

**Revitalising Historic Buildings
Through Partnership Scheme**

Lai Chi Kok Hospital

Resource Kit



Table of Contents

- I. Introduction**

- II. Historical Background and Architectural Merits**
 - 2.1 Historical Background
 - 2.2 Architectural Merits

- III. Site Information**
 - 3.1 Location
 - 3.2 Site Boundary
 - 3.3 Site Area
 - 3.4 Major Datum Levels

- IV. Building Information**
 - 4.1 Building Description
 - 4.2 Historic Grading
 - 4.3 Schedule of Accommodation
 - 4.4 Materials of Construction
 - 4.5 Internal Circulation
 - 4.6 Major Alterations and Additions
 - 4.7 Structural Appraisal
 - 4.8 Building Services and Utilities

- V. Vicinity and Access**
 - 5.1 Immediate Surrounding
 - 5.2 Access

- VI. Conservation Guidelines**
 - 6.1 General Conservation Approach
 - 6.2 Specific Conservation Requirements

- VII. Town Planning Issues**

- VIII. Land and Tree Preservation Issues**
 - 8.1 Land Issues
 - 8.2 Tree Issues

IX. Slope Maintenance

X. Technical Compliance for Possible Uses

- 10.1 Uses That Can Possibly be Considered
- 10.2 Technical Considerations
- 10.3 Further Information on Possible Uses

List of Appendices

Appendix I	Location Plan
Appendix II	Site Boundary Plan
Appendix III	Datum Levels Plan
Appendix IV	Summary of Site and Building Information
Appendix V	Architectural Drawings
Appendix VI	Photos of Building
Appendix VII	Grading Boundary Plan
Appendix VIII	Plan Showing Immediate Surrounding
Appendix IX	Access Plan
Appendix X	List of Architectural Features to be Preserved
Appendix XI	List of Required Treatment to Architectural Features
Appendix XII	List of Recommended Treatment to Architectural Features
Appendix XIII	Outline Zoning Plan
Appendix XIV	Slope Features

I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Scheme). Information provided include:

- Section II Historical Background and Architectural Merits;
- Section III Site Information;
- Section IV Building Information;
- Section V Vicinity and Access;
- Section VI Conservation Guidelines;
- Section VII Town Planning Issues;
- Section VIII Land and Tree Preservation Issues;
- Section IX Slope Maintenance; and
- Section X Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent locations of the buildings concerned.

1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility

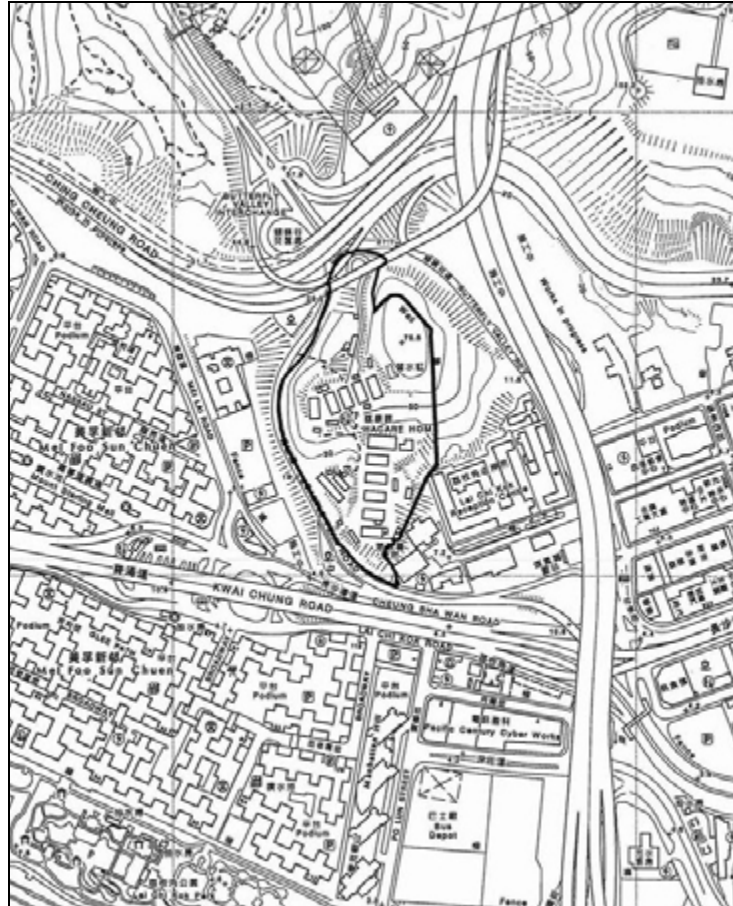
of such case will need to be further examined.

- 1.4 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - “Structural Appraisal” is a rough estimate only.
- 1.5 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address:	Revitalising Historic Buildings Through Partnership Scheme Secretariat 21/F., Murray Building, Central Hong Kong
Email:	rhb_enquiry@devb.gov.hk
Phone.:	2848 6230
Fax:	3167 2665

II. Historical Background and Architectural Merits

2.1 Historical Background



Map showing location of Lai Chi Kok Hospital

Address of Lai Chi Kok Hospital: No. 800, Castle Peak Road, Kowloon.

Because of its geographical conditions, the buildings at Lai Chi Kok Hospital (the Hospital) are located at three sections, namely the upper, middle and lower sections, linked by flights of steps and footpaths. It is believed that the Hospital was built between 1921 and 1924 and originally used as a prison. It was converted into an infectious diseases hospital and a relief hospital in 1938.

With the opening of the infectious disease wards in Princess Margaret Hospital in 1975, Lai Chi Kok Hospital became a hospital for convalescent psychiatric and special skin patients. One of the five blocks in the upper section was used as a ward for special skin patients (20 beds), while the remaining four blocks were used for psychiatric patients. The four blocks in the lower section, after renovations in 1976, were opened for convalescent psychiatric patients.

In 2000, the Hospital Authority considered turning the hospital into a health care centre for psychiatric patients. H.A. Care Limited was formed to operate the hospital on a temporary basis which was renamed as LCKH HA Care Home prior to its closure in mid-2004. Since then, the site has been vacant.

2.2 Architectural Merits

The blocks within the compound are mostly in the form of simple rectangular pitch-roofed structures of Utilitarian style. The roofs are mostly of Chinese double-tile system showing influence of local Chinese craftsmanship.

III. Site Information

3.1 Location

Lai Chi Kok Hospital occupies an entire hill, with Castle Peak Road to the west and Butterfly Valley Road to the east. Its address is No. 800, Castle Peak Road, Lai Chi Kok, Kowloon. The Location Plan of Lai Chi Kok Hospital is shown at **Appendix I**.

3.2 Site Boundary

Lai Chi Kok Hospital is on Government land. The Site Boundary Plan is shown at **Appendix II**.

3.3 Site Area

The area of the site is approximately 32,000 sq. metres .

3.4 Major Datum Levels

The major datum level of the Lower Section is 19.60mPD. The major datum level of the Middle Section is 28.70mPD. The major datum level of the Upper Section is 52.50mPD.

Major datum levels of different sections of the site are shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

For the middle and upper sections, each ward block is basically a two-storey reinforced concrete building with the first floor used, most recently, as a dormitory for patients. The ground floor consists of a day room, dining room, nurses' duty room and store room. There is also an occupational therapy department and a physiotherapy department on the first floor of Block D and Block E respectively. Apart from the ward blocks, there is a service block which contains a medical officer's office, a staff clinic, a dispensary and a conference room. The administrative block houses the general office, office for the Medical Superintendent and other senior staff of the hospital.

The lower section consists of three single-storey brick buildings originally used as barracks. They were used as assembly hall, offices and storage rooms.

The architectural drawings of Lai Chi Kok Hospital, which consist of block plan, master plan (showing location of each blocks), floor plans, major elevations and sections, are shown at **Appendix V**.

The photos showing the general appearance and internal layout of the Lai Chi Kok Hospital are attached at **Appendix VI**.

4.2 Historic Grading

Lai Chi Kok Hospital was designated as a Grade III Historic Building by the Antiquities Advisory Board. "Grade III Historic Building" is defined as "Buildings of some merit, but not yet qualified for consideration as possible monuments. These are to be recorded and used as a pool for future selection." The Grading Boundary Plan is shown at **Appendix VII**.

4.3 Schedule of Accommodation

a) Lower Section

		Approximate Gross Floor Area (sq. m)
Block P	Barracks and Office	300
Block Q	Nurse Duty Rooms, Storage and Toilets	120

		Approximate Gross Floor Area (sq. m)
Block W	Nurse Uniform Dispatch Room	35
Guard House	Security Guard Room	20
Storage Block	Storage Rooms	35

b) Middle Section

		Approximate Gross Floor Area (sq. m)
Block F	Day Room and Patient Wards	800
Block G	Day Room and Patient Wards	500
Block H	Day Room and Patient Wards	500
Block I	Day Room and Patient Wards	500
Block J	Day Room and Patient Wards	500
Block L	Nurse Duty Rooms	110
Admin Block	Physiotherapy Centre	500
Block N	Storage Rooms	80
Kitchen Block	Kitchen and Storage	80

c) Upper Section

		Approximate Gross Floor Area (sq.m)
Block A	Day Room and Patient Wards	500
Block B	Day Room and Patient Wards	500
Block C	Day Room and Patient Wards	500
Block D	Day Room and Patient Wards	500
Block E	Occupational Therapy Centre	500
Guard House	Security Guard Room	15
Storage Block	Storage Rooms and Former Mortuary	40
Food Store	Convenience Food Store	70
Linen Store	Linen Storage and Laundry	140
Kitchen and Toilets	Kitchen and Toilets	60

4.4 Materials of Construction

a) Lower Section

			<u>Finishes</u>	
Roof	Wall	G/F Floor	Exterior	Interior
Timber truss, purlins with roof tiles	Red brick	On grade slab	Unpainted, original brickwork exposed	Plaster and paint

b) Middle Section

				<u>Finishes</u>	
Roof	Wall	G/F Floor	1/F Floor	Exterior	Interior
Timber roof with steel truss and roof tiles	Red brick	On grade slab	Reinforced concrete slab	Plaster and paint	Plaster and paint

c) Upper Section

				<u>Finishes</u>	
Roof	Wall	G/F Floor	1/F Floor	Exterior	Interior
Corrugated metal sheet with steel truss	Red brick	On grade slab	Reinforced concrete slab	Plaster and paint	Plaster and paint

- d) Covered walkways connecting the whole site are constructed of steel column and metal sheets, except a portion of which at the Middle Section are constructed of reinforced concrete.

4.5 Internal Circulation

4.5.1 General Description

There is a covered walkway linking the blocks at the lower section. The lower section is connected to the middle section by two long flights of stairs, one leading from the pedestrian entrance while the other leading from the rear of Block Q. The middle section and upper section are connected by a steep staircase and a ramp following the terrain. Circulation within the middle and upper sections is

straight-forward with the regularly arranged blocks easily accessible from their side entrances and staircases.

4.5.2 Barrier Free Access (Building)

No barrier free access is provided for the upper floors of individual building blocks in the middle and upper sections.

4.6 Major Alterations and Additions

Lower Section

- The additions of steel covered walkways abutting directly to the external brickwalls of Blocks P, Q and W
- Internal partitions and sub-division of rooms
- Addition of new glazed guard room to the original guard house

Middle Section

- Addition of covered walkways on both sides of the blocks
- Internal partitions and sub-division of rooms
- Upgrading of building services, most notably, addition of the window-type air conditioners and their steel supporting frames
- Addition of new toilets and covered walkways at Block J

Upper Section

- All original timber roof has been replaced by steel roof
- Addition of new steel access staircase on the north facades of the blocks
- Addition of covered walkways on the south side of the blocks
- Internal partitions and sub-division of rooms
- Upgrading of building services, most notably, addition of the window-type air conditioners and their steel supporting frames

4.7 Structural Appraisal

4.7.1 Description

Blocks P, Q and W at Lower Section

All these three buildings are single-storey brick column-wall structures. The existing roofs are sloping with timber trusses, battens and purlins. The truss is supported by brick columns. Two different types of lintel are used, one of which is brick lintel in arched shape, and the other is reinforced concrete lintel which could be part of the later additional works to the buildings.

For Block P, serious cracks appear on both end walls, which are supposed to be caused by differential settlement. Ground investigation and associated stabilization works for its foundation are considered necessary. The roof of this block is still in good conditions, as well as the walls and columns. The adjacent slope may also require investigation and stabilization.

For Block Q, no serious crack is found on the wall, but minor repair works is still necessary. The roof condition is very poor, part of which has settled seriously at the moment. Some temporary propping is currently installed on site to support the roof.

For Block W, some cracks are found on the external wall. The timber purlins of the existing roof have deteriorated seriously and strengthening or repair is recommended.

Blocks F, G, H, I, J and Administration Block at Middle Section

All these buildings appear to be of brick column-wall, reinforced concrete beam-slab structures with two floors, but cannot be confirmed unless further investigation and tests are carried out by the successful applicant. The existing roofs are sloping with steel trusses, timber battens and purlins. The trusses are supported by brick columns. Some structural repair works for the timber battens and purlins are considered necessary. The steel trusses and steel beams supporting the slabs are in good conditions.

Concrete spalling is found at the external reinforced concrete staircases. Repair works are considered necessary.

Blocks A, B, C, D, and E at Upper Section

The five blocks are two-storey blocks constructed of brick column-wall, steel beam, and reinforced concrete slab structures. The existing roofs are sloping with steel battens, purlins, and trusses and they are in good conditions. Repair works to the concrete spalling at the reinforced concrete slabs are suggested.

Repair works are considered necessary for the external reinforced concrete staircases.

4.7.2 Appraisal

Structural stability of Block P in the lower section should be further investigated. Reconstructing the roof of Block W and Block Q is strongly recommended to rectify the settlement or otherwise, they will be dangerous to be used.

In general, most of the buildings are in good conditions but some repair works are necessary.

4.7.3 Loading Assessment

These buildings were built between 1921 and 1924, the design of which is believed to follow the London County Council (LCC) – 1915. In LCC 1915, it specified 84 lb/sq ft (=4.02 kPa) for floor loading of hospital wards.

Based on visual inspection and the life of the building, it is possible that a reduction factor of 30% to the original design loading is applicable. The estimated loading capacity of each floor would thus be 2.81 kPa.

4.7.4 Recommendations

Further site investigation and appropriate laboratory tests should be carried out by the successful applicant to obtain more accurate information on the conditions of the building and site, as well as the allowable loading capacities of the buildings.

4.7.5 Conclusion

- The existing buildings in the middle and upper sections are in good conditions.
- Some repair works for Block Q and Block W should be carried out.
- The floor loading capacity is estimated to be 2.81 kPa.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for Lai Chi Kok Hospital is as follows:

	Existing Provisions
MVAC Installation	<ul style="list-style-type: none"> ■ Window type room coolers are installed at some rooms. However, their conditions / performance need to be assessed if they are to be re-used. ■ Wall oscillating fans are installed at some rooms. ■ Exhaust fans are installed at toilets.
Fire Services Installation	<ul style="list-style-type: none"> ■ No sprinkler system is installed. ■ Fire hydrant and hose reel systems are installed. The systems are served by a RCC F.S. tank and a fixed F.S. pump. ■ Exit signs, manual fire alarm system and visual alarm system are installed. ■ No automatic fire alarm system is provided. ■ The main F.S. panel is installed at the caretaker's office at the entrance.
Electricity Supply	<ul style="list-style-type: none"> ■ An outdoor transformer room is provided for the complex. ■ A LV switch room with LV switch panel is provided next to the transformer room. The rating of the main switch is 1,200A TPN. ■ No fixed genset is provided. The emergency supply of the development will be fed by a mobile genset. ■ The underground power supply cables to each block have been laid and the rating of each block is as follows:- <ul style="list-style-type: none"> Block A to F - 100A TPN Block G - 63A TPN Block H to K - 100A TPN Block L - 63A TPN Block P - 63A TPN Block Q - 100A TPN
Lift	<ul style="list-style-type: none"> ■ The building is not served by lift or escalator.

	Existing Provisions
Plumbing & Drainage Installation	<ul style="list-style-type: none"> ■ A 50mm dia. potable water connection with meter is installed. The potable water supply for the building is direct feed. ■ Flush water supply is fed by gravity from a roof tank. ■ The surface water of the site is gathered by storm water down pipes and collected by surface channels and discharged to nearby public channels / culverts. ■ The sewage water within the buildings is collected by down pipes and connected to underground pipeworks / manholes and discharged to government drains through terminal manholes.
Gas Installation	<ul style="list-style-type: none"> ■ Gas connections are available at existing kitchens next to Blocks D and E.

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surroundings

To the east of the site are government buildings, including the Officers' Married Quarters of the Correctional Services Department and the Lai Chi Kok Reception Centre. To the north of the site is a major traffic interchange and Route No. 9 (and its connection routes which are under construction). Major residential and commercial areas of Mei Foo Sun Tsuen are only 10 minutes away.

These items of interest and significance in the immediate surrounding are shown at **Appendix VIII**.

5.2 Access

5.2.1 Access to Site

Vehicular access to the site is via Castle Peak Road. A private driveway, which services the upper section of the site, is available. Another access point is from the public car park next to Castle Peak Road. The Access Plan is shown at **Appendix IX**.

5.2.2 Vehicular Access

Vehicular access is a private driveway from Castle Peak Road near the Lai Chi Kok Interchange. An entrance gate and signage have been installed at the vehicular access point.

5.2.3 Emergency Vehicular Access (EVA)

For the upper and lower sections of the site, less than 25% of the major façade of buildings can be served by EVA. EVA is not provided to the Middle Section.

5.2.4 Loading and Unloading Area

Loading and unloading area is available at the upper section only. It is accessible from the vehicular driveway.

5.2.5 Parking

There is no designated car park within the site, but there is open space at the end of the private vehicular driveway. The public car park next

to the pedestrian entrance can accommodate over ten private cars and two coaches.

5.2.6 Pedestrian Access

Main pedestrian access is at the lower section, adjacent to the public car park along Castle Peak Road. It is a 10-minute walk from Mei Foo MTR station.

5.2.7 Barrier Free Access (Site)

The middle and lower sections are only accessible by flights of connecting stairs along the terrain of the hill. Access by wheel chair users is not provided. Access ramps are provided in certain areas between slopes to allow localized passage between wards.

5.2.8 Refuse Collection Point

A refuse collection point is available adjacent to the guard house at the lower section.

VI. Conservation Guidelines

- 6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.
- 6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance. On this issue, we would advise:
- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
 - (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation. But, there is no restriction on the type/design of temporary signage, e.g. banners, displays, etc., provided that the number of such signs is not excessive.

¹ *“Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.*

6.1.3 For the restoration works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicants to refer to the full requirements imposed by relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with surroundings to preserve landscape and wildlife habitat.
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for disabled must respect historical integrity of the building(s) and its (their) surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fittings	No existing fittings are considered to be “historic features” and therefore they may be re-used,

	replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the restoration works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO's approval should be sought.

6.1.5 All required building works should be carried out by a specialist contractor on the Development Bureau (Works Branch) List of Specialist Contractors for Repair and Restoration of Historic Buildings, and such work shall be to the satisfaction of AMO. For details on the engagement of the above Specialist Contractor, please refer to paragraph 6.1 of the "Guide to Revitalising Historic Buildings Through Partnership Scheme".

6.2 Specific Conservation Requirements

6.2.1 The buildings in the lower and middle sections of the Lai Chi Kok Hospital were built between 1921 and 1924, and they have a longer history than those in the upper section which were mainly constructed from 1938 onwards. The site was once used as a prison, an infectious diseases and relief hospital and a care home for convalescent psychiatric patients and special skin patients. Some red-brick buildings in the lower section, such as Blocks P, Q1 and W1 have remained comparatively unaltered and have retained their original appearance and authenticity, and hence more stringent conservation requirements are imposed on them. Other buildings have undergone alterations at various times of their history and flexibility is applied in their conservation treatment.

- 6.2.2 Although there are no elegant architectural features, the simple construction still comprises a number of character defining elements and must be preserved in-situ and maintained as necessary. They are listed in **Appendix X**.
- 6.2.3 Some inappropriate alterations and additions have been carried out to the original buildings over the years and it is recommended that these should be removed where possible and the building fabric restored and reinstated to reveal the full cultural significance of the Lai Chi Kok Hospital. Please refer to **Appendices XI and XII** for the required and recommended conservation treatment respectively.
- 6.2.4 Every effort should be made to carry out all “required treatment” set out at **Appendix XI** of the Conservation Guidelines. If compliance with the “required treatment” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XII** of the Conservation Guidelines set out some “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The Lai Chi Kok Hospital site is zoned “Government, Institution or Community” (“G/IC”) on the Lai Chi Kok Outline Zoning Plan (OZP) No. S/K16/14. The full set of the OZP including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the “G/IC” zone are shown at **Appendix XIII**.

The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the works of the Government, organizations providing social services to meet community needs, and other institutional establishments.

The Notes for the “G/IC” zone (**Appendix XIII**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2” uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from the Tsuen Wan & West Kowloon District Planning Office of the Planning Department at 27/F, Tsuen Wan Government Offices, 38 Sai Lau Kok Road, Tsuen Wan, New Territories (Tel: 2417 6261).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site is currently under the management of the Department of Health. The Site Boundary Plan is shown at **Appendix II**.

A set of engineering conditions together with the allocation plan for the adaptive re-use of this premises will be prepared by the Lands Department.

8.2 Tree Issues

At the site, there is no Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Services Department.

However, site inspection revealed that there were trees that should be registered in future. Although not registered as yet, these trees should be protected and be incorporated into the landscape design. (An example of a potentially old and valuable tree is the big Banyan tree next to the Guard House at the lower section of the site.)

In general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the District Lands Officer or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

The successful applicant shall not fell, remove or interfere with any potential OVT within the site and shall at his own expense and in all respects to the satisfaction of the District Lands Officer or the appropriate authority keep and maintain the potential OVT in a healthy condition throughout the term agreed to be granted. Save with the prior written consent of the District Lands Officer or the appropriate authority, no building or structure or support for any building or structure may be erected or constructed on, over, above, under, below or within the designated area for each identified tree of particular value.

IX. Slope Maintenance

Lai Chi Kok Hospital is constructed on and surrounded by slope features. There are twenty-one registered slope features near and within the Hospital. The detailed information of these slope features is attached at **Appendix XIV**.

It is the responsibility of Government to maintain the concerned slope features. However, the successful applicant should allow Government to gain access to the slope features concerned to carry out required slope maintenance works. Should the successful applicant's proposal for adaptive re-use of the site affects the existing slope features, corresponding slope upgrading works should be carried out by the successful applicant to suit his proposal.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Arts and Cultural Village;
- (b) Educational Institute;
- (c) Holiday Camp; and
- (d) Hostel.

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider are most suitable for the building.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:
 - means of escape;
 - fire resisting construction;
 - means of access for firefighting and rescue;
 - barrier free access and facilities;
 - protection against falling from height;
 - structural adequacy; and
 - fire services installation requirements.
- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with the Conservation Guidelines in Section VI of this resource kit.

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

(a) Heritage Conservation

The Antiquities and Monuments Office has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as arts and cultural centre (as a kind of Place of Recreation, Sports or Culture) and educational institute are under Column 1 of the Notes to the OZP in which uses are always permitted. Uses as holiday camp and hostel (as a kind of Residential Institution) are under Column 2 in which case approval from the TPB is required.

(c) Fire Services Requirement

The existing EVA to the building is inadequate. However, such inadequacy can be compensated by provision of fast response type sprinkler heads and direct line to the Fire Services Communication Centre to the satisfaction of the Fire Services Department.

Fire hydrant is not installed within 100m from the site. A street fire hydrant system with water tank of 245m³ capacity is required to be provided on site. However, if there is any site constraint, a fire hydrant/hose reel system with 36m³ water tank and emergency generator may be provided instead, subject to the approval of the Fire Services Department.

(d) Barrier Free Access

Since the various buildings within the compound are constructed on platforms at different levels over a hilly site, applicants should carefully consider how the statutory requirements for barrier free access can be

complied with.

(e) Licensing

- (i) If the building is to be used as an educational institute, the successful applicant may be required to register under the Post-secondary Colleges Ordinance or the Education Ordinance, depending on the nature of educational courses provided. Guidelines for registration of a new school under the Education Ordinance can be found on the website of the Education Bureau.

- (ii) If the building is to be used as a holiday camp or a hostel, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a “hotel” or “guesthouse” under the Hotel and Guesthouse Accommodation Ordinance. If affirmative, the successful applicant shall be required to obtain a licence from the Office of the Licensing Authority under the Home Affairs Department.

(f) Structural Limitations

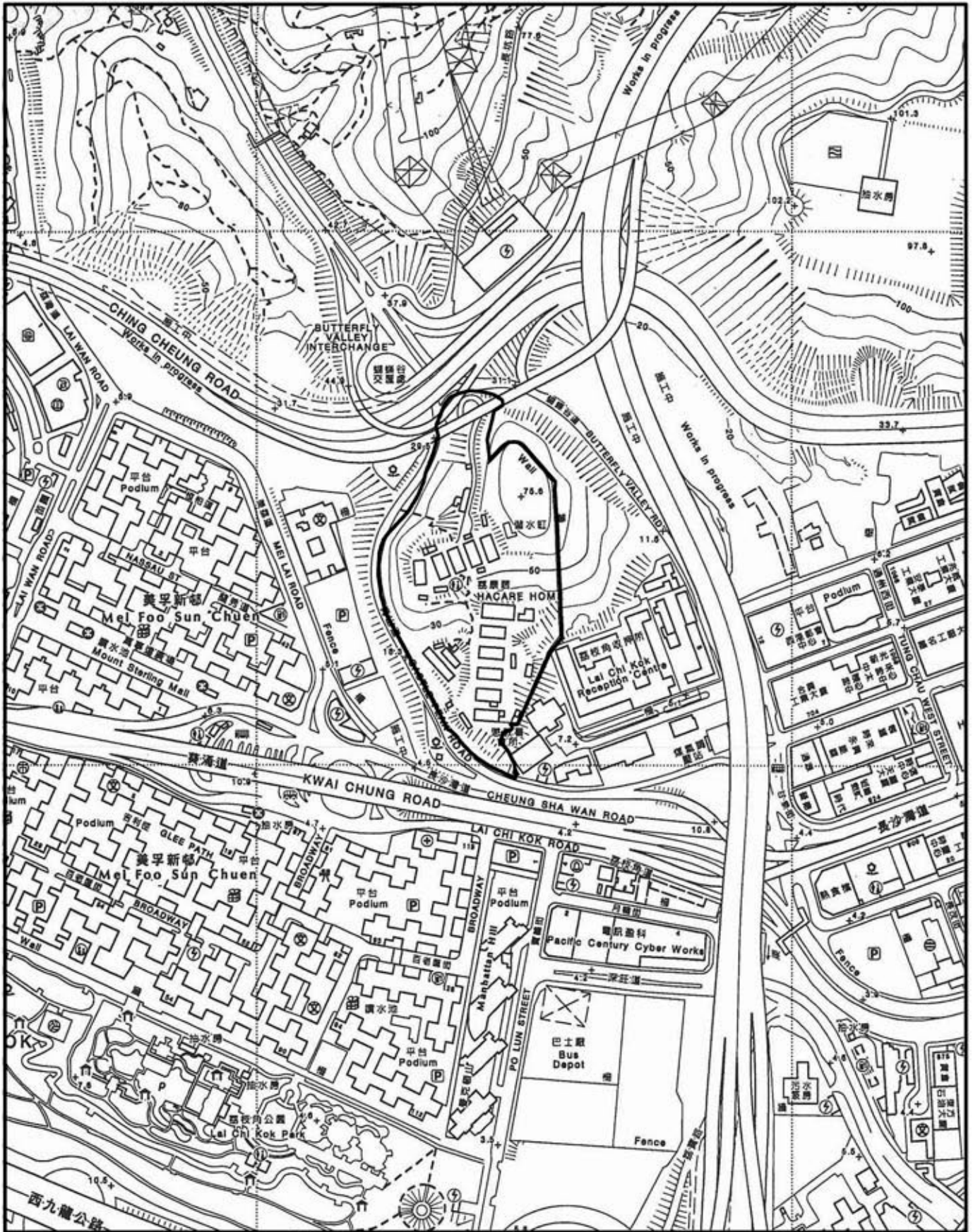
The required loading capacity for the possible uses are as follows:

- | | |
|-------------------------------|--------|
| (i) Arts and Cultural Village | 5.0kPa |
| (ii) Educational Institute | 3.0kPa |
| (iii) Holiday Camp | 2.0kPa |
| (iv) Hostel | 2.0kPa |

Based on the estimated loading capacity of the building mentioned in Paragraph 4.7 (2.81kPa), structural strengthening works will be necessary for the following uses:

- (i) Arts and Cultural Village; and
- (ii) Educational Institute.

Appendix I
Location Plan



 THE SITE

EXTRACT PLAN BASED ON
 SURVEY SHEET No.
 11-NW-A (10 / 2007 UPDATED)
 *LEVELS REFER TO HONG KONG
 PRINCIPAL DATUM LEVEL
 DATE : 24 / 12 / 2007

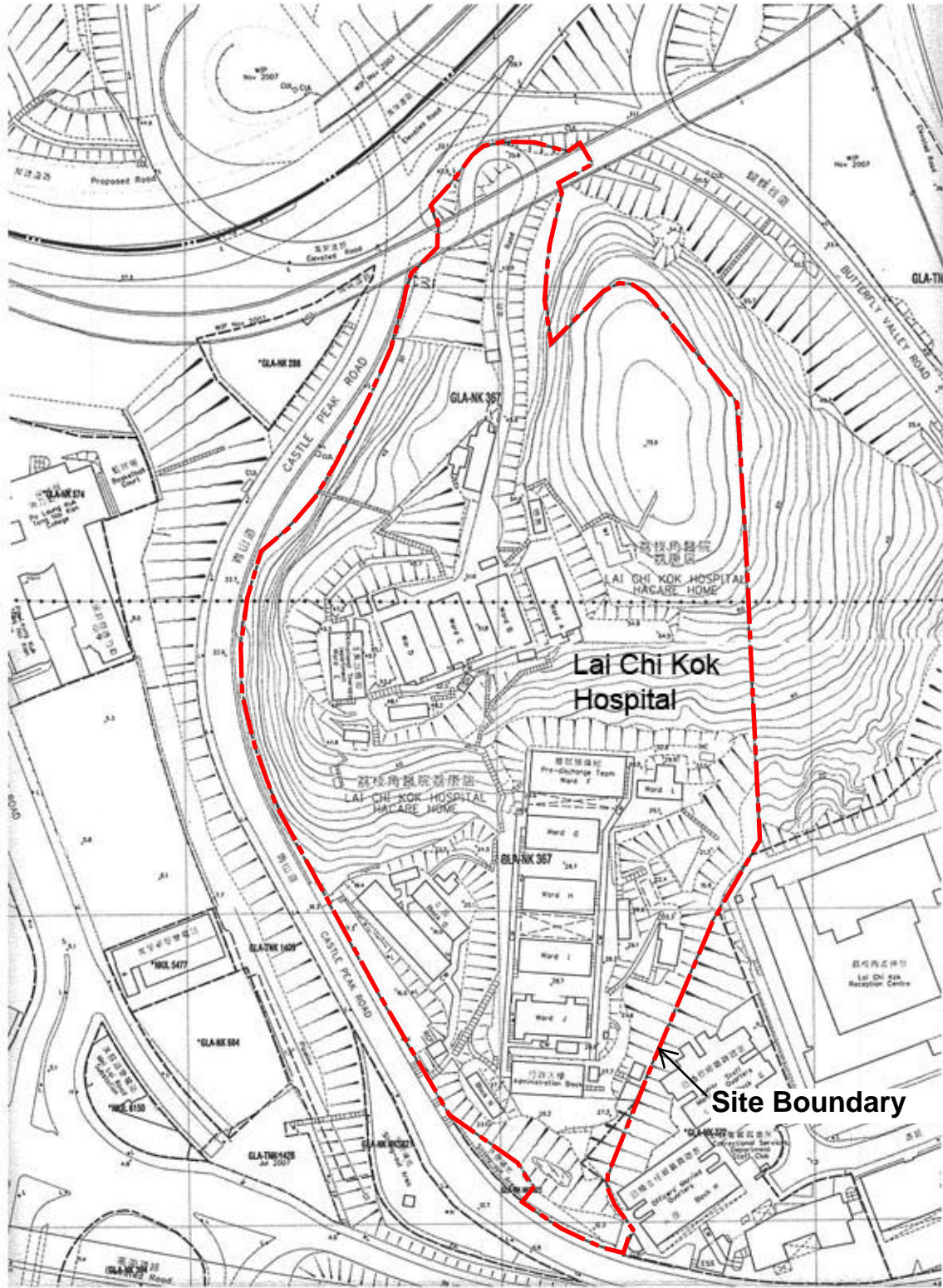
LAI CHI KOK HOSPITAL

No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX I
 LOCATION PLAN
 1 : 5000

Appendix II

Site Boundary Plan



 SITE BOUNDARY

EXTRACT PLAN BASED ON
LOT INDEX PLAN No.
KLIP1830

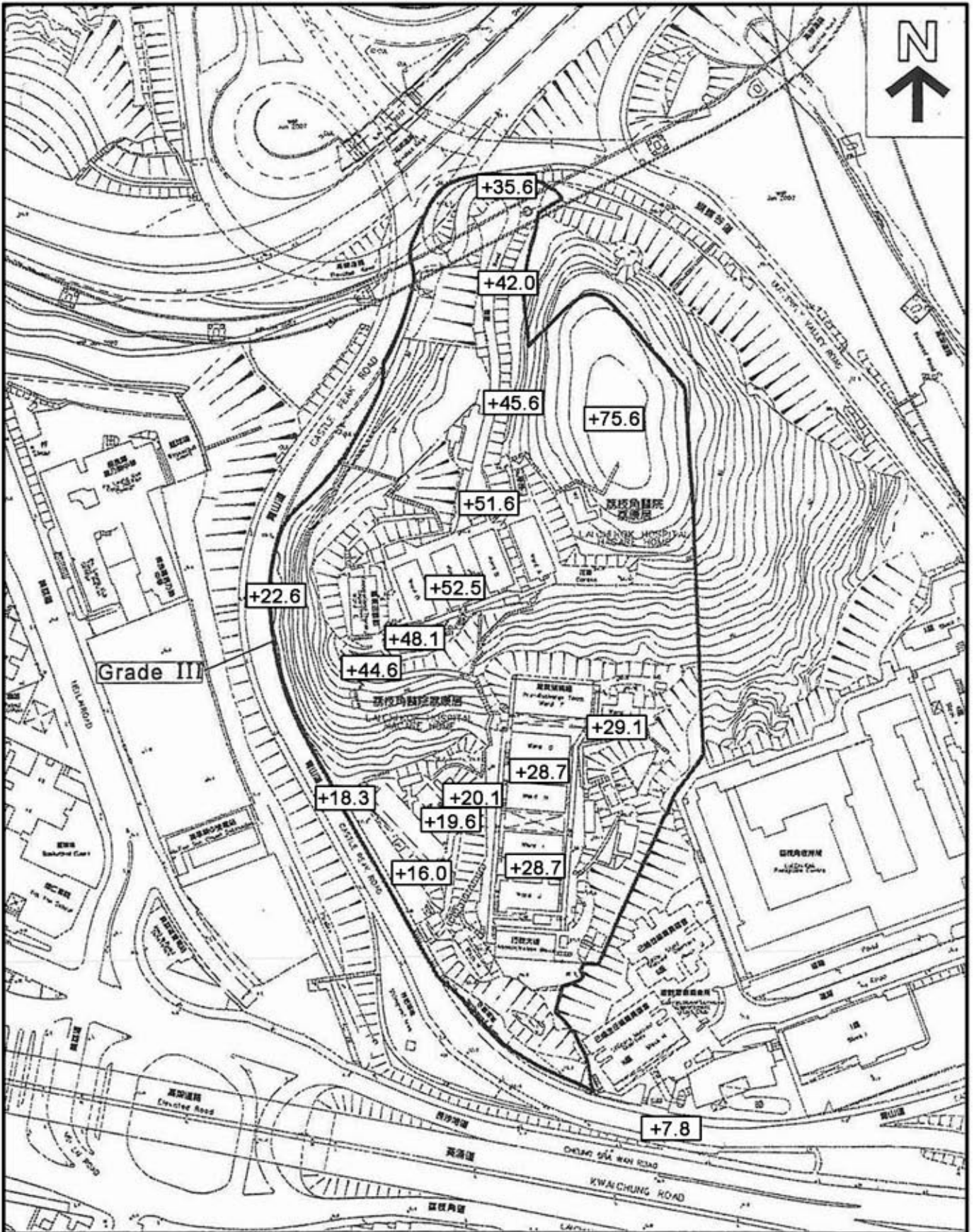
DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO. :
APPENDIX II
SITE BOUNDARY PLAN
1: 2000

Appendix III

Datum Levels Plan



 THE SITE

EXTRACT PLAN PREPARED ON
25 / 10 / 2007 BASED ON
SURVEY SHEET NOS. 11-NW-7B & D

*LEVELS REFER TO HONG KONG
PRINCIPAL DATUM LEVEL

DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL

No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:

APPENDIX III

DATUM LEVELS PLAN

1 : 2000

Appendix IV

**Summary of Site and
Building Information**

Summary of site information is listed below:

Building Name	Lai Chi kok Hospital
Address	No. 800, Castle Peak Road, Kowloon
Site Area	Approximately 32,000 sq. metres
Major Datum Level	+19.6mPD (Lower Section) +28.7mPD (Middle Section) +52.5mPD (Upper Section)
Zoning Permissible Uses	Government, Institution or Community (G/IC)

Summary of building information is listed below:

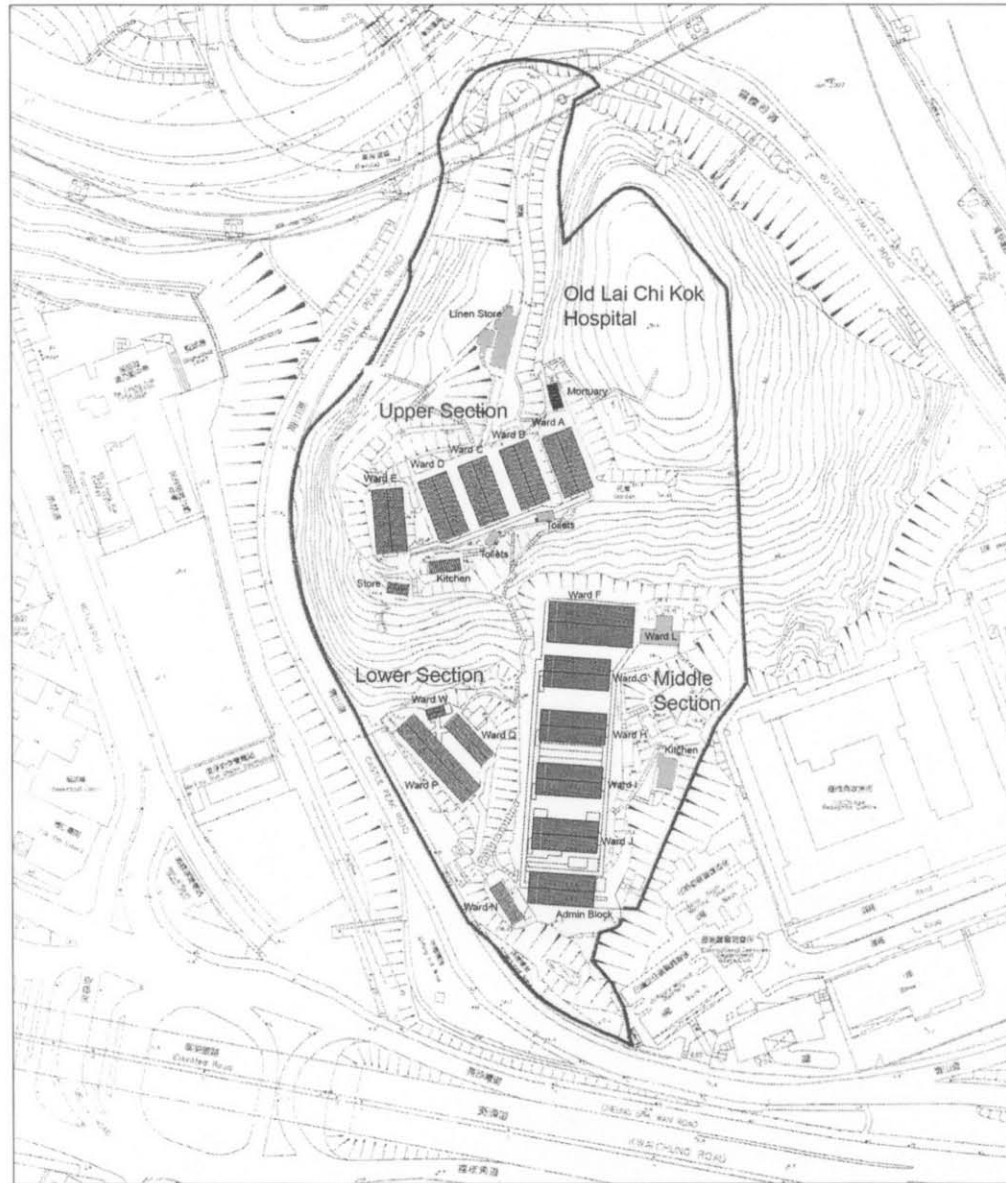
Number of Blocks	Lower Section – 3 main blocks, an Guard House and a Storage Block Middle Section – 8 main blocks and a Kitchen Block Upper Section – 5 main blocks, an Guard House, a Storage Block, a Food Store, a Linen Store, a Kitchen and Toilets Block
Year of Completion	1921 - 1924
Gross Floor Area	Approximately 6,500 sq. metres
Historic Grading	Grade III
Original Use	Barracks (Lower Section, 1924) and Hospital
Recent Uses	H.A. Care Home for psychiatric patients
Schedule of Accommodation	Lower Section, 3 main blocks: Block P – barracks and office Block Q – nurse duty rooms, storage and toilets Block W – nurse uniform dispatch room Middle Section, 8 main blocks: Blocks F, G, H, I, J – day room and patient wards Block L – nurse duty rooms Block N – storage rooms Admin Block – physiotherapy centre Upper Section, 5 main blocks: Blocks A, B, C & D - day room and patient wards Block E – occupational therapy centre

Materials of Construction	<p>Lower Section – on-grade G/F slab, reinforced concrete 1/F slab, red brick wall and timber truss roof</p> <p>Middle Section – on-grade G/F slab, reinforced concrete 1/F slab, red brick wall and timber truss roof</p> <p>Upper Section – on-grade G/F slab, reinforced concrete 1/F slab, red brick wall and steel truss roof</p>
Internal Circulation	<p>Vehicular access is provided to the Upper Section. Circulation between the three different Sections is mainly via long flights of stairs</p>

Appendix V

Architectural Drawings

Drawing No.	Drawing Title
LC-1	Block plan
LC-1A	Master plan
<u>Lower Section</u>	
LC-2A	Ground floor plan of Lower Section
LC-2B	Roof plan of Lower Section
LC-2C	Section A & B of Lower Section
<u>Middle Section</u>	
LC-3A	Ground floor plan of Middle Section
LC-3B	First floor plan of Middle Section
LC-3C	Roof plan of Middle Section
LC-3D	Section A of Middle Section
<u>Upper Section</u>	
LC-4A	Ground floor plan of Upper Section
LC-4B	First floor plan of Upper Section
LC-4C	Roof plan of Upper Section
LC-4D	Section B of Upper Section



Metres 0 10 20 30 40 50

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

OLD TAI PO POLICE STATION
NO.11 WAN TAU KOK LANE, TAI PO NEW TERRITORIES
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

BLOCK PLAN

SCALE:

1 : 1000(A3)

DRAWING NO.:

LC-1



ARCHITECTURAL SERVICES DEPARTMENT

Metres
0 5 10 15



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:

ACO
Architectural Consultation Office

DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

LAI CHI KOK HOSPITAL
NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

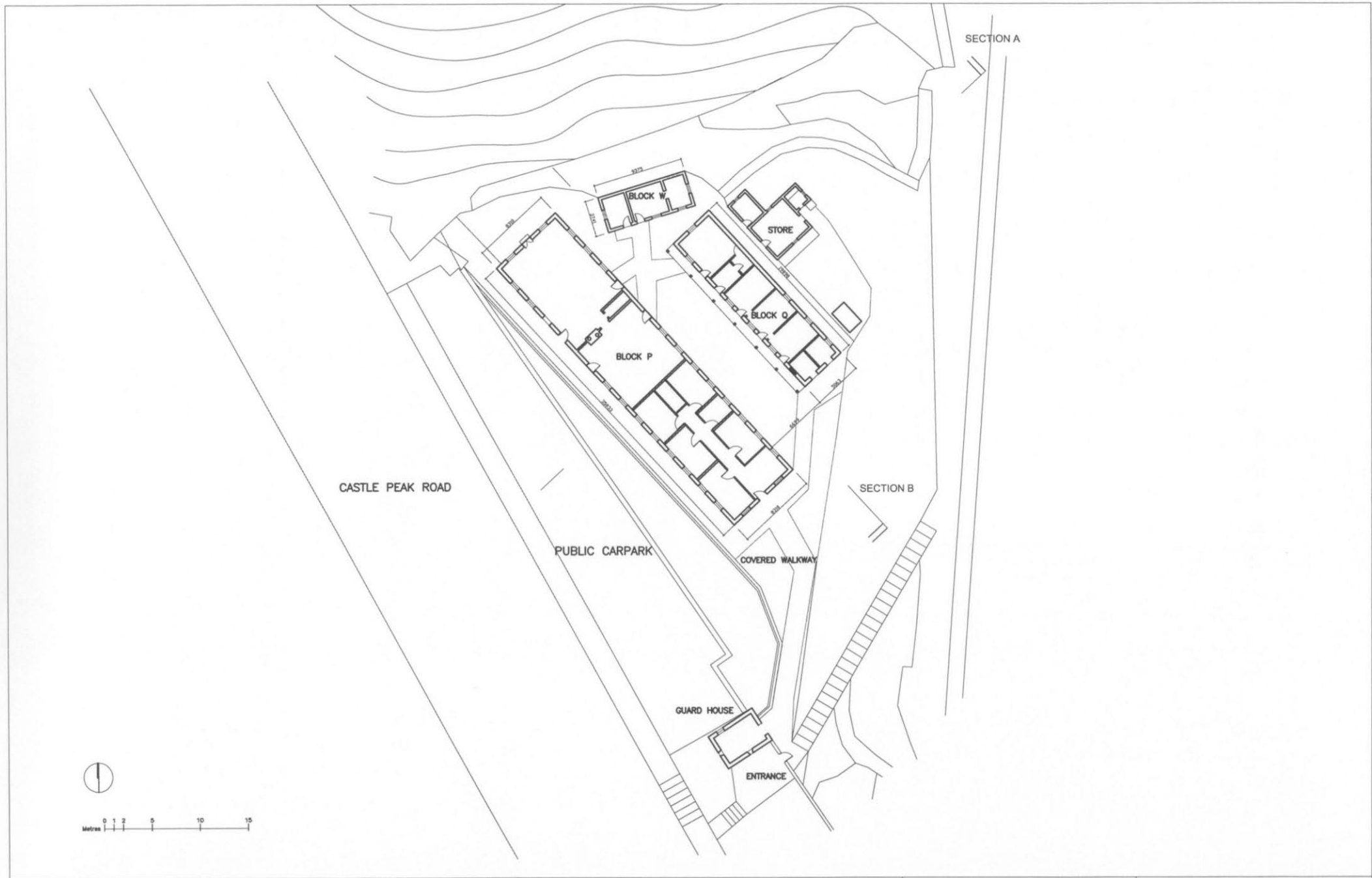
MASTER PLAN

SCALE:

1 : 1000(A4)/1:700(A3)

DRAWING NO.:

LC-1A



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

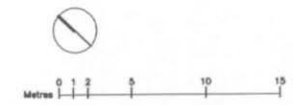
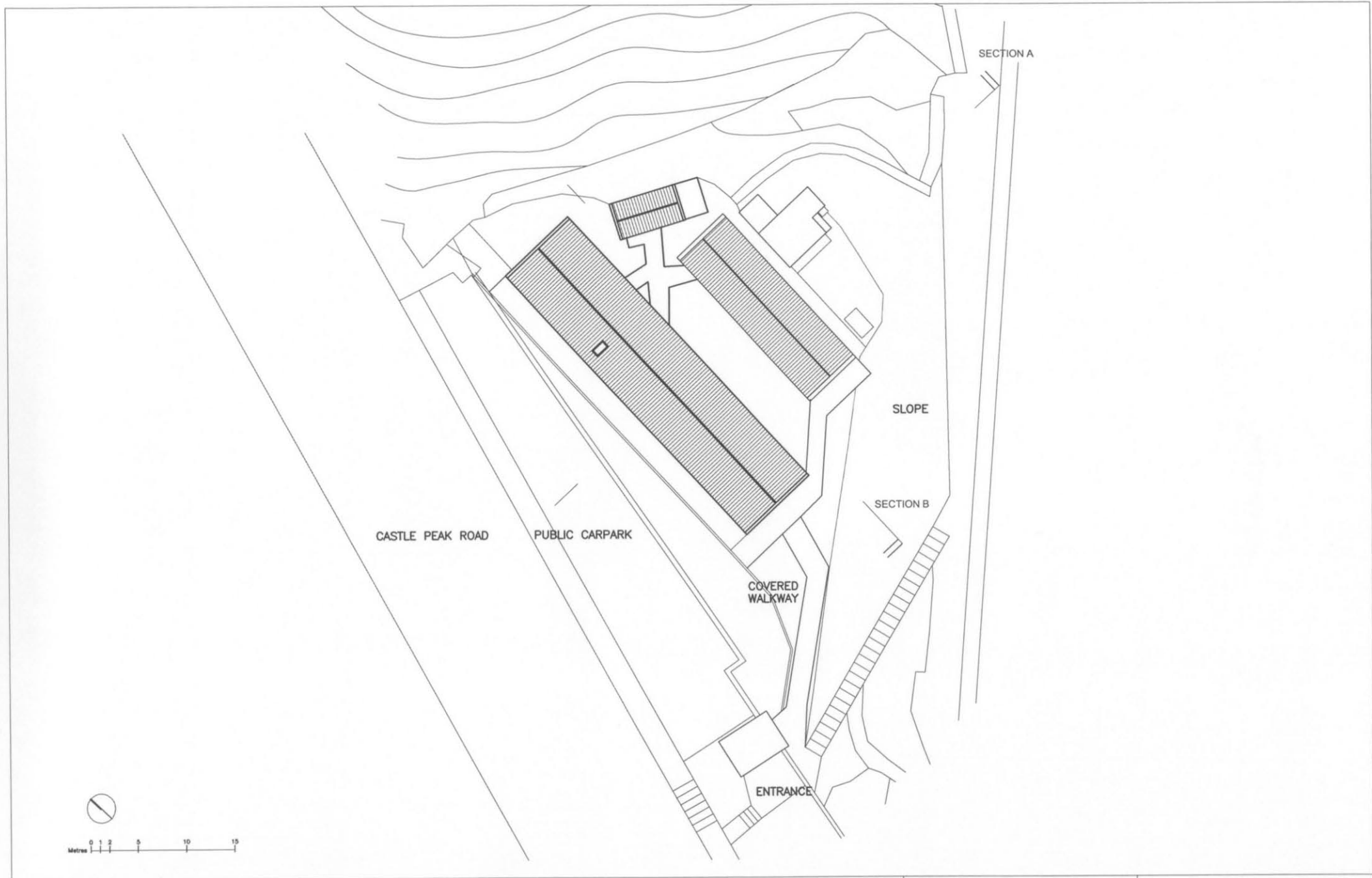
GROUND FLOOR PLAN
 OF LOWER SECTION



SCALE:

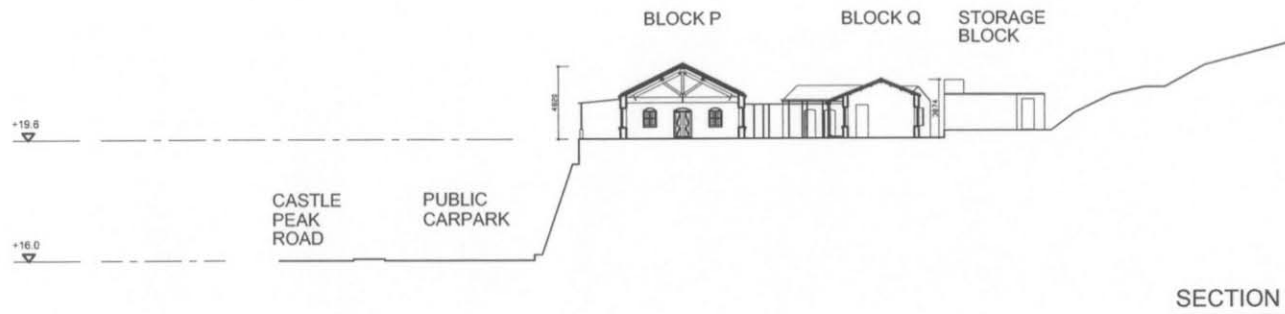
1 : 350(A3) / 1:500(A4)

DRAWING NO.:

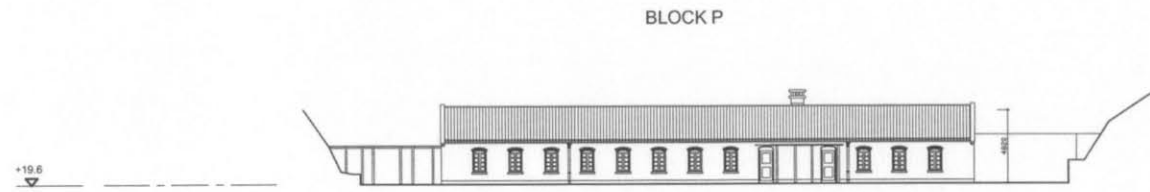
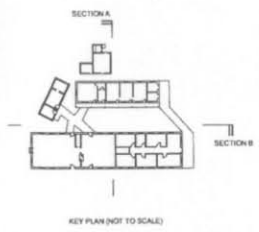
LC-2A



 ARCHITECTURAL SERVICES DEPARTMENT	PRODUCED BY:  Architectural Conservation Office	NOTES: The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.	PROJECT: LAI CHI KOK HOSPITAL NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME	DRAWING TITLE: ROOF PLAN OF LOWER SECTION	DRAWING NO.: <h1>LC-2B</h1>
	DATE OF PRODUCTION: 15/12/2007			SCALE: 1 : 350(A3) / 1:500(A4)	



SECTION A



SECTION B



 ARCHITECTURAL SERVICES DEPARTMENT	PRODUCED BY: Architectural Conservation Office DATE OF PRODUCTION: 15/12/2007	NOTES: The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyors.	PROJECT: LAI CHI KOK HOSPITAL NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME	DRAWING TITLE: SECTION A & B OF LOWER SECTION SCALE: 1 : 350(A3) / 1:500(A4)	DRAWING NO.: <h1>LC-2C</h1>



PRODUCED BY:
ACO
 An Architectural Commission Office
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
 LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: GROUND FLOOR PLAN OF MIDDLE SECTION
 SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.: **LC-3A**



Metres
0
5
10
15



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

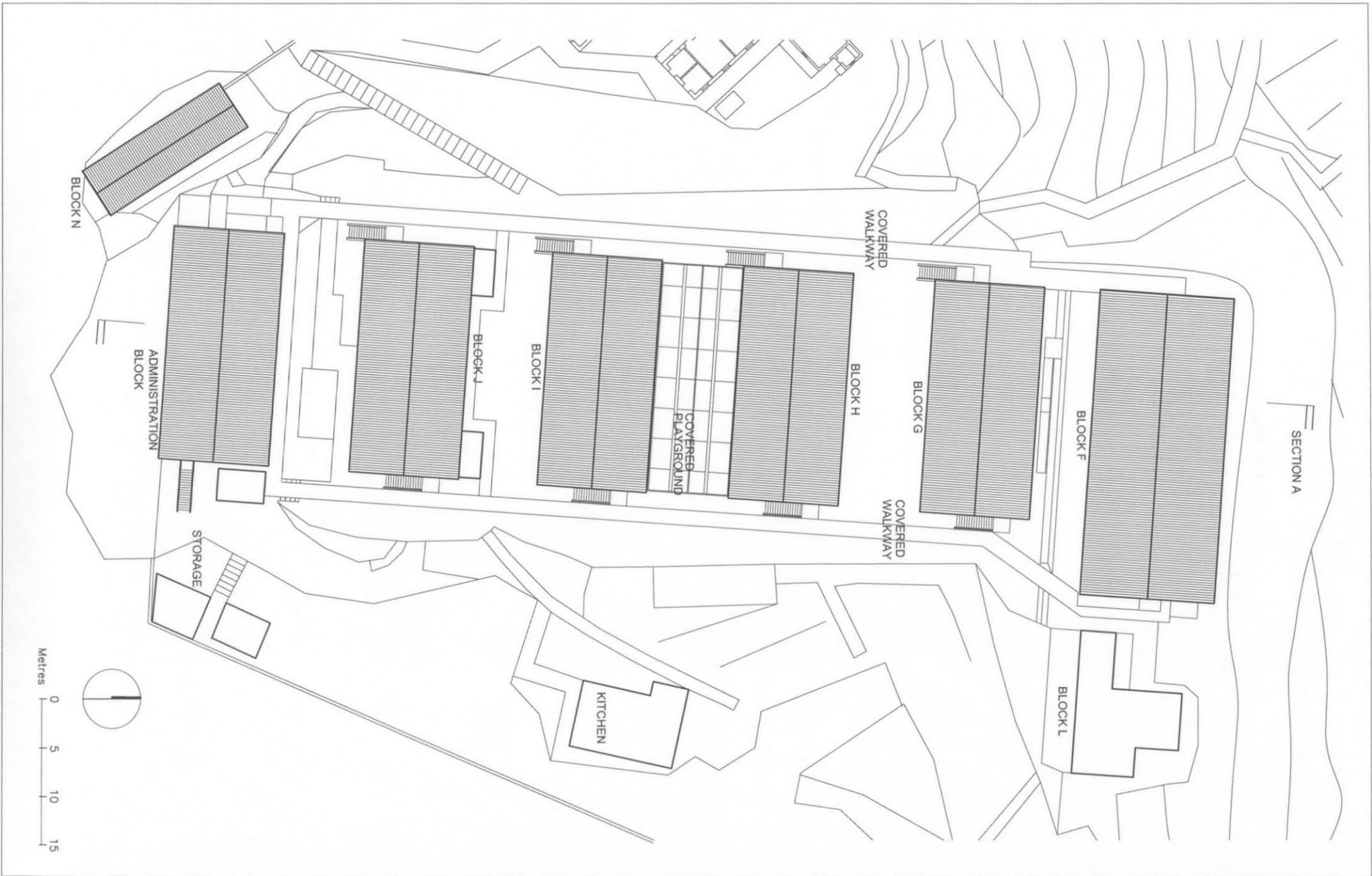
LAI CHI KOK HOSPITAL
NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: FIRST FLOOR PLAN
OF MIDDLE SECTION

SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.:

LC-3B



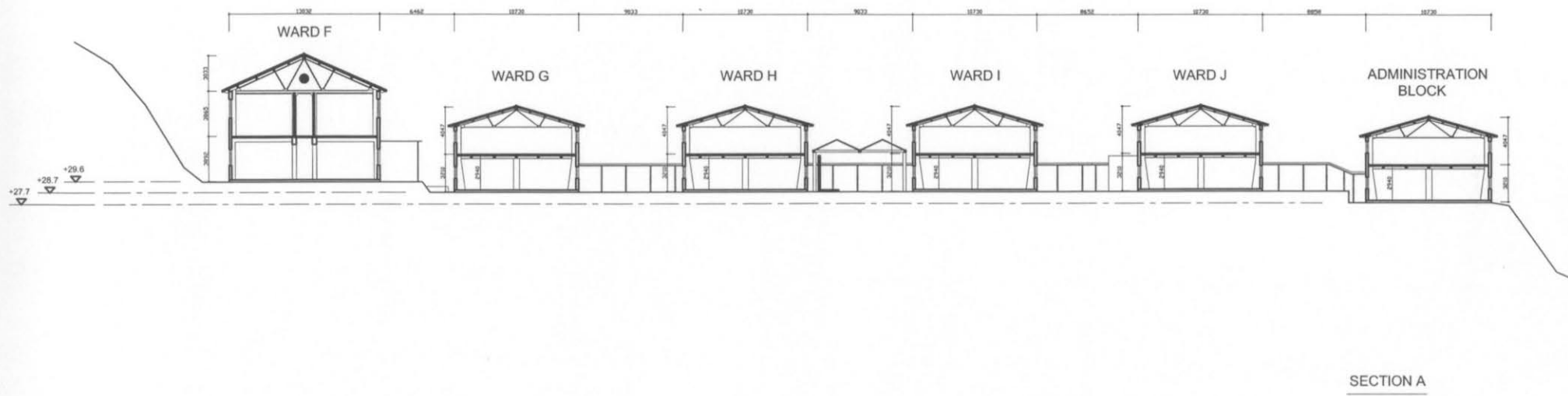
PRODUCED BY:
ACO
Architectural Conservation Office
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimensions, area and layout by authorized land surveyor.

PROJECT:
 LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: ROOF PLAN OF MIDDLE SECTION
 SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.: **LC-3C**



SECTION A



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:

LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

SECTION A
 OF MIDDLE SECTION

SCALE:

1 : 350(A3) / 1:500(A4)

DRAWING NO.:

LC-3D



Metres 0 1 2 5 10 15



PRODUCED BY:
ACO
Architectural Services Department
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
 LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: GROUND FLOOR PLAN OF UPPER SECTION
 SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.: **LC-4A**



 ARCHITECTURAL SERVICES DEPARTMENT	PRODUCED BY:  Architectural Conservation Office DATE OF PRODUCTION: 15/12/2007	NOTES: The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.	PROJECT: LAI CHI KOK HOSPITAL NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME	DRAWING TITLE: FIRST FLOOR PLAN OF UPPER SECTION	DRAWING NO.: LC-4B
			SCALE: 1 : 350(A3) / 1:500(A4)		



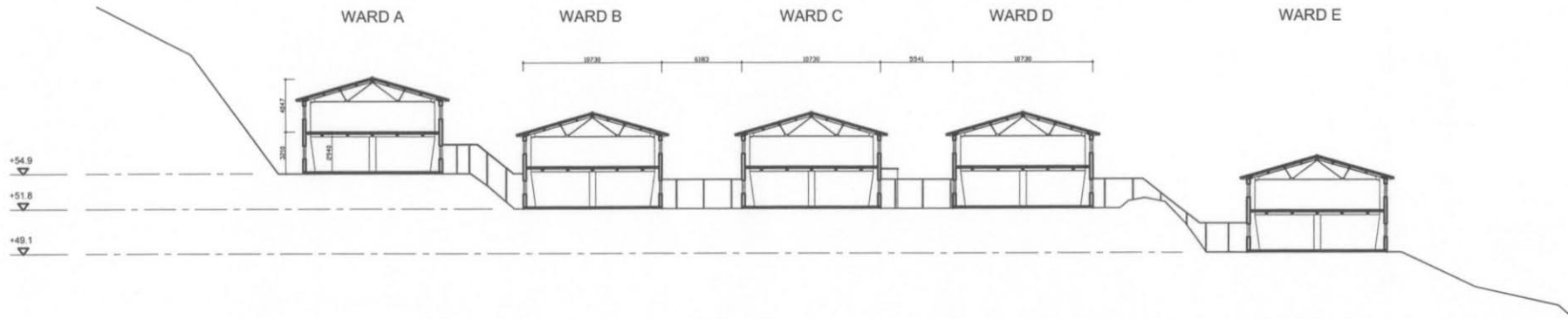
PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
 LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: ROOF PLAN OF UPPER SECTION
 SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.:
LC-4C



SECTION B



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyors.

PROJECT:

LAI CHI KOK HOSPITAL
 NO.800, CASTLE PEAK ROAD, LAI CHI KOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE: SECTION B
 OF UPPER SECTION

SCALE: 1 : 350(A3) / 1:500(A4)

DRAWING NO.:

LC-4D

Appendix VI

Photos of Building



General appearance of blocks at lower section



Elevation of block at lower section



View of covered walkway leading to the blocks at lower section



Internal layout of block at lower section



View of external staircase in front of a block at middle section



Internal layout of 1/F of a block at middle section



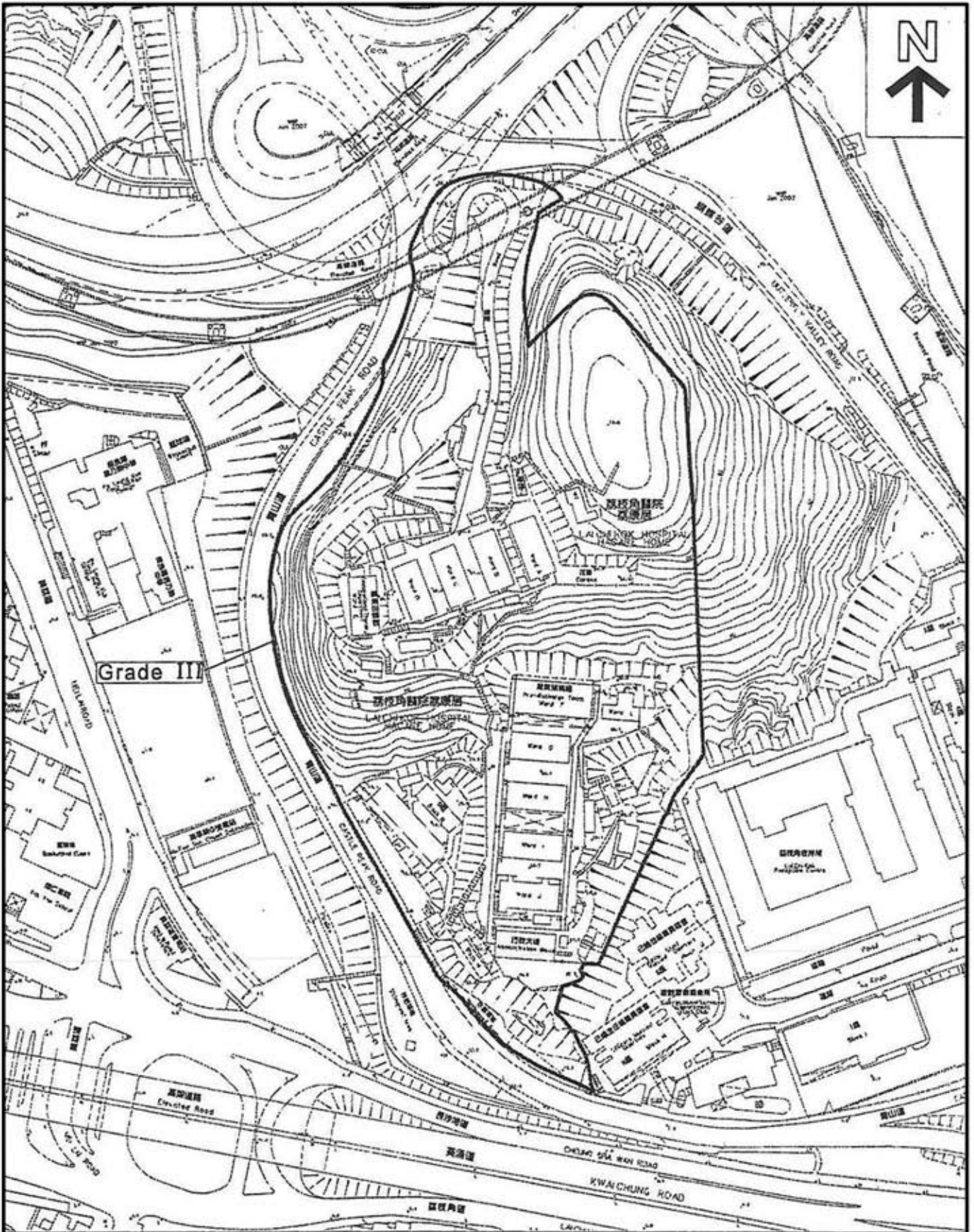
Covered walkway connecting middle section and upper section



View of blocks at upper section

Appendix VII

Grading Boundary Plan



 GRADING BOUNDARY

EXTRACT PLAN PREPARED ON
25 / 10 / 2007 BASED ON
SURVEY SHEET NOS. 11-NW-7B & D

DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL

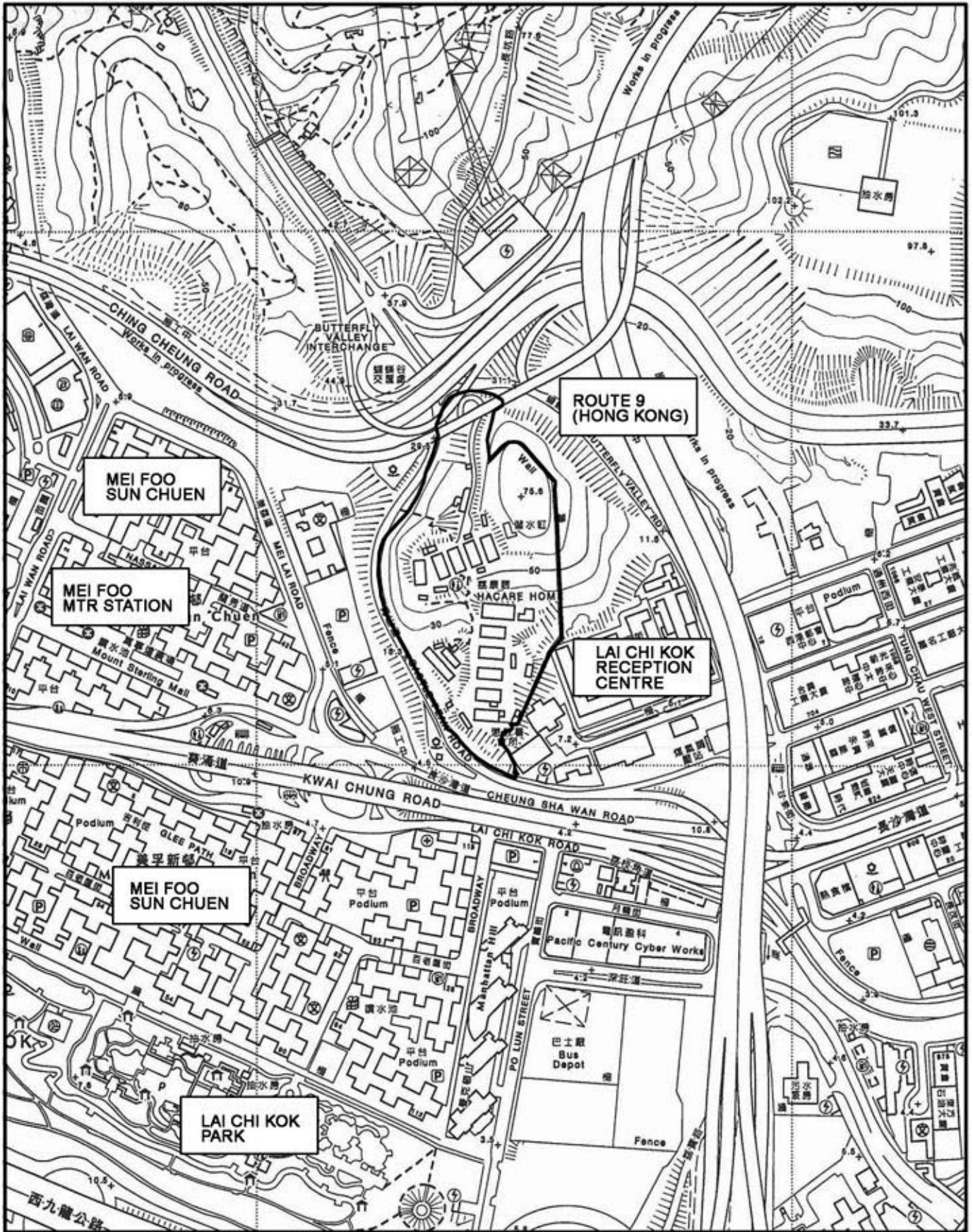
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:

APPENDIX VII
GRADING BOUNDARY
PLAN 1 : 2000

Appendix VIII

Plan Showing Immediate Surrounding



 THE SITE

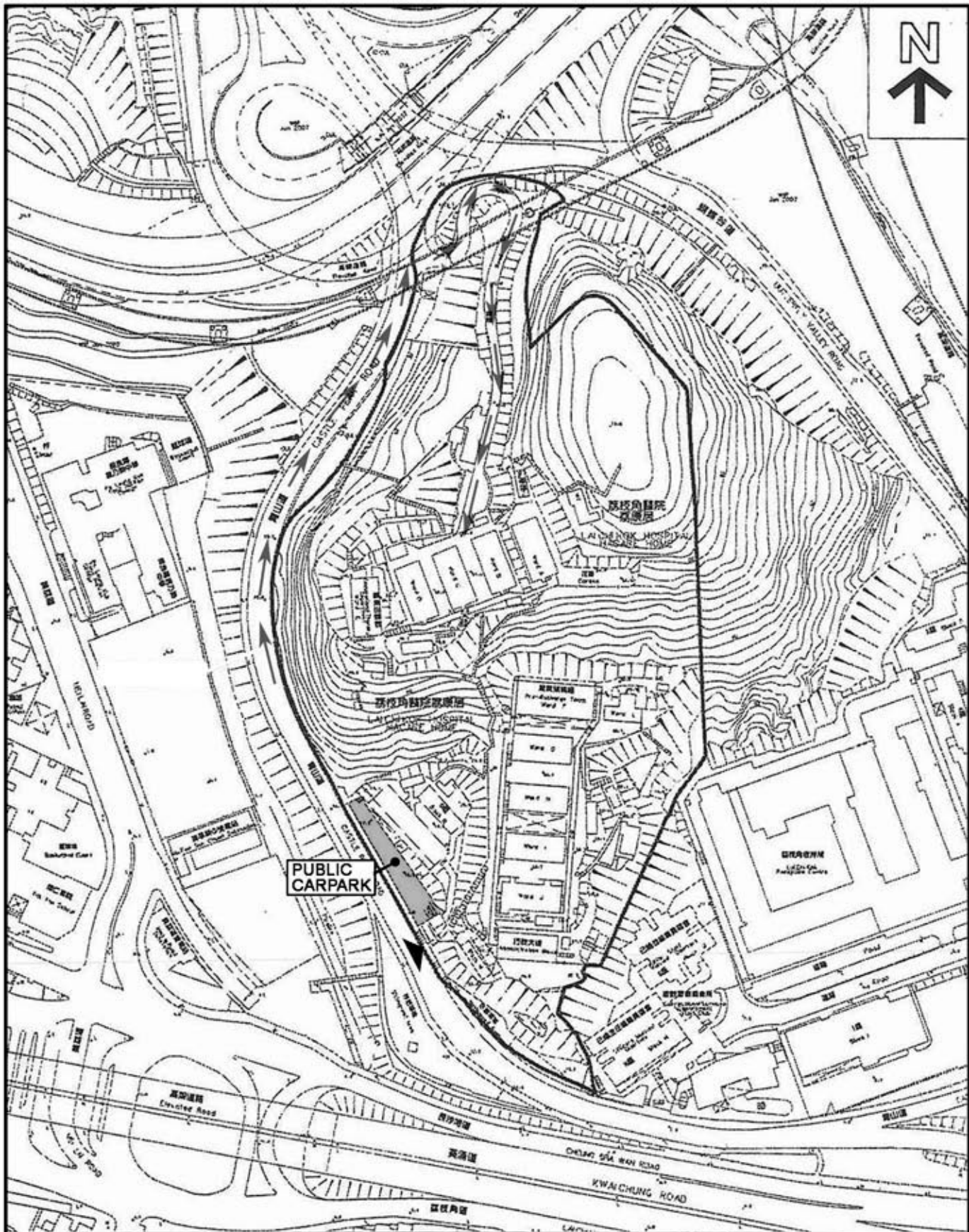
LAI CHI KOK HOSPITAL
 No.800 CASTLE PEAK ROAD, LAI CHI KOK




DRAWING NO.:
APPENDIX VIII
 IMMEDIATE
 SURROUNDING

DATE : 24 / 12 / 2007

Appendix IX

Access Plan



-  THE SITE
-  PEDESTRIAN ACCESS
-  VEHICULAR ACCESS

DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO. :
APPENDIX IX
ACCESS PLAN

Appendix X

List of Architectural Features to be Preserved

Former Lai Chi Kok Hospital
Architectural Features to be Preserved

I. MAIN BUILDINGS

1. BLOCKS A, B, C, D and E

(The buildings were constructed in the same period bearing similar architectural features)

1.1) Painted on rendered brick walls and gable ends



1.2) Pitched roof



1.3) Tapering brickwork reinforcement for columns and buttresses at ground floor.



1.4) Steel I-beams for the roof



2. BLOCKS F, G, H, I, J and K

(The buildings were constructed in the same period bearing bear similar architectural features)

2.1) Painted or rendered brick walls, corbelled garble ends



2.2) Chinese tiled pitched roofs and rafters



2.3) Tapering brickwork reinforcement for columns and buttresses at ground floor



2.4) Steel I-beams for the roof.



3. BLOCK N

3.1) Pitched roof form (roof sheeting is not historic)



3.2) Brick walls with window and door openings



3.3) Remain of the old brick flue



4. BLOCK O (Gatehouse)

4.1) Rubble and brick walls



4.2) Glazed and barred loopholes (2 Nos.)



4.3) Wooden casement windows



5. BLOCK P

5.1) Red brick walls with arched windows and door openings, cement plinth and piers for support roof trusses



5.2) Chinese tiled pitched roof



5.3) Brick chimney



5.4) Cast iron rainwater pipes and hopper heads



5.5) Wooden casement windows with burglar bars and rendered brick cills to window openings



5.6) Framed, ledged, braced and battened doors and glazed and panelled doors



5.7) Granite thresholds and doorways



5.8) Timber King Truss and timber rafters



5.9) Fireplaces (2 Nos.)



6. BLOCK Q1

6.1) Red brick walls with arched window and door openings (doors are not historic)



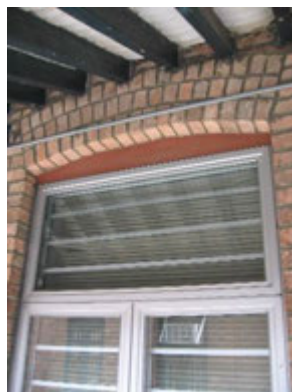
6.2) Chinese tiled pitched roof and verandah with iron posts



6.3) Cast iron rainwater pipes and gutters



6.4) Rendered brick cills and window openings (window are not original)



6.5) Timber roof trusses and rafters



7. BLOCK W1

7.1) Rendered brick walls



7.2) Pitched roof and timber trusses and rafters



7.3) Wooden doors and windows



8. BLOCK W2

8.1) Red brick walls with arched windows, door openings with cement plinth



8.2) Chinese tiled pitched roof



8.3) Wooden casement windows, burglar bars, rendered brick cills and concrete lintels



8.4) Wooden doors and granite thresholds to doorways

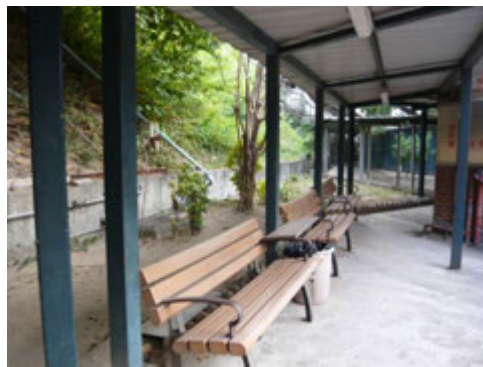


II. OTHER FEATURES

1.1) Rubble retaining walls facing Castle Peak Road and at the Upper Site, as well as supporting slope inside the site



1.2) Planters, flower beds, sitting-out areas and landscaped areas



1.3) Brick incinerator



Appendix XI


**List of Required Treatment to
Architectural Features**


**Former Lai Chi Kok Hospital
Required Treatment to Architectural Features**

I. UPPER SITE


1. BLOCKS A, B, C, D and E


(Since the buildings were constructed in the same period with uniform style, same conservation requirements are applied)


Architectural Feature	Required Treatment
a) External walls	Existing painted walls can be repainted; no restriction on the colour scheme but no permanent paint systems are permitted. Redundant cable, conduits etc, on the walls should be removed and wall surfaces made good to match existing. Remove foliage at the external wall of Block B.
	


Architectural Feature	Required Treatment
b) Roofs	They do not appear original and there is no objection to replacing them with tile roof. But their pitched roof form must be retained.
	


Architectural Feature	Required Treatment
c) Windows and doors	New window or door openings should be kept to minimum. Existing window openings are allowed to be modified as door openings if required to enhance accessibility.
	


Architectural Feature	Required Treatment
d) Electrical installations and Fire Services installations	Disconnect and remove redundant building services and Fire Services installations, make good wall surfaces, and rewire as necessary.
	


Architectural Feature	Required Treatment
e) Ceilings and R.C. beams	Fire proofing treatment may be required to the steel framed ceiling; suspended ceilings should be removed for safety reasons and to facilitate checking of the R.C. beams.
	

Architectural Feature	Required Treatment
f) Internal walls and partitions	Non-loading bearing partitions can be removed to suit new layouts subject to the advice of a Registered Structural Engineer; remove old wall tiling, panelling, etc., make good, prepare and paint internal wall surface with reversible paint. Structural walls, columns and piers must not be removed.
	

Architectural Feature	Required Treatment
g) Toilet, pantries and sanitary fittings	Sanitary fittings, plumbing, partitions, etc., can be removed if not required, wall surfaces made good and drains sealed off as necessary.
	


Architectural Feature	Required Treatment
h) Floors	Quarry tiled floors should be cleaned and polished; screeded floors may be covered by PVC tiles; granite thresholds to doorways must be retained.
	


Architectural Feature	Required Treatment
i) External staircases	External staircases should be checked and replaced to meet safety and fire escape purposes. Serious concrete spalling are found at the external staircase to Block D which should be checked by a Registered Structural Engineer.
	

Architectural Feature	Required Treatment
j) Covered walkways	The covered walkways lining the edge of the Blocks should be removed as their design and materials obstruct the reading of the buildings. If new cover is needed it should be constructed on either side of the Blocks and should be in light materials. Its column layout should not obstruct the passage to the space between Blocks.
	


II. MIDDLE SITE

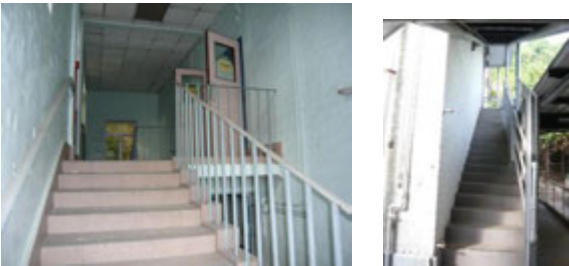
1. BLOCK F


Architectural Feature	Required Treatment
a) External walls	Existing painted walls may be repainted; no restriction on the colour scheme but no permanent paint systems are permitted. Redundant cable, conduits, etc., on the walls should be removed and wall surfaces made good to match existing.
	

Architectural Feature	Required Treatment	
b) Roofs	Check roof leakage and repair where necessary; Waterproofing with specialist roofing material may be required.	
		

Architectural Feature	Required Treatment
c) Windows and doors	New window or door openings should be kept to minimum. Existing window openings are allowed to be modified as door openings, if required, to enhance accessibility.
	

Architectural Feature	Required Treatment
d) Toilet, pantries and sanitary fittings	Sanitary fittings, plumbing, partitions, etc., may be removed if not required, wall surfaces made good and drains sealed off as necessary.
	

Architectural Feature	Required Treatment
e) External and internal staircases	All staircases must be checked and upgraded to meet safety and fire escape purposes.
	

Architectural Feature	Required Treatment
f) Internal walls and partitions	Non-loading bearing partitions can be removed to suit new layouts subject to the advice of a Registered Structural Engineer; Structural walls and columns must not be removed.
	


Architectural Feature	Required Treatment
g) Ceilings	Suspended ceilings should be removed to expose trusses and to facilitate roof checking
	

Architectural Feature	Required Treatment
h) Floors	Quarry tiled floors should be cleaned and polished; granite thresholds to doorways must be retained.
	

Architectural Feature	Required Treatment
i) Cover at Block F	The cover should be removed and replaced if needed by lighter material.
	


2. BLOCKS G, H, I, and J


(Since the buildings were constructed in the same period with uniform style, same conservation requirements are therefore applied)


Architectural Feature	Required Treatment
a) External walls	Existing painted walls may be repainted; no restriction on the colour scheme but no permanent paint systems are permitted. Redundant cable, conduits etc, on the walls should be removed and wall surfaces made good to match existing.
	


Architectural Feature	Required Treatment
b) Roofs	Check and repair pitched roofs for leakage; waterproofing with specialist roofing material may be required.
	

Architectural Feature	Required Treatment
c) Windows and doors	New window or door openings should be kept to minimum. Existing window openings are allowed to be modified as door openings, if required, to enhance accessibility.
	


Architectural Feature	Required Treatment
d) Electrical installations and Fire Services installations	Disconnect and remove redundant building services and Fire Services installations, make good wall surfaces, and rewire as necessary.
	


Architectural Feature	Required Treatment
e) R.C. beams and ceilings	Structural repairs may be required to R.C. beams, floor and roof slabs as directed by a Registered Structural Engineer. Suspended ceilings should be removed in order to expose the trusses.
	


Architectural Feature	Required Treatment
f) Internal walls and partitions	Non-loading bearing partitions may be removed to suit new layouts subject to the advice of a Registered Structural Engineer; remove old wall tiling, panelling, etc., make good, prepare and paint internal wall surface with reversible paint. Structural walls, columns and buttresses must not be removed.
	

Architectural Feature	Required Treatment
g) Toilet, pantries and sanitary fitments	Sanitary fitments, plumbing, partitions, etc., can be removed if not required, wall surfaces made good and drains sealed off as necessary.
	


Architectural Feature	Required Treatment
h) Floors	Quarry tiled floors should be cleaned and polished; granite thresholds to doorways must be retained.
	


Architectural Feature	Required Treatment
i) External staircases	External staircases must be checked and replaced to meet safety and fire escape purposes. Concrete spalling are found in some external staircases, e.g. Block J, they should be checked by a Registered Structural Engineer.
	

Architectural Feature	Required Treatment
j) Canopies	Existing temporary covers and canopies to the buildings should be removed to expose the façades of the buildings or reconstructed with light materials in order not to obstruct the buildings' façades.
	


Architectural Feature	Required Treatment
k) Covered walkways	The covered walkways lining the edge of the Blocks should be removed as their design and materials obstruct the reading of the Wards. If new cover is needed it should be constructed on either side of the Blocks and should be in light materials. Its column layout should not obstruct the passage to the space between Blocks.
	


3. BLOCK K (Administration Block)


Architectural Feature	Required Treatment
a) External walls	Existing painted walls can be repainted; no restriction on the colour scheme but no permanent paint systems are permitted. Redundant cable, conduits etc, on the walls should be removed and wall surfaces made good to match existing.
	

Architectural Feature	Required Treatment
b) Roof	Pitched roof may require repairs and waterproofing with specialist roofing material; Repair and repaint rainwater pipes and gutters.
	


Architectural Feature	Required Treatment
c) Equipment and furniture	Abandoned furniture, equipment and internal spilt type AC units can be discarded or returned to the appropriate government departments if required.
	


Architectural Feature	Required Treatment
d) Ceiling	Suspended ceiling can be removed if not required.
	


Architectural Feature	Required Treatment
e) Internal walls and partitions	Non-loading bearing partitions can be removed to suit new layouts subject to the advice of a Registered Structural Engineer; remove old wall tiling, panelling, etc., make good, prepare and paint internal wall surface with reversible paint.
	


Architectural Feature	Required Treatment
f) Toilet, pantries and sanitary fittings	Sanitary fittings, plumbing, partitions, etc., can be removed if not required, wall surfaces made good and drains sealed off as necessary.
	


4. BLOCK N

Architectural Feature	Required Treatment
a) External walls	Remove plants and foliage on the garble wall to avoid penetration of the plant roots to damage the brick wall.
	

Architectural Feature	Required Treatment
b) Windows and doors	All doors and windows of the building are in dilapidated condition. They should be replaced with timber doors in traditional style.
	


Architectural Feature	Required Treatment
c) Furniture, equipment and signage	Abandoned furniture, equipment and redundant signage should be discarded and rooms to be tidied up.
	

Architectural Feature	Required Treatment
d) Toilets	Sanitary fitments, plumbing, partitions, etc, can be removed if not required, wall surfaces made good and drains sealed off as necessary.
	


Architectural Feature	Required Treatment
e) Internal walls	Patch repair and repaint internal walls with reversible paint. Non-loading bearing walls may be removed subject to the advice of a Registered Structural Engineer. Remains of the old flue should be kept.
	


III. LOWER SITE


1. BLOCK O

Architectural Feature	Required Treatment
a) External walls (one elevation with brick infill)	Must not be painted or treated with permanent coating systems.
	

Architectural Feature	Required Treatment
b) Windows	Repair, overhaul and repaint wooden casements, retain glazed and barred loopholes.
	


Architectural Feature	Required Treatment
c) Internal walls and ceiling	Repair structural cracks in walls, prepare and repaint walls and ceiling.
	


Architectural Feature	Required Treatment
d) Furniture and equipment	Abandoned furniture and equipment may be discarded or returned to the appropriate government department(s) if required.
	

Architectural Feature	Required Treatment
e) Electrical installations	Disconnect and remove redundant building services installations, make good wall surfaces, and rewire as necessary.
	


Architectural Feature	Required Treatment
f) Floor	Repair structural cracks in floor and replace PVC floor tiles if required.
	


2. BLOCK P


Architectural Feature	Required Treatment
a) External walls	Red brick walls must not be painted or treated with permanent coating systems. Structural cracks in gable end wall should be repaired.
	

Architectural Feature	Required Treatment
b) Roof	Replace rotten roof timbers and waterproof roof with specialist roofing material as necessary; repair damaged chimney stack; remove foliage on roof and make good damaged tiles where necessary.
	


Architectural Feature	Required Treatment
c) Windows and doors	Repair, overhaul and repaint wooden doors and casement windows; repair damaged window cills.
	


Architectural Feature	Required Treatment
d) Beams and King Truss system	To install termite monitoring system to the timber truss
	

Architectural Feature	Required Treatment
e) Ceilings	Suspended ceilings should be removed to check for roof leakage.
	

Architectural Feature	Required Treatment
f) Furniture, equipment and signage	Abandoned furniture, equipment and redundant signage can be discarded or returned to the appropriate government department(s) if required.
	

Architectural Feature	Required Treatment
g) Electrical installations and Fire Services installations	Disconnect and remove redundant building services and Fire Services installations and ducting, make good wall surfaces, and rewire as necessary.
	


Architectural Feature	Required Treatment
h) Toilets	Sanitary fitments, plumbing, partitions, etc, can be removed if not required, wall surfaces made good and drains sealed off as necessary.
	


Architectural Feature	Required Treatment
i) Internal partitions	Non-loading bearing partitions can be removed to suit new use layouts subject to the advice of a Registered Structural Engineer.
	

Architectural Feature	Required Treatment
j) Internal walls	Remove old paneling, make good, prepare and paint internal wall surfaces with reversible paint systems.
	


Architectural Feature	Required Treatment
k) Floor	Quarry tiled floor should be cleaned and polished; screeded floors may be covered with PVC floor tiles; granite thresholds to doorways must be retained.
	


Architectural Feature	Required Treatment
l) Fireplaces (2 nos.)	Old fireplaces must be retained and restored; Method Statement should be submitted to AMO for approval.
	


Architectural Feature	Required Treatment
m) Cast iron rainwater pipes, hopper heads and gutters	Remove foliage in hopper heads in order to avoid blockage; repair and replace defective rainwater pipes and gutters.
	


Architectural Feature	Required Treatment
n) Covered walkway over the verandah of Block P	The cover should be removed in order to reveal the building façades.
	


3. BLOCK Q1

Architectural Feature	Required Treatment
a) External walls	Red brick walls must not be painted or treated with permanent coating systems.
	


Architectural Feature	Required Treatment
b) Roof	Replace any rotten roof timbers and waterproof roofs with specialist roofing material as necessary.
	

Architectural Feature	Required Treatment
c) Truss systems and ceilings	Repaint and install termite monitoring systems to truss system. Suspected ceiling should be removed in order to expose the original timber truss. There is serious spalling in some rooms and temporary proppings are in place. Repair defective truss and remove proppings, subject to the advice of a Registered Structural Engineer.
	


Architectural Feature	Required Treatment
d) Internal walls	Repair cracks on walls. Non-loading bearing partition walls may be removed, subject to the advice of a Registered Structural Engineer.
	

Architectural Feature	Required Treatment
e) Projecting canopy	Repair and stabilize defective timber subject to advice of a Registered Structural Engineer. Replace damaged tiles.
	

4. BLOCK W1


Architectural Feature	Required Treatment
a) Roof	Pitched roof should be kept but no conservation requirement for flat roof.
	


Architectural Feature	Required Treatment
b) Ceilings and truss	Install termite monitoring system to timber areas.
	


Architectural Feature	Required Treatment
c) Windows and doors	Casement windows and timber panelled doors should be repaired, overhauled and repainted. Other new doors and windows may be replaced. All air-conditioning units should be removed if not required.
	


Architectural Feature	Required Treatment
d) Internal walls and partitions	Non-loading bearing partition wall may be removed, subject to the advice of a Registered Structural Engineer.


5. BLOCK W 2

Architectural Feature	Required Treatment
a) External walls	Red brick walls must not be painted and treated with permanent coating systems.
	



Architectural Feature	Required Treatment
b) Roof	Replace any rotten roof timbers and waterproof roofs with specialist roofing material as necessary; remove foliage of the garble end.
	

Architectural Feature	Required Treatment
c) Truss system and ceiling	Repaint and install termite monitoring systems to truss system. Suspected ceiling should be removed in order to expose the original timber truss.
	


Architectural Feature	Required Treatment
d) Windows and doors	Casement windows and timber doors are historic and they should be repaired, overhauled and repainted.
	



Architectural Feature	Required Treatment
e) Internal walls	Remove glazed wall tiles and make good, prepare and paint internal wall surfaces. Non-loading bearing partition wall may be removed, subject to the advice of a Registered Structural Engineer.
	



IV. OUTBUILDINGS AND OTHER FEATURES


Architectural Feature	Required Treatment
a) Blocks L, M, S1, S2, S3, S5, S6, S8, S9, S11, R, T, U, X, Y, Z1,Z2 and Z3,	No special conservation requirements for these outbuildings; normal repairs and redecorations and re-roofing if necessary. Demolition of some buildings may be permitted, subject to approval of AMO.
	


Architectural Feature	Required Treatment
b) Boundary fencings	Check and upgrade to current safety standards.
	

Architectural Feature	Required Treatment
c) Trees and shrubs	Undertake a horticultural survey of the existing trees and shrubs on the site, as some may be of special interest. All valuable and mature trees must be preserved in-situ.
	



Architectural Feature	Required Treatment
d) Footpaths	All footpaths should be upgraded to current safety standards.
	

Architectural Feature	Required Treatment
e) Garden and planter areas	Upkeep and tidy up the existing planter areas.
	

Architectural Feature	Required Treatment
f) Rubble retaining walls and slope	Rubble walls should be left unpainted.
	

Architectural Feature	Required Treatment
g) Incinerator	The brick incinerator should be preserved in-situ and left unpainted.
	

Architectural Feature	Required Treatment
h) Jockey Club Lai Chi Kok Garden and Jockey Club Lai Hong Garden	They are not historic and therefore no special conservation requirements. They can be demolished if necessary.
	

Architectural Feature	Required Treatment
i) Ruined and temporary structures within the complex	No objection to demolition of the ruined and/ or temporary structures in order to give space for new development, if necessary.
	


Appendix XII

List of Recommended Treatment to Architectural Features

**Former Lai Chi Kok Hospital
Recommended Treatment to Architectural Features**


I. UPPER SITE

1. BLOCKS A, B, C, D and E


Architectural Feature	Recommended Treatment
a) Windows and doors	Recommended to replace all steel and aluminum framed windows and doors with timber ones. Air-conditioning units, if required, are recommended to be provided in less obvious locations or by discrete split-unit type.
	


II. MIDDLE SITE

1. BLOCK F


Architectural Feature	Recommended Treatment
a) Windows and doors	Recommended to replace all steel and aluminum framed windows and doors with timber ones. Air-conditioning units, if required, are recommended to be provided in less obvious locations or by discrete split-unit type.
	

2. BLOCKS G, H, I, and J

Architectural Feature	Recommended Treatment
a) Windows and doors	Recommended to replace all steel and aluminum framed windows and doors with timber ones. Air-conditioning units, if required, are recommended to be provided in less obvious locations or by discrete split-unit type.
	


Architectural Feature	Recommended Treatment
b) New steel cover between Blocks G and H	Recommended to remove this steel cover or reconstruct it with lighter materials in order not to obstruct the façades of the buildings
	

3. BLOCK K (Administration Block)

Architectural Feature	Recommended Treatment
a) Windows and doors	Recommended to replace all aluminum framed windows and doors with timber ones. Air-conditioning units, if required, are recommended to be provided in less obvious locations or by discrete split-unit type.
	

4. BLOCK N


Architectural Feature	Recommended Treatment
a) External walls	Recommended to remove paint to expose the brick surface
	

Architectural Feature	Recommended Treatment
b) Roof and ceiling	Recommended to re-roofing of the pitched roof with specialist roofing material.
	


Architectural Feature	Recommended Treatment
c) Canopy	Recommended to remove the canopy or reconstruct it with lighter materials.
	

III. LOWER SITE

1. BLOCK O

Architectural Feature	Recommended Treatment
a) Glazed reception kiosk attached to the building	Recommended to demolish the kiosk and fit with new entrance door.
	

2. BLOCK Q1

Architectural Feature	Recommended Treatment
a) Windows and doors	Existing windows and doors do not appear historic and recommended to be replaced by traditional style ones. Reference can be made to Block P.
	

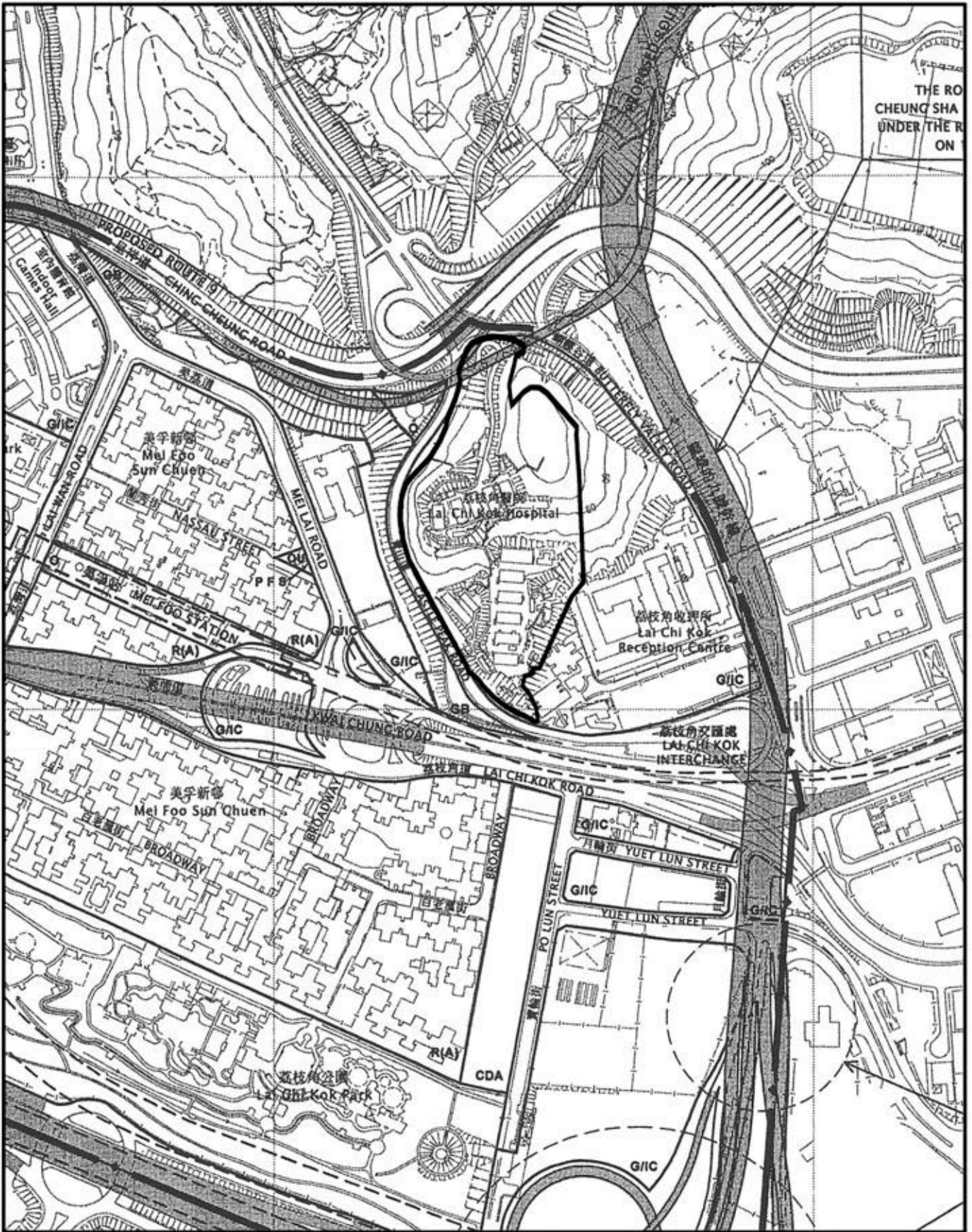
3. BLOCK W1

Architectural Feature	Recommended Treatment
a) External walls	Recommended to scrape off paint to walls and brickwork restored to match the other blocks.
	

Architectural Feature	Recommended Treatment
b) Water tank at roof	Remove redundant water tank on flat roof if not required.
 A photograph showing a concrete water tank structure on a flat roof. The tank is a rectangular, open-topped structure with a flat top surface. It is situated on a light-colored concrete or masonry roof. In the background, there are green trees and a clear sky. The building's exterior wall is visible at the bottom left, showing a window with a dark frame.	

Appendix XIII

Outline Zoning Plan



 THE SITE

EXTRACT PLAN PREPARED ON
OUTLINE ZONING PLAN No.
S/K16/14 GAZETTED ON 12 / 04 / 2005

DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL

No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:

APPENDIX XIII

OUTLINE ZONING PLAN

1 : 5000

GOVERNMENT, INSTITUTION OR COMMUNITY

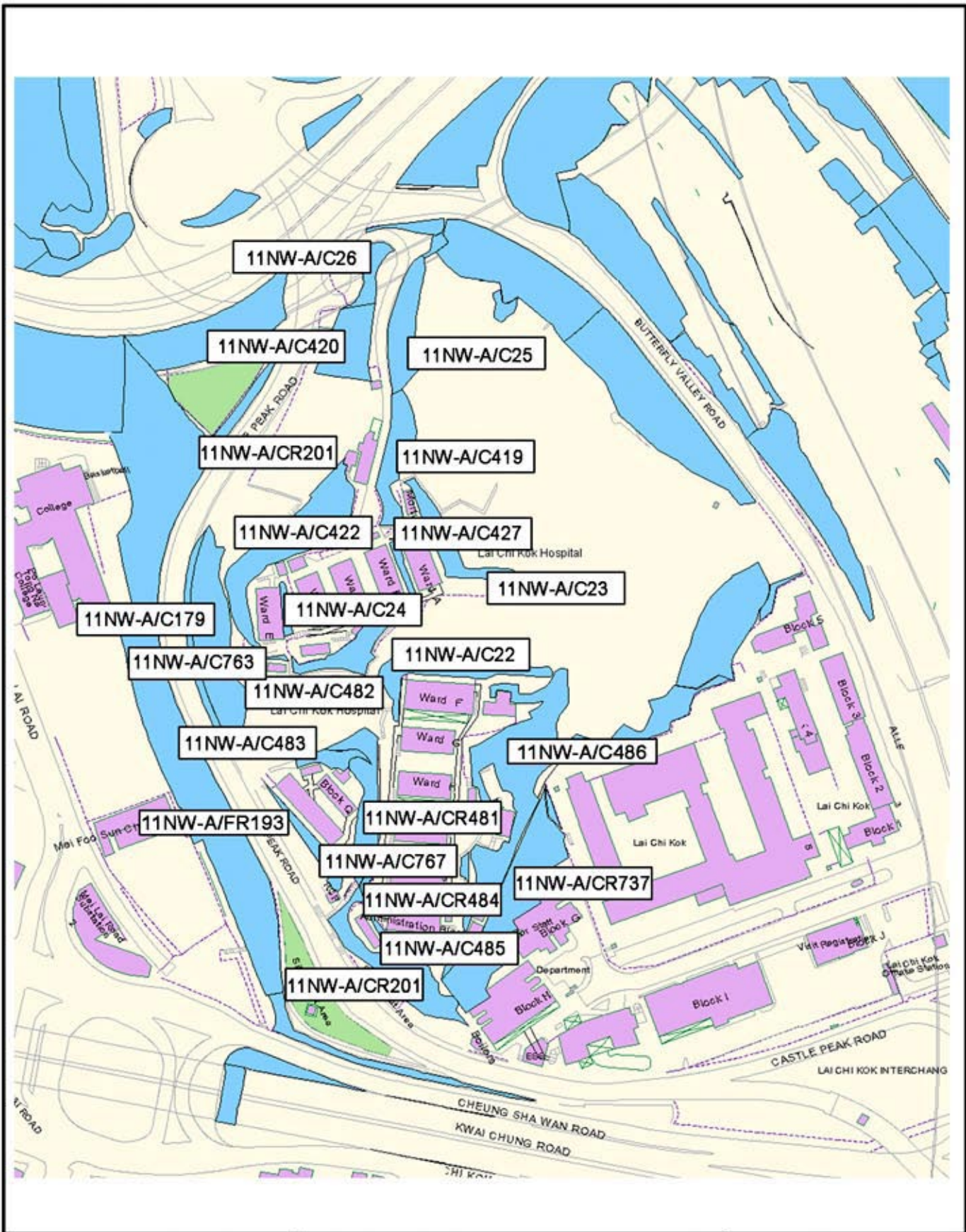
Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Columbarium Correctional Institution Crematorium Driving School Eating Place (not elsewhere specified) Flat Funeral Facility Helicopter Filling Station Helicopter Landing Pad Holiday Camp Hotel House Mass Transit Railway Vent Shaft and/or Other Structure above Ground Level other than Entrances Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

Appendix XIV

Slope Features



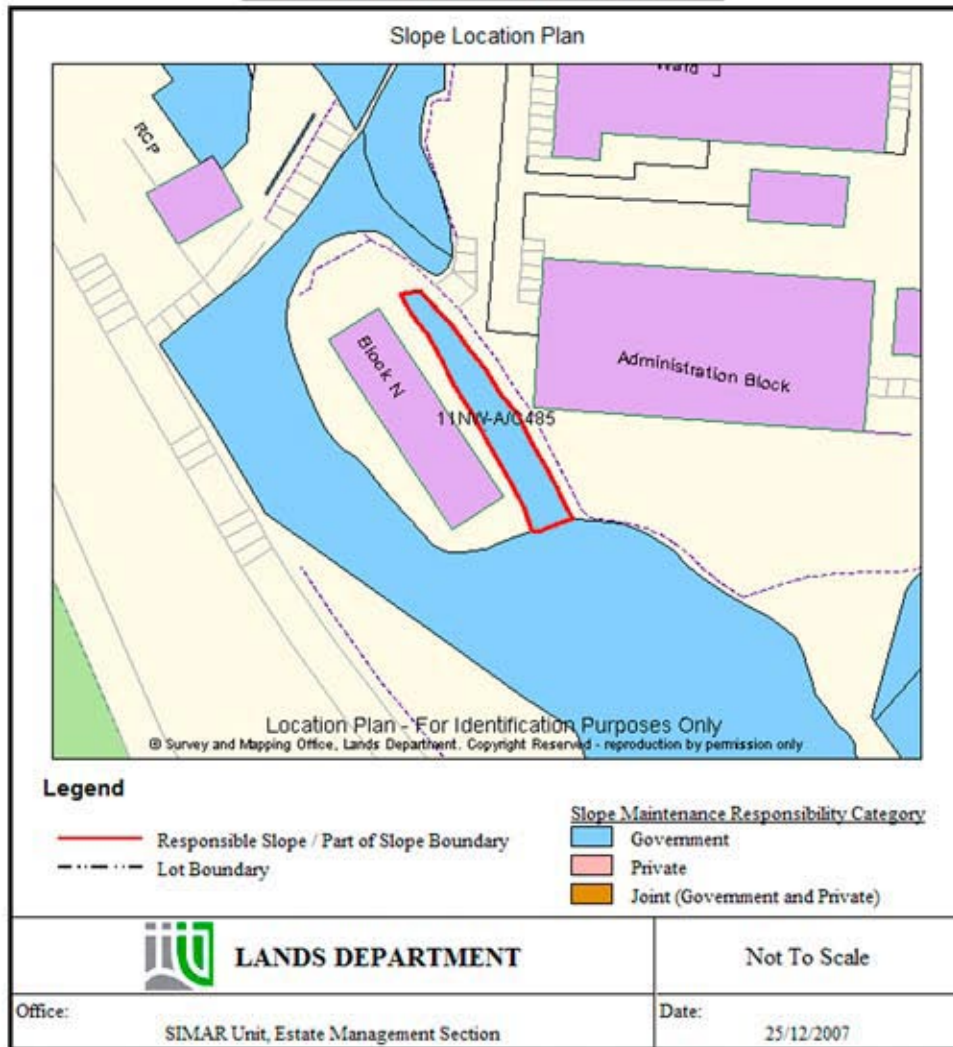
DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL
 No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
 (1/ 22)

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



IASMP01001

SIMAR REGISTER

25/12/2007 01:18 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A-C485		WITHIN QLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

- * Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

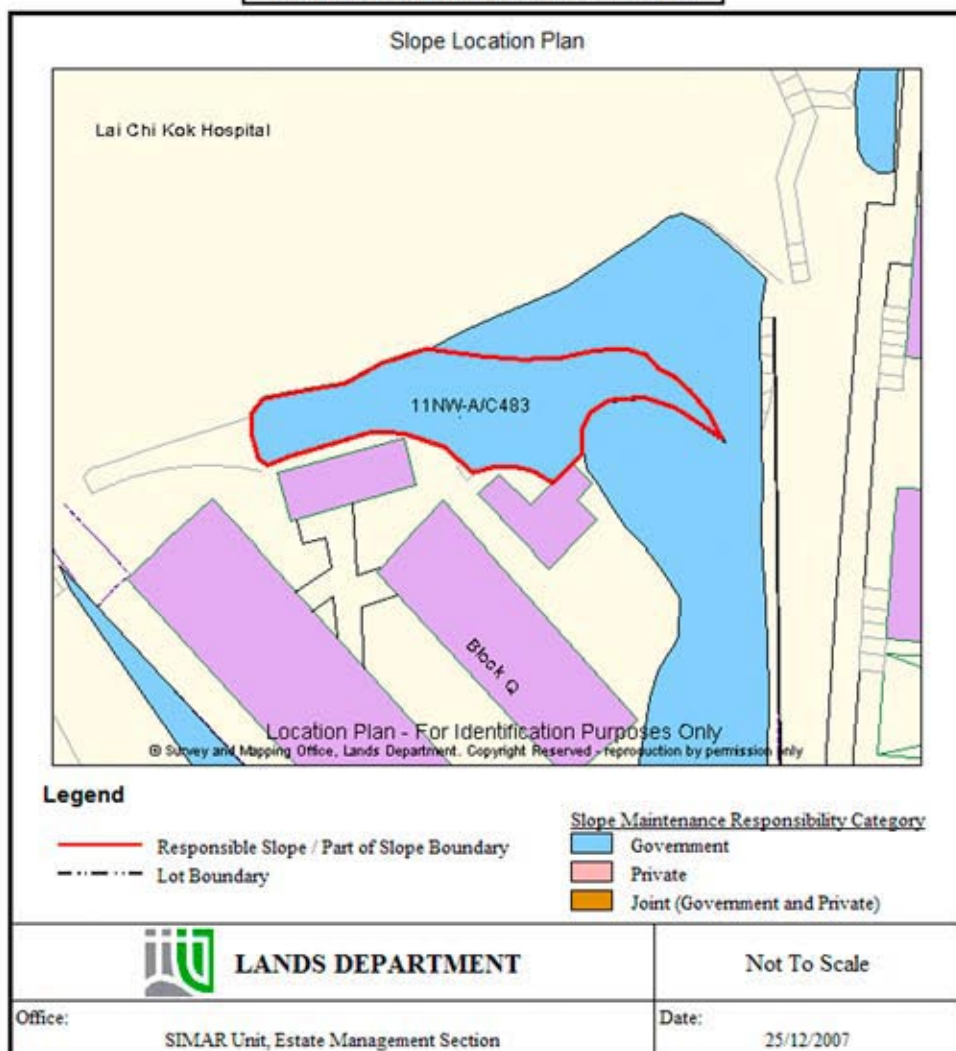
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(2/ 22)

DATE : 24 / 12 / 2007

Slope Report

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Slope Number
11NW-A/C483

IASMP01001

SIMAR REGISTER

25/12/2007 01:14 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/C483		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

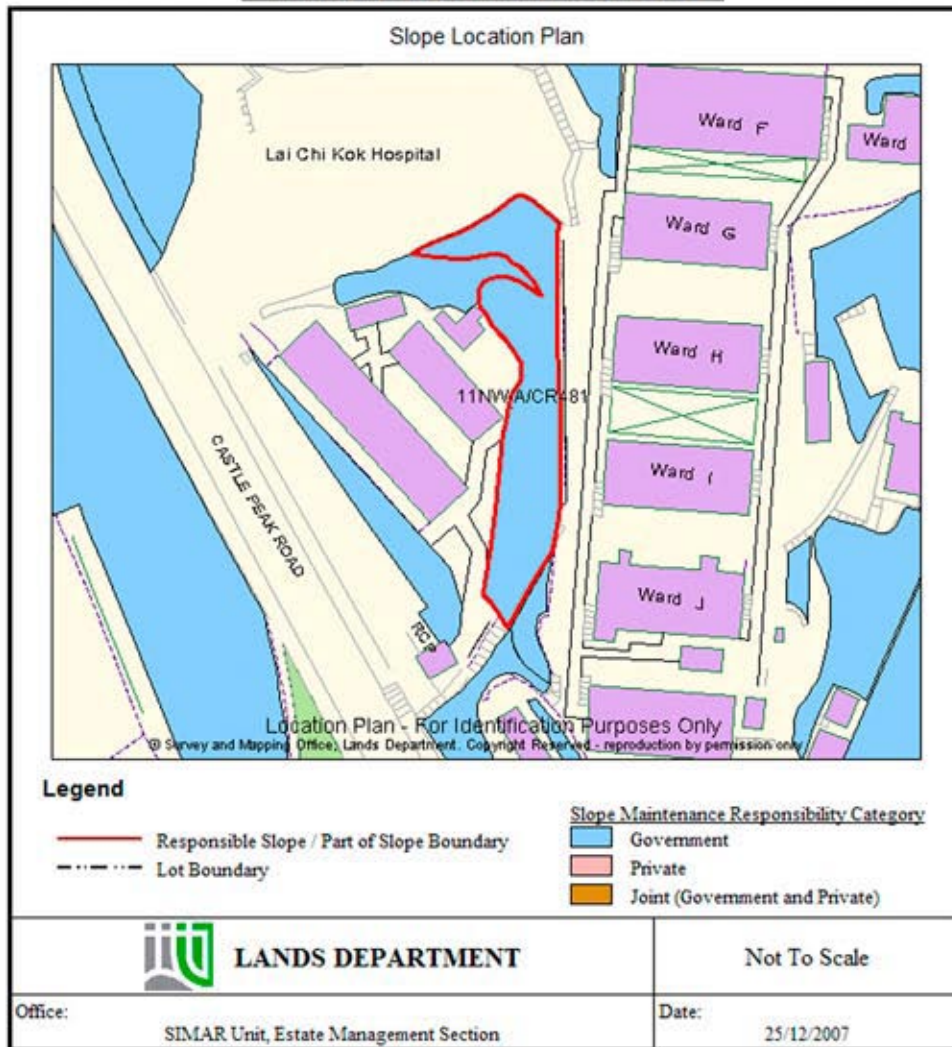
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SLOPE FEATURES
(3/ 22)

DATE : 24 / 12 / 2007

Slope Report

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Slope Number
11NW-A/CR481

IASMP01001

SIMAR REGISTER

25/12/2007 01:11 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/CR481		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

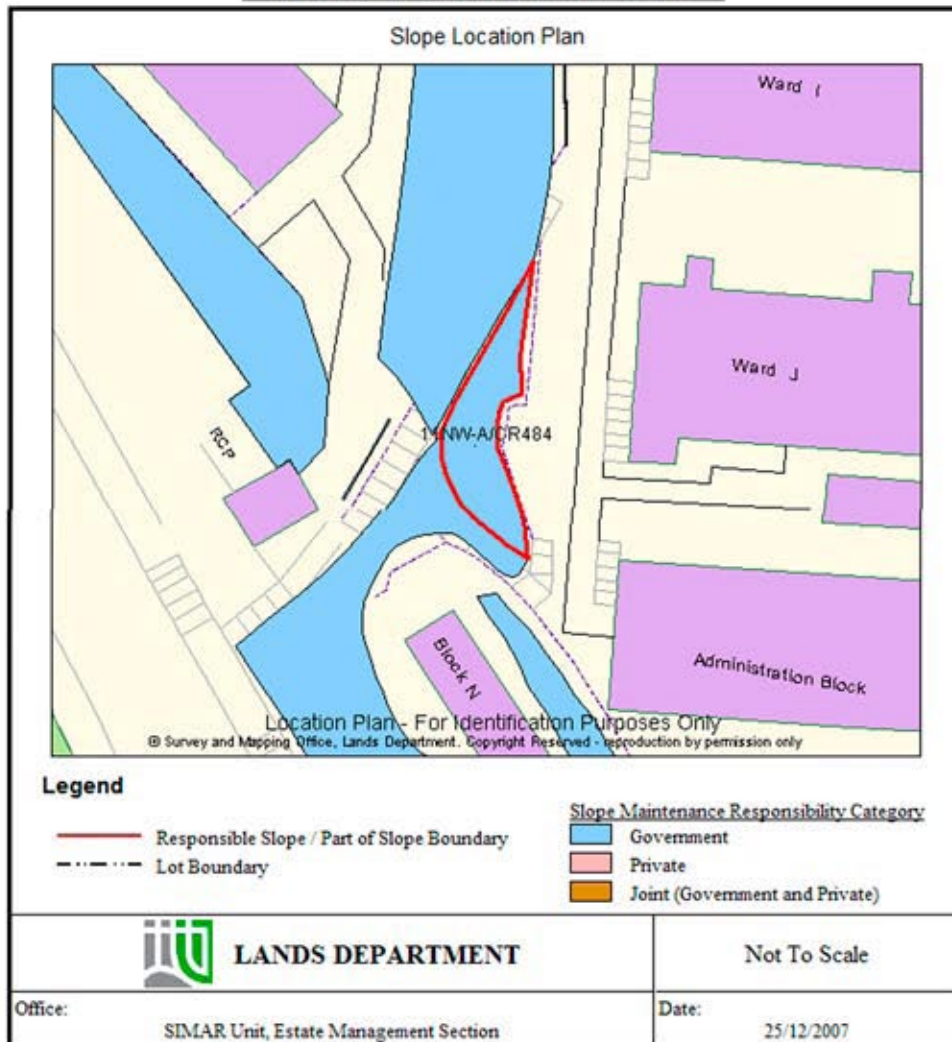
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

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APPENDIX XIV
SLOPE FEATURES
(4/ 22)

DATE : 24/12/2007

Slope Report

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Slope Number
11NW-A/CR484

IASMP01001 **SIMAR REGISTER** 25/12/2007 01:07 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/CR484		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

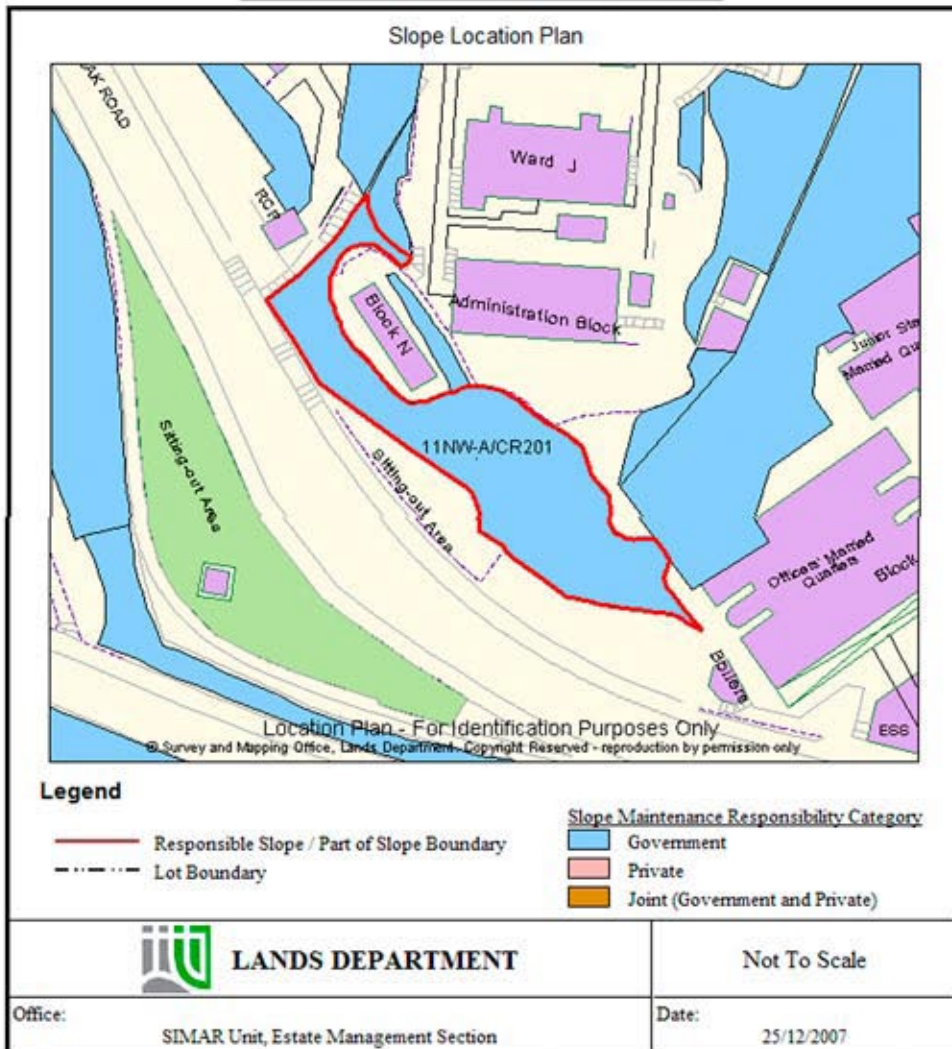
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APPENDIX XIV
SLOPE FEATURES
(5/ 22)

DATE : 24 / 12 / 2007

Slope Report

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Slope Number
11NW-A/CR201

IASMP01001

SIMAR REGISTER

25/12/2007 01:00 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A-CR201		WITHIN GLA-00367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

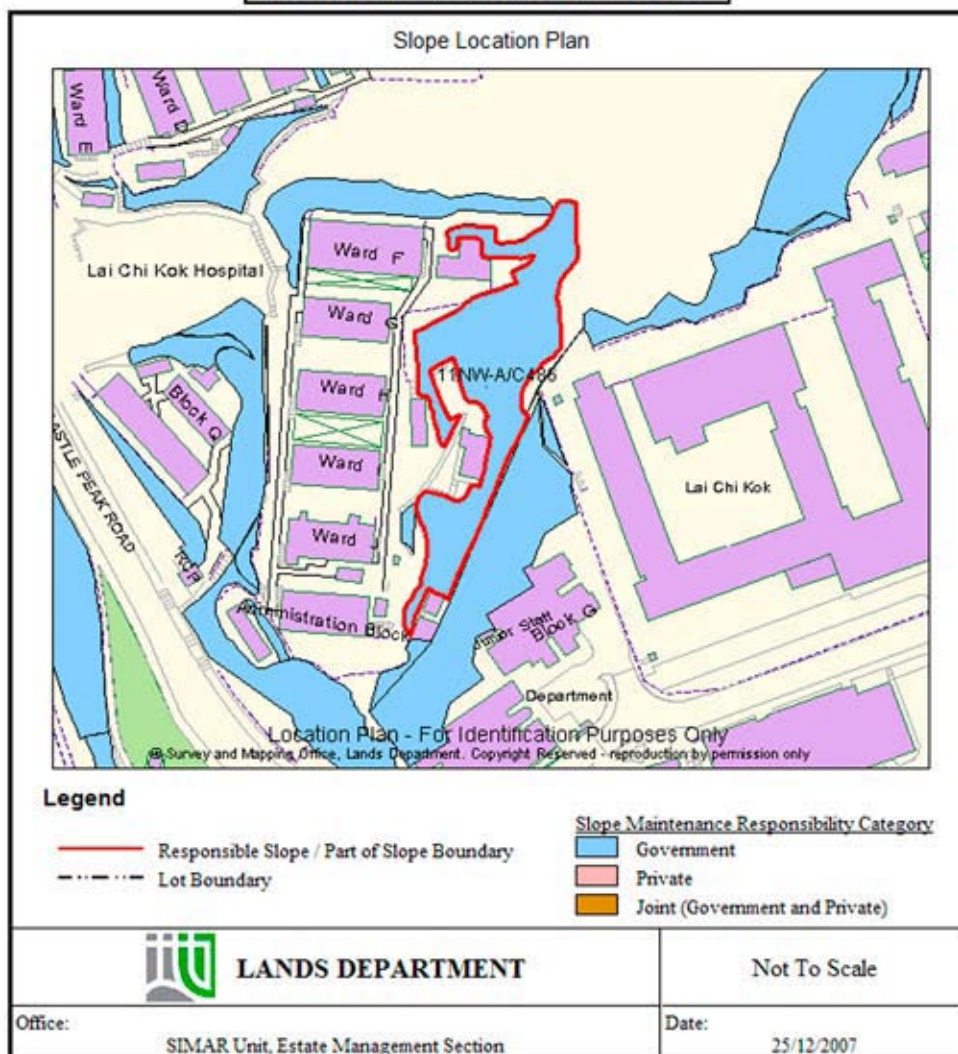
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(6/ 22)

DATE : 24 / 12 / 2007

Slope Report

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Slope Number
11NW-A/C486

IASMP01001

SIMAR REGISTER

25/12/2007 01:28 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A-C486		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

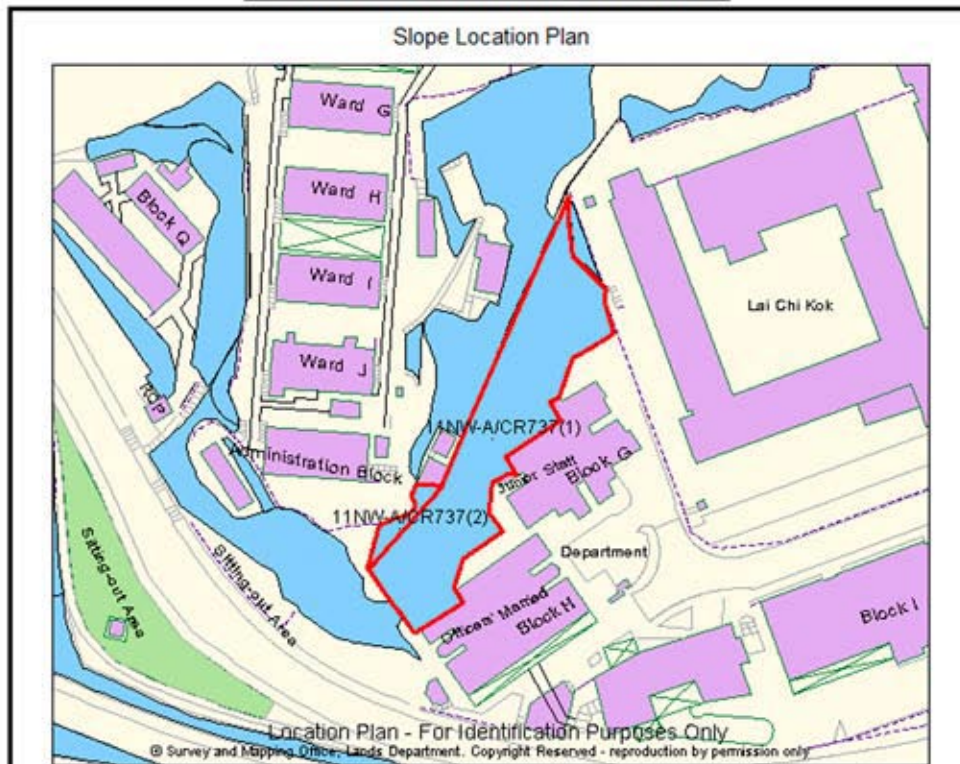
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(7/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Legend

- Responsible Slope / Part of Slope Boundary
- - - Lot Boundary

Slope Maintenance Responsibility Category

- Government
- Private
- Joint (Government and Private)



LANDS DEPARTMENT

Not To Scale

Office: SIMAR Unit, Estate Management Section

Date: 25/12/2007

Slope Number

11NW-A/CR737

IASMP01001

SIMAR REGISTER

25/12/2007 01:32 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/CR737	1	WITHIN GLA-NK367, NK372, NK699 AND GOVERNMENT LAND	CSD	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.
11NW-A/CR737	2	WITHIN GLA-NK367, NK372, NK699 AND GOVERNMENT LAND	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

- * Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
 (ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

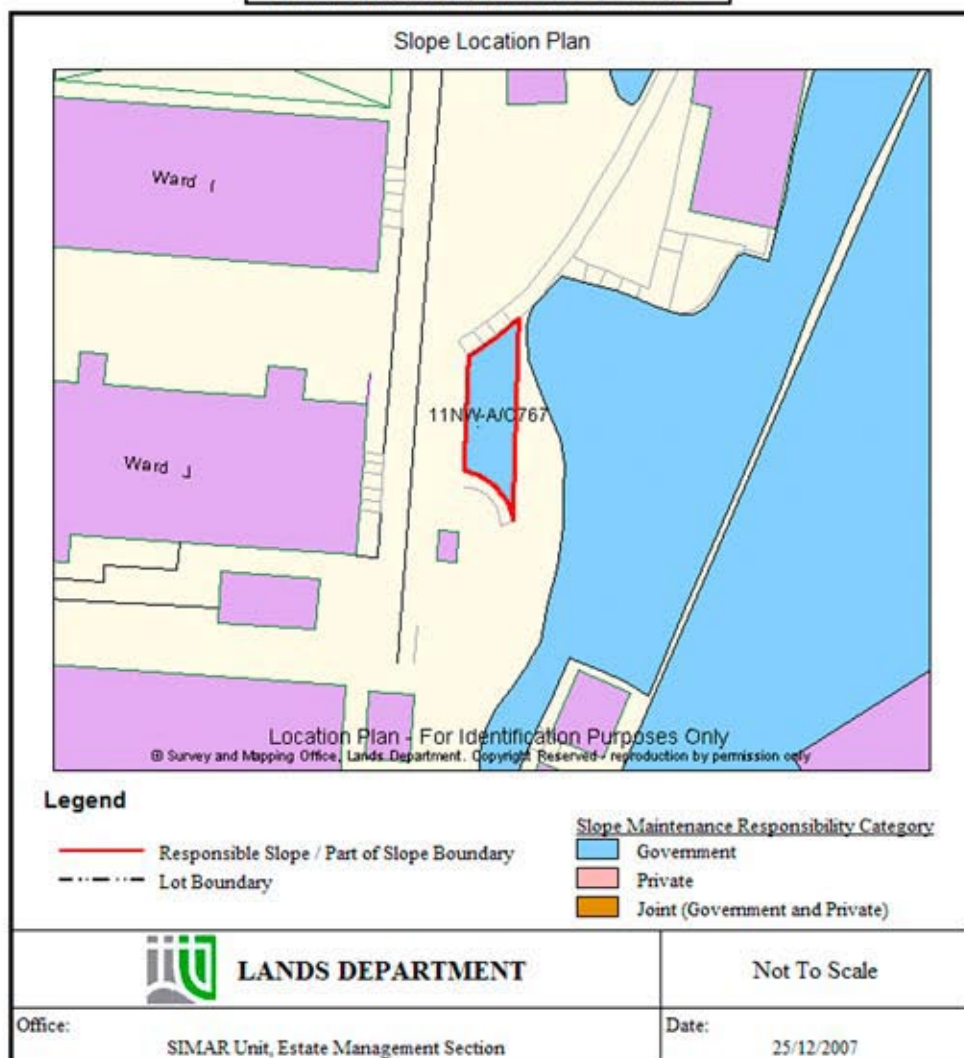
LAI CHI KOK HOSPITAL
 No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
 (8/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



IASMP01001

SIMAR REGISTER

25/12/2007 01:41 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/C767		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

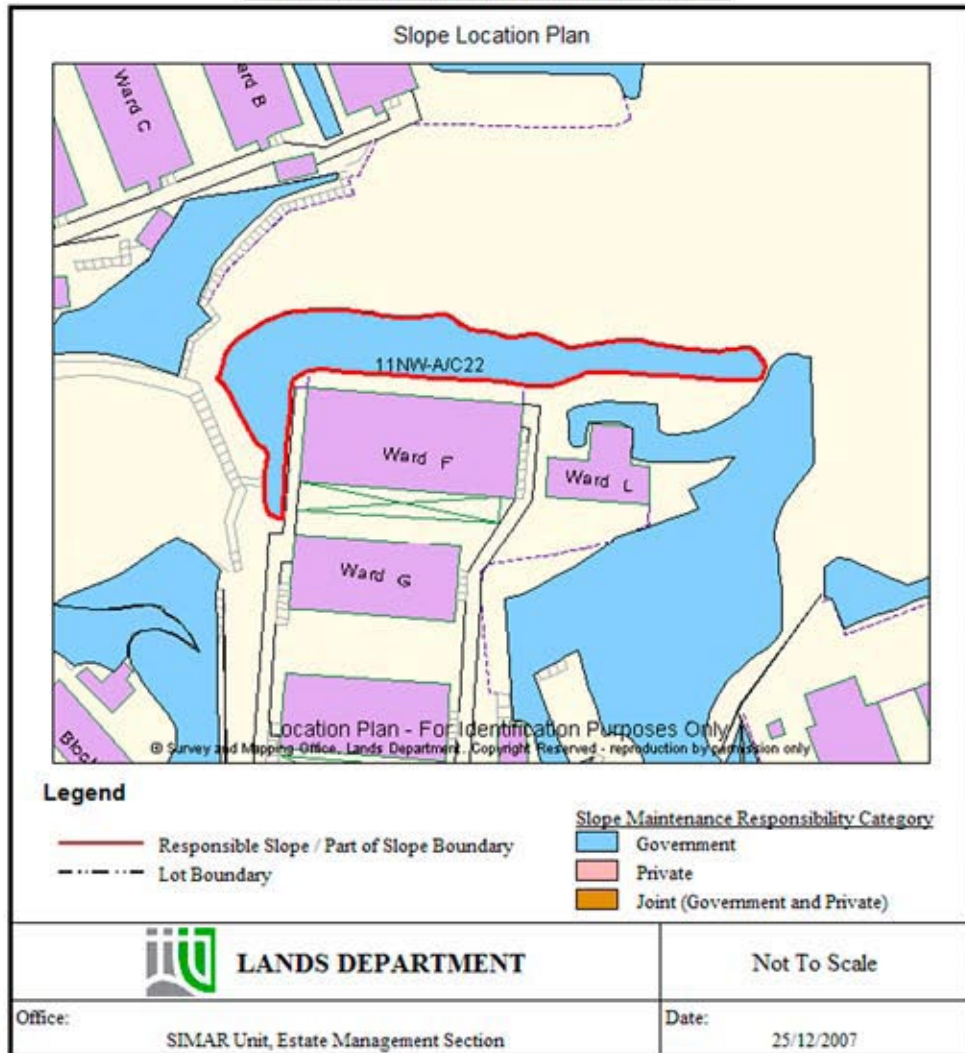
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(9/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C22

IASMP01001 **SIMAR REGISTER** 25/12/2007 01:44 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A C22		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

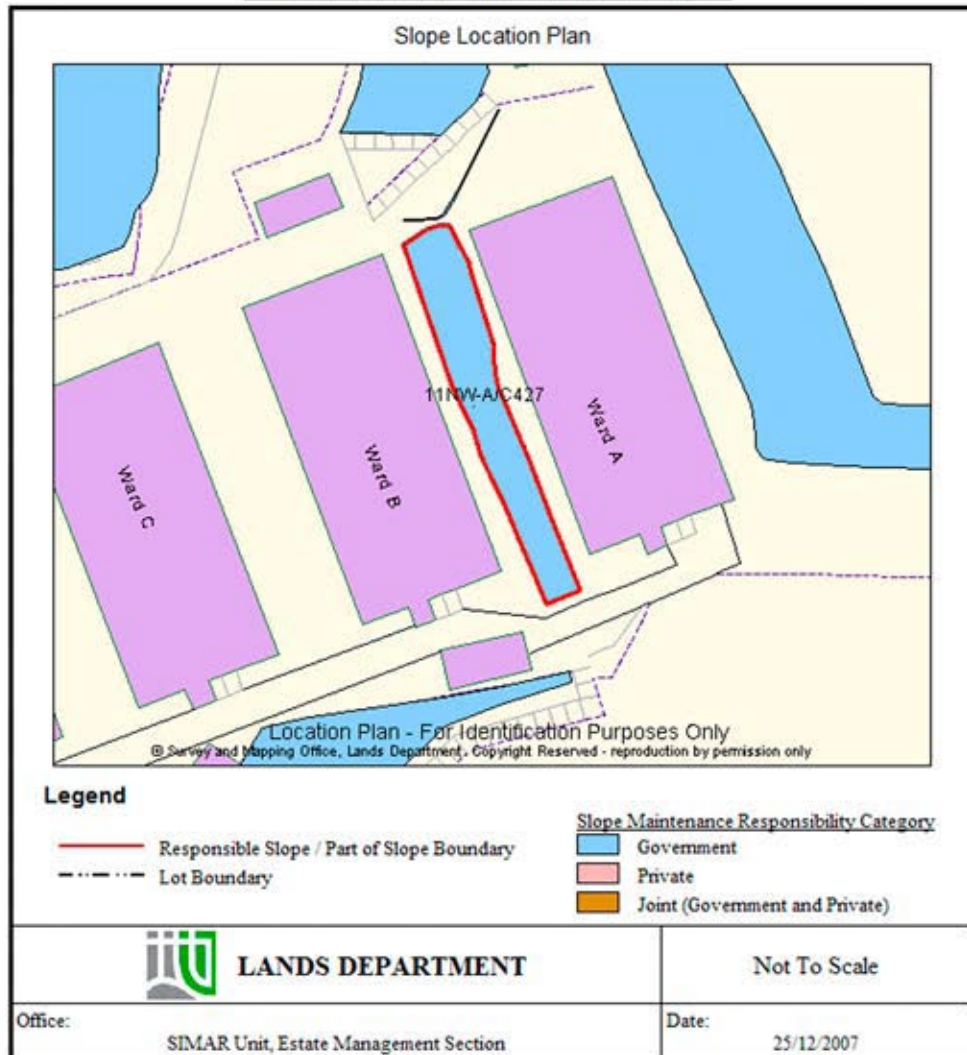
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APPENDIX XIV
SLOPE FEATURES
(10/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C427

IASMP01001

SIMAR REGISTER

25/12/2007 05:02 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/C427		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

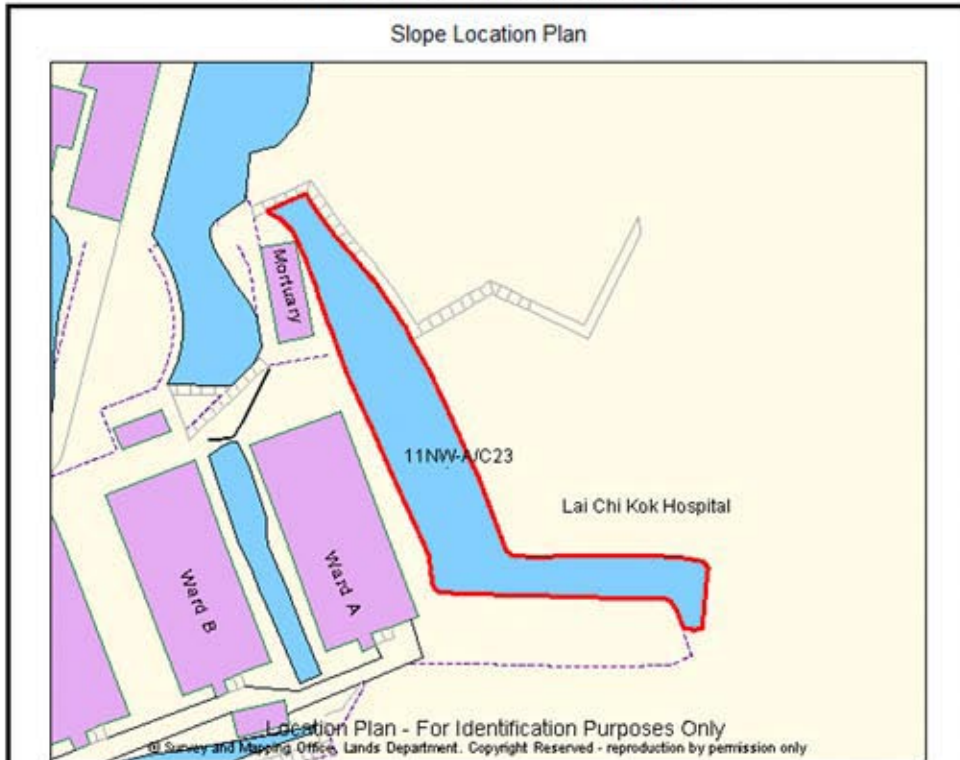
DRAWING NO.:

APPENDIX XIV
SLOPE FEATURES
(11 / 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Legend

- Responsible Slope / Part of Slope Boundary
- Lot Boundary

Slope Maintenance Responsibility Category

- Government
- Private
- Joint (Government and Private)

LANDS DEPARTMENT	Not To Scale
Office: SIMAR Unit, Estate Management Section	Date: 25/12/2007

Slope Number

11NW-A/C23

ASMP01001

SIMAR REGISTER

25/12/2007 03:54 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/C23		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

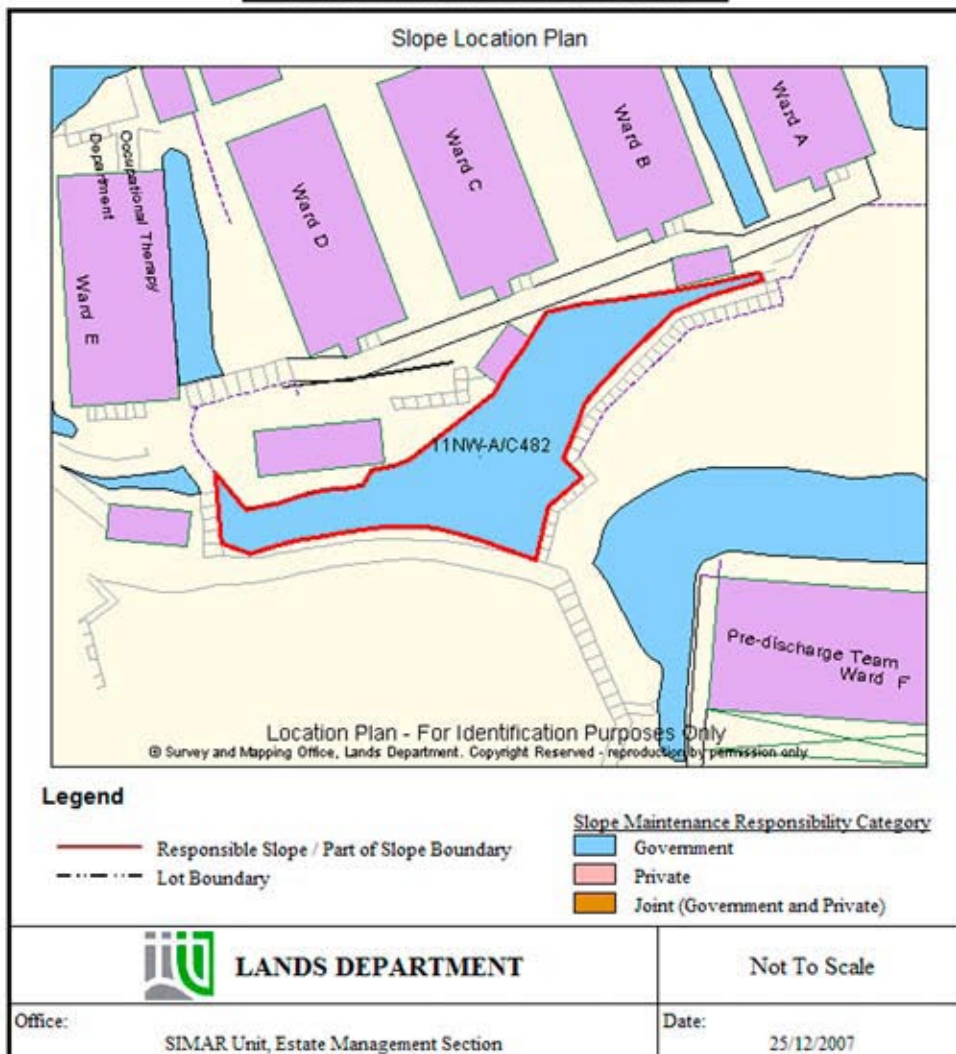
- End of Report -

- Note:
- (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
 - (ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

<p>DATE : 24 / 12 / 2007</p>	<p>LAI CHI KOK HOSPITAL No.800 CASTLE PEAK ROAD, LAI CHI KOK</p>	<p style="font-size: x-small;">DRAWING NO.:</p> <p style="font-size: large; font-weight: bold;">APPENDIX XIV</p> <p style="font-weight: bold;">SLOPE FEATURES</p> <p style="font-weight: bold;">(12/ 22)</p>
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Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C482

IASMP01001

SIMAR REGISTER

25/12/2007 01:49 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/C482		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

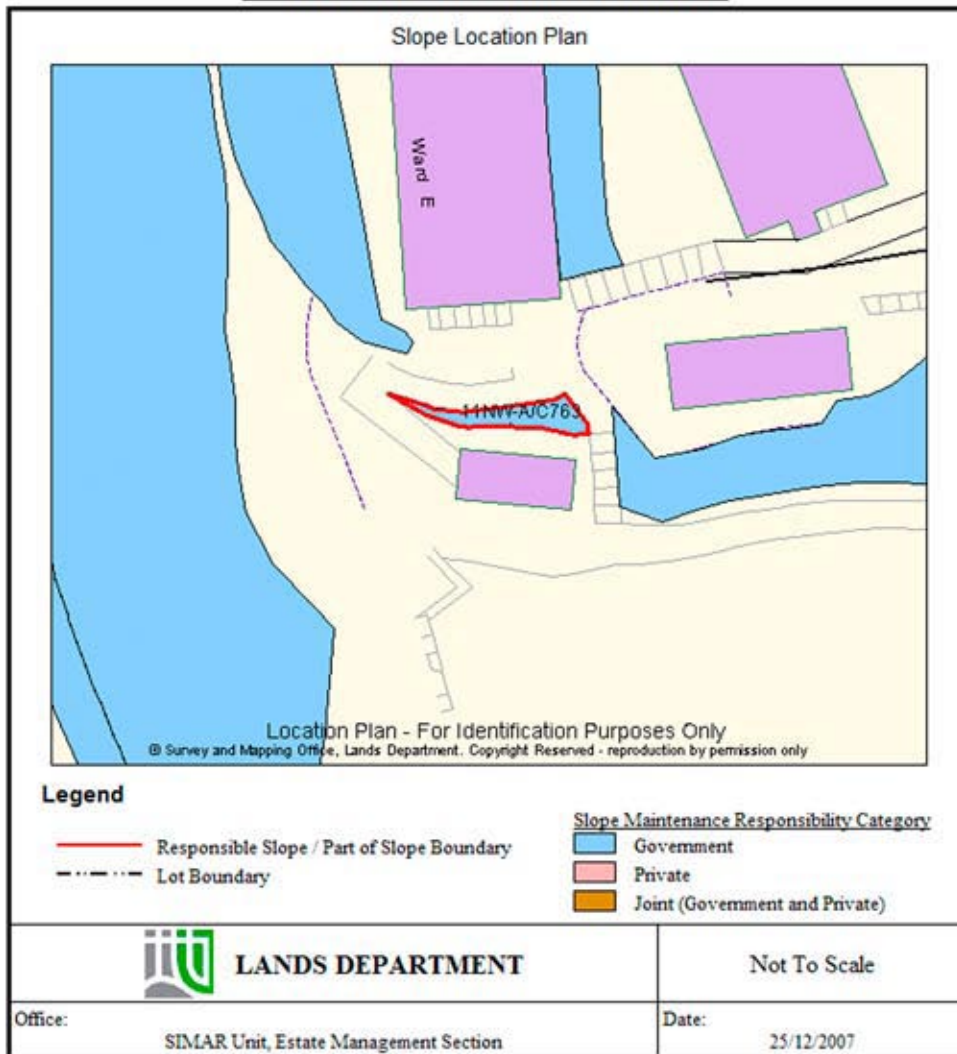
DATE : 24 / 12 / 2007

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(13/ 22)

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C763

IASMP01001

SIMAR REGISTER

25/12/2007 01:52 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A-C763		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

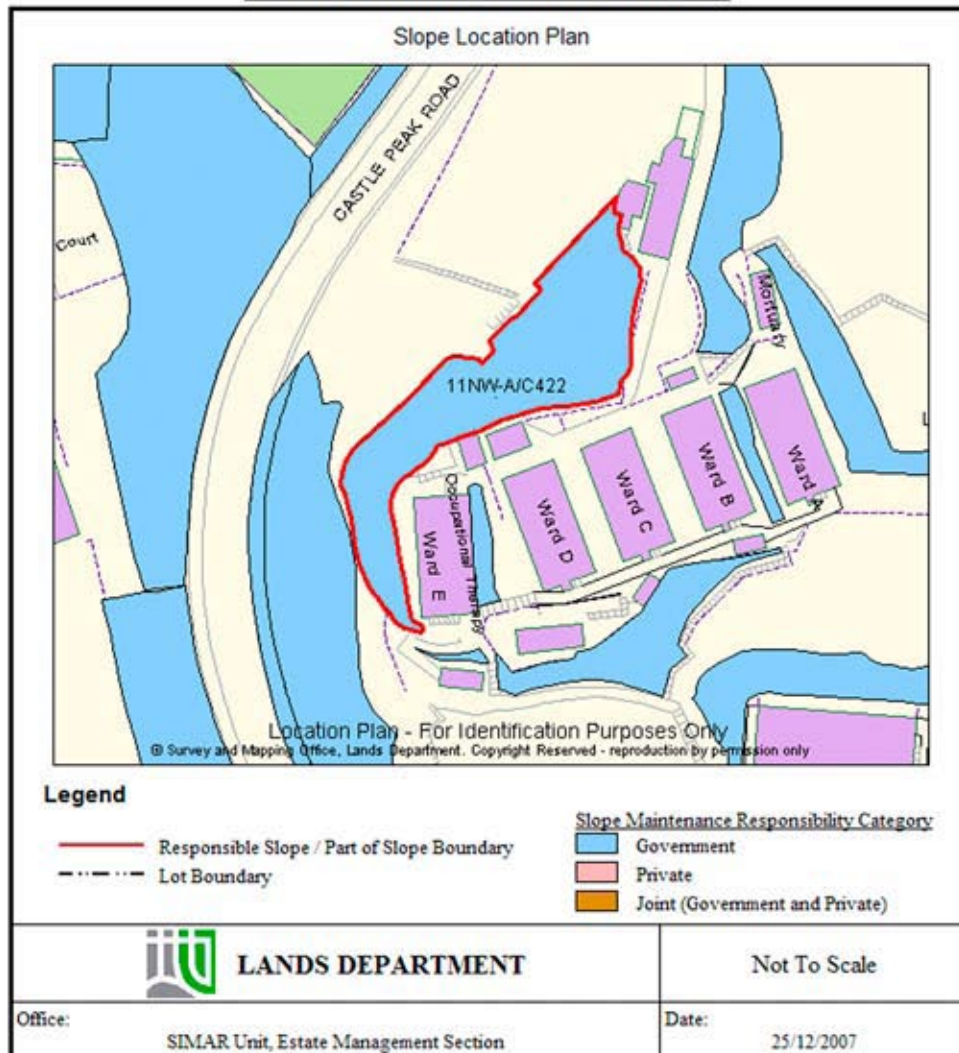
DRAWING NO.:

APPENDIX XIV
SLOPE FEATURES
(14/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number

11NW-A/C422

IASMP01001

SIMAR REGISTER

25/12/2007 01:55 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/C422		WITHIN GLA-NK367	DH	Arch SD	as per the attached	Slope information being reviewed. For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent Direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

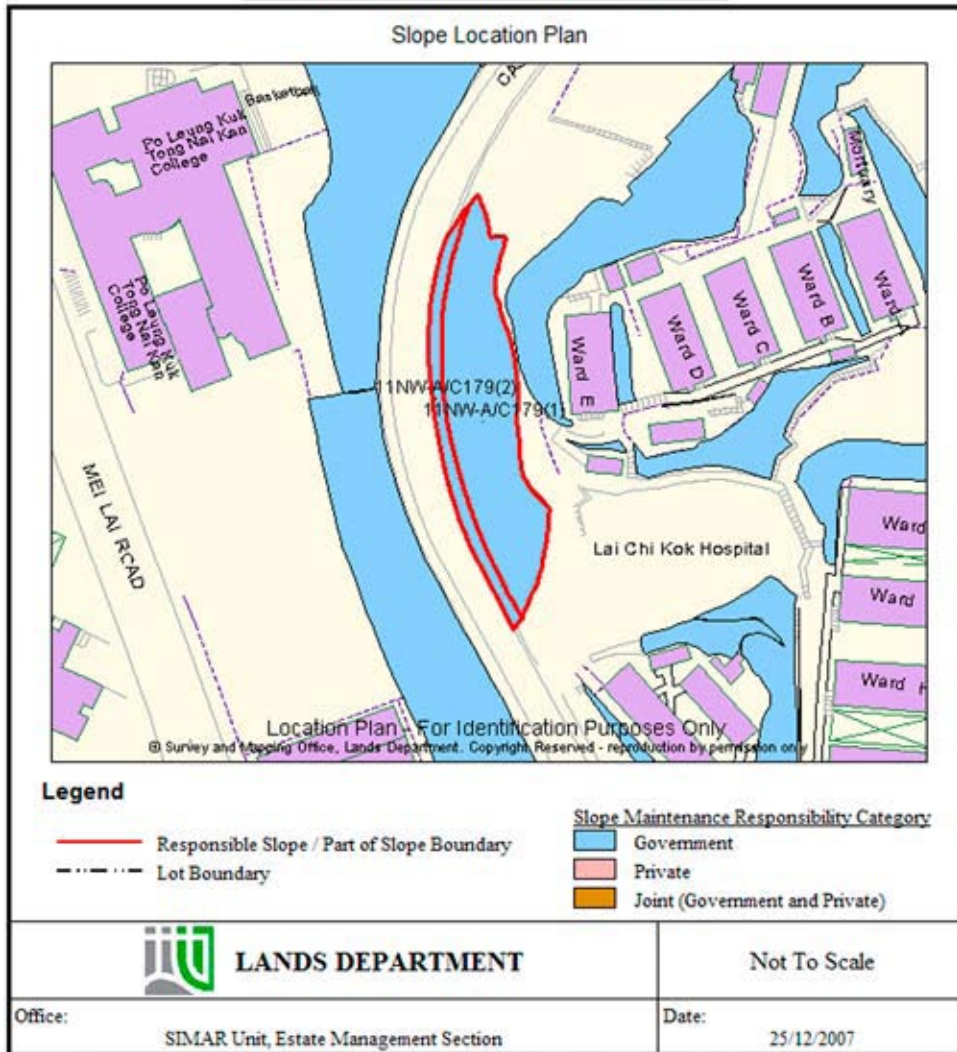
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(15/ 22)

DATE : 24/12/2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number

11NW-A/C179

IASMP01001

SIMAR REGISTER

25/12/2007 03:44 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/C179	1	WITHIN AND ADJOINING GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.
11NW-A/C179	2	WITHIN AND ADJOINING GLA-NK367	HyD	HyD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

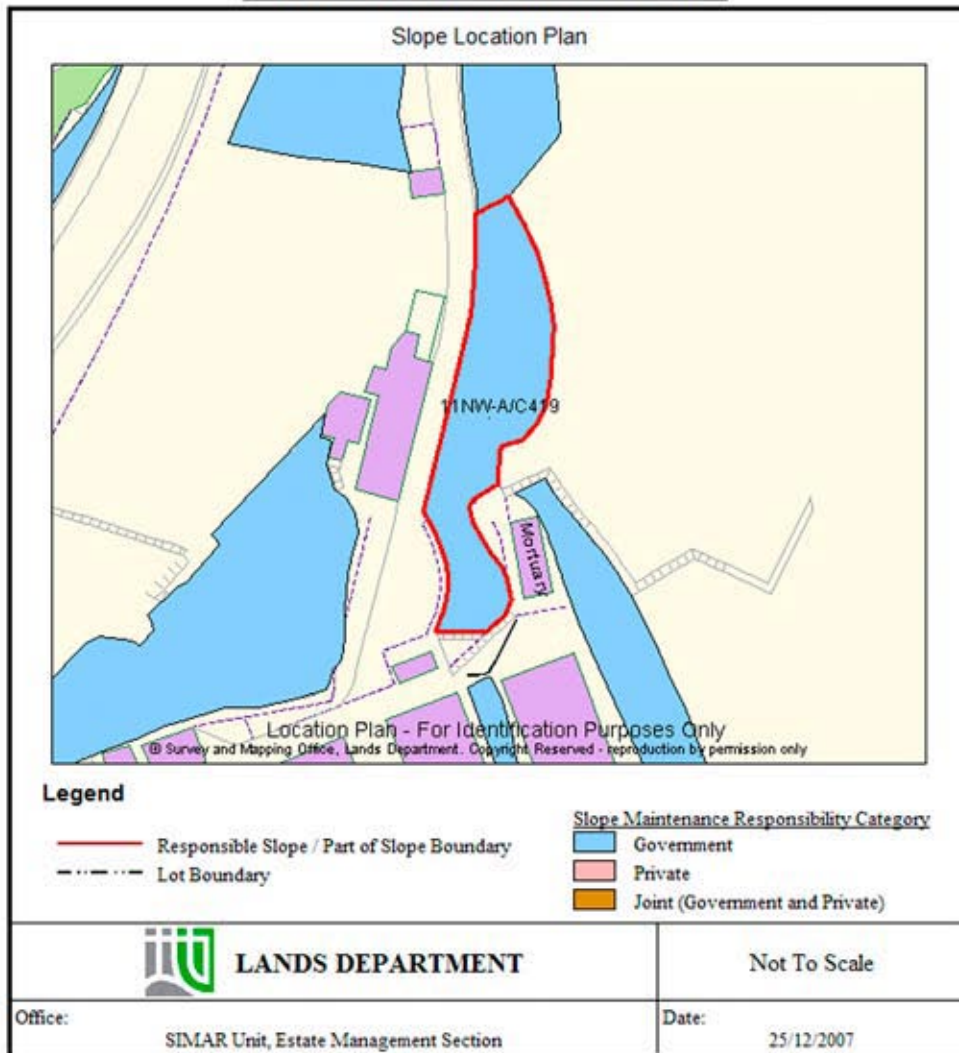
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(16/ 22)

DATE : 24/12/2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C419

1 IASMP01001 **SIMAR REGISTER** 25/12/2007 03:57 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
1 11NW-A-C419		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

- * Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

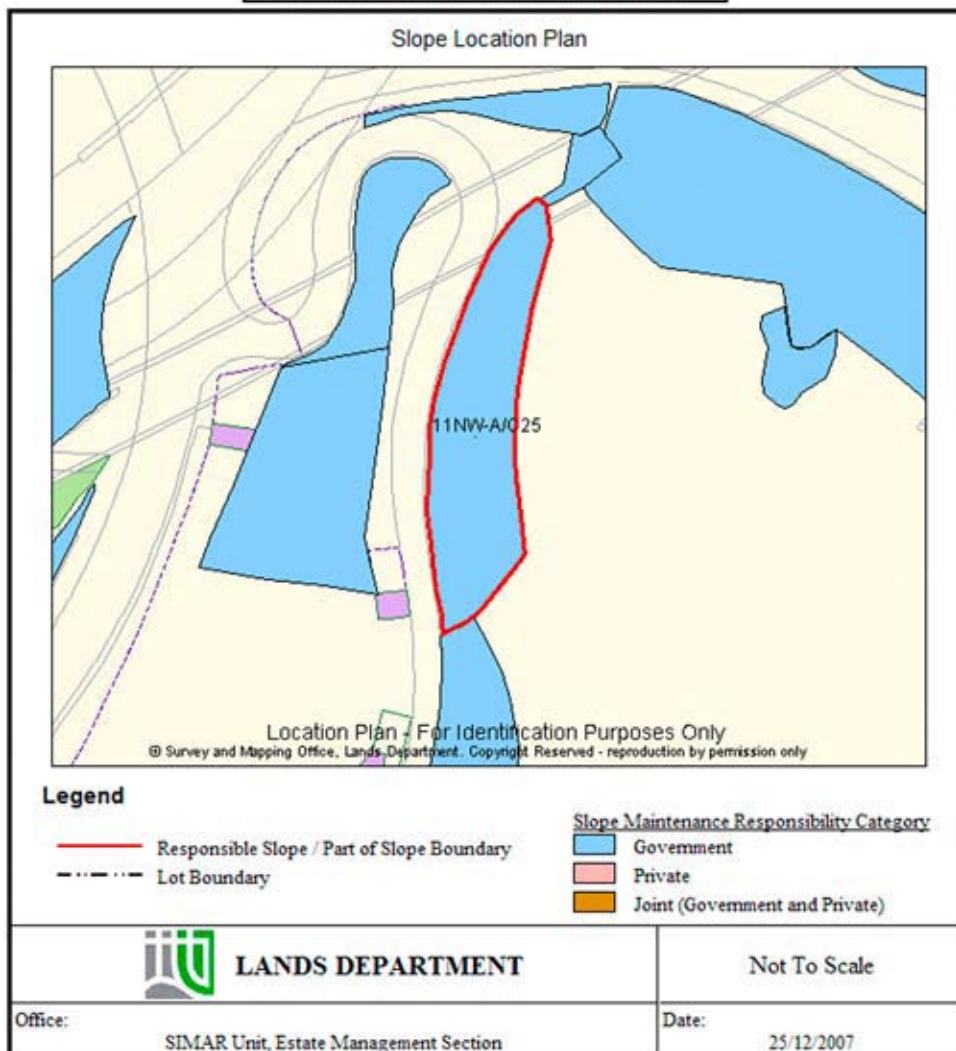
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(17/ 22)

DATE : 24/12/2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C25

IASMP01001

SIMAR REGISTER

25/12/2007 04:00 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A-C25		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

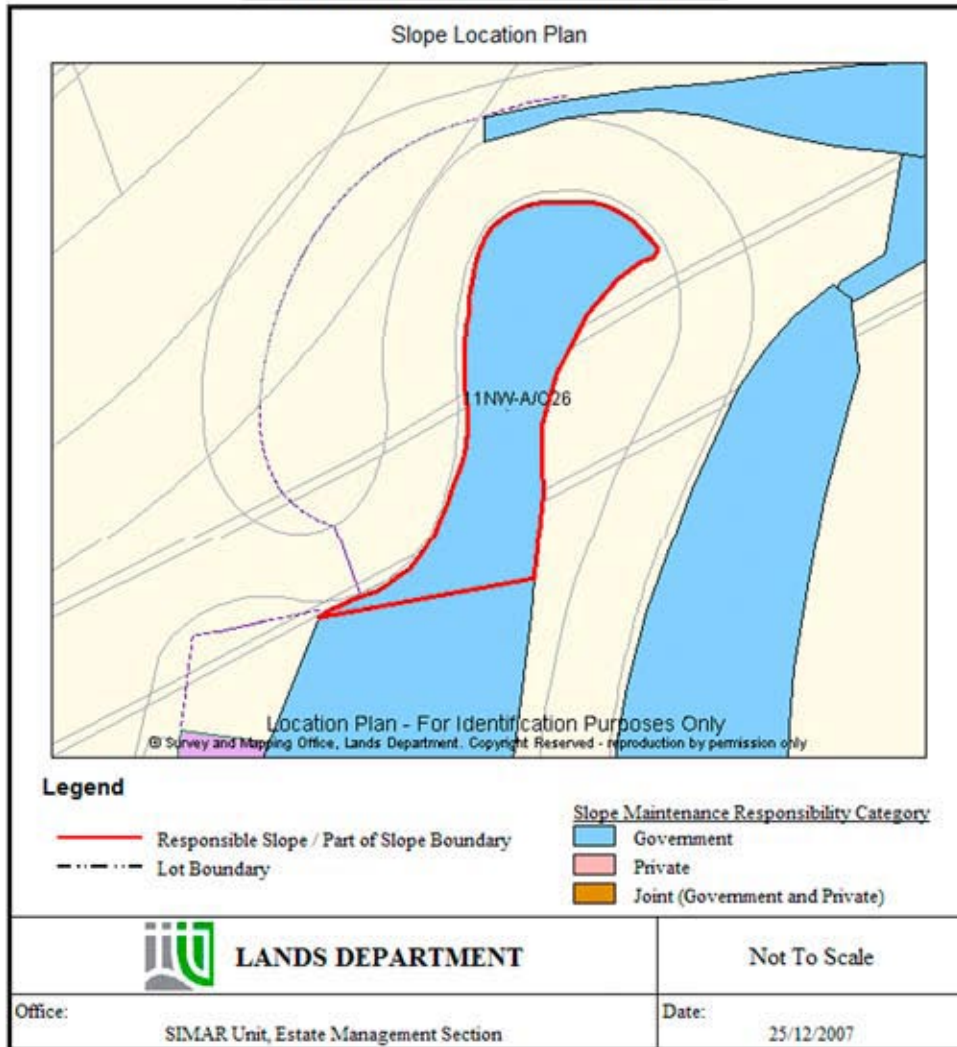
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(18/ 22)

DATE : 24/12/2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C26

IASMP01001

SIMAR REGISTER

25/12/2007 04:03 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A-C26		LAI CHI KOK HOSPITAL, NEAR MAIN ENTRANCE	HOSPIT_A	HOSPIT_A	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

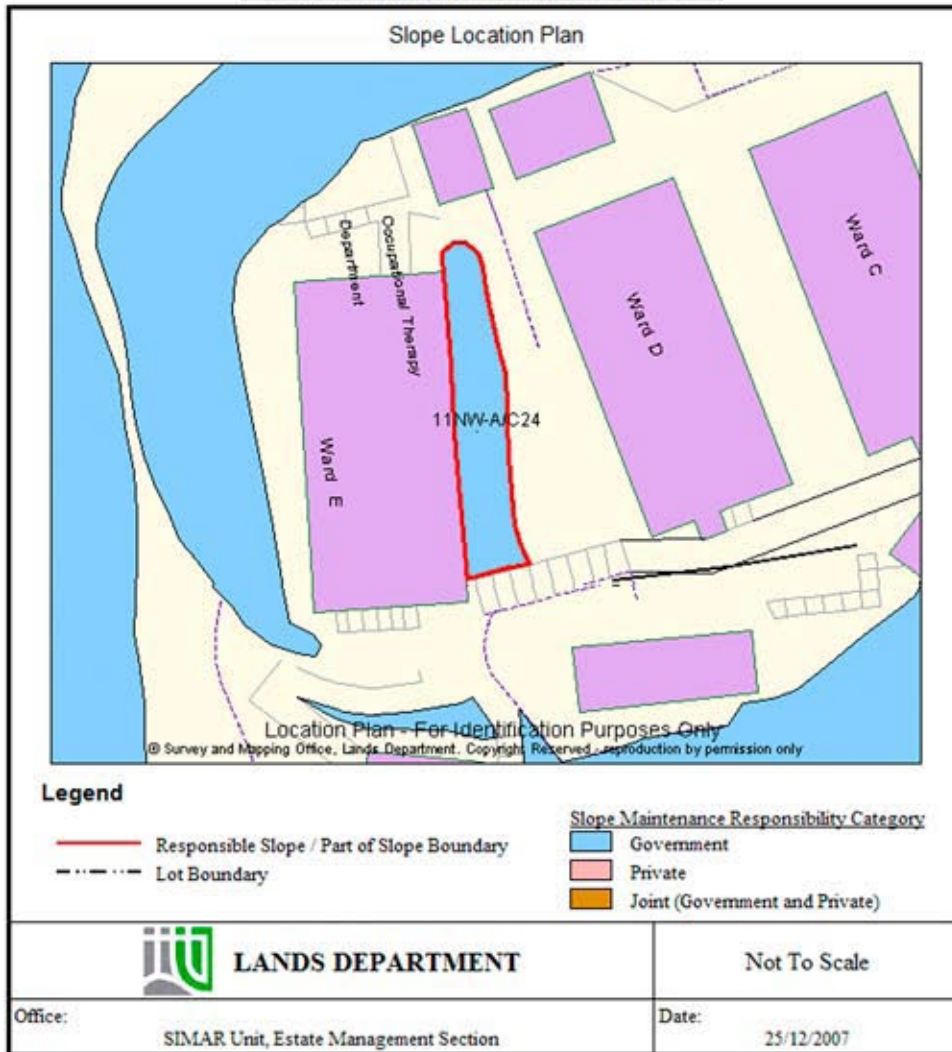
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(19/ 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C24

IASMP01001

SIMAR REGISTER

25/12/2007 05:06 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/C24		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

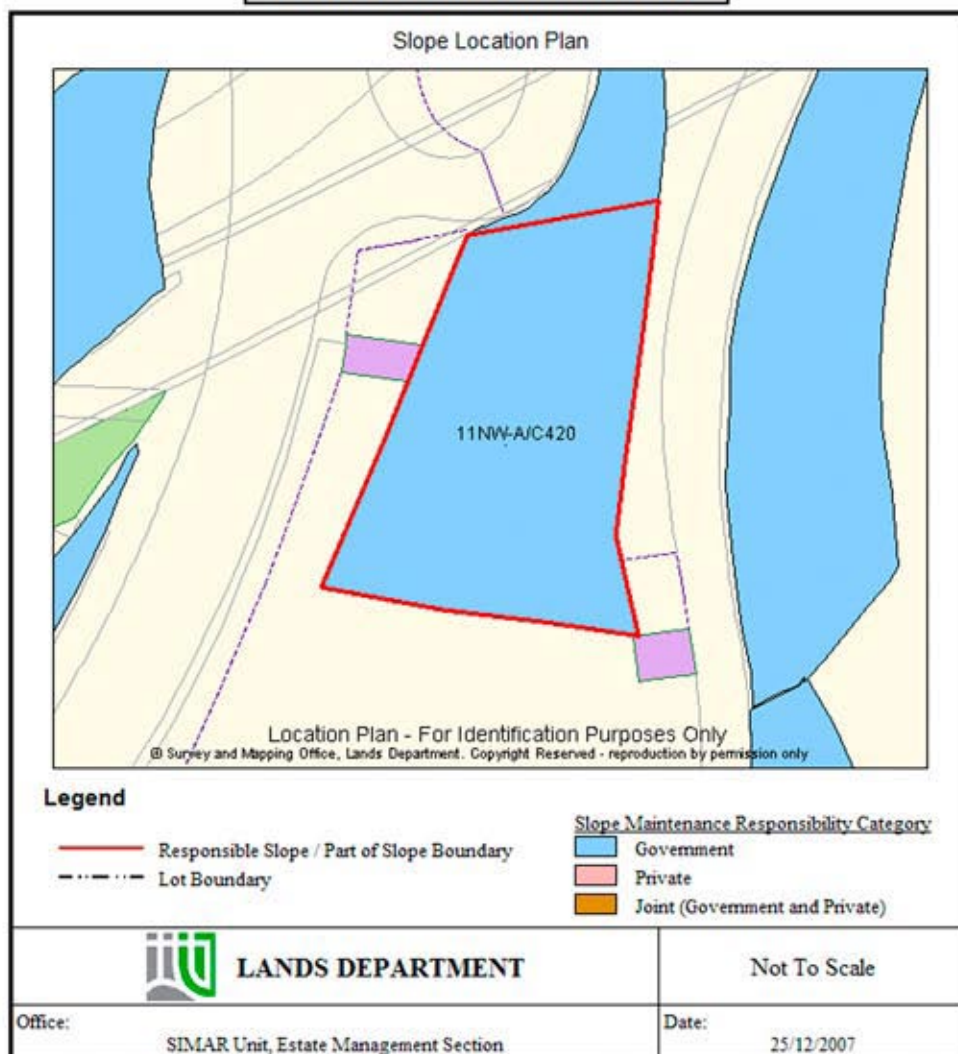
LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(20 / 22)

DATE : 24 / 12 / 2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number
11NW-A/C420

IASMP01001 **SIMAR REGISTER** 25/12/2007 04:07 PM

Slope No.	Slope Sub-division No.	Location	Responsible Lot(s) / Party(s)	Maintenance Agent	Slope Plan*	Remarks
11NW-A/C420		WITHIN GLA-NK367	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

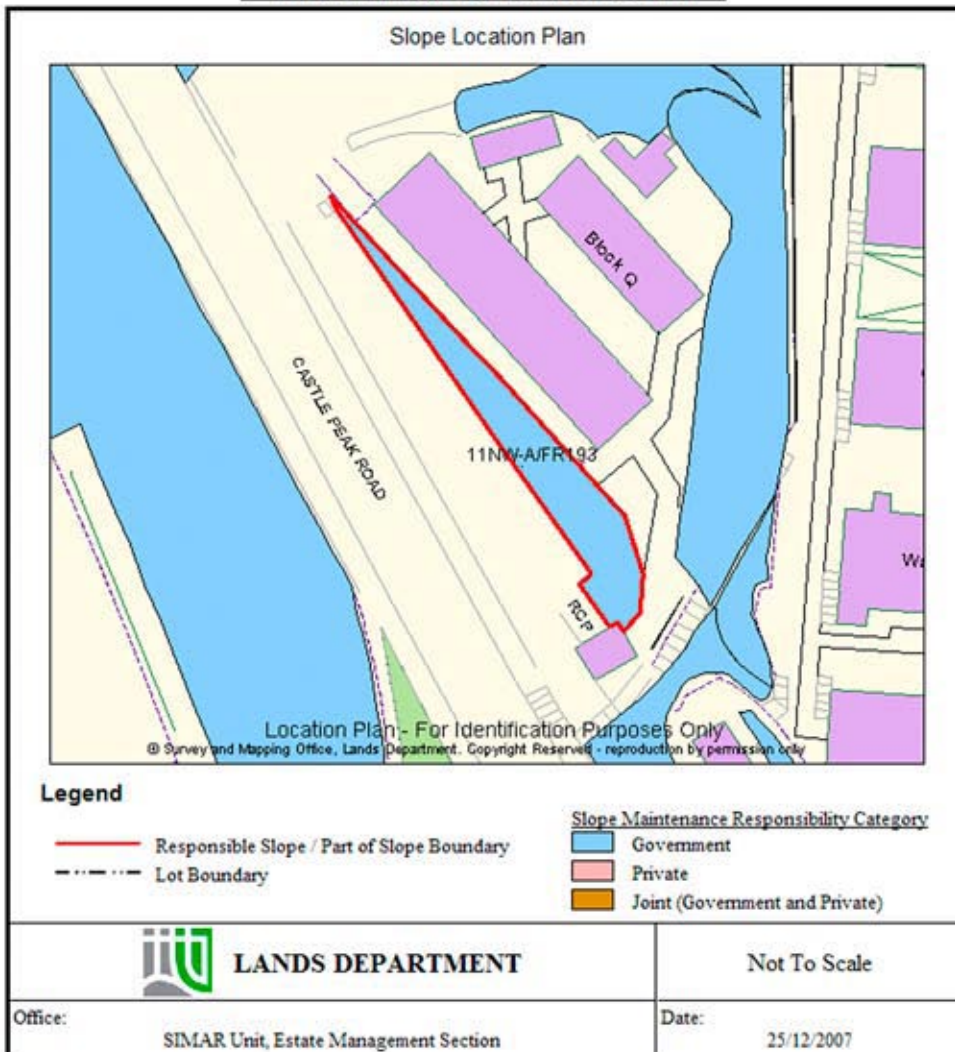
DRAWING NO.:

APPENDIX XIV
SLOPE FEATURES
(21/ 22)

DATE : 24/12/2007

Slope Report

FOR IDENTIFICATION PURPOSES ONLY



Slope Number

11NW-A/FR193

IASMP01001

SIMAR REGISTER

25/12/2007 04:10 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
11NW-A/FR193		WITHIN GLA-NK167	DH	Arch SD	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.

- End of Report -

* Note: (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
(ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

LAI CHI KOK HOSPITAL
No.800 CASTLE PEAK ROAD, LAI CHI KOK

DRAWING NO.:
APPENDIX XIV
SLOPE FEATURES
(22/ 22)

DATE : 24 / 12 / 2007