	Low	dead branches	811083.129	841370.310	5.802
T0282	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.8	8	3	Fair	Low	Low	Low	-	811093.933	841397.760	6.866
T0283	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.5	5	3	Fair	Low	Low	Low	broken branch	811079.738	841425.232	9.250
T0284	<i>Ficus hispida</i>	對葉榕	0.4	4	3	Fair	Medium	Low	Low	-	811074.616	841422.659	13.647
T0284A	<i>Celtis sinensis</i>	朴樹	0.4	5	3	Fair	Medium	Medium	Medium	-	811072.423	841351.348	3.930
T0285	<i>Sterculia lanceolata</i>	假蘋婆	1.1	7	4	Fair	Medium	Medium	Low	leaning	811036.108	841287.507	9.908
T0286	<i>Ficus hispida</i>	對葉榕	0.5	4	3	Withering	Low	Low	Low	-	811034.186	841290.166	11.029
T0287	<i>Sterculia lanceolata</i>	假蘋婆	1.0	8	4	Fair	Low	Low	Low	-	811032.547	841282.077	14.313
T0288	<i>Machilus chekiangensis</i>	浙江酒楠	0.8	7	4	Withering	Low	Low	Low	-	811020.613	841373.709	16.949
T0289	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.7	6	4	Fair	Low	Low	Low	-	811020.010	841371.357	17.096
T0290	<i>Macaranga tanarius var. tomentosa</i>	血桐	0.3	4	3	Fair	Medium	Low	Low	-	811051.148	841225.250	10.492

Tai Tam Tuk  
Tree Assessment Schedule

Tree ID no.	Botanical Name	Chinese name	Girth at 1.3m above ground (m)	Overall Height (m)	Average Spread (m)	Health Condition (Healthy / Fair / Withering / Dead)	Form (Good / Medium / Low)	Amenity Value (High / Medium / Low)	Anticipated survival rate after transplanting (High / Med / Low)	Remarks	Northing (m)	Easting (m)	Existing ground level at the trunk base (mpd)
T0291	<i>Ilex rotunda</i>	鐵冬青	0.6	6	4	Fair	Medium	Medium	Low	-	811051.213	841220.476	12.453
T0292	<i>Sterculia lanceolata</i>	假蘋婆	0.8	6	1	Withering	Low	Low	Low	broken branch, topped	811052.345	841217.083	10.426
T0293	<i>Celtis sinensis</i>	朴樹	1.0	6	4	Fair	Low	Low	Low	leaning, topped	811053.522	841221.767	10.024

**Appendix XII**  
**Slope Features**



# Slope Maintenance Responsibility Report

(15NE-B/R102)



ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT

## List of Slope Maintenance Responsibility Area(s)

<b>1</b>	<b>15NE-B/R102</b>	<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	WITHIN GLA-HK109	
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b> Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

### Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



**Legend**

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 06/08/2019

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**Slope Maintenance Responsibility Report**

(15NE-B/R101)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/R101</b>		<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	Within GLA-HK 109, Tai Tam Tuk Pumping Station		
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b>	Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

- End of Report -

**Notes:**

- (i) The location plan in Annex is for identification purposes of slope(s) only.
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Location Plan



**Legend**

- Slope Area(s)
- - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

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**Slope Maintenance Responsibility Report**

(15NE-B/F85)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/F85</b>	<b>Sub-Division</b>	3
	<b>Location</b>	ADJOINING AND WITHIN RBL1050RP	
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b> Lands Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

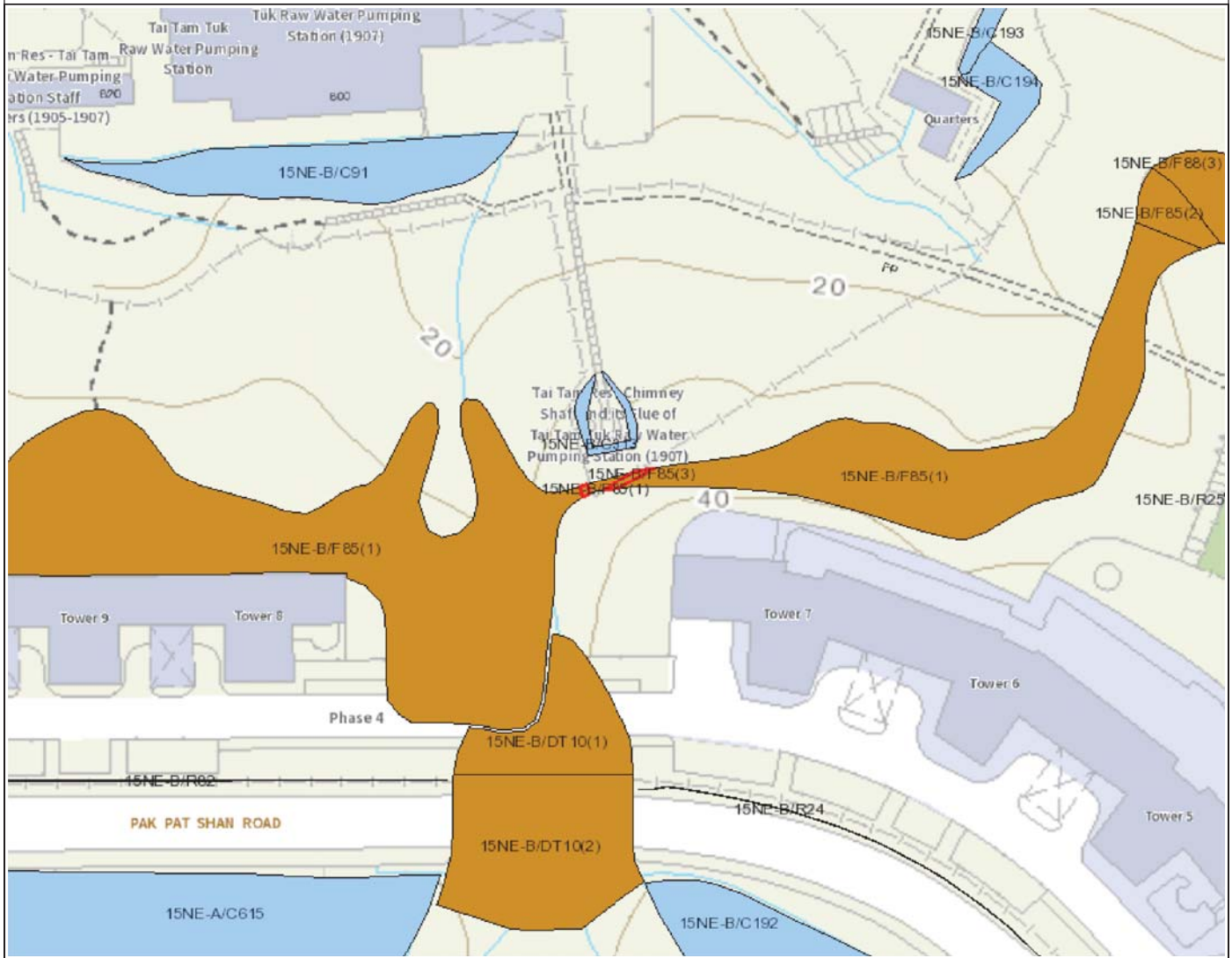
- End of Report -

**Notes:**

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Location Plan



Legend

- Slope Area(s)
- - - - Search Location
- Slope(s) Maintained by Government
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ESTATE MANAGEMENT SECTION  
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**Slope Maintenance Responsibility Report**

(15NE-B/F85)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/F85</b>	<b>Sub-Division</b>	2
	<b>Location</b>	ADJOINING AND WITHIN RBL1050RP	
	<b>Responsible Lot/Party</b>	Lands Department	<b>Maintenance Agent</b> Lands Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

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## Location Plan



## Legend

- Slope Area(s)
- - - - Search Location
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ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT

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**Slope Maintenance Responsibility Report**

(15NE-B/F85)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/F85</b>		<b>Sub-Division</b>	1
	<b>Location</b>	ADJOINING AND WITHIN RBL1050RP		
	<b>Responsible Lot/Party</b>	RBL1050RP	<b>Maintenance Agent</b>	Not Applicable
	<b>Remarks</b>	Not Applicable		

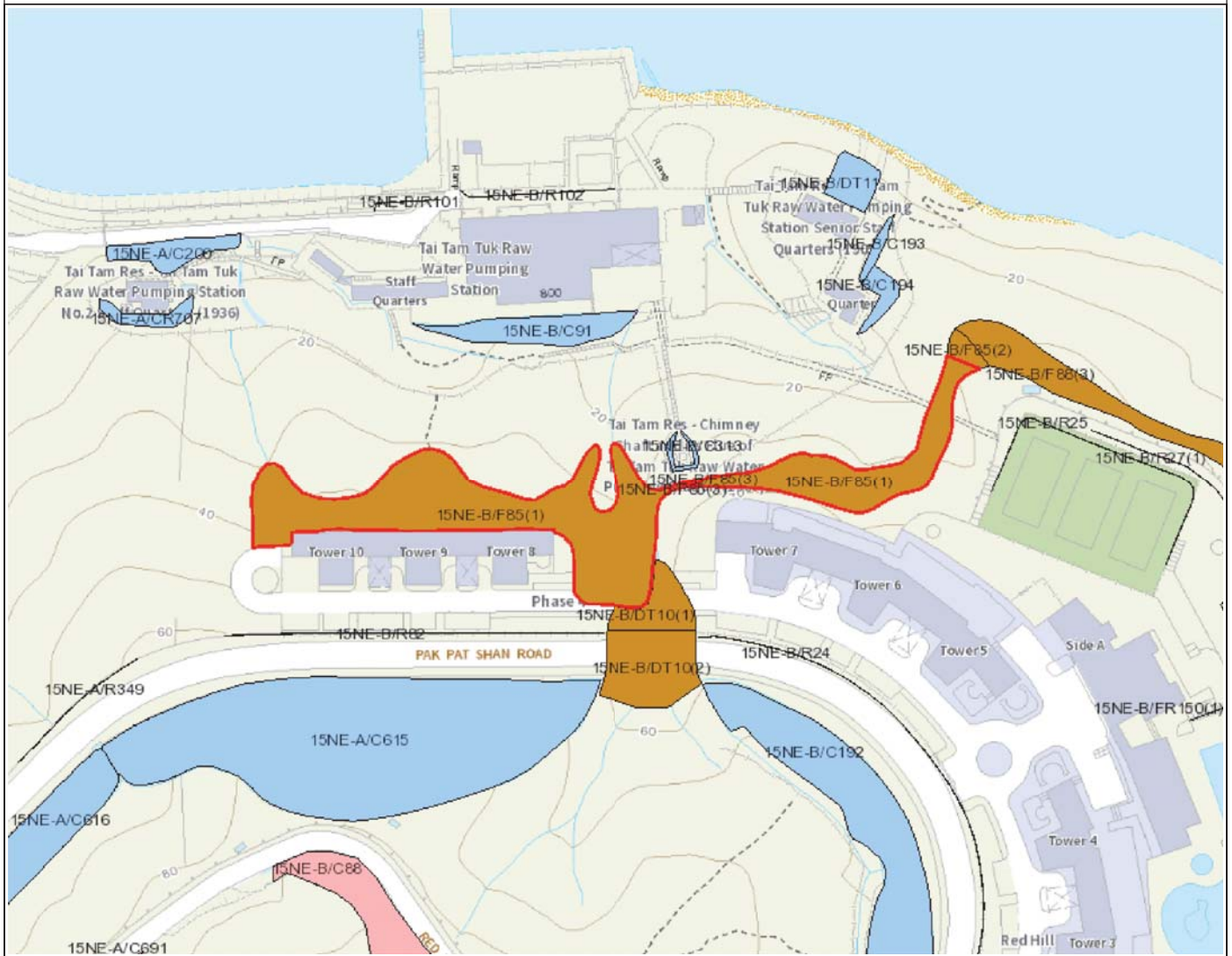
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**Notes:**

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Location Plan



Legend

- Slope Area(s)
- - - - Search Location
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ESTATE MANAGEMENT SECTION  
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**Slope Maintenance Responsibility Report**

(15NE-B/DT11)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/DT11</b>		<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	ADJOINING GOVERNMENT QUARTERS TO THE EAST OF GOVERNMENT LAND ALLOCATION-HK109		
	<b>Responsible Lot/Party</b>	Government Property Agency	<b>Maintenance Agent</b>	Architectural Services Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

- End of Report -

**Notes:**

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## Location Plan



## Legend

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- - - - Search Location
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- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT

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**Slope Maintenance Responsibility Report**

(15NE-B/C313)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/C313</b>		<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	WITHIN GLA-HK109		
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b>	Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

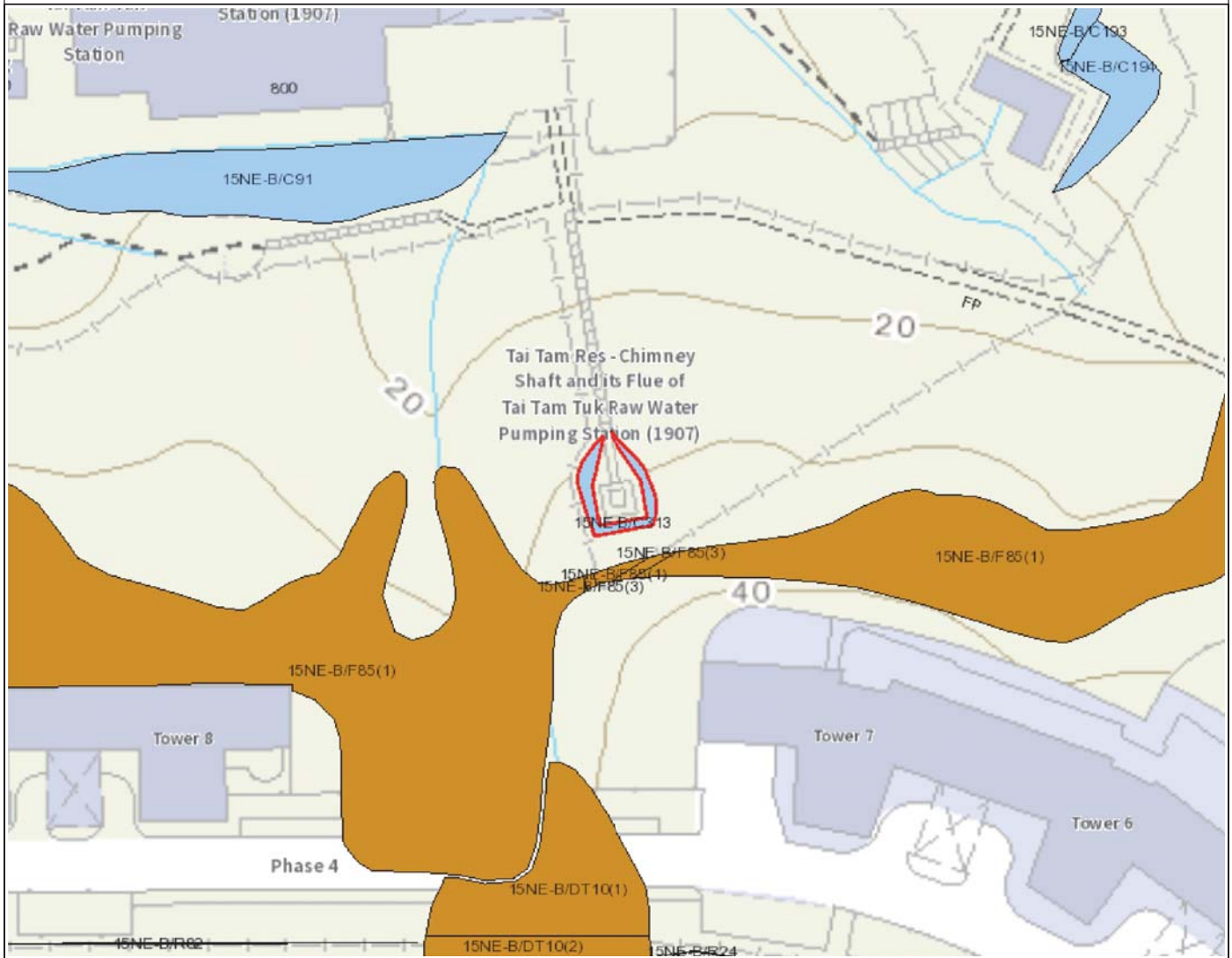
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Location Plan



**Legend**

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**Slope Maintenance Responsibility Report**

(15NE-B/C194)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/C194</b>		<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	Within GLA-HK 1085, Tai Tam Tuk Water Supplies Department Quarters		
	<b>Responsible Lot/Party</b>	Government Property Agency	<b>Maintenance Agent</b>	Architectural Services Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

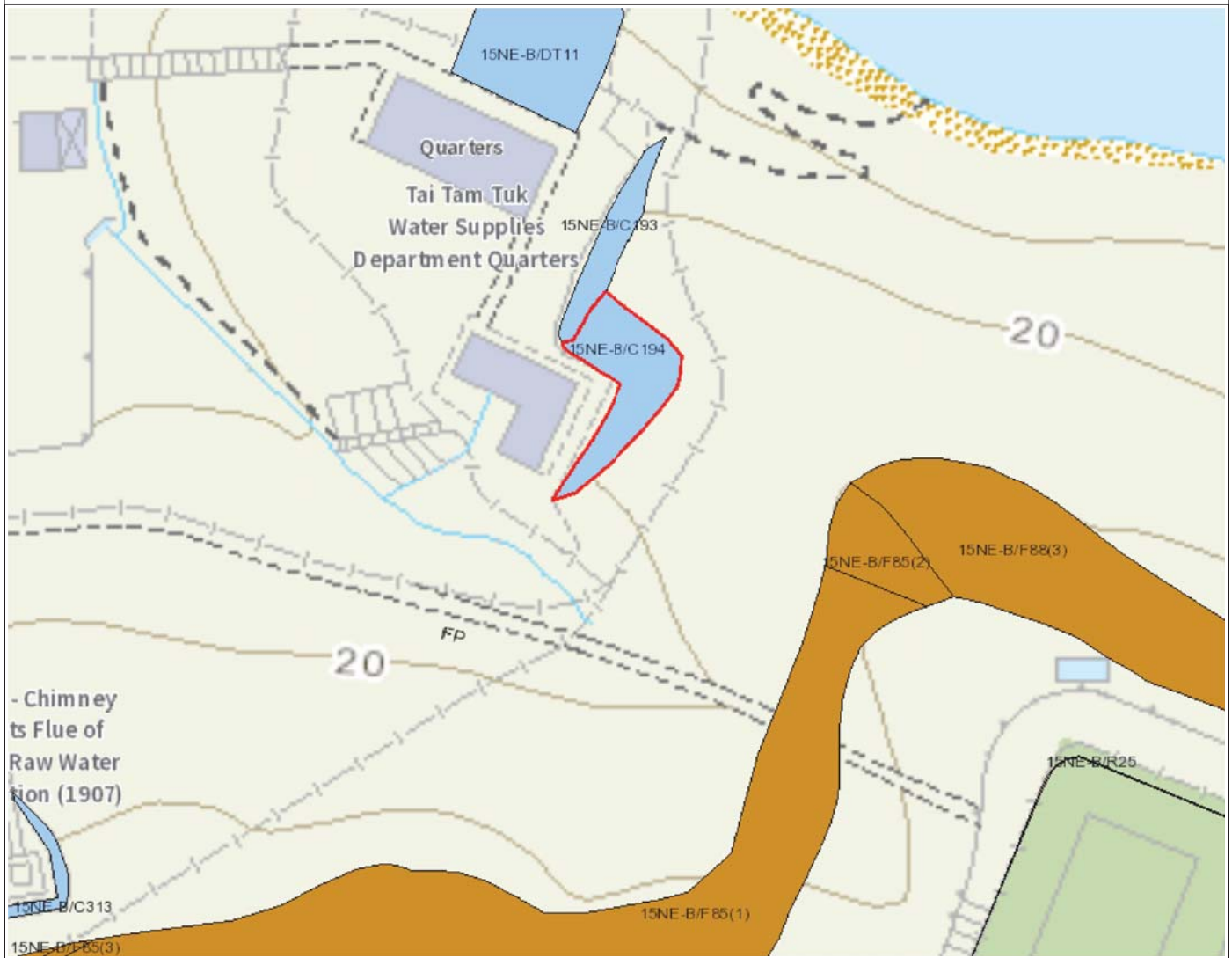
- End of Report -

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Location Plan



**Legend**

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- Search Location
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- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

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**Slope Maintenance Responsibility Report**

(15NE-B/C193)


**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**
**List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/C193</b>		<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	Within GLA-HK 1085, Tai Tam Tuk Water Supplies Department Quarters		
	<b>Responsible Lot/Party</b>	Government Property Agency	<b>Maintenance Agent</b>	Architectural Services Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.		

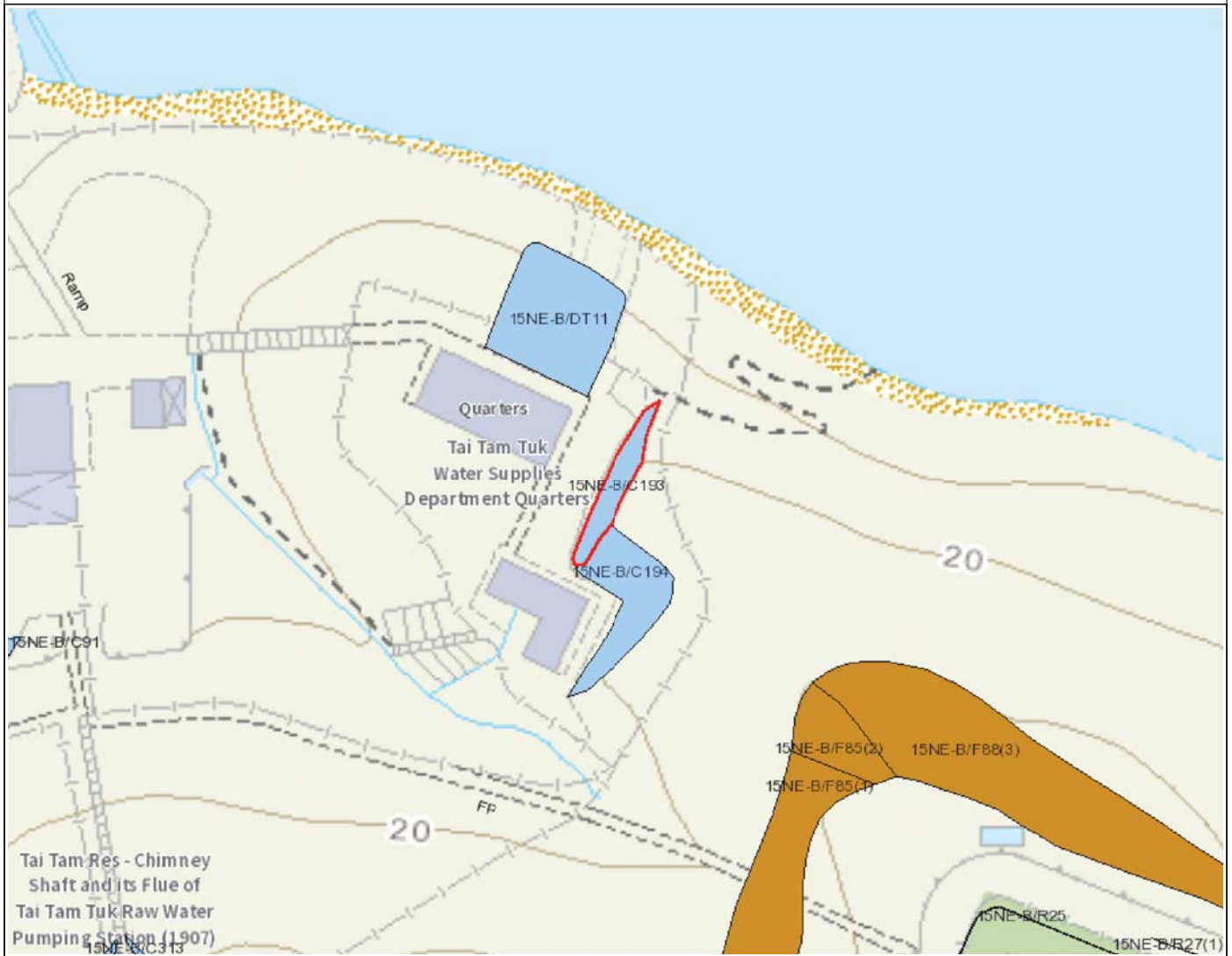
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Location Plan



**Legend**

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- - - - Search Location
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**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

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**Slope Maintenance Responsibility Report**

(15NE-B/C91)

**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>15NE-B/C91</b>	<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	WITHIN GLA-HK109	
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b> Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

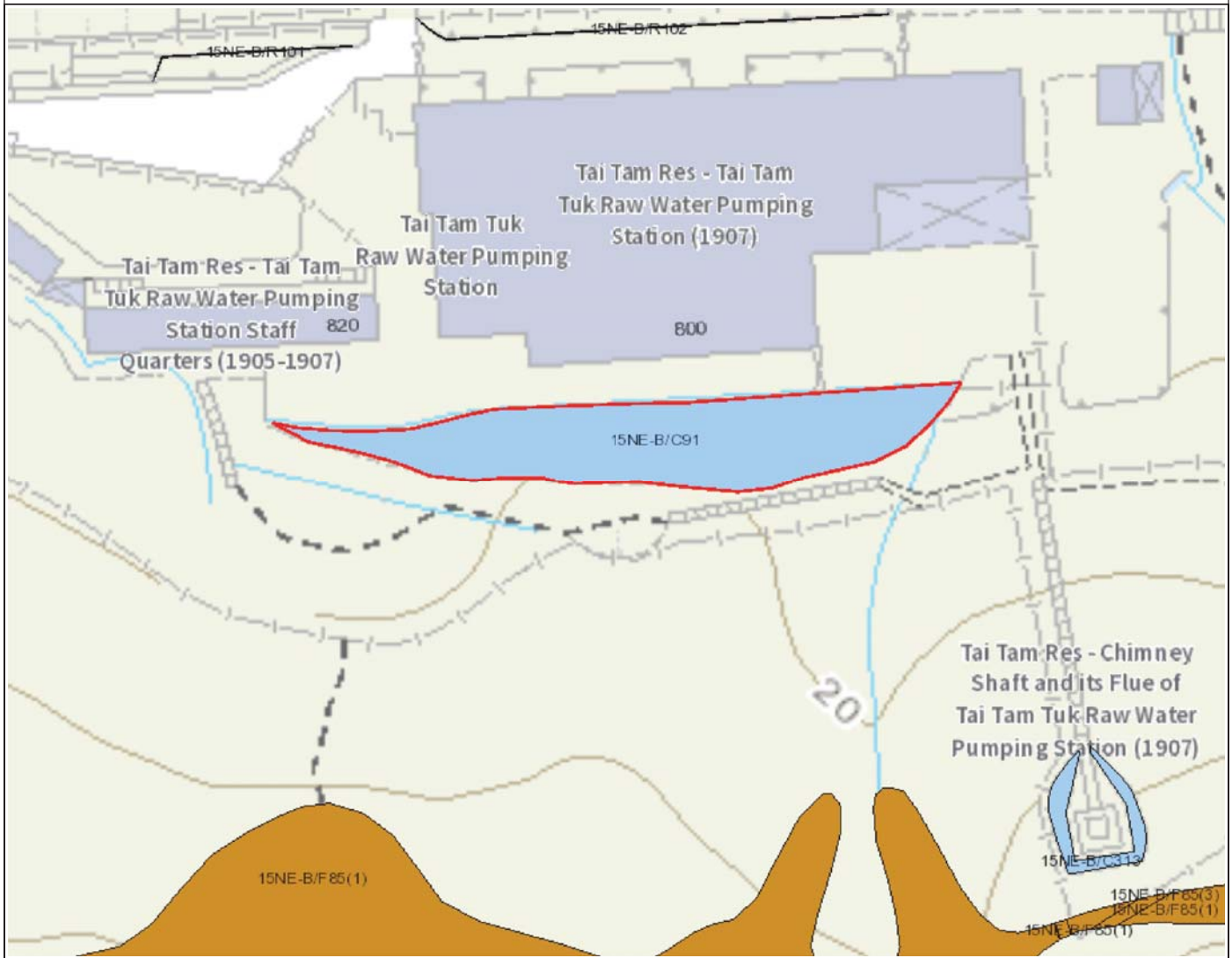
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Location Plan



Legend

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- - - - Search Location
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ESTATE MANAGEMENT SECTION  
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# Slope Maintenance Responsibility Report

(15NE-A/CR707)



ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT

## List of Slope Maintenance Responsibility Area(s)

<b>1</b>	<b>15NE-A/CR707</b>	<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	WITHIN GLA-HK109	
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b> Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

- End of Report -

### Notes:

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Location Plan



**Legend**

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**ESTATE MANAGEMENT SECTION  
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# Slope Maintenance Responsibility Report

(15NE-A/C200)



ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT

## List of Slope Maintenance Responsibility Area(s)

<b>1</b>	<b>15NE-A/C200</b>	<b>Sub-Division</b>	Not Applicable
	<b>Location</b>	WITHIN W PORTION OF GLA-HK109	
	<b>Responsible Lot/Party</b>	Water Supplies Department	<b>Maintenance Agent</b> Water Supplies Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.	

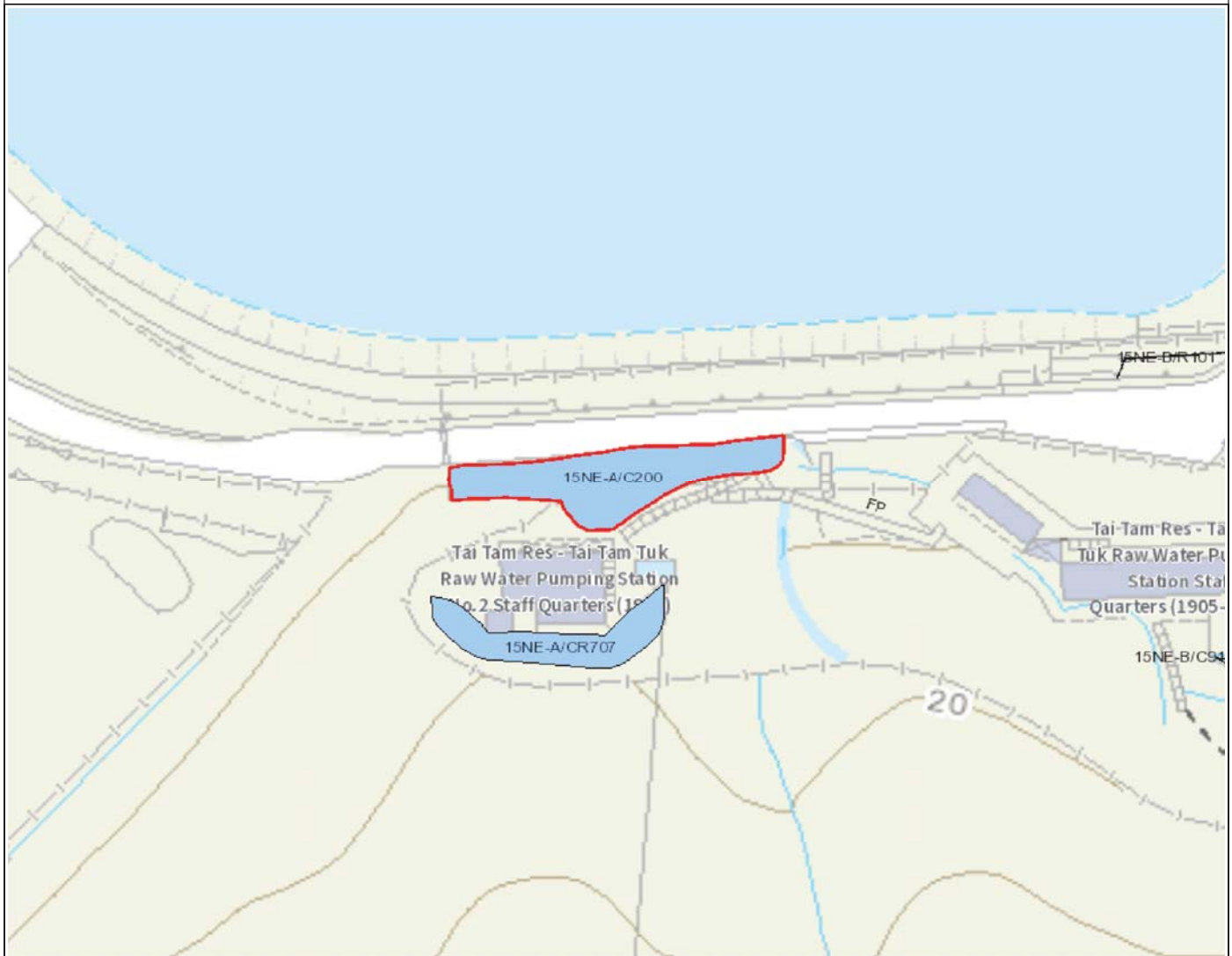
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## Location Plan



## Legend

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- Search Location
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- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

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**Appendix XIII**  
**Recurrent Expenditure**

## Recurrent Expenditure

### A. Electricity Fee

Possible Use(s) <sup>(1)</sup>	GFA (m <sup>2</sup> ) (a) <sup>(5)</sup>	Net Gross Ratio (b)	IFA (m <sup>2</sup> ) (c)=(a)x(b)	Energy Consumption Indicator (MJ/m <sup>2</sup> /annum) (d)	Energy Consumption per annum (kWh/annum) <sup>(3)</sup> (e)=(c)x(d)x0.2778	Estimated Electricity Fee (\$) <sup>(4)</sup> per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website <sup>(2)</sup>
Eating Place	1239	90%	1115	5729	1,774,540	3,144,196	Other Eating and Drinking Place
Educational Institution				630	195,141	337,604	Adult Education / Tutorial / Vocational Course
Exhibition or Convention Hall				1009	312,535	546,213	Government Office
Field Study Education/ Visitor Centre				630	195,141	337,604	Adult Education / Tutorial / Vocational Course
Place of Recreation, Sports or Culture				1479	458,116	804,910	Arcade / Basement / Upper Floor Shop

#### Notes:

- (1) It is assumed the length of operation hours is in line with the normal mode of operations, e.g. 9 hours for exhibition or convention hall, cultural facilities and educational institution.
- (2) The respective "Energy Consumption Indicators@ can be found at <http://www.emsd.gov.hk/emsd/eng/pee/ecib.shtml>
- (3) 1MJ x 0.2778 = 1kWh
- (4) Electricity fee of Hong Kong side is based on the tariff charged by Hong Kong Electric Holdings Limited (HEH). HEH: @0.980 for first 500 units, @\$1.020 for the next 1,000 units, @ 1.131 for next 18,500 units and @1.158 thereafter. Fuel clause adjustment charge is @0.197.  
1 Unit = 1kWh.  
The estimated electricity fee is for the projection in the application only. The actual fee will be subject to the then tariff and actual demand and consumption.  
The calculation based on an assumption of average consumption on every month during the 1 year period.
- (5) Only the area for Senior Staff Quarters (Main Building and Servants' Quarters), Staff Quarters(Main Building and Store Building), No. 2 Staff Quarters (Main Building and Outbuilding), Dangerous Goods Store, Garage, Fuel Tank and Underground Cellar are calculated. Yard and other external area are not included.

## B. Water and Sewage Charge

Possible Use(s) <sup>(1)</sup>	GFA (m <sup>2</sup> ) (a) <sup>(4)</sup>	Net Gross Ratio (b)	IFA (m <sup>2</sup> ) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d)=(c)x\$0.3	Estimated Water & Sewage Charge per annum(\$)
Eating Place	1239	90%	1115	11,664 <sup>(2)</sup>	139,968
Educational Institution				335	4,020
Exhibition or Convention Hall				335	4,020
Field Study Education/ Visitor Centre				335	4,020
Place of Recreation, Sports or Culture				335	4,020

### Notes:

- (1) According to the standard accommodation rate issue by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is \$0.3 per m<sup>3</sup>.  
Based on the above estimate, it is assumed that the use of water per m<sup>3</sup> of:  
Exhibition or Convention Hall, Educational Institution, Education/ Visitor Centre, Place of Recreation, Research, Design and Development Centre and Social Welfare Facility = Offices
- (2) The estimated water and sewage charge per month for Eating Place =  
[No. of sink x Operation Time (hours)] x Liter per second x Nos. of Seconds per hour x Estimated Water & Sewage Charge per m<sup>2</sup> x nos of days the eating place operates per months =  
(i) x (ii) x 3600 x (iii) x (iv) = 90 x 0.00016 x 3600 x (4.58+2.92) x 30 = \$11,664  
(i) Say 15 nos. of sink operate in 6 hours in total per day = 90hrs  
  
(ii) The water tap of sink flows 0.161/s (According to Members of Intuition of Plumbing Engineers Guide), therefore the water tap of sink flows = 0.00016m<sup>3</sup>/s  
  
(iii) According to the standard accommodation rate issued by the Water Supplies Department, the estimated monthly water charge of trade is \$4.58 per m<sup>3</sup>. The sewage charges of Food and Beverage services are \$2.92 per m<sup>3</sup>.  
  
(iv) Nos. of days the food and beverage services operate (say 30 days for month)
- (3) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate. The actual water and sewage charge will be subject to the then tariff and actual consumption.
- (4) Only the area for Senior Staff Quarters (Main Building and Servants' Quarters), Staff Quarters(Main Building and Store Building), No. 2 Staff Quarters (Main Building and Outbuilding), Dangerous Goods Store, Garage, Fuel Tank and Underground Cellar are calculated. Yard and other external area are not included.



### C. Rate and Rent

Possible Use(s) <sup>(1)</sup>	GFA (m <sup>2</sup> ) (a)	Site Area (m <sup>2</sup> )	Rateable Value <sup>(1)</sup> (\$) (a)	Rent/annum (\$) (b)=(a)x5%	Rate/annum (\$) (c)=(a)x3%	Rates & Rent/annum (\$) (d)=(b)+(c)
Eating Place	1239	6,356	3,053,280	152,664	91,598	244,262
Educational Institution						
Exhibition or Convention Hall						
Field Study Education/ Visitor Centre						
Place of Recreation, Sports or Culture						

Notes:

- (1) The above rateable values are rough estimate based on the possible uses and are for the cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building.  
The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

**Appendix XIV**  
**Requirements for Preliminary Traffic Assessment**

## **Requirements for Preliminary Traffic Assessment**

1. The selected applicant would be required to provide parking spaces and loading / unloading areas within the site for all parking, loading / unloading needs arising from the operation of the project. However, the number of parking spaces should be limited to avoid attracting traffic loads that may adversely affect the existing road networks. The selected applicant would also be required to design and implement traffic measures to ensure that no vehicles attracted to/generated from the project will carry out such activities (parking, loading/unloading) or waiting on public roads to enter the site.

The applicants are required to demonstrate in detail in the submission how he can fulfill these requirements. The details shall include, inter alia, the location and the layout of the parking, loading / unloading areas.

2. The selected applicant would be required to design and construct the vehicular access with associated signage, and implement management measures in such a way that (a) it will be safe for vehicles to pass through the access safely, and (b) traffic on a public road will not be adversely affected by vehicles coming into or out of the project site.

The applicants are required to demonstrate in the submission how he can provide the vehicular access to fulfil these requirements.

3. It is desirable for the project to spread out the traffic generated by or attracted to the project so that as few vehicles per hour as possible will be generated/attracted, particularly during 8 a.m. – 10 a.m. and 4 p.m. – 7 p.m. on weekdays; and it is essential that the selected applicant is familiar with the characteristics of the traffic pattern on Tai Tam Road and Tai Tam Reservoir Road, with respect to both vehicular and pedestrian traffic. Minimal vehicular traffic intensity generated by the operation of the project, particularly during the above- quoted hours, will be taken as a favourable factor when the proposal is assessed. It is also necessary that there is sufficient capacity of walkway for the pedestrians generated by/attracted to the project to walk on safely.

Hence, the applicant shall describe in the submission how the project can be managed in such a way as to minimise adverse traffic impact on Tai Tam Road and Tai Tam Reservoir Road during the construction and operation of the project,

with respect to both vehicular traffic and pedestrian traffic. In addition, the applicant shall submit in the proposal a schedule showing the vehicle types (with sizes), estimated numbers, routing, and the time of coming to and leaving the site during the construction stage and the operation stage. The applicant shall also submit the estimated number of pedestrians, routing and the time of coming to and leaving the site on foot.

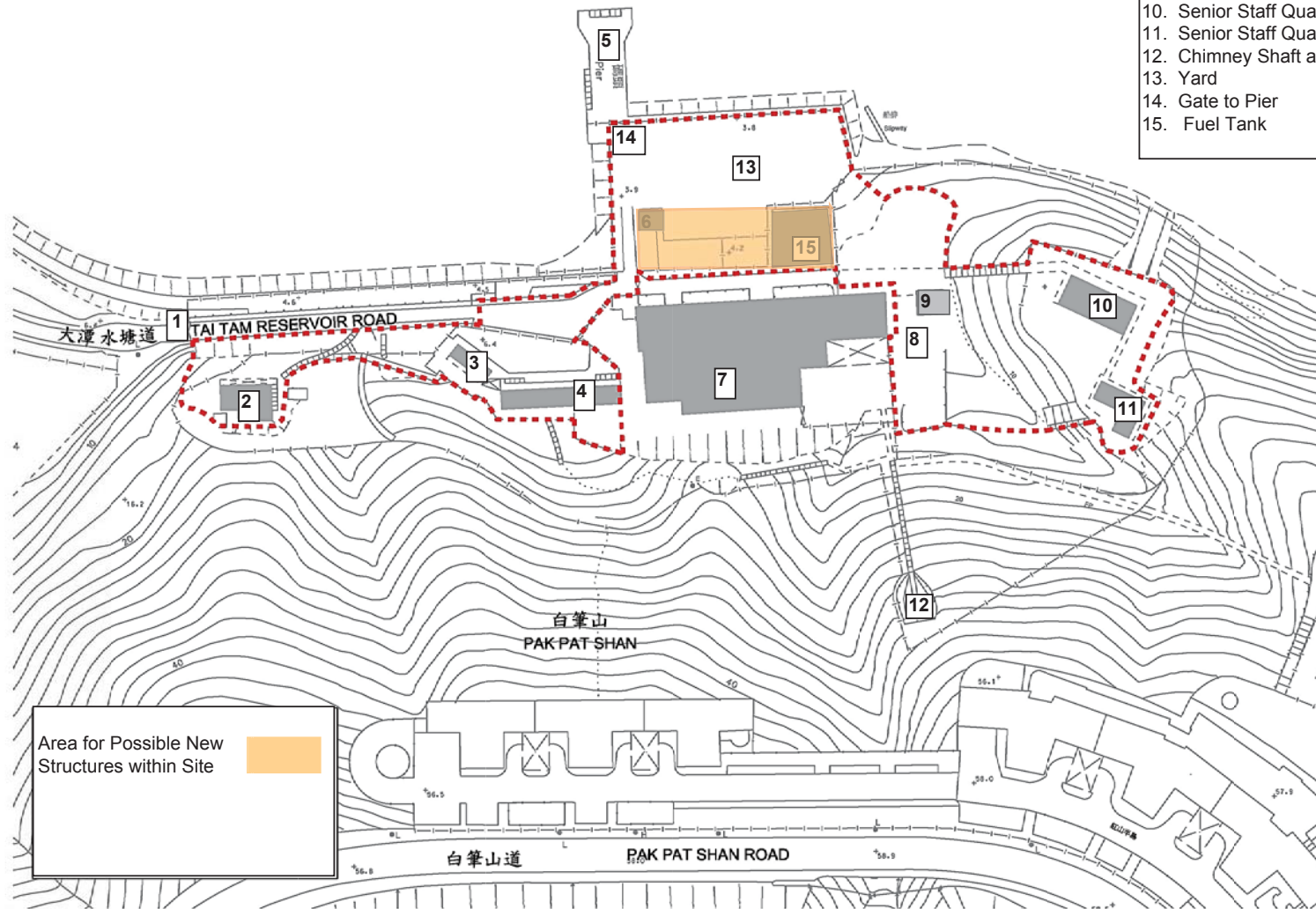
**Appendix XV**

**Possible New Structure(s) within the site**

大潭港  
TAI TAM HARBOUR



- LEGENDS
1. Entrance Gate to The Site
  2. No.2 Staff Quarters(Quarters &Outbuilding)
  3. Staff Quarters - Store Building
  4. Staff Quarters - Main Building
  5. Tai Tam Bay Pier
  6. Dangerous Good Store
  7. Tai Tam Raw Water Pumping Station
  8. Underground Cellar
  9. Garage
  10. Senior Staff Quarters - Main Building
  11. Senior Staff Quarters - Servants' Quarters
  12. Chimney Shaft and its Flue
  13. Yard
  14. Gate to Pier
  15. Fuel Tank



Area for Possible New Structures within Site

**Appendix XVI**

**Location of Nearest Public Storm Water Manhole and Sewer Manhole**



(DSD's record extracted from GeolInfo Map)



: The Site



: Nearest Sewer Manhole



: Nearest Storm Water Manhole