

**Revitalising Historic Buildings
Through Partnership Scheme**

Lui Seng Chun

Resource Kit



Table of Contents

- I. Introduction**

- II. Historical Background and Architectural Merits**
 - 2.1 Historical Background
 - 2.2 Architectural Merits

- III. Site Information**
 - 3.1 Location
 - 3.2 Site Boundary
 - 3.3 Site Area
 - 3.4 Major Datum Levels

- IV. Building Information**
 - 4.1 Building Description
 - 4.2 Historic Grading
 - 4.3 Schedule of Accommodation
 - 4.4 Materials of Construction
 - 4.5 Internal Circulation
 - 4.6 Major Alterations and Additions
 - 4.7 Structural Appraisal
 - 4.8 Building Services and Utilities

- V. Vicinity and Access**
 - 5.1 Immediate Surrounding
 - 5.2 Access

- VI. Conservation Guidelines**
 - 6.1 General Conservation Approach
 - 6.2 Specific Conservation Requirements

- VII. Town Planning Issues**

- VIII. Land and Tree Preservation Issues**
 - 8.1 Land Issues
 - 8.2 Tree Issues

IX. Slope Maintenance

X. Technical Compliance for Possible Uses

- 10.1 Uses That Could Possibly be Considered
- 10.2 Technical Considerations
- 10.3 Further Information on Possible Uses

List of Appendices

Appendix I	Location Plan
Appendix II	Site Boundary Plan
Appendix III	Datum Levels Plan
Appendix IV	Summary of Site and Building Information
Appendix V	Architectural Drawings
Appendix VI	Photos of Building
Appendix VII	Grading Boundary Plan
Appendix VIII	Plan Showing Immediate Surrounding
Appendix IX	Access Plan
Appendix X	List of Architectural Features to be Preserved
Appendix XI	List of Required Treatment to Architectural Features
Appendix XII	List of Recommended Treatment to Architectural Features
Appendix XIII	Outline Zoning Plan

I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Scheme). Information provided include:

Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Slope Maintenance; and
Section X	Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent locations of the buildings concerned.

1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility

of such case will need to be further examined.

- 1.4 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - “Structural Appraisal” is a rough estimate only.
- 1.5 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address:	Revitalising Historic Buildings Through Partnership Scheme Secretariat 21/F., Murray Building, Central Hong Kong
Email:	rhb_enquiry@devb.gov.hk
Phone.:	2848 6230
Fax:	3167 2665

II. Historical Background and Architectural Merits

2.1 Historical Background



Map showing location of Lui Seng Chun

Address of Lui Seng Chun: No. 119, Lai Chi Kok Road, Mongkok, Kowloon.

Located on a triangular site in the dense heart of Kowloon, Lui Seng Chun, a tong-lau (the local term for Hong Kong shophouse typology) was built and owned by Mr. Lui Leung (alias Lui Hung-wai).

Mr. Lui Leung was born in Taishan County of the Guangdong Province. Upon his arrival in Hong Kong, he became actively engaged in transport and trading businesses. He was one of the founders of the Kowloon Motor Bus Company (1933) Limited.

In 1929, Mr. Lui purchased a piece of land at 119 Lai Chi Kok Road from the Government and appointed Mr. W. H. Bourne, a local architect who specialized

in designing shophouses, to design Lui Seng Chun. The construction works was completed in around 1931. The ground floor of the building was occupied by a Chinese bone-setting medicine shop named "Lui Seng Chun", while the upper floors became living quarters for the members of the Lui's family. The Lui's medicine enjoyed a good reputation locally and overseas.

Mr. Lui Leung passed away in 1944 and the shop was closed down a few years later. The ground floor was rented out as tailor shops thereafter. In the late 1960s, the Lui's family finally moved out from the building and the upper levels were then used by their friends and relatives as residence.

In 2000, the Lui's family proposed to the Antiquities and Monuments Office to donate the building to Government. The transfer of the ownership of the building to Government was accomplished in 2003.

The building was constructed a few years before the enactment of the Public Health and Building Ordinance of 1935 which stipulated a set of more stringent building requirements. Instead, it only needed to comply with the less restrictive conditions of the Public Health and Building Ordinance of 1903, which required that each building should have a small open space at the rear for natural ventilation purposes; the building height should not be more than the width of the street it faced or 75 feet (whichever was the less); and the depth of each building should not be greater than 40 feet.

Lui Seng Chun not only bears witness to the history of a well-known family in Hong Kong, but also illustrates the past community life, economic activities and architecture of the territory. It was designated as a Grade I historic building in 2000.

2.2 Architectural Merits

Lui Seng Chun is a typical "Tong-lau" (Chinese tenement). The four-storey building has its entrance at the convergence of Lai Chi Kok Road and Tong Mi Road. The architecture features a mixing of the sweeping horizontal lines of Streamline Modern (Art Deco) with robust classical elements, which are characterized by a square-shaped frame and a row of decorative balustrades in front. The deep verandahs together with the stone plaque marked with the name of the medicine shop installed at the top of the building are all typical architectural features of pre-war Chinese tenements.

The building is one of a small number of distinctive shophouses remaining from the 1930s that scatter throughout the area. While the majority of the standard terraced shophouses of the period were designed and constructed by local builders using a “pattern-book” approach, Lui Seng Chun was distinctive as it was individually architect-designed to order.

III. Site Information

3.1 Location

Lui Seng Chun is located at the junction of Lai Chi Kok Road and Tong Mi Road. The address is No. 119 Lai Chi Kok Road, Mongkok, Kowloon. The Location Plan is shown at **Appendix I**.

3.2 Site Boundary

The Site Boundary Plan of Lui Seng Chun is shown at **Appendix II**.

3.3 Site Area

The site area of Lui Seng Chun is approximately 123 sq. metres.

3.4 Major Datum Levels

The major datum level of the site is 4.50mPD. Major datum levels around the site are shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

Lui Seng Chun is a four-storey reinforced concrete building constructed at a corner site at the intersection of Lai Chi Kok Road and Tong Mi Road. The building follows the triangular configuration of the site with major facades along the two main roads and a rear courtyard at the Tong Mi Road side entrance.

Large verandahs at the first, second and third floors are constructed over the pedestrian walkway.

The block plan, floor plans, major elevations and sections of the building are shown in the architectural drawings at **Appendix V**.

The photos showing the general appearance and internal layout of Lui Seng Chun are attached at **Appendix VI**.

4.2 Historic Grading

Lui Seng Chun was designated as a Grade I Historic Building by the Antiquities Advisory Board (AAB) in October 2000. “Grade I Historic Building” is defined as “Buildings of outstanding merit, which every effort should be made to preserve if possible.”

The AAB has also recommended that steps should be taken to declare the building as a monument. The Grading Boundary Plan is shown at **Appendix VII**.

4.3 Schedule of Accommodation

		Approximate Gross Floor Area (sq. m)
G/F	Bone-setter and herbalist medicine shop A rear courtyard along Tong Mi Road facade	84.7 (including rear court area of 16 sq. metres)

1/F	Residential accommodation, kitchen and toilet Open verandah	171 (including verandah area of approximately 116.5 sq. metres)
2/F	Residential accommodation, kitchen and toilet Open verandah	171 (including verandah area of approximately 116.5 sq. metres)
3/F	Residential accommodation, kitchen and toilet Open verandah	171 (including verandah area of approximately 116.5 sq. metres)
R/F	Nil	Nil

4.4 Materials of Construction

Lui Seng Chun is an early example of reinforced concrete construction. A summary of construction materials and finishes for the building is shown below:

Construction Materials			
Slab and Beam	Wall	Balustrade (Verandah)	Column
Reinforced concrete	Brick	Stone slab over urn-shaped supports in reinforced concrete	Granite blocks at ground floor: reinforced concrete at upper floors. New structural steel columns support the balconies in the rear courtyard.

Finishes	
External	Internal
Wall and ceiling: Plaster and textured external paint Verandahs: Patterned ceramic tiles	Wall: Plaster and paint; Floor: Patterned ceramic tiles

4.5 Internal Circulation

4.5.1 General Description

The circulation for the building is very simple - upper floors are accessed by a staircase entered from a pedestrian walkway along Tong Mi Road, while the rear courtyard can be entered from the shops at ground floor and by the rear entrance at Tong Mei Road.

4.5.2 Barrier Free Access

Access to the ground floor of Lui Seng Chun is barrier free, but there is no barrier free access to the upper floors. The upper floors and roof are only accessible by a staircase. No lift is installed in the building.

4.6 Major Alterations and Additions

The building has undergone major repair and restoration by the Architectural Services Department. Earlier obstructive alterations and additions have been removed. For example, the original internal layout (open plan) has been restored and the verandahs have been opened up as per the original design.

Owing to serious deterioration of the original members, new structural steel columns have been installed to support the balconies overlooking the rear courtyard.

4.7 Structural Appraisal

4.7.1 Description

The structural system for Lui Seng Chun consists of reinforced concrete shallow pad foundations supporting granite columns with reinforced concrete beams, floors and walls.

As per the Structural Investigation Report of Lui Seng Chun by Meinhardt Mouchel Limited in August 2004, the foundations are approximately 1m below the existing ground level. They are approximately 1.5m wide and 300mm thick. The external columns between ground level and the soffit of the first floor are constructed from granite block measuring approximately 610mm x 500mm. The internal columns are made of brick. They are approximately 250mm wide with an overall finished width of 280mm and 400mm deep. The

floors are of reinforced concrete beam and slab construction. The slabs are 100mm deep and constructed with reinforced concrete. There are two orthogonal layers of bottom reinforcement in the slabs.

4.7.2 Appraisal

Visual inspection reveals some minor cracks (0.5m – 2m long) appearing in some walls and beams on each floor. No spalling of concrete was observed during the visual inspection. The structural columns, beams and slabs appear to be in reasonable conditions, but routine maintenance of these structural elements is recommended.

4.7.3 Loading Assessment

Since the building was completed in 1933. Its design is believed to have followed the London County Council (LCC) 1915. In LCC 1915, it specified 70 lb/sq ft (= 3.35 kPa) for floor loading of domestic buildings.

Based on visual inspection and the age of building, a reduction factor of 30% to the original design loading is assumed to this building. The estimated loading capacity of each floor would then be 2.3 kPa. If more accurate floor loading capacity is required, coring and other laboratory tests should be carried out by the successful applicant to verify the loading capacity.

4.7.4 Recommendations

Detailed investigation and some possible laboratory tests to determine the existing conditions of the building should be carried out by the successful applicant to verify the allowable loading of the floor and to obtain further information for the adaptive reuse of the building.

4.7.5 Conclusion

- Existing building is in good conditions.
- Building only requires minimal repair works.
- Loading capacity of each floor is estimated to be 2.3 kPa.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for Lui Seng Chun is as follows:

	Existing Provisions
MVAC Installation	<ul style="list-style-type: none">■ No air-conditioning system is found.■ No ventilation fan/wall fan is found.
Fire Services Installation	<ul style="list-style-type: none">■ No wet Fire Protection System (i.e., F.H./HR and Sprinkler System) is found in the building.■ No manual fire alarm (MFA), visual fire alarm and/or automatic fire alarm system (AFA) is found in the building.■ Exit signs are installed.
Electricity Supply	<ul style="list-style-type: none">■ A 100A three phase fused cutout together with CLP meter is installed at the G/F staircase.■ No genset or essential power supply is provided.
Lift	<ul style="list-style-type: none">■ The building is not served with a lift or escalator.
Plumbing and Drainage Installation	<ul style="list-style-type: none">■ A 25mm dia. potable water connection is found next to pedestrian entrance door at Tong Mi Road. However, the water meter has been disconnected and removed.■ No flush water supply is found in the building.■ The surface water of the site is gathered by storm water down pipe and collected by a channel and discharged to a nearby government manhole.■ No sewage terminal manhole is found on site.
Gas Installation	<ul style="list-style-type: none">■ No gas connection is found for the building.

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surrounding

Lui Seng Chun is located on a prominent corner at the intersection of Lai Chi Kok Road and Tong Mi Road, which are both major roads in the district. The district is well known for its mixture of light industrial and commercial trades that service the local community and beyond. For example, many retail and wholesale outlets are found on the opposite side of Lai Chi Kok Road, which attract traders from outside the district.

However, since Lui Seng Chun is separated from its surroundings by two major roads, it is isolated from the main pedestrian hub closer to the Shumshuipo area served by Prince Edward MTR station.

These items of interest and significance in the immediate surroundings are shown at **Appendix VIII**.

5.2 Access

5.2.1 Access to Site

The site is located at the junction of Lai Chi Kok Road and Tong Mi Road, both of which are major 6-8 lane thoroughfares. The site is easily accessed by public transport, such as, buses and minibuses, which have stations opposite Lui Seng Chun along Lai Chi Kok Road. It is a 10-minute walk from Prince Edward MTR Station.

5.2.2 Vehicular Access

Vehicular access to Lui Seng Chun is along both Lai Chi Kok Road and Tong Mi Road. The Access Plan is shown at **Appendix IX**.

5.2.3 Emergency Vehicular Access (EVA)

Both Lai Chi Kok Road and Tong Mi Road can serve as the EVA for the building.

5.2.4 Loading and Unloading Area

No loading/unloading area is available within the site.

5.2.5 Parking

There are no parking spaces or lay-by along the frontage of site. The nearest metered parking spaces are along Tai Nan Street.

5.2.6 Pedestrian Access

Pedestrian access is available along the shop frontage of the building at Lai Chi Kok Road. It is covered by verandahs.

5.2.7 Barrier Free Access (Site)

Barrier free access is available for the shop frontage at Lai Chi Kok Road. There is no barrier free access to the rear courtyard due to the entrance stairs at Tong Mi Road.

5.2.8 Refuse Collection Point

No refuse collection point is available within the site.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance. On this issue, we would advise:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation. But, there is no restriction on the type/design of temporary signage, e.g. banners, displays, etc., provided that the number of such signs is not excessive.

¹ *“Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.*

6.1.3 For the restoration works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicants to refer to the full requirements imposed by relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with surroundings to preserve landscape and wildlife habitat.
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for disabled must respect historical integrity of the building(s) and its (their) surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).

h) Plumbing and Sanitary Fitments	No existing fittings are considered to be “historic features” and therefore they may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the restoration works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 All required building works should be carried out by a specialist contractor on the Development Bureau (Works Branch) List of Specialist Contractors for Repair and Restoration of Historic Buildings, and such work shall be to the satisfaction of AMO. For details on the engagement of the above Specialist Contractor, please refer to paragraph 6.1 of the “Guide to Revitalising Historic Buildings Through Partnership Scheme”.

6.2 Specific Conservation Requirements

6.2.1 The original external façades of the building should generally be left unaltered and not to be disturbed. However, external additions to the backyard of the building for provision of facilities for compliance with statutory requirements may be allowed.

6.2.2 Lui Seng Chun is a typical pre-war “tong-lau” (Chinese tenement) and comprises a number of character defining elements and must be preserved in-situ and maintained as necessary. They are listed at **Appendix X**.

6.2.3 The building has undergone basic repair and earlier obstructive alterations and additions have been removed. Nevertheless, it is

recommended that the original features of the building should be restored if possible and the building fabric reinstated to reveal the full cultural significance of Lui Seng Chun. Please refer to **Appendices XI** and **XII** for the required and recommended conservation treatment respectively.

- 6.2.4 Every effort should be made to carry out all “required treatment” set out at **Appendix XI** of the Conservation Guidelines. If compliance with the “required treatment” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XII** of the Conservation Guidelines set out some “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The main part of Lui Seng Chun is zoned “Other Specified Uses” (“OU”) annotated “Historical Site Preserved for Commercial and Cultural Uses” on the Mongkok Outline Zoning Plan (OZP) No. S/K3/24. The verandahs, extended to public pedestrianway, are outside the boundary of the “OU” zone. The full set of the OZP including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the subject “OU” zone are shown at **Appendix XIII**.

The planning intention of the subject “OU” zone is to preserve, restore and convert Lui Seng Chun building into a local heritage attraction with provision of cultural and commercial facilities for the enjoyment of the public. Any demolition of, or any addition, alteration and/or modification to the existing Lui Seng Chun building requires planning permission from the TPB.

The Notes for the “OU” zone (**Appendix XIII**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2”uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from the Tsuen Wan & West Kowloon District Planning Office of the Planning Department at 27/F, Tsuen Wan Government Offices, 38 Sai Lau Kok Road, Tsuen Wan, New Territories (Tel: 2417 6261).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within 2 months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified in writing of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally 2 weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site is currently under the management of Leisure and Cultural Services Department. A Site Boundary Plan is shown at **Appendix II**.

A set of engineering conditions together with the allocation plan for the adaptive re-use of this premises will be prepared by the Lands Department.

8.2 Tree Issues

No tree is present within the site.

IX. Slope Maintenance

No slope feature is present at the site of Lui Seng Chun and slope maintenance is not required.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Chinese Medicine Shop;
- (b) Display Centre; and
- (c) Social Services Centre.

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on the possible uses that they consider are most suitable for the building.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:
 - means of escape;
 - fire resisting construction;
 - means of access for firefighting and rescue;
 - barrier free access and facilities;
 - protection against falling from height;
 - structural adequacy; and
 - fire services installation requirements.
- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with the Conservation Guidelines in Section VI of this resource kit.

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

(a) Heritage Conservation

The Antiquities and Monuments Office has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as Chinese medicine shop and display centre (classified as Shop and Services) are under Column 1 of the Notes to the OZP in which uses are always permitted. Use as social services centre (as a kind of Social Welfare Facility) is under Column 2 in which case approval from the TPB is required.

(c) Fire Services Requirement

The current provision of EVA to the site and building is adequate.

(d) Traffic Aspect

The parking spaces and loading/unloading areas are not available in the immediate frontage of the site. For use as social services centre, the applicant should make suitable arrangement for loading and unloading of visitors who come to the site by coaches without affecting the traffic flow at the nearby junctions.

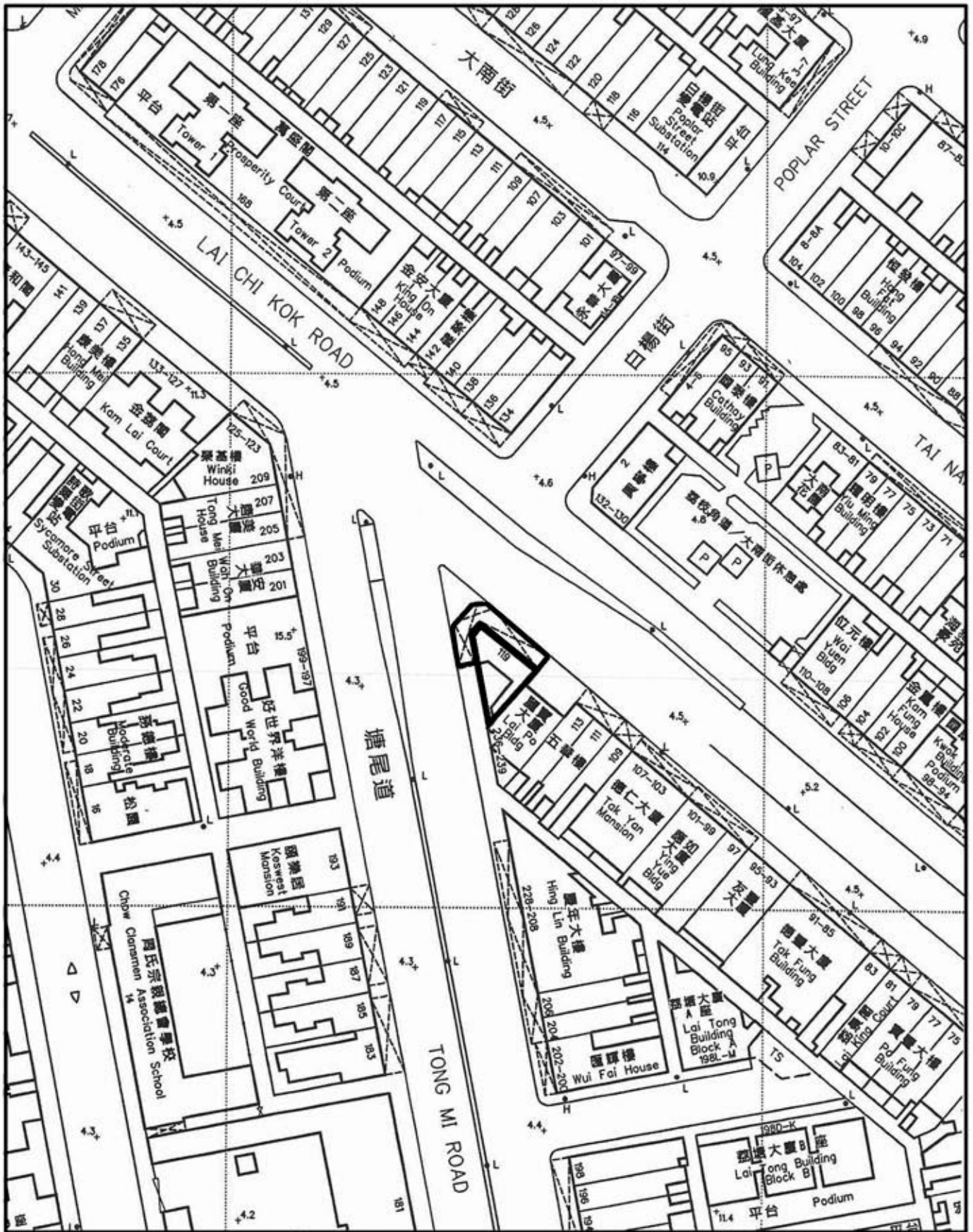
(e) Structural Limitations

The required loading capacity for the possible uses are as follows:

- | | |
|------------------------------|--------|
| (i) Chinese Medicine Shop | 5.0kPa |
| (ii) Display Centre | 5.0kPa |
| (iii) Social Services Centre | 3.0kPa |

Based on the estimated loading capacity of the building mentioned in paragraph 4.7 (2.3kPa), structural strengthening works will be necessary for all the examples of uses listed above.

Appendix I
Location Plan



 THE SITE

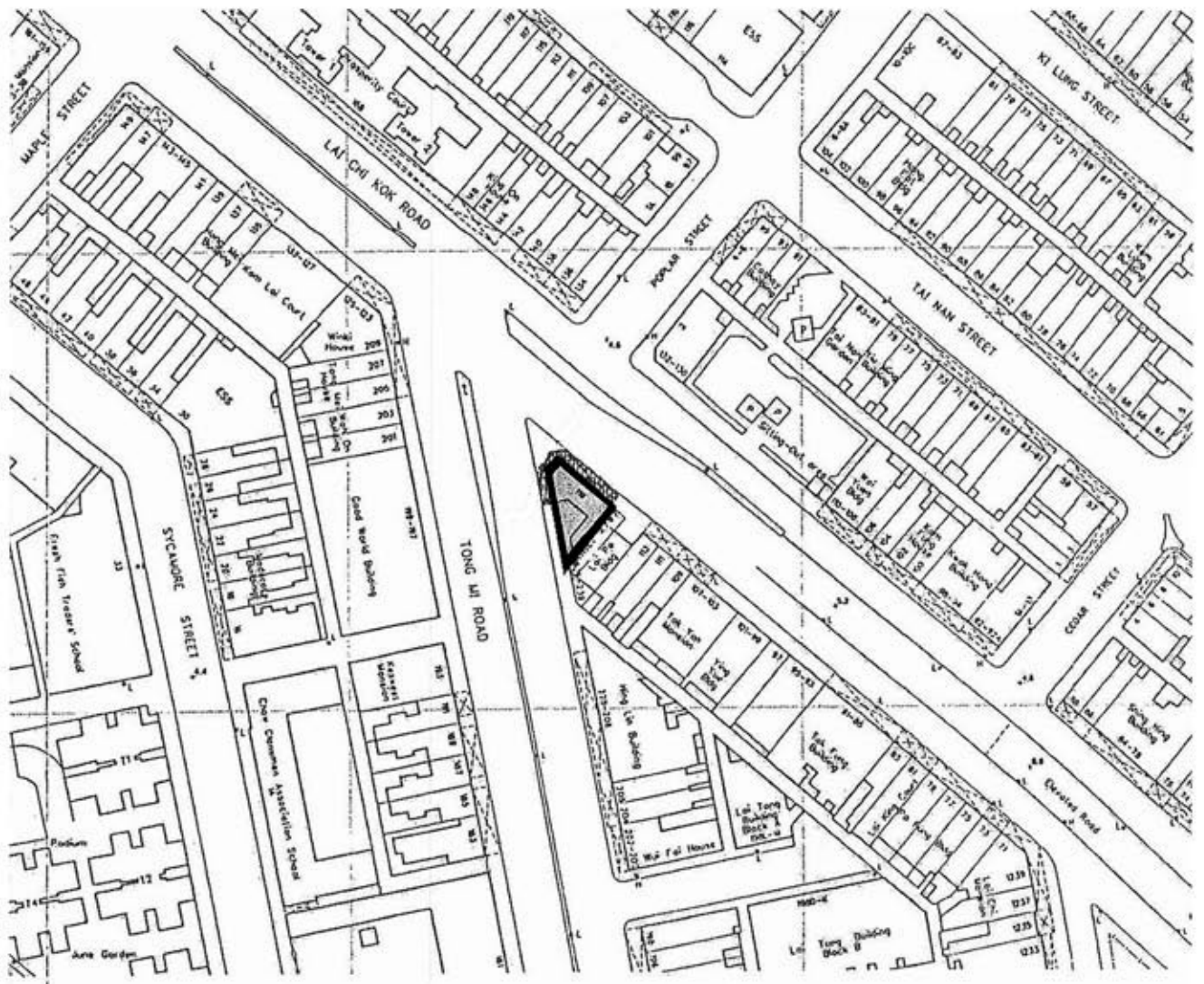
EXTRACT PLAN BASED ON
 SURVEY SHEET Nos.
 11-NW-14C (11 / 12 / 2007 UPDATED)
 *LEVELS REFER TO HONG KONG
 PRINCIPAL DATUM LEVEL
 DATE : 24 / 12 / 2007

LUI SENG CHUN
 119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:
APPENDIX I
 LOCATION PLAN
 1 : 1000

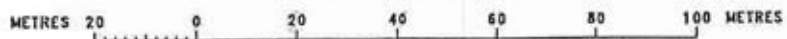
Appendix II

Site Boundary Plan



COLOURED PINK AREA 123 SQUARE METRES (ABOUT)

SCALE 1 : 1000



 SITE BOUNDARY

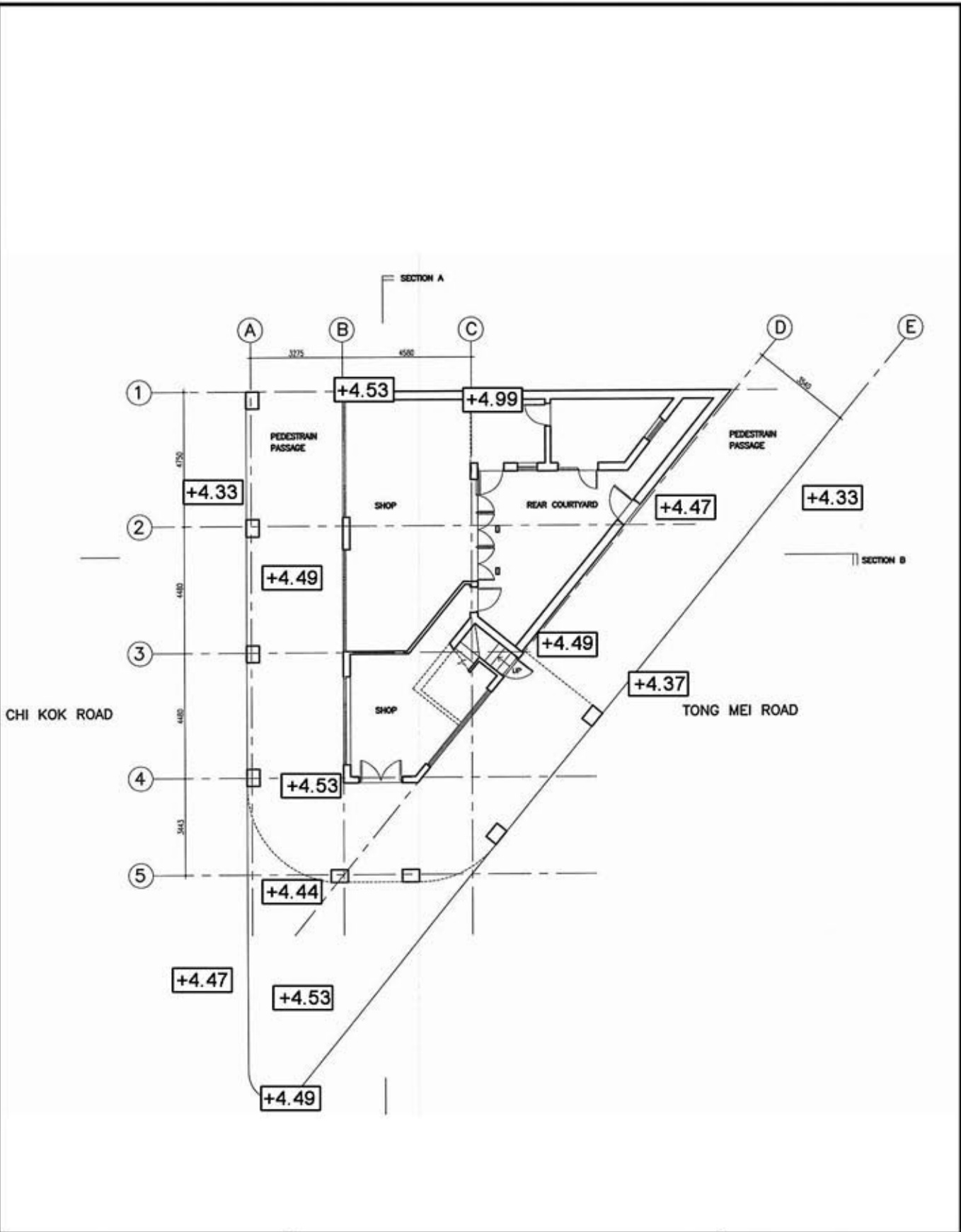
LUI SENG CHUN
119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:
APPENDIX II
SITE BOUNDARY PLAN

DATE : 24 / 12 / 2007

Appendix III

Datum Levels Plan



*LEVELS REFER TO HONG KONG
PRINCIPAL DATUM LEVEL
DATE : 24 / 12 / 2007

LUI SENG CHUN
119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:
APPENDIX III
DATUM LEVELS PLAN

Appendix IV

**Summary of Site and
Building Information**

Summary of site information is listed below:

Building Name	Lui Seng Chun
Address	No. 119, Lai Chi Kok Road, Mongkok, Kowloon
Site Area	Approximately 123 sq. metres (approximately 1,324 sq. feet on lease plan)
Major Datum Level	+4.5mPD
Zoning Permissible Uses	Residential (A)

Summary of building information is listed below:

Number of Blocks	One
Year of Completion	1931
Gross Floor Area	Approximately 598 sq. metres (G/F – 84.7 sq.m 1/F, 2/F and 3/F – 171 sq.m respectively)
Historic Grading	Grade I
Original Use	Chinese bone-setter and herbalist medicine shop at ground floor Accommodation at upper floors
Recent Uses	Vacant since 1980
Schedule of Accommodation	G/F – bone-setter, herbalist medicine shop and a rear courtyard 1/F, 2/F and 3/F - residential accommodation, kitchen, toilet and open verandah
Materials of Construction	Basically reinforced concrete slab and beam, brick wall and granite block/reinforced concrete columns
Internal Circulation	Upper floors are accessible by a staircase entered from the footpath at Tong Mi Road. Backyard can be entered from the shop at G/F or by the side entrance at Tong Mi Road

Appendix V

Architectural Drawings

Drawing No.	Title
LS-1	Block Plan
LS-2	Ground Floor Plan
LS-3	First Floor Plan
LS-4	Second Floor Plan
LS-5	Third Floor Plan
LS-6	Roof Plan
LS-7	Elevation 1 (Lai Chi Kwok Road)
LS-8	Elevation 2 (Tong Mi Road)
LS-9	Section A
LS-10	Section B



Base Plan extracted from Survey Plan No. 11-NW-14C
Survey and Mapping Office, Lands Department

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

BLOCK PLAN

SCALE:

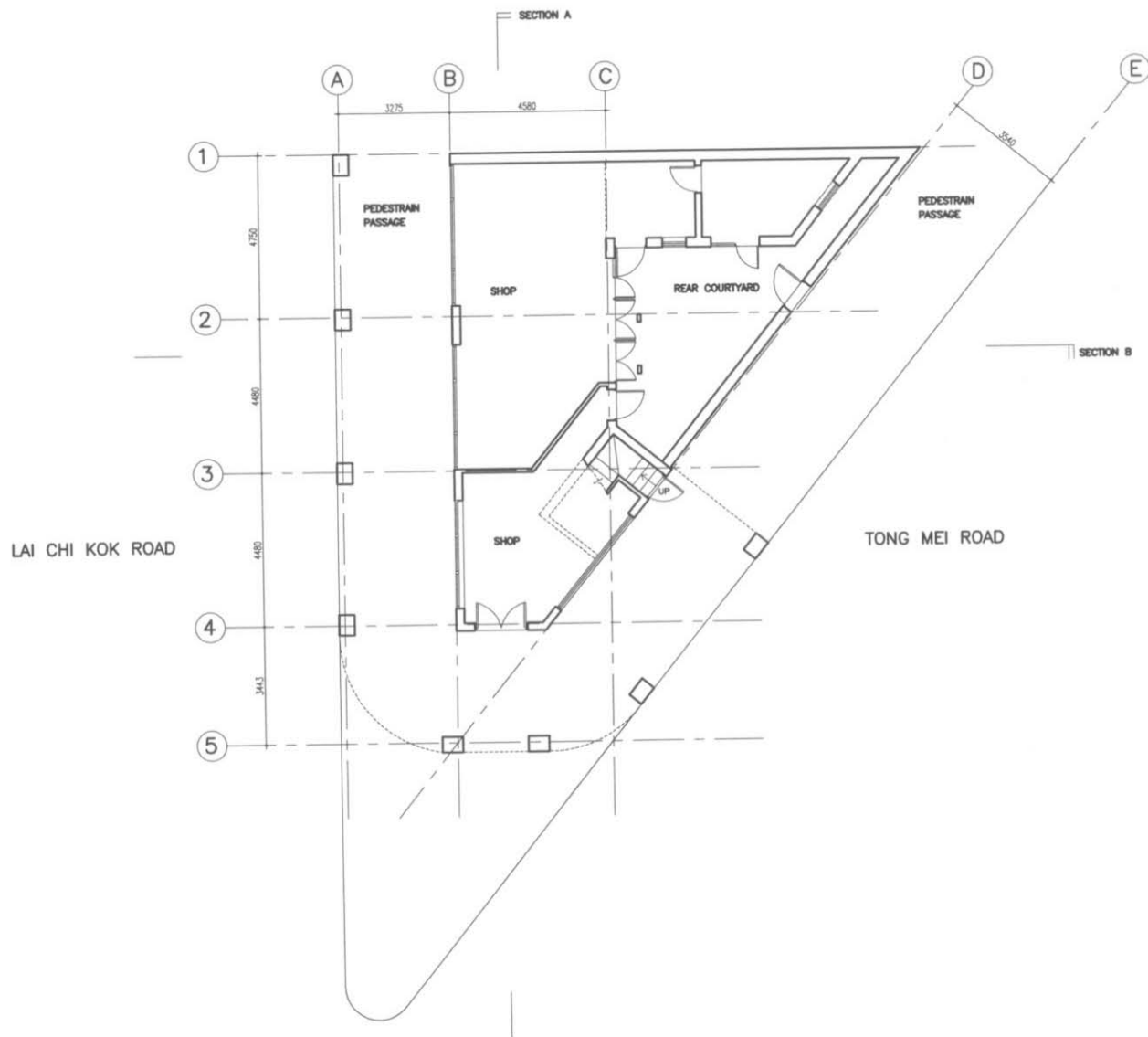
1 : 1000(A3)

DRAWING NO.:

LS-1



ARCHITECTURAL SERVICES DEPARTMENT



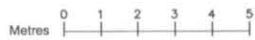
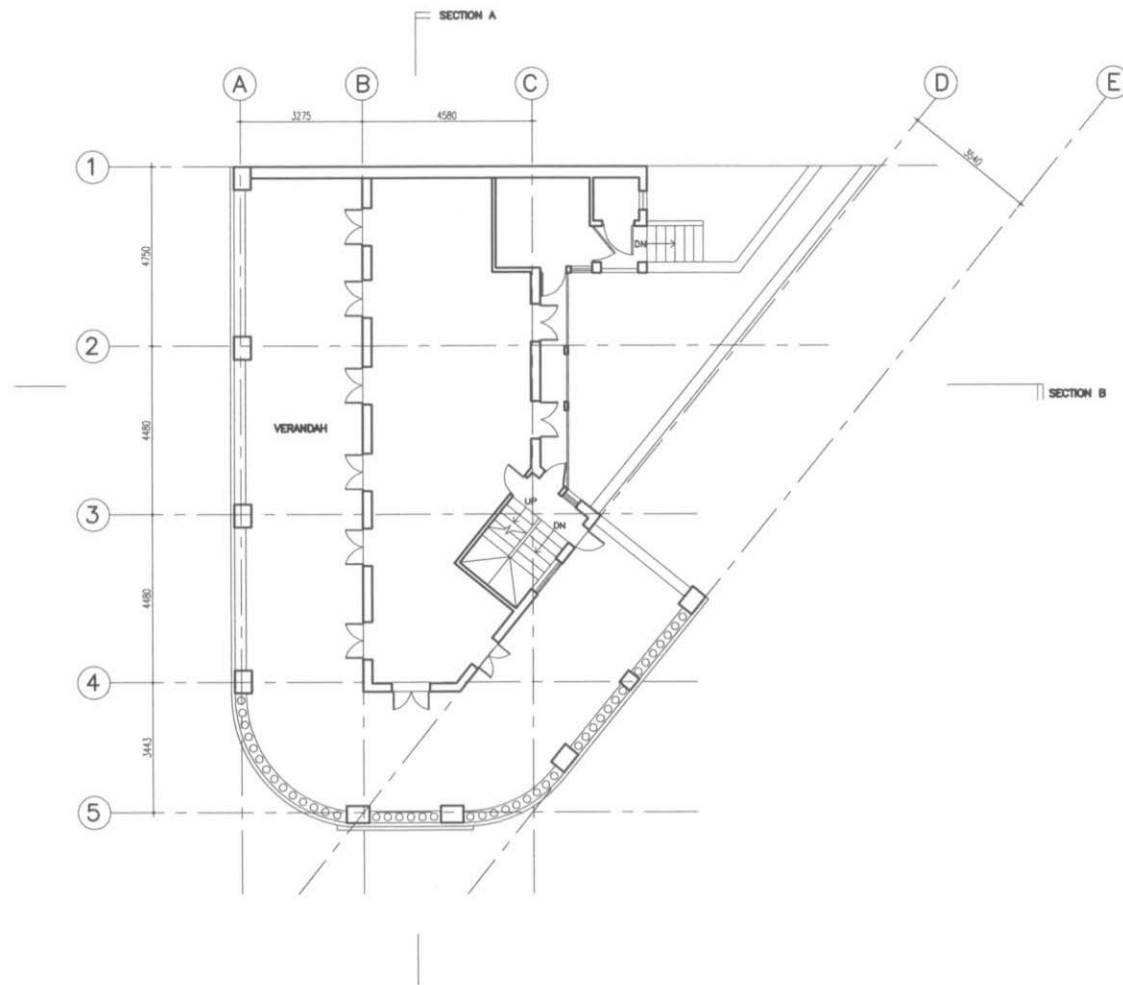
PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION: 15/12/2007

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
 LUI SENG CHUN
 NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:
 GROUND FLOOR PLAN
 SCALE:
 1 : 150(A3) / 1:200(A4)

DRAWING NO.:
LS-2



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:

LUI SENG CHUN
 NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

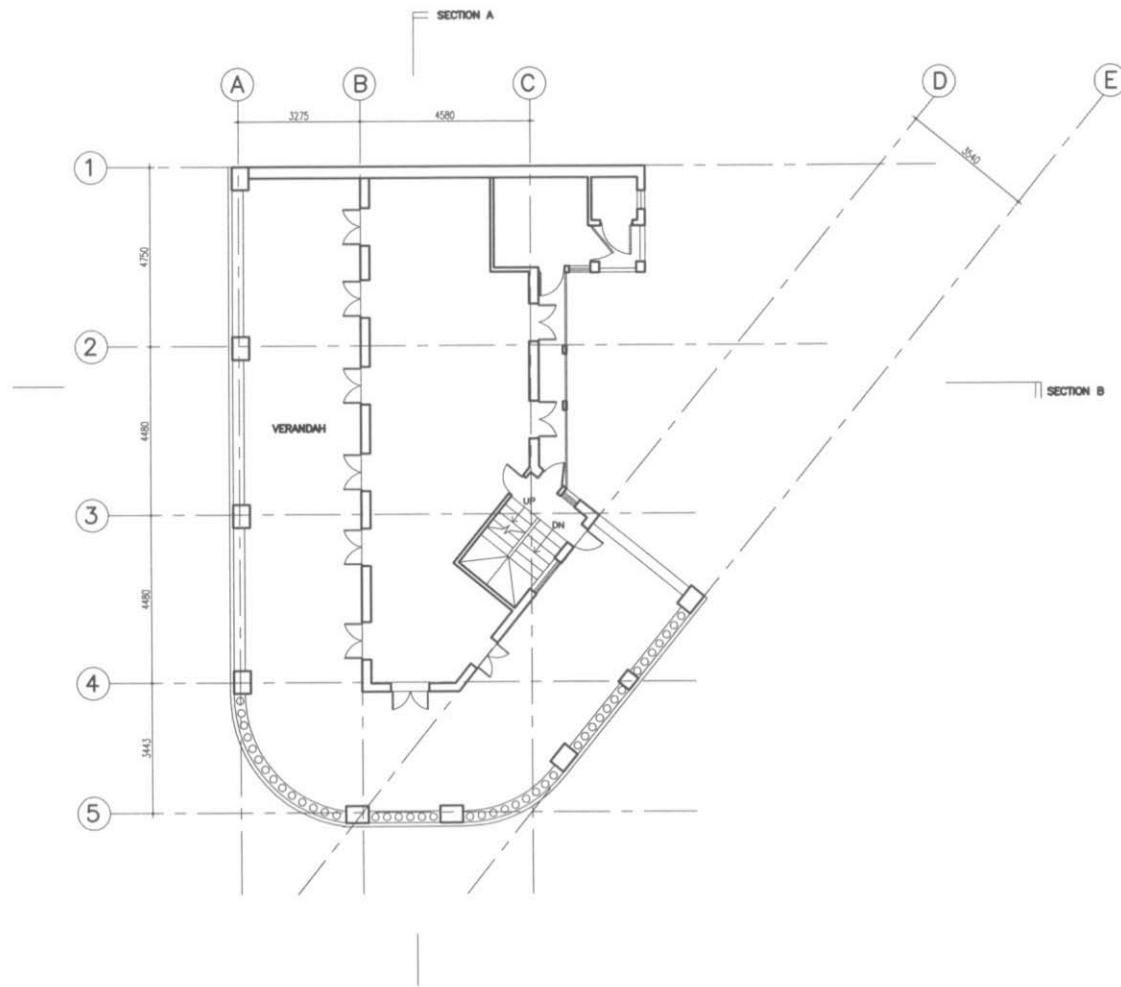
FIRST FLOOR PLAN

SCALE:

1 : 150(A3) / 1:200(A4)

DRAWING NO.:

LS-3



Metres 0 1 2 3 4 5



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

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PROJECT:

LUI SENG CHUN
 NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
 RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
 THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

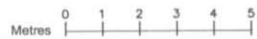
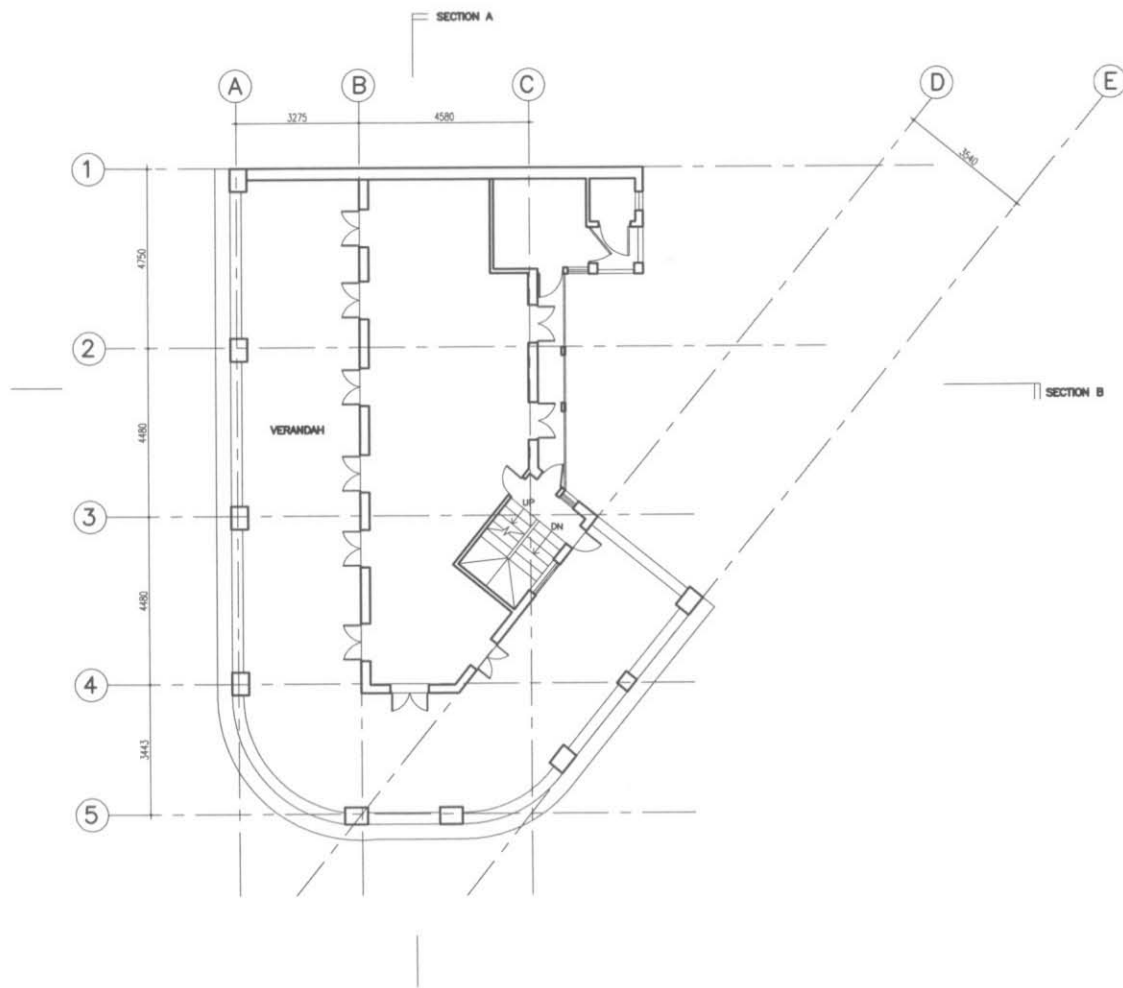
SECOND FLOOR PLAN

SCALE:

1 : 150(A3) / 1:200(A4)

DRAWING NO.:

LS-4



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:
LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

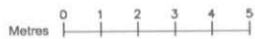
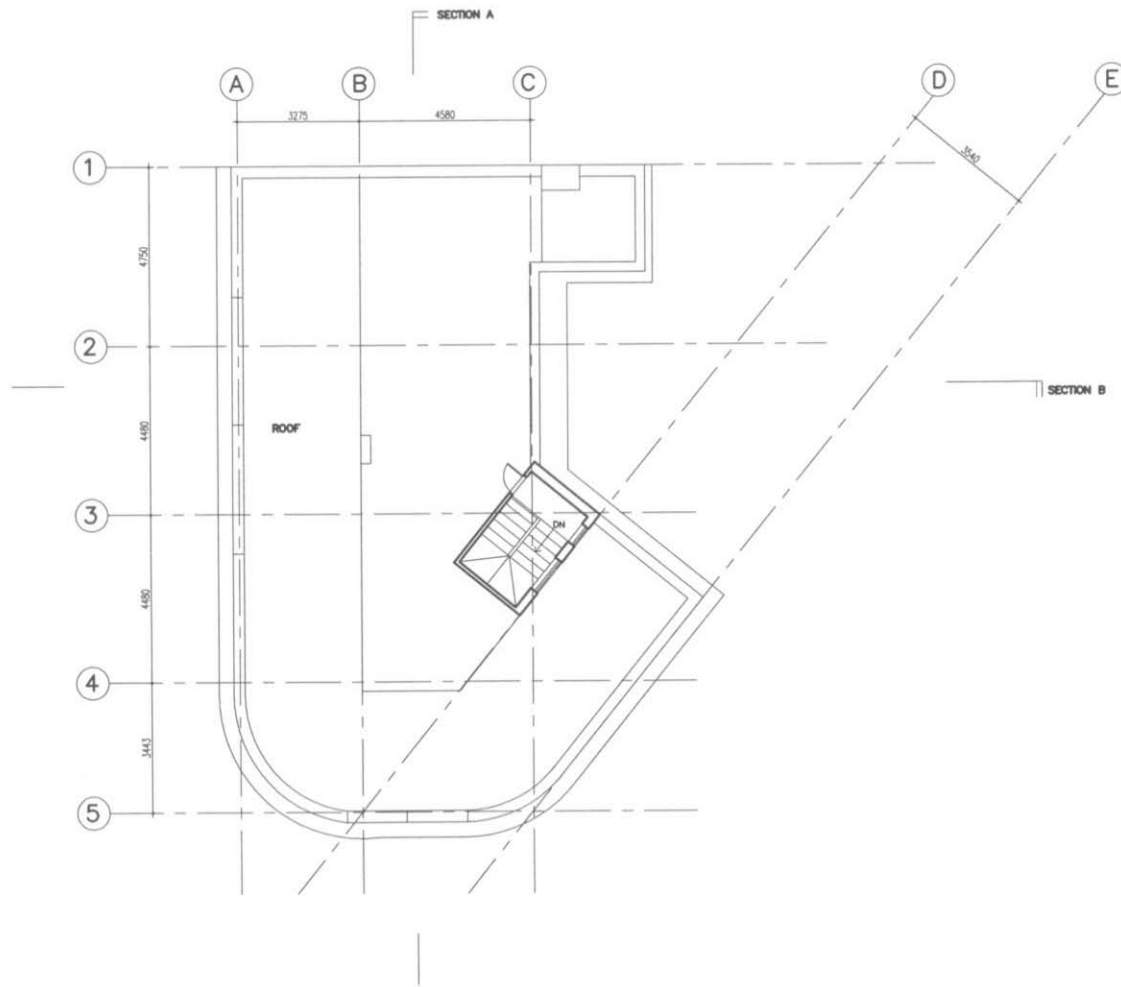
THIRD FLOOR PLAN

SCALE:

1 : 150(A3) / 1:200(A4)

DRAWING NO.:

LS-5



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:

LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

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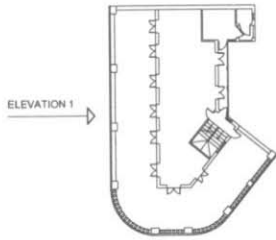
ROOF PLAN

SCALE:

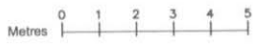
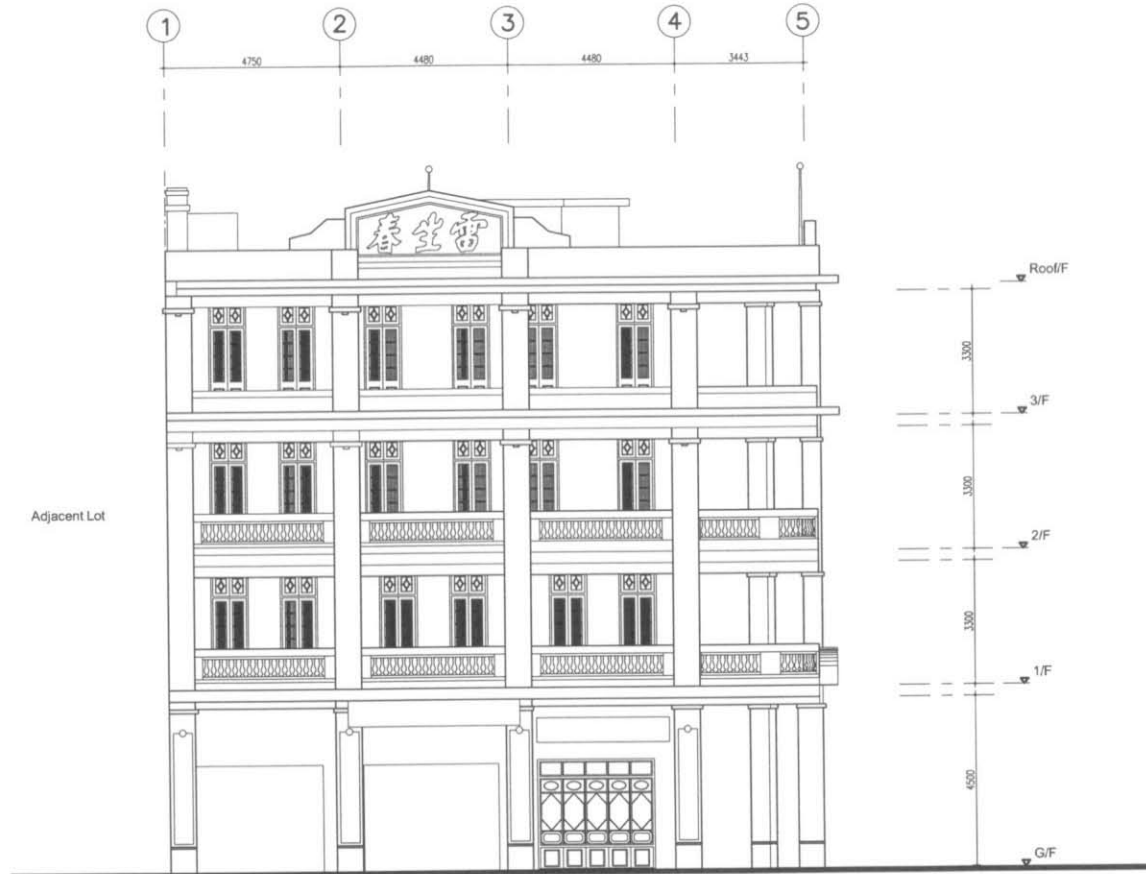
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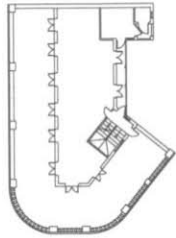
LS-6



Key Plan (not to scale)



 ARCHITECTURAL SERVICES DEPARTMENT	PRODUCED BY:  Architectural Conservation Office DATE OF PRODUCTION: 15/12/2007	NOTES: The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.	PROJECT: LUI SENG CHUN NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS THROUGH PARTNERSHIP SCHEME	DRAWING TITLE: ELEVATION 1 (LAI CHI KOK ROAD) SCALE: 1 : 150(A3) / 1:200(A4)	DRAWING NO.: <h1>LS-7</h1>
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Key Plan (not to scale)

ELEVATION 2



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:

LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

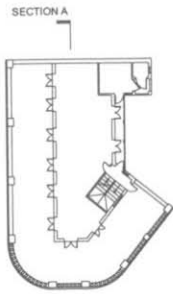
ELEVATION 2 (TONG MI ROAD)

SCALE:

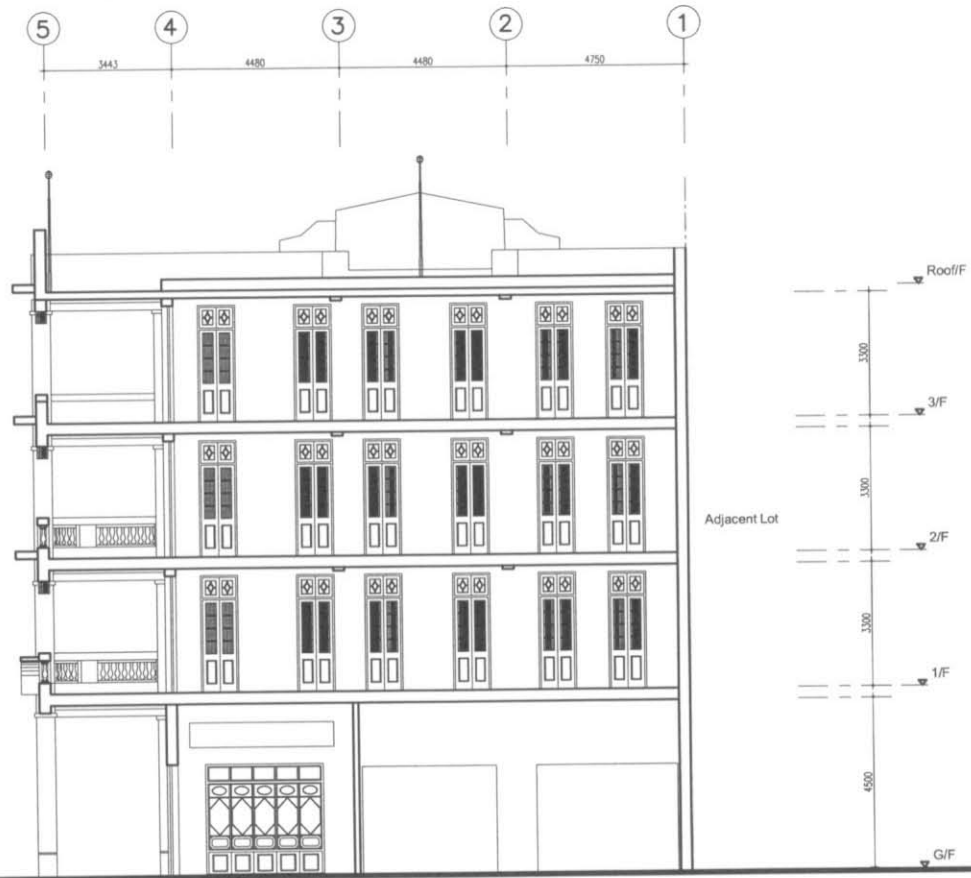
1 : 150(A3) / 1:200(A4)

DRAWING NO.:

LS-8



Key Plan (not to scale)



0 1 2 3 4 5
Metres



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:
LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

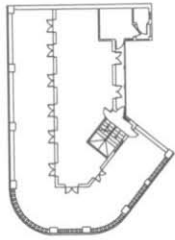
SECTION A

SCALE:

1 : 150(A3) / 1:200(A4)

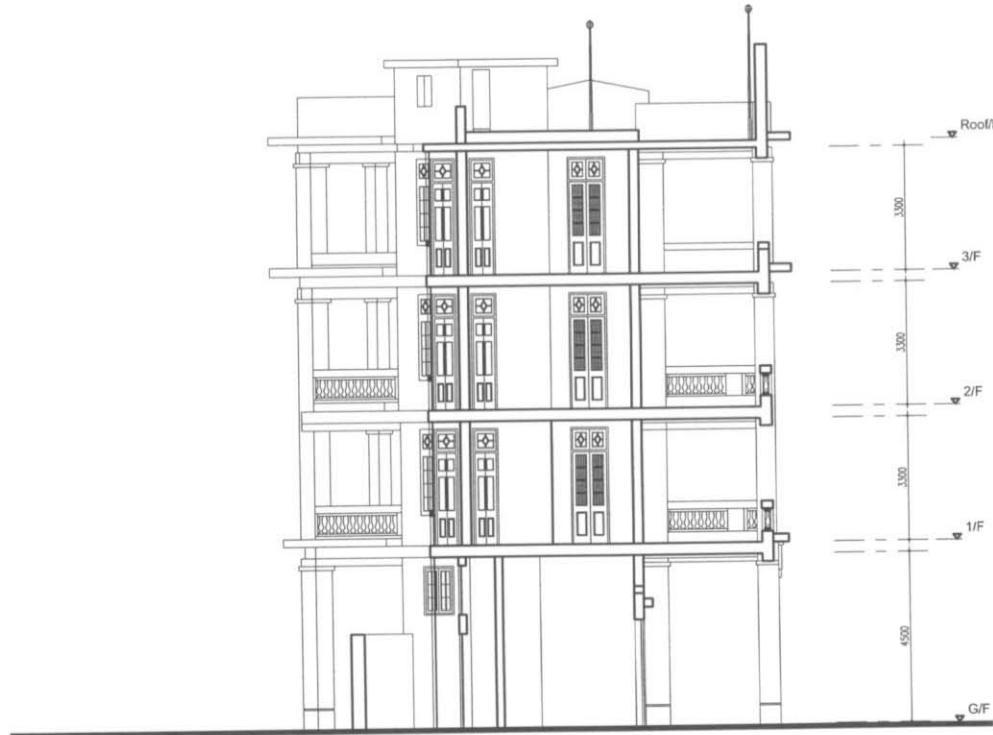
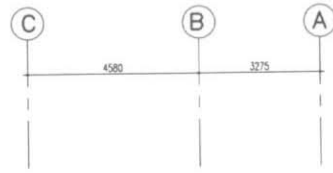
DRAWING NO.:

LS-9



Key Plan (not to scale)

SECTION B



ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:



DATE OF PRODUCTION: 15/12/2007

NOTES:

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PROJECT:

LUI SENG CHUN
NO.119 LAI CHI KOK ROAD, MONGKOK, KOWLOON
RESOURCE KITS FOR REVITALISING HISTORIC BUILDINGS
THROUGH PARTNERSHIP SCHEME

DRAWING TITLE:

SECTION B

SCALE:

1 : 150(A3) / 1:200(A4)

DRAWING NO.:

LS-10

Appendix VI

Photos of Building



General view of Lui Seng Chun



View of west façade of Lui Seng Chun



View of backyard



General layout at 1/F



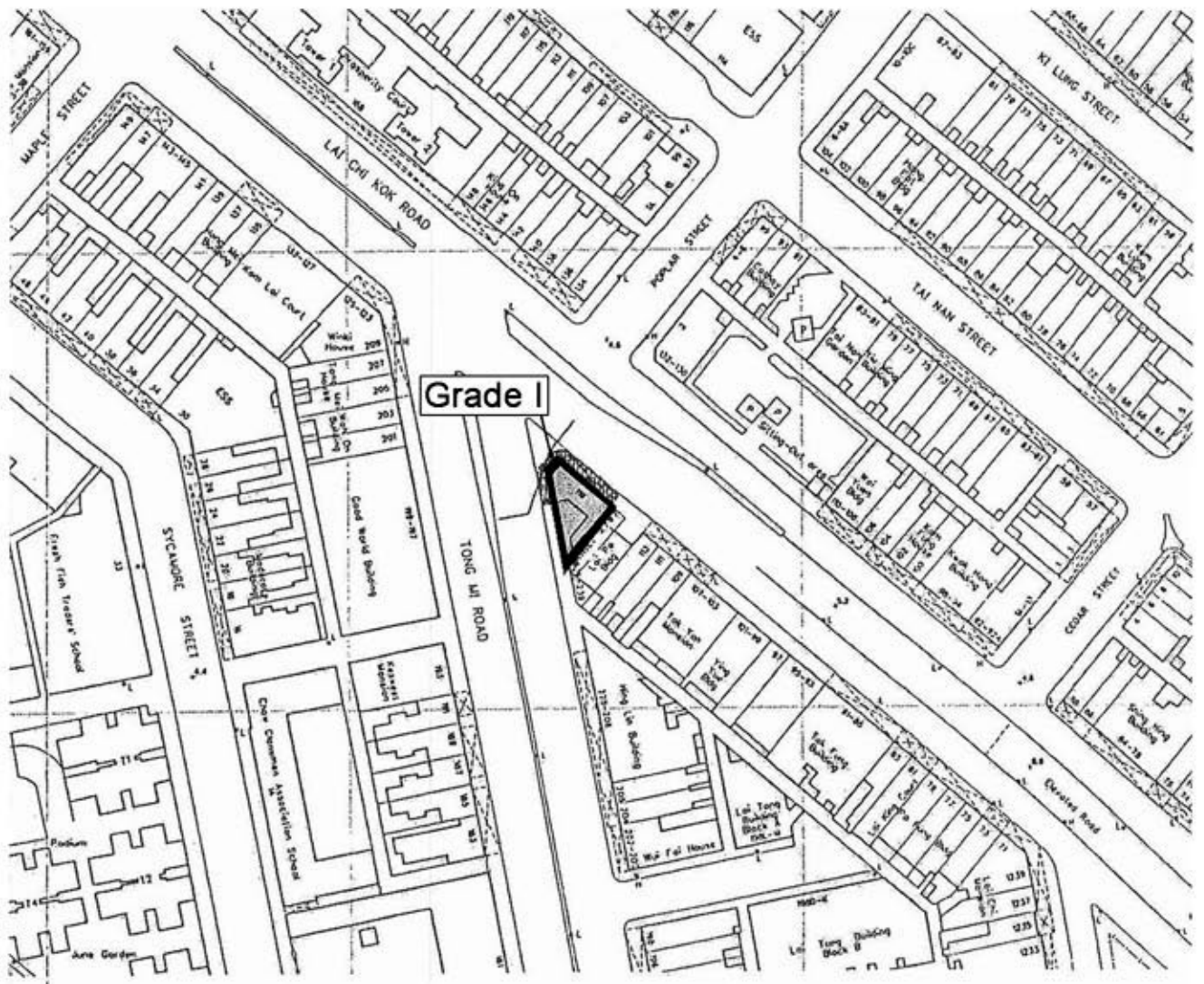
View of verandah



View of timber doors located between room and verandah

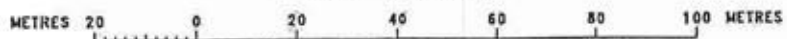
Appendix VII

Grading Boundary Plan



COLOURED PINK AREA 123 SQUARE METRES (ABOUT)

SCALE 1 : 1000



 GRADING BOUNDARY

LUI SENG CHUN
119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:
APPENDIX VII
GRADING BOUNDARY
PLAN

DATE : 24 / 12 / 2007

Appendix VIII

Plan Showing Immediate Surrounding



 THE SITE

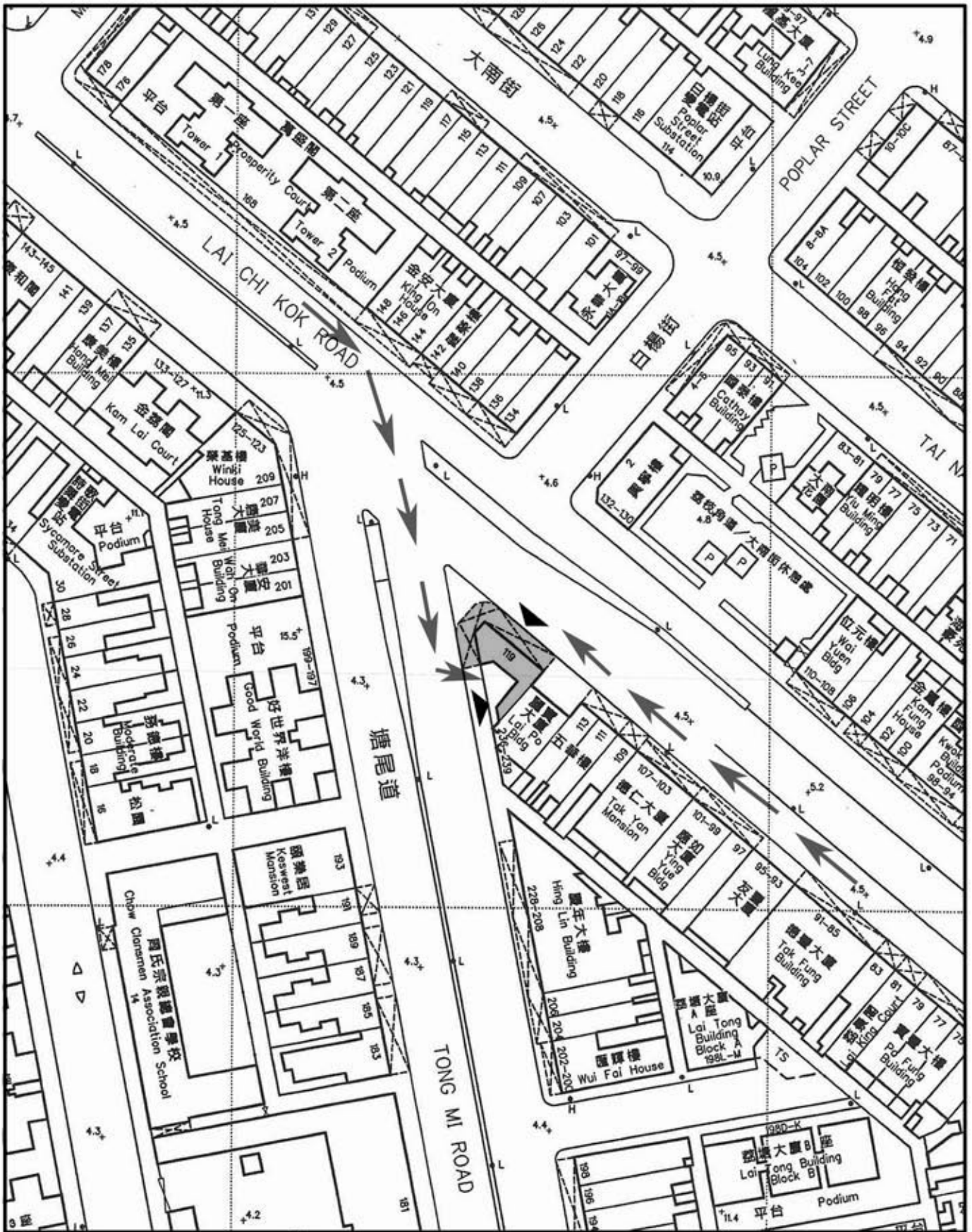
LUI SENG CHUN
119, 119B & 119C LAI CHI KOK ROAD




DRAWING NO.:
APPENDIX VIII
IMMEDIATE
SURROUNDINGS

DATE : 24 / 12 / 2007

Appendix IX

Access Plan



-  THE SITE
-  PEDESTRIAN ACCESS
-  VEHICULAR ACCESS

DATE : 24 / 12 / 2007

LUI SENG CHUN
119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:
APPENDIX IX
 ACCESS PLAN

Appendix X

List of Architectural Features to be Preserved

Lui Seng Chun
Architectural Features to be Preserved

1. EXTERNAL

1.1) The whole of the concrete frame structure including beams, slabs and columns with decorative capitals and cornices in granolithic cement finish, and iron fixture projecting from the structural frame of the verandah



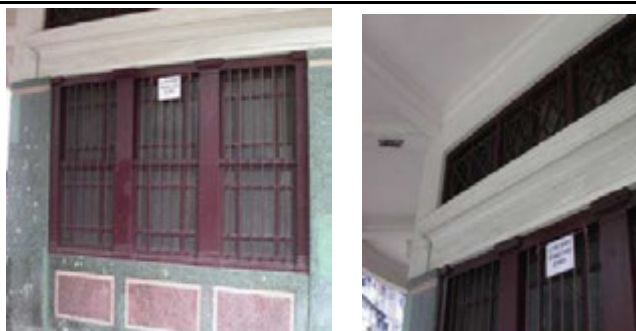
1.2) The front verandahs with urn-shaped balustrades (at 1/F & 2/F) and plain parapets topped with granite (at 3/F)



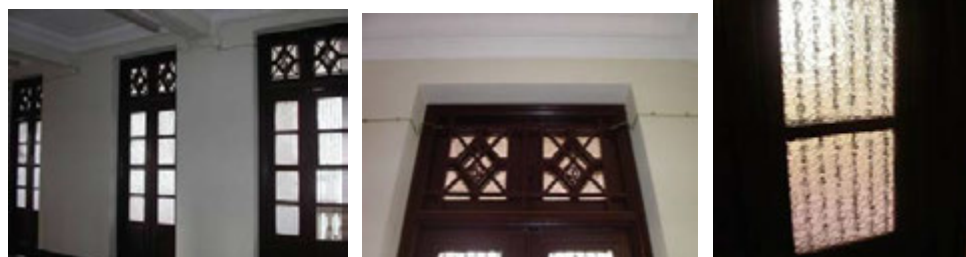
1.3) Profiled stone plaques (2 nos.) marked with “Lui Seng Chun”



1.4) Solid brick walls in Shanghai plaster finish as well as plastered cornice and mouldings



1.5) Doors and Windows - All timber doors and door frames with openable glass panels and fanlights with iron grilles and frosted/ obscured glass. Decorative timber surrounds to display window facing street at G/F. Ironmongery with locking devices to all timber doors and windows (some of them are reproductions which can be replaced if necessary, but the new replacements should follow the materials and patterns of the existing ones)



1.6) Decorative iron grilles to windows and fanlights (some of them are reproductions which can be replaced if necessary, but the new replacements should follow the materials and patterns of the existing ones)



1.7) Drainage outlets at balconies at all floors



1.8) Canopies projecting from face of parapets at the roof slab level



1.9) The Rear verandah with concrete slab and profiled column supports



1.10) The main reinforced concrete roof slab together with Canton clay tiled insulating roof on top



1.11) The brick chimney flue, water tank and parapet completed with drainage outlets



1.12) Staircase hood at top floor

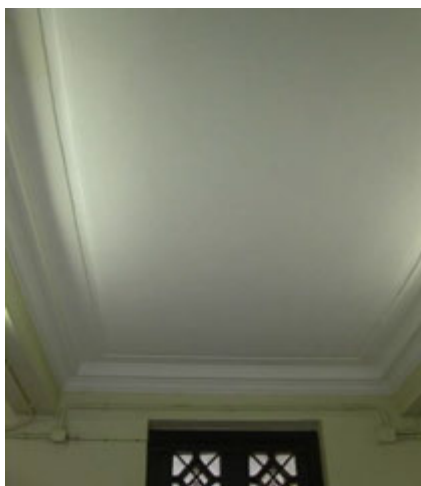


1.13) Main exit door in the boundary wall and its door frame with period style ironmongery



2. INTERNAL

2.1) Decorative plaster timber moulding and cornices to ceilings



2.2) All granite thresholds in doorways



2.3) Patterned and coloured ceramic tiles with geometric patterns (opening of floor slabs in order to comply with the statutory requirements may be allowed, subject to approval of AMO)



2.4) Timber or plastered floor skirtings



3. COURTYARD

3.1) Open Courtyard (provision of facilities for compliance with statutory requirements may be allowed, subject to the approval of AMO)






Appendix XI


**List of Required Treatment to
Architectural Features**


Lui Seng Chun
Required Treatment to Architectural Features


1. EXTERNAL AREA


Architectural Feature	Required Treatment
<p>a) Whole of the concrete frame structure including beams, slabs and columns with decorative capitals and cornices in granolithic cement finish, and iron fixture projecting from the structural frame of the verandah</p>	<p>Walls to be checked for any concrete spalling, repaired, thoroughly cleaned by water jetting and previously painted surfaces should be repainted. Cream limewash colour scheme should be retained for external wall finishes.</p>
	


Architectural Feature	Required Treatment
<p>b) Granite columns with decorative capitals, plinths and groove joints</p>	<p>The cement and plaster surfaces should be repaired as necessary. To be cleaned to sufficient bright, sand-blasting can be applied. Granite columns should remain unpainted.</p>
<div style="display: flex; justify-content: space-around;">   </div>	


Architectural Feature	Required Treatment
c) Verandahs with urn-shaped balustrades (at 1/F & 2/F) and plain parapets topped with granite (at 3/F)	The cement and plaster surfaces should be repaired and repainted as necessary. Enclosure of the verandahs may be permitted and method statements have to be submitted and approved by AMO.
	

Architectural Feature	Required Treatment
d) Profiled stone plaques (2 nos.) inscribed “ <i>Lui Seng Chun</i> ” at roof level	The plaques should be preserved in-situ; repaint if necessary.
	


Architectural Feature	Required Treatment
e) R.C. flag poles (2 nos.) above of each of the stone plaques at roof level	Reinstate missing flag poles by a replica to same design as original
	


Architectural Feature	Required Treatment
<p>f) All timber doors and door frames with openable glass panels and fanlights with iron grilles and frosted/ obscured glass. Decorative timber surrounds to display window facing street at G/F. Ironmongery with locking devices to all timber doors and windows</p>	<p>Some of the doors and windows are new replacements in traditional style. But as they are in good condition, they should be kept as far as possible. If there are any cracked or missing pieces should be carefully repaired using same colour glass and materials. Painting should match original colour. Historic ironmongery should be repaired, painted, if necessary and oiled so as to function properly.</p>
	


Architectural Feature	Required Treatment
<p>g) Decorative iron grilles to windows and fanlights</p>	<p>Some of them are new replacements copying the original ones. They should be cleaned off rust, repaired and repainted.</p>
	


Architectural Feature	Required Treatment
h) Main timber exit door in the boundary wall with period style ironmongery	Repair as necessary, repaint and maintain
	

Architectural Feature	Required Treatment
i) Folding steel shutter gates and blocked wooden panelled doors facing Lai Chi Kok Road.	These folding steel shutter gates to the exterior of the shop openings are modern and inappropriate. They should be removed and replaced by timber folding doors in traditional style of the period. If metal gates are also required for additional security, the design should be of traditional lattice folding style. External doors should be constructed to maintain the alignment with the street front.
	


Architectural Feature	Required Treatment
j) The rear verandah with concrete slab and profiled column supports	To be checked for any concrete spalling, repaired, thoroughly cleaned by water jetting and previously painted surfaces should be repainted. The rear verandah should not be permanently enclosed, but screens and shading devices can be installed. Method Statements should be submitted to AMO for approval.
	

Architectural Feature	Required Treatment
k) Iron planter supporting frames and iron tracteries at balconies facing the rear courtyard	Some of them are reproductions copying the original ones. They should be maintained, cleaned off rust, repaired and repainted.
	


Architectural Feature	Required Treatment
l) Main reinforced concrete roof slab and the Canton tiled insulation roof above	Maintain roof surface in waterproof condition. Canton tiled surface is to be cleaned by non-corrosive detergent but not painted.
	

Architectural Feature	Required Treatment
m) Brick chimney flue, parapets and staircase hood at roof floor	Surfaces are to be repaired and previously painted surfaces redecorated as necessary.
	


Architectural Feature	Required Treatment
n) Cornice and pediment	For damaged cornice and pediment, repair by following design of intact adjacent section with similar features.
	


Architectural Feature	Required Treatment
o) Drainage fittings including cast iron rainwater downpipes and hopper heads	Clear away any greenery and repair, repaint and maintain as necessary; fittings may be taken down or relocated if being affected by facilities for compliance with statutory requirements, subject to the approval of AMO.
	


2. INTERNAL

Architectural Feature	Required Treatment
a) Decorative plaster/timber mouldings/ cornices to ceilings	Any cracked or missing sections should be repaired using same plaster material and painted to match existing.
	


Architectural Feature	Required Treatment
b) All granite thresholds in doorways	All original granite thresholds should remain unpainted.
	

Architectural Feature	Required Treatment
c) R.C. staircase inscribed with diamond pattern on treads; also wrought-iron balustrades with timber handrails and timber newel posts	Improvement/ upgrading works to the staircase in order to meet statutory requirements may be allowed, subject to the approval of AMO.
	

Architectural Feature	Required Treatment
d) Patterned and coloured ceramic floor tiles. Timber or plastered floor skirtings	All ceramic tiled flooring should be retained in-situ. Remove raised wooden temporary floor from ground shop area. No corrosive cleaning detergent is permitted. Works to the floor slabs in order to make them structural capable for adaptive re-use may be permitted. But the proposed scale and location of the works have to be agreed by AMO.
	

Architectural Feature	Required Treatment
e) Original open plan of internal space	Original open plan of the internal space should be interpreted and expressed during design of internal partitions. No damage to floor tiles is allowed for installation of internal partitions.
	

3. COURTYARD


Architectural Feature	Required Treatment
a) Open Courtyard	The open courtyard should be retained in its existing uncovered condition, to show its original function as a ventilated light-well to the building. However, installation of fire escape and disabled facilities for compliance with statutory requirements will be permitted.
	


Appendix XII

List of Recommended Treatment to Architectural Features

Lui Seng Chun
Recommended Treatment to Architectural Features

1. EXTERNAL

Architectural Feature	Recommended Treatment
a) Solid brick walls in Shanghai plaster finish and plastered cornice with mouldings	Some areas of Shanghai rendering have been badly repaired in the past; it is recommended to be carefully removed and replaced by material of the correct colour.
	

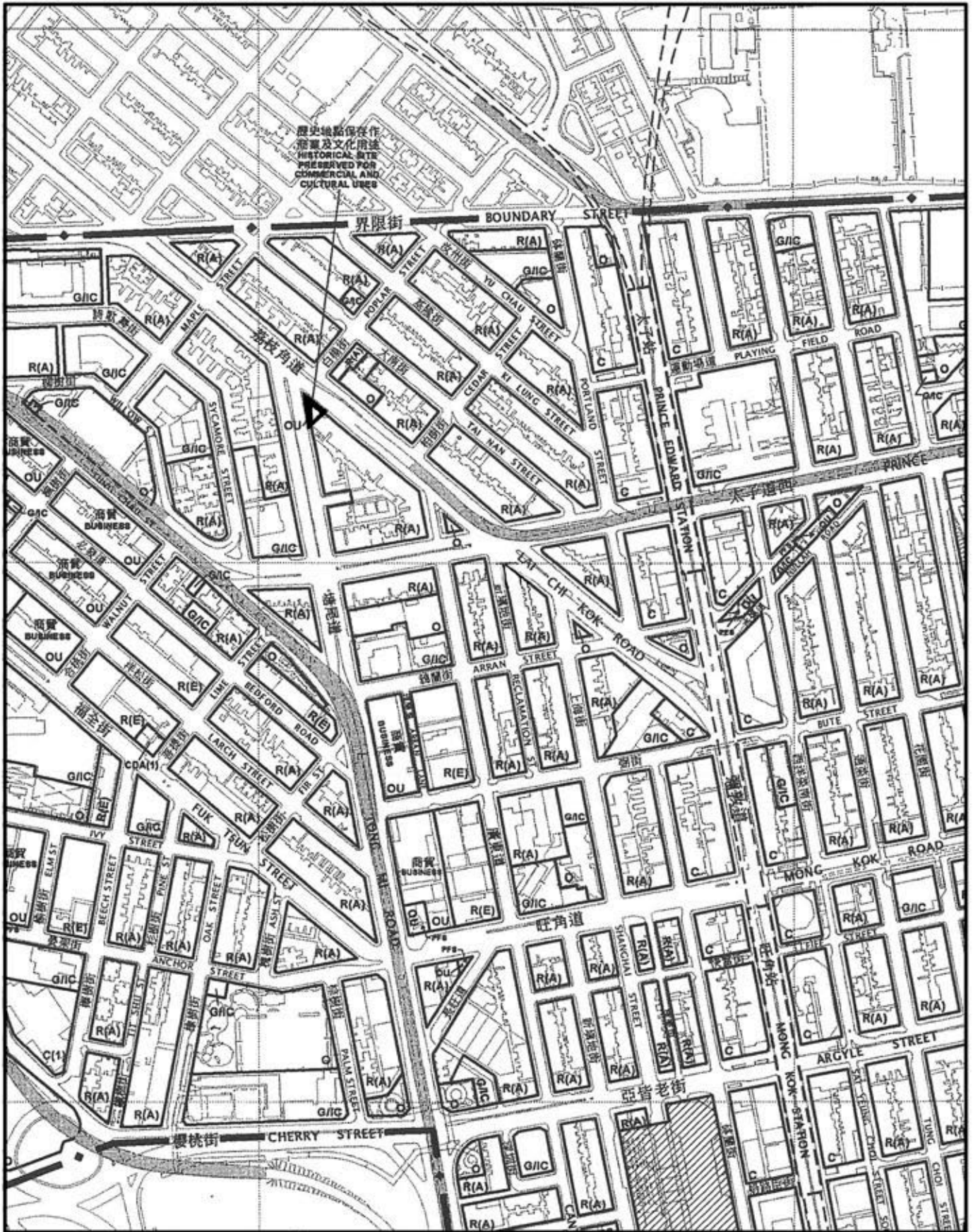
Architectural Feature	Recommended Treatment
b) Floor tiles to the verandahs	Some original floor tiles to the verandahs have been replaced by inappropriate tiles or cement during repairs, and these are recommended to be replaced with tiles of the same composition and colour.
	

2. INTERNAL

Architectural Feature	Recommended Treatment
a) Old furniture including glazed display cabinets inside the building	Repair and re-use of the old furniture in the building are recommended. To make good and repaint any damaged wall surface after removal of the old furniture.
	

Appendix XIII

Outline Zoning Plan



 THE SITE

EXTRACT PLAN BASED ON
OUTLINE ZONING PLAN No.
S/K3/24 GAZETTED ON 9 / 5 / 2006

DATE : 24 / 12 / 2007

LUI SENG CHUN

119, 119B & 119C LAI CHI KOK ROAD

DRAWING NO.:

APPENDIX XIII

OUTLINE ZONING PLAN

1 : 5000

OTHER SPECIFIED USES (Cont'd)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
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For "Historical Site Preserved for Commercial and Cultural Uses" Only

Eating Place
Educational Institution
Exhibition or Convention Hall
Field Study/Education/Visitor Centre
Government Use
Institutional Use (not elsewhere specified)
Library
Place of Recreation, Sports or Culture
School
Shop and Services
Training Centre

Religious Institution
Social Welfare Facility

Planning Intention

The planning intention of this zone is to preserve, restore and convert the Lui Seng Chun building into a local heritage attraction with the provision of cultural and commercial facilities for the enjoyment of the public.

Remarks

Any demolition of, or any addition, alteration and/or modification to the existing Lui Seng Chun building requires planning permission from the Town Planning Board.