

**Revitalising Historic Buildings
Through Partnership Scheme**

North Kowloon Magistracy

Resource Kit



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I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Scheme). Information provided include:

- Section II Historical Background and Architectural Merits;
- Section III Site Information;
- Section IV Building Information;
- Section V Vicinity and Access;
- Section VI Conservation Guidelines;
- Section VII Town Planning Issues;
- Section VIII Land and Tree Preservation Issues;
- Section IX Slope Maintenance; and
- Section X Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent locations of the buildings concerned.

1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility

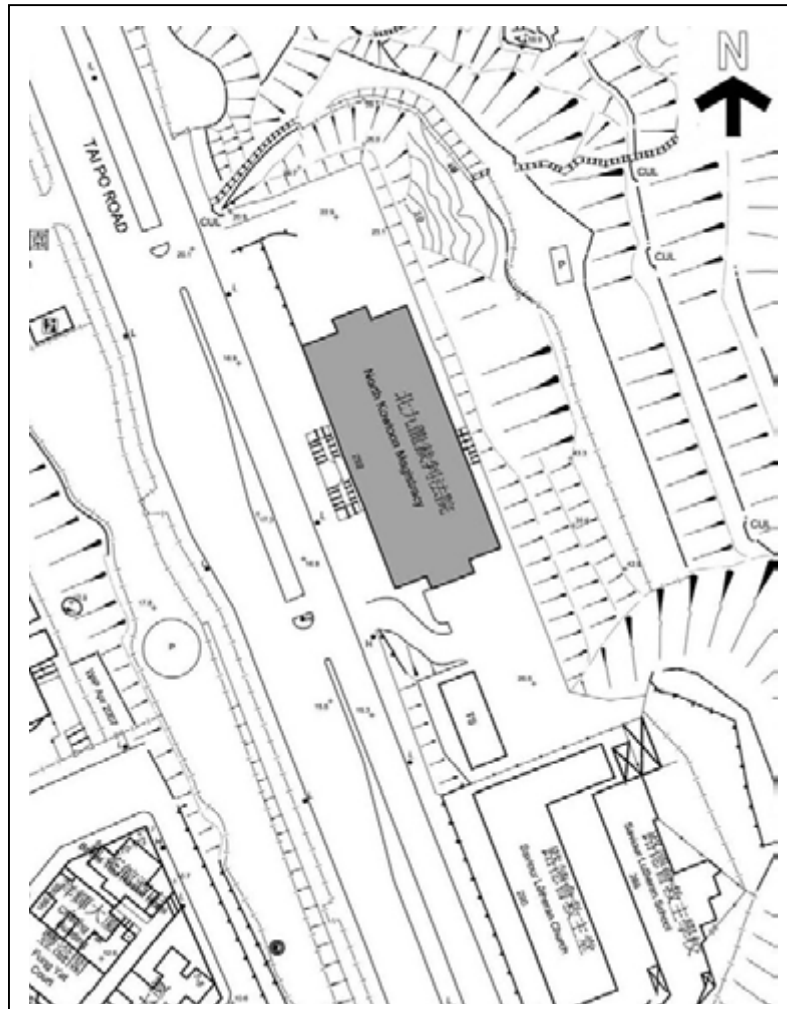
of such case will need to be further examined.

- 1.4 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - “Structural Appraisal” is a rough estimate only.
- 1.5 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address:	Revitalising Historic Buildings Through Partnership Scheme Secretariat 21/F., Murray Building, Central Hong Kong
Email:	rhb_enquiry@devb.gov.hk
Phone.:	2848 6230
Fax:	3167 2665

II. Historical Background and Architectural Merits

2.1 Historical Background



Map showing location of North Kowloon Magistracy

Address of North Kowloon Magistracy: No. 292 Tai Po Road, Sham Shui Po, Kowloon.

North Kowloon Magistracy was built to handle offences within the Kowloon district. Located in Tai Po Road, the seven-storey building was designed by Palmer & Turner Architects and its construction was completed in 1960. It is a representative example of civic buildings of the period.

There were two magistracies responsible for handling offences in Kowloon before 1942. One of them was located in Shanghai Street at the junction of the Public Square and the Market Street. The other was in Gascoigne Road. The magistracy in Shanghai Street was demolished in 1957 while the North Kowloon Magistracy was subsequently erected in 1960. In 2000, the magistracy in

Gascoigne Road was also closed and North Kowloon Magistracy became the sole judicial court handling offences in Kowloon.

However, North Kowloon Magistracy was also closed on 3 January 2005 due to consolidation of magistracies from nine to six. The cases of North Kowloon Magistracy were then distributed and handled at three additional courts, established in Kwun Tong Magistracy and Kowloon City Magistracy.

Within the judiciary structure, all criminal proceedings commence in the Magistrates' Courts and thus, the magistracy is the lowest court that covers a wide range of indictable and summary offences. North Kowloon Magistracy consists of four Magistrates' courts, a Juvenile Court and offices for government departments. The Juvenile Court handles cases against children and teenagers under 16. Minor offences, such as hawking, traffic convictions and littering are also heard in the Magistrates' Courts by Special Magistrates. The maximum sentence in the Magistracy is two years' imprisonment and a fine of \$100,000. (In certain circumstances, the Magistrates may impose sentences of up to three years' imprisonment and a fine of \$5,000,000.) Relatively more serious cases are referred to courts of higher jurisdiction, such as the District Courts or the Court of First Instance.

North Kowloon Magistracy used to handle cases in the Kowloon District, which covers Mong Kok, Sham Shui Po, Shek Kip Mei, Cheung Sha Wan and Ho Man Tin. According to a senior inspector who had worked in North Kowloon Magistracy when it was still in use, there were more than forty defendants appearing in the court daily and could reach up to eighty occasionally.

2.2 Architectural Merits

The building comprises seven storeys with its main elevation facing Tai Po Road. Tall narrow windows dominate the front façade which features a double-canopied central projecting bay and a grand entrance staircase. With a central atrium, it is built with granite ashlar blocks with neo-Classical architectural features such as moulded architraved doorcases. Also, there is a central Italianate style staircase with ornamental ironwork balustrades featuring Grecian motifs.

III. Site Information

3.1 Location

North Kowloon Magistracy is located at No. 292 Tai Po Road in Sham Shui Po. The Location Plan of North Kowloon Magistracy is shown at **Appendix I**.

3.2 Site Boundary

The site is located on Government land. It includes one building, one temporary building and two car parks. The Site Boundary Plan is shown at **Appendix II**.

3.3 Site Area

The site area is approximately 4,875 sq. metres.

3.4 Major Datum Levels

The major datum level of the site ranges from around 20.0mPD to 23.1mPD as shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

North Kowloon Magistracy is a seven-storey building abutting Tai Po Road. It consists of two open car parks on the south-east and north-west sides of the building and one two-storey temporary building using as offices with private toilet.

Architectural drawings of North Kowloon Magistracy, which consist of general layout plans of each floor, are attached at **Appendix V**.

The photos showing the general appearance and internal layout of North Kowloon Magistracy are attached at **Appendix VI**.

4.2 Historic Grading

North Kowloon Magistracy is not yet graded.

4.3 Schedule of Accommodation

The schedule of accommodation and the respective floor areas of the building according to its latest use are summarized in the following table:

	Accommodation	Approximate Floor Areas
LG/F	Quarter's Rooms, E&M Rooms, Transformer Room, Car park at south-east	403 sq.m.
G/F	Entrance Hall, Canteen, Offices, Prisoner Cells, Car park at north-west, Garages	1,223 sq.m.
1/F	Offices, Police Changing Rooms	1,223 sq.m.
2/F	4 nos. of Courts, Prisoners' Cells, Offices	1,223 sq.m.
3/F	Offices, Balconies	1,091 sq.m.
4/F	Offices, 4 nos. of Courts	1,091 sq.m.
5/F	Offices, 2 nos. of Courts	1,091 sq.m.
Roof	Not accessible, cat ladder access for maintenance only	N/A
Carpark	South-east car park	935 sq.m.

	North-west car park	703 sq.m.
	Total Gross Floor Area (excluding area of carpark and roof)	7,345 sq.m

4.4 Materials of Construction

			Finishes	
Roof	Wall	Floor	Exterior	Interior
Reinforced concrete	Reinforced concrete	Reinforced concrete	Generally of granite finish but the front facade was later covered by spray granite. Dark blue glazed ceramic tiles were also used at front facade	Various materials. Emulsion paint on wall generally with various floor finishes such as vinyl floor tiles, carpet, timber floor strips, ceramic floor tiles

4.5 Internal Circulation

4.5.1 General Description

As the building was previously functioned as magistracy, its layout was generally divided into three different functional zones to serve three different groups of users, namely the general public, magistrates and staff and police/defendants/prisoners.

These different functional zones were not necessarily connected to each other. Different staircases and lifts had been provided to serve these three functional zones.

Currently, there are only two staircases (ST-1 and ST-7) directly connected to the exterior which could possibly be further modified to use as fire escape route. However, these two staircases may not fully comply with current requirements under the Buildings Ordinance such as inadequate width at part of the staircases and substandard fire protection. Other staircases are mainly used for internal circulation.

The roof floor is currently only accessible by a cat ladder for maintenance.

4.5.2 Barrier Free Access

Barrier free access is only available for part of the building.

Barrier free access to the LG/F of the building is available at the south-east car park. There is a lift connecting LG/F, G/F, 1/F and 4/F. (i.e. this lift does not serve 2/F and 3/F.) Generally, the passages at G/F do not comply with barrier free access requirements and modification works will be required.

Barrier free access from G/F main entrance lobby to 2/F is only provided by a stair-lift installed along one side of the staircase at the atrium. However, there is no barrier free access to the G/F main entrance lobby from Tai Po Road currently.

There is another lift at the north-west side of the building. It serves G/F, 1/F office, 2/F Magistrates' Courts and 3/F office. However, this lift is only for staff use according to the existing layout.

In the following table, the floors and areas served by the various staircases and lifts are summarized. Numbering of the staircases and lifts are shown in the layout plans at **Appendix V**.

Stair / Lift no.	Location	Connected floors & accommodation	Remarks
ST-1	South-east side entrance	LG/F from car park; G/F Offices; 1/F Offices, 4/F Courts and Offices	Public access Discharge to exterior (to south-east open car park) (may be upgraded to used as fire escape)
ST-2	G/F	G/F Prisoner Cells to 2/F Magistrate's Courts	For internal circulation
ST-3	G/F	G/F Prisoner Cells to 2/F Magistrate's Courts	For internal circulation
ST-4	North-west side entrance	G/F Garage to 2/F Magistrate's Courts, 3/F Offices	Access for magistrate Connected to north-west side open car park
ST-5	Close to north-west side entrance	G/F to 1/F Changing Room	For internal circulation
ST-6		1/F, 2/F, 3/F (connected to ST-7)	For internal circulation
ST-7		Connected to the rear external staircase at the landing between 1/F and 2/F, 3/F (connected to ST-6), 4/F, 5/F	Discharge to exterior (may be upgraded to used as fire escape)
ST-8	Between the 2 Magistrate's Courts	2/F Magistrates' Courts to 3/F Offices	Access for magistrate For internal circulation
ST-9	Entrance Hall	G/F to 2/F Magistrates' Courts and Offices	For internal circulation
ST-10	Main Entrance	Street level to G/F Entrance Lobby	External circulation
ST-11	Close to the Lift LT-2	3/F Lift Lobby of lift LT-2 to 4/F Lift Machine Room	For internal circulation
LT-1	South-east side entrance	Connected from south-east car park at LG/F to G/F, 1/F, 4/F	Public access
LT-2	North-west side entrance	Connected from north west-car park at G/F to 1/F Offices, 2/F Magistrates' Court & 3/F Office area	For magistrates or staff use

4.6 Major Alterations and Additions

No major alteration and addition is noted in the Magistracy, except a new temporary structure at the open car park at the south-east entrance. This

temporary structure consists of office areas, toilet areas and a fire pump room solely for the temporary structure only.

4.7 Structural Appraisal

4.7.1 Description

North Kowloon Magistracy appears to be a reinforced concrete (RC) beam-column structure with RC slabs. The existing finishes cover all structural elements. No exposed structural elements are observed. It is composed of seven storeys (lower ground floor, ground floor, first floor to fifth floor), with roughly the same floor area from ground floor to fifth floor. Lifts are located at both sides of the building and there is an atrium in the centre of the building.

4.7.2 Major Defects

Visual inspection revealed that there were some minor cracks (0.5m – 2m long) on walls and beams at some floors. Spalling of concrete was observed on ceilings of some floors and had been repaired. The structural slabs, beams and columns appear in reasonable conditions but routine maintenance and monitoring of these structural elements are necessary.

4.7.3 Loading Assessment

The building was built in 1960. The design is believed to have followed Code of Practice 3 (CP3): Chapter V – 1952. In CP3 1952, it specified 80 lb/sq ft (=3.83 kPa) for floor loading of assembly areas with fixed seatings, bank halls, chapels and churches.

Based on visual inspection and the life of the building, it is possible that a reduction factor of 30% to the original design loading is applicable. The estimated loading capacity of each floor would thus be 2.7 kPa.

4.7.4 Recommendations

Further site investigation and some laboratory tests should be carried out by the successful applicant to determine the existing conditions of the building, the allowable loading capacity of the floor and other important structural information for the adaptive re-use of the building.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for North Kowloon Magistracy is as follows:

		Remarks
MVAC Installation	<ol style="list-style-type: none"> 1. 2 nos. 'Carrier 30HR190', (cooling capacity : 580KW) water cooled chiller are installed at LG/F plant room. 2. Sea water is to be used for chilled water system. 3. 2 nos. sea water pump and 3 nos. chilled water pumps are installed at LG/F plant room. 4. Air handling units are installed inside AHU rooms at each floor with central supply air duct distributing fresh air to each room. 5. No A/C supply is provided for main lobby of the building from G/F to 2/F. Only ceiling / wall fans are provided. 6. Window A/C units and split type A/C units are installed for part of rooms at G/F. 	The performance of the A/C system needs to be further verified if will be re-used.
Fire Services Installation	<ol style="list-style-type: none"> 1. No sprinkler system is provided for the building. 2. Fire hydrant and hose reel system have been installed. The F.S. water is delivered to the roof F.S. tank directly from government main. One set of fixed F.S. pump located at 5/F staircase landing is installed to serve the FH/HR system. 3. Exit Signs, Manual Fire Alarm and Visual Fire Alarm are installed. 4. F.S. control main panel is installed at G/F. 5. No automatic fire alarm system is found. A separate hose reel system is installed for the temporary building. The System is served by a 2m³ F.S. tank and a fixed F.S. pump. However, the existing F.S. pipework and F.S. pump are found deteriorated and cannot be re-used. 	The existing F.S. system needs to be further tested and verified if will be re-used.
Electricity Supply	<ol style="list-style-type: none"> 1. A transformer room is provided. 2. A LV switch panel is installed at LG/F plant room next to transformer room. The rating of the main switch of the building 1,200A TPN. 3. A 30KVA genset is installed at LG/F to provide essential supply for the building. 	
Lift	<ol style="list-style-type: none"> 1. 2 nos. passenger lift are installed as follows:- <ol style="list-style-type: none"> i. <u>Lift LT-1</u> Served – LG/F, G/F, 1/F & 4/F. Capacity – 1,125kg (15 person) ii. <u>Lift LT-2</u> 	

	<p>Served – G/F to 3/F Capacity – 545kg (7 person)</p> <p>2. 1 no. stair lift for disabled is installed at the Main lobby staircase from G/F to 2/F.</p>	
Plumbing & Drainage Installation	<p>1. A 50mm dia. potable water connection with meter is installed. The potable water supply for the building will be direct feed.</p> <p>2. Flush water supply will be fed by roof tank by gravity.</p> <p>3. Storm water within the building is collected by the down pipes and connected to the underground pipework / manholes and discharged to government drain thru' terminal manhole.</p> <p>4. Sewage water within the building is collected by the down pipes and connected to the underground pipeworks / manholes and discharged to Government drain through terminal manhole.</p>	
Gas Installation	A 80mm dia. gas pipe next to the existing kitchen is available for connection.	

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surrounding

North Kowloon Magistracy is located at the foot of a hillside beneath a service reservoir.

Within a few minutes walk from North Kowloon Magistracy is the Mei Ho House, another historic building in the “Revitalising Historic Buildings Through Partnership Scheme”. Close to the Mei Ho House is the public housing Shek Kip Mei Estate.

Adjacent to North Kowloon Magistracy is the Saviour Lutheran School and Church. On its opposite side at Tai Po Road is a rest garden. Further away at Castle Peak Road is an area mainly for residential and commercial use.

5.2 Access

5.2.1 Vehicular Access

There are two existing vehicular accesses (both from Tai Po Road) serving the two car parks on the north-west and south-east sides of the building respectively. The Access Plan is shown at **Appendix VII**.

5.2.2 Emergency Vehicular Access (EVA)

The vehicular accesses mentioned in 5.2.1 above also serve as EVA. Fire engine can also access the front facade of the building at Tai Po Road.

5.2.3 Loading and Unloading Area

Loading and unloading areas are located at the two existing car parks.

5.2.4 Parking

Two open car parks are located at south-east and north-west of the building.

5.2.5 Pedestrian Access

The main pedestrian access is from Tai Po Road. There is a pair of featured staircases leading from the street level to the main entrance at ground floor.

Apart from the main entrance facing Tai Po Road, there are two side entrances leading to LG/F (from the south-east car park) and G/F (from north-west car park) respectively.

5.2.6 Barrier Free Access (Site)

The only barrier free access to the building is via the south-east car park.

5.2.7 Refuse Collection Point

Refuse collection point is not provided within the site.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance. On this issue, we would advise:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by AMO prior to installation. But, there is no restriction on the type/design of temporary signage, e.g. banners, displays, etc., provided that the number of such signs

¹ “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

is not excessive.

6.1.3 For the restoration works to comply with statutory building requirements, the following general guidelines are given to applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicants to refer to the full requirements imposed by relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with surroundings to preserve landscape and wildlife habitat.
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for disabled must respect historical integrity of the building(s) and its (their) surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).

h) Plumbing and Sanitary Fittings	No existing fittings are considered to be “historic features” and therefore they may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the restoration works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 All required building works should be carried out by a specialist contractor on the Development Bureau (Works Branch) List of Specialist Contractors for Repair and Restoration of Historic Buildings, and such work shall be to the satisfaction of AMO. For details on the engagement of the above Specialist Contractor, please refer to paragraph 6.1 of the “Guide to Revitalising Historic Buildings Through Partnership Scheme”.

6.2 Specific Conservation Requirements

6.2.1 The building was completed in 1960 and comprises seven storeys with its main elevation on an elevated site facing Tai Po Road, with two open car parks surrounding the building. It is functioned as magistracy before and is divided into different functional zones serving general public, magistrates/staff and police/prisoners which have independent circulation access. Staircases and lifts are provided separately to serve different zones. In order to facilitate adaptive re-use of the building, these staircases may be modified and the lift shaft be reused to suit future circulation purpose. Internal area can be repartitioned to suit functional needs as well but a few parts of the building such as a court room and a cell shall be preserved.

- 6.2.2 Though it is a post-war civic building, there are some elegant architectural features and a number of character defining elements and must be preserved in-situ and maintained as necessary. They are listed at **Appendix VIII**.
- 6.2.3 Some inappropriate alterations and additions have been carried out to the original buildings over the years and it is recommended that these should be removed where possible and the building fabric restored and reinstated to reveal the full cultural significance of the historic building. Please refer to **Appendices IX** and **X** for the required and recommended conservation treatment respectively.
- 6.2.4 Every effort should be made to carry out all “required treatments” set out under **Appendix IX** of the Conservation Guidelines. If compliance with the “required treatments” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix X** of the Conservation Guidelines set out some “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The North Kowloon Magistracy site is zoned “Government, Institution or Community” (“G/IC”) on the Shek Kip Mei Outline Zoning Plan (OZP) No. S/K4/22. The full set of the OZP including the plan, Notes and Explanatory Statement is available at the Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extract of the OZP and Notes for the “G/IC” zone are shown at **Appendix XI**.

The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

The Notes for the “G/IC” zone (**Appendix XI**) set out the uses or developments that are always permitted (the “Column 1” uses) and those requiring permission from the TPB (the “Column 2” uses). The application for Column 2 uses should be made to the TPB under section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not in Column 1 or Column 2, an application for amendment of the zoning on the OZP under section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from the Tsuen Wan & West Kowloon District Planning Office of the Planning Department at 27/F, Tsuen Wan Government Offices, 38 Sai Lau Kok Road, Tsuen Wan, New Territories (Tel: 2417 6261).

All applications for permission under section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be notified of the TPB’s decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site is currently under the management of Judiciary. A Site Boundary Plan is shown at **Appendix II**.

A set of engineering conditions together with the allocation plan for the adaptive re-use of this premises will be prepared by the Lands Department.

8.2 Tree Issues

At the site, there is no Old and Valuable Tree (OVT) in the OVT Register maintained by Leisure and Cultural Services Department . However, there are two mature trees located along the vehicular access to the south-east car park.

In general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the District Lands Officer or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

IX. Slope Maintenance

North Kowloon Magistracy is located at the toe of a hillside. At the top of the hill there is a service reservoir. There are four registered slope features adjoining the site.

The slope feature located right next to the rear of the building, namely Slope No. 11NW-B/C66, and the one located in front of the south-east car park, namely Slope No. 11NW-B/C577 are maintained by the Architectural Service Department.

The slope feature close to the north-west car park, namely Slope No. 11NW-B/C904, is maintained by the Lands Department.

The slope feature close to the south-east corner of the site and adjoining a school, namely Slope No. 11NW-B/C67, is under the joint maintenance of the Government and a private party.

More details of the slope features are summarized in the following tables. Location plans of the slope features are attached at **Appendix XII**.

Slope Feature 1:

Slope No.:	11NW-B/C66
Location:	Within GLA-NK30
Responsible Lot/Party:	Architectural Services Department
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 2:

Slope No.:	11NW-B/C577
Location:	Within GLA-NK30 near the south corner of the site
Responsible Lot/Party:	Architectural Services Department
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 3:

Slope No.:	11NW-B/C904
Location:	To the north of GLA-NK30, east of Tai Po Road
Responsible Lot/Party:	Lands Department
Maintenance Agent	Lands Department
Slope Maintenance Responsibility Category	Government

Slope Feature 4:

Slope No.:	11NW-B/CR67	11NW-B/CR67	11NW-B/CR67
Sub-Division:	1	2	3
Location:	Within GLA-NK30 and Government land	Within GLA-NK30 and Government land	Within GLA-NK30 and Government land
Responsible Lot/Party:	Architectural Services Department	Lands Department	NKIL4456&EXTTO
Maintenance Agent	Lands Department	Lands Department	N/A
Slope Maintenance Responsibility Category	Joint (Government and Private)		

The successful applicant should allow Government or its representative to gain access to the slope features concerned to carry out required slope maintenance works. Should the successful applicant's proposal for adaptive re-use of the site affects the existing slope features, corresponding slope upgrading works should be carried out by the successful applicant to suit his proposal.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Educational Institute;
- (b) Training Centre; and
- (c) Antiquities and Art Gallery.

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider are most suitable for the building.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:
 - means of escape;
 - fire resisting construction;
 - means of access for firefighting and rescue;
 - barrier free access and facilities;
 - protection against falling from height;
 - structural adequacy; and
 - fire services installation requirements.
- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by the TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with Conservation Guidelines in Section VI of this resource kit;

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

(a) Heritage Conservation

The Antiquities and Monuments Office has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as educational institute, training centre, antiquities and art gallery (as a kind of Place of Recreation, Sports or Culture) are under Column 1 of the Notes to the OZP in which uses are always permitted.

(c) Fire Services Requirements

Current provision of emergency vehicular access to the site and building is adequate.

(d) Licensing

If the building is to be used as an educational institute or a training centre, the successful applicant may be required to register under the Post-secondary Colleges Ordinance or the Education Ordinance, depending on the nature of educational courses provided. Guidelines for registration of a new school under the Education Ordinance can be found on the website of the Education Bureau.

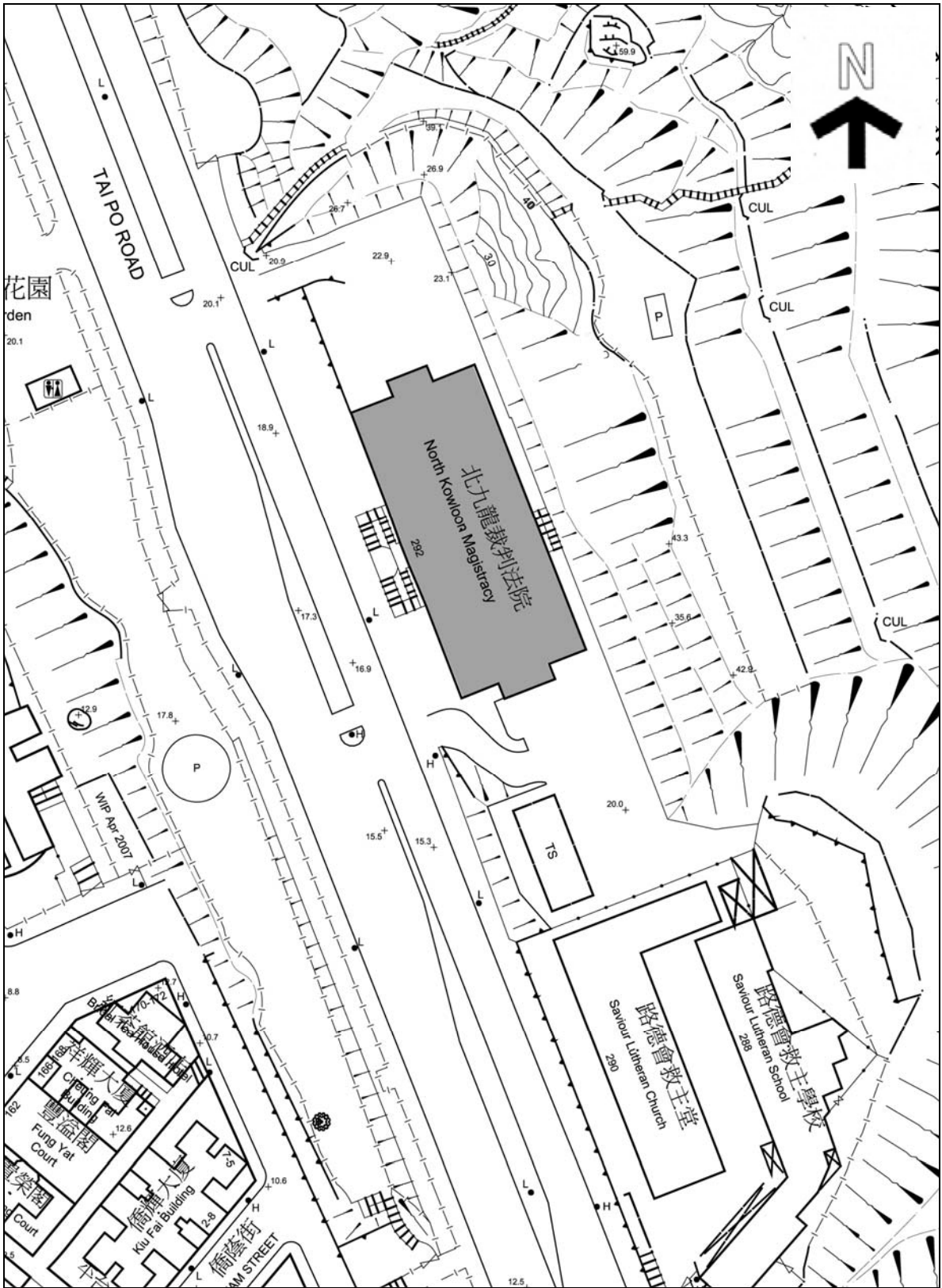
(e) Structural Limitation

The required loading capacity for the possible uses are as follows:

- | | |
|-----------------------------------|---------|
| (i) Educational Institute | 3.0 kPa |
| (ii) Training Centre | 3.0 kPa |
| (iii) Antiquities and Art Gallery | 5.0 kPa |

Based on the estimated loading capacity of the building mentioned in paragraph 4.7 (2.7kPa), structural strengthening works will be necessary for all the examples of uses listed above.

Appendix I
Location Plan

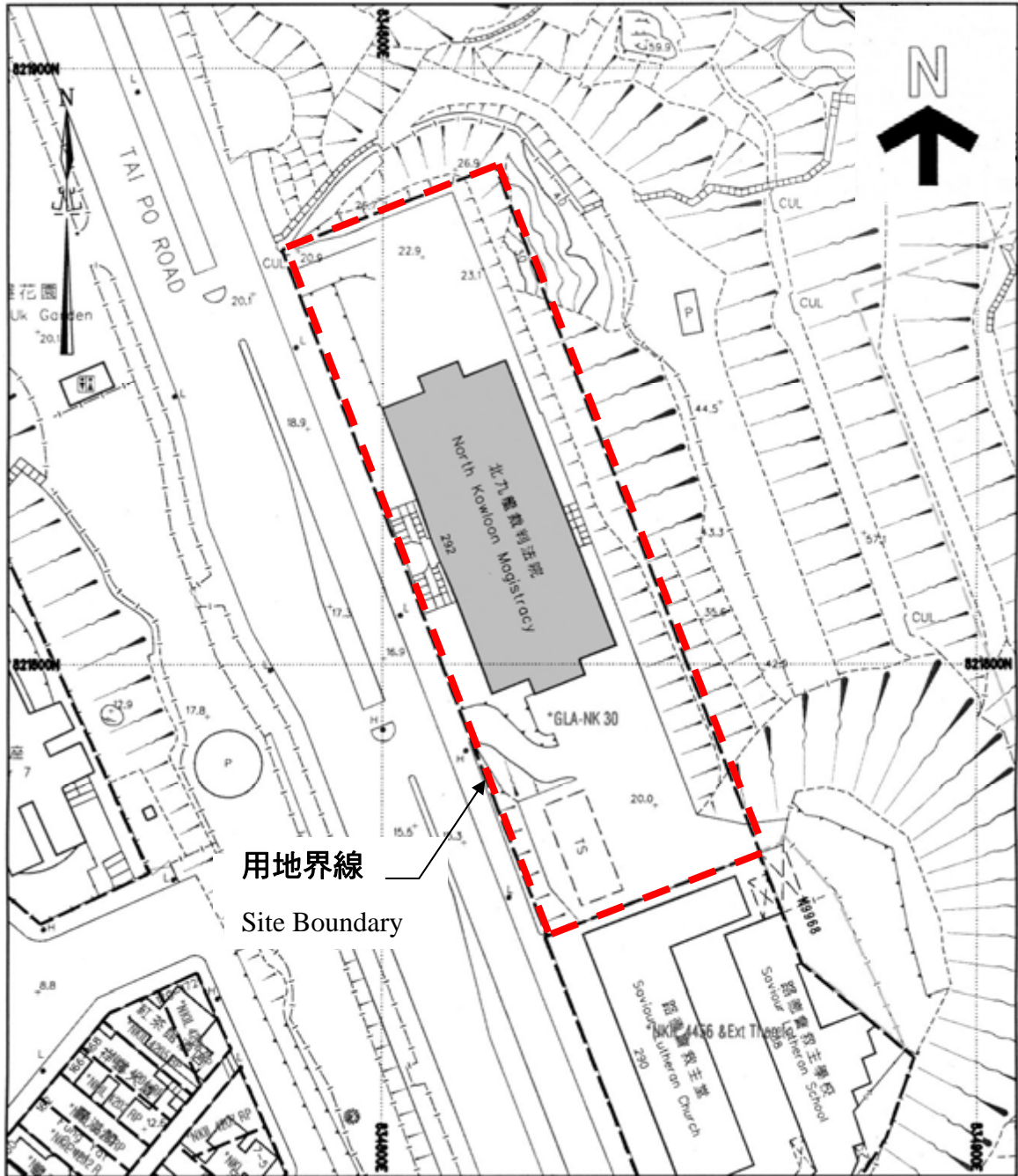


Not to Scale

不按比例

Appendix II

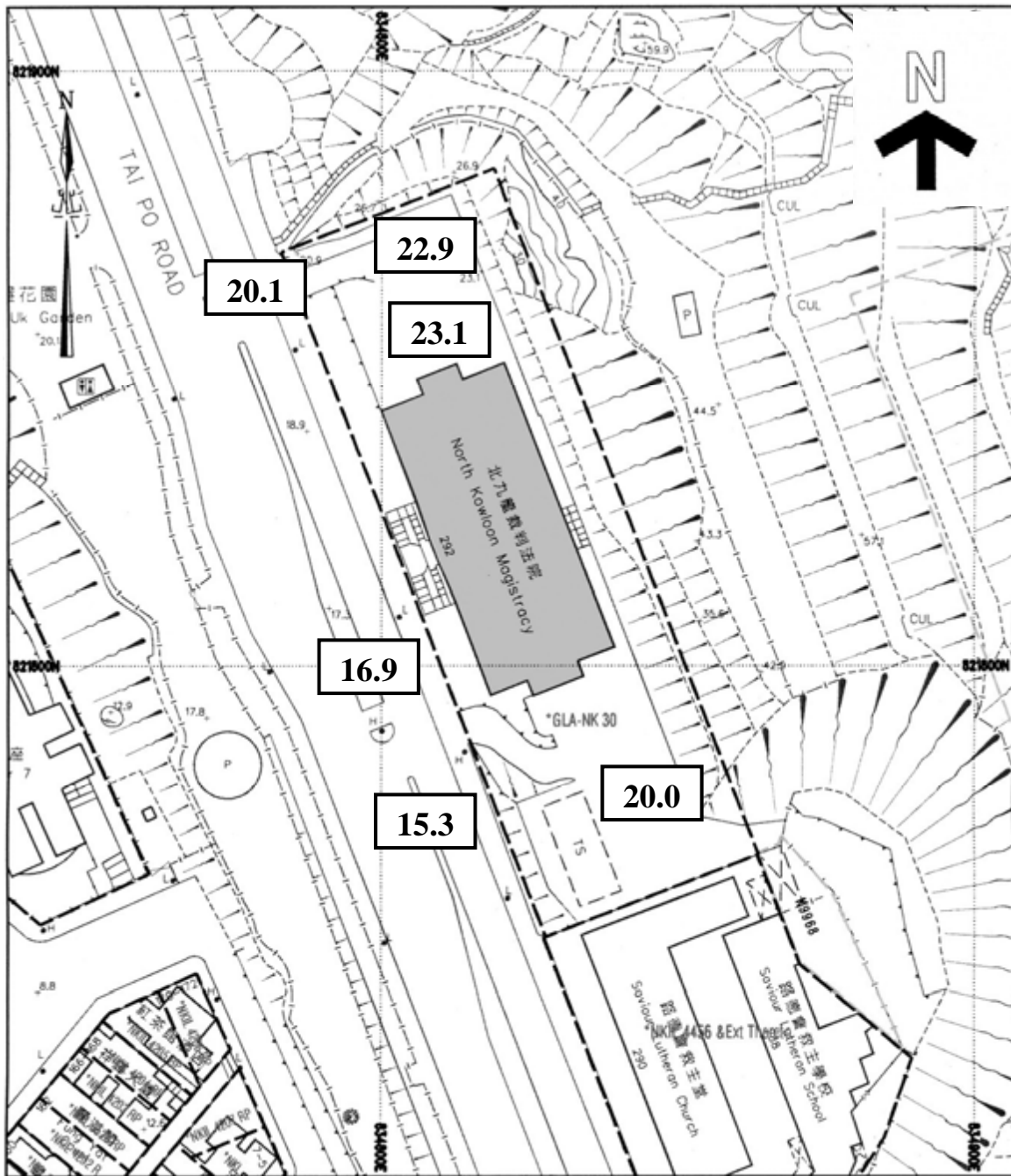
Site Boundary Plan



Not to Scale
 不按比例

Appendix III

Datum Levels Plan



*高度單位為米，按低於平均海平面1.2米的主水平基準計算。

*Heights are given in metres above Principal Datum which is 1.2 metre below Mean Sea Level

Appendix IV

**Summary of Site and
Building Information**

Summary of site information is listed below:

Building Name	North Kowloon Magistracy
Address	No. 292 Tai Po Road, Sham Shui Po, Kowloon
Site Area	Approximately 4,875 sq. metres
Major Datum Level	From around 20.0mPD to 23.1mPD
Zoning Permissible Uses	Government / Institutional and Community

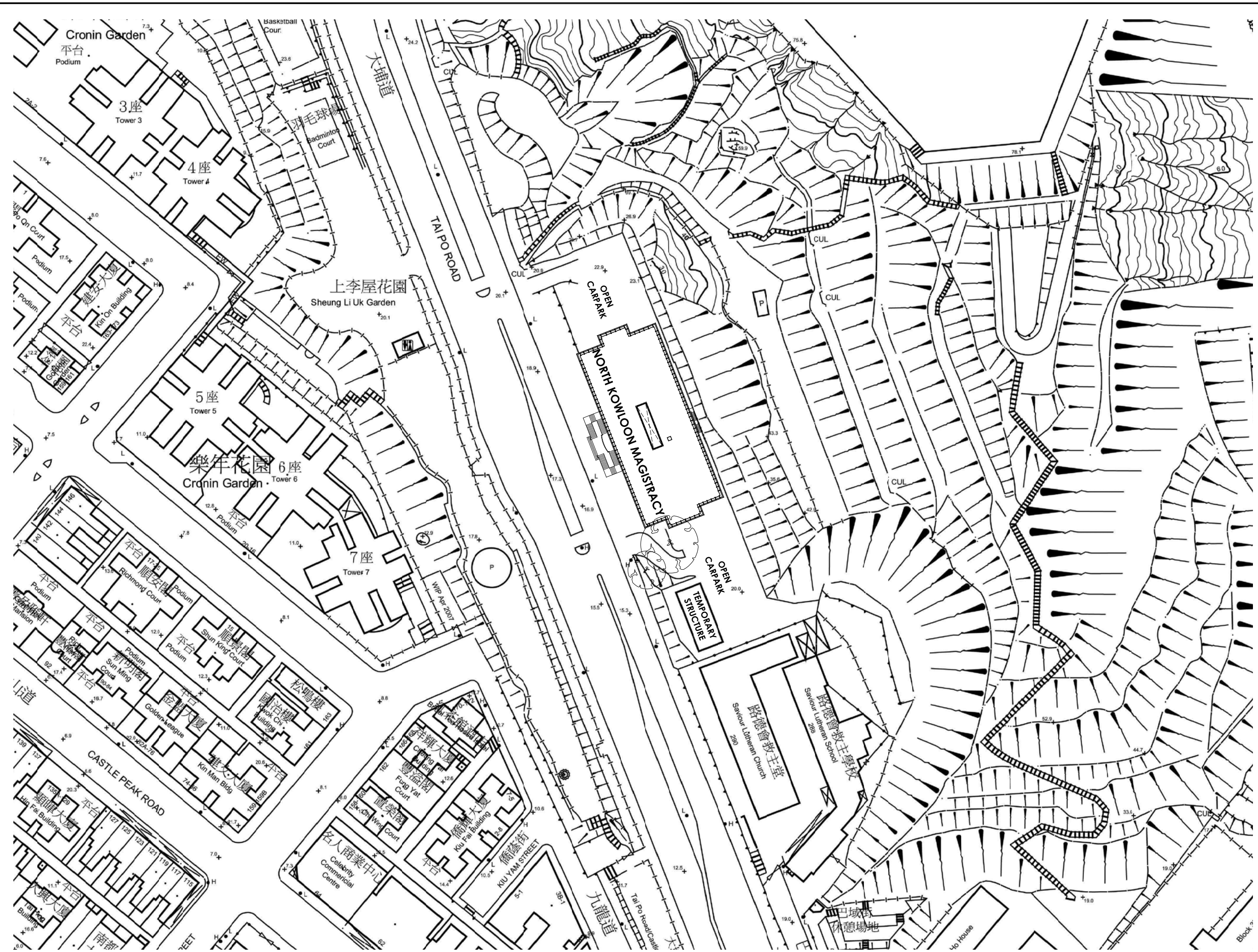
Summary of building information is listed below:

Number of Blocks	A seven-storey building
Year of Completion	1960
Gross Floor Area	Approximately 7,345 sq.metres
Historic Grading	Not yet graded
Original Use	Residential use
Recent Uses	Used as Magistrate's Court and vacant since 3 January 2005
Schedule of Accommodation	LG/F – Quarter's rooms, E&M rooms, transformer room and car park G/F – Canteen, offices, prisoner cells, car park, garages 1/F – Offices and police changing rooms 2/F – Courts, prisoners' cells and offices 3/F – Offices and balconies 4/F – Courts and offices 5/F – Courts and offices
Materials of Construction	Reinforced concrete floor, wall and roof
Internal Circulation	Generally divided into 3 different functional zones to serve 3 types of users namely (1) general public, (2) magistrates & staff and (3) police & prisoners. These 3 different functional zones may not connect to each other and may have independent circulation.

Appendix V

Architectural Drawings

Drawing No.	Drawing Title
NKM-P-00	Site Plan
NKM -P-01	Lower Ground Floor Plan
NKM -P-02	Ground Floor Plan
NKM -P-03	First Floor Plan
NKM -P-04	Second Floor Plan
NKM -P-05	Third Floor Plan
NKM -P-06	Fourth Floor Plan
NKM -P-07	Fifth Floor Plan
NKM-P-08	Roof Plan
NKM -E-01	Front Elevation
NKM -S-01	Section A-A'



* SITE PLAN BASED ON SURVEY PLAN NO. 114-W-9C AND 14A (1:1000) PROVIDED BY LANDS DEPARTMENT, HONG KONG SAR GOVERNMENT.

* ALL DIMENSIONS TO BE VERIFIED ON SITE. DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.

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* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.



ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
SITE PLAN

scale
1:1000 (A3)

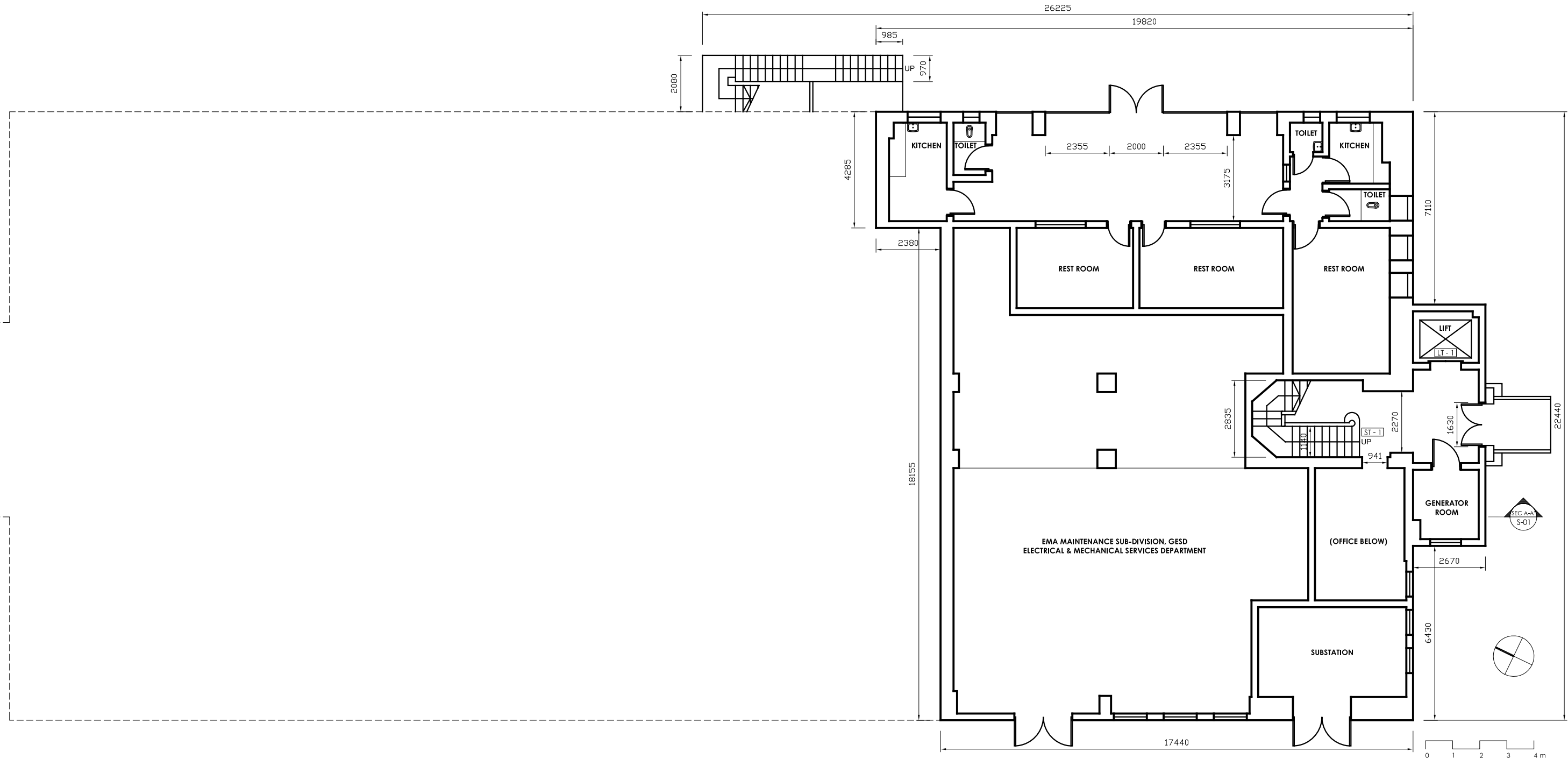
drawing no.
NKMP-00

date
28 JAN 2008

submitted by



SITE PLAN



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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
LOWER GROUND FLOOR PLAN

scale
1 : 150 (A3)

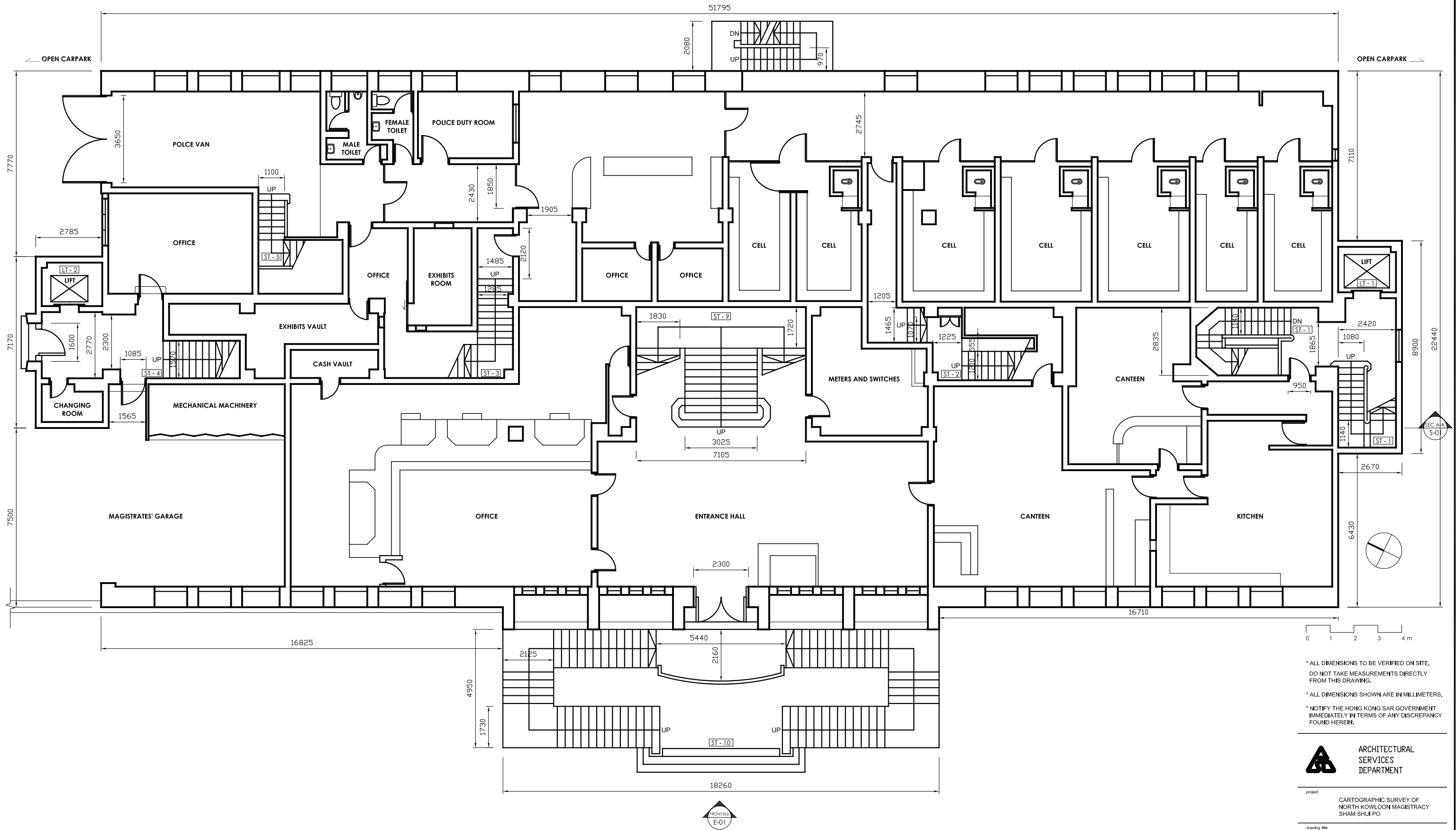
drawing no
NKMP-01

date
28 JAN 2008

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LOWER GROUND FLOOR PLAN



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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
GROUND FLOOR PLAN

scale
1 : 150 (A3)

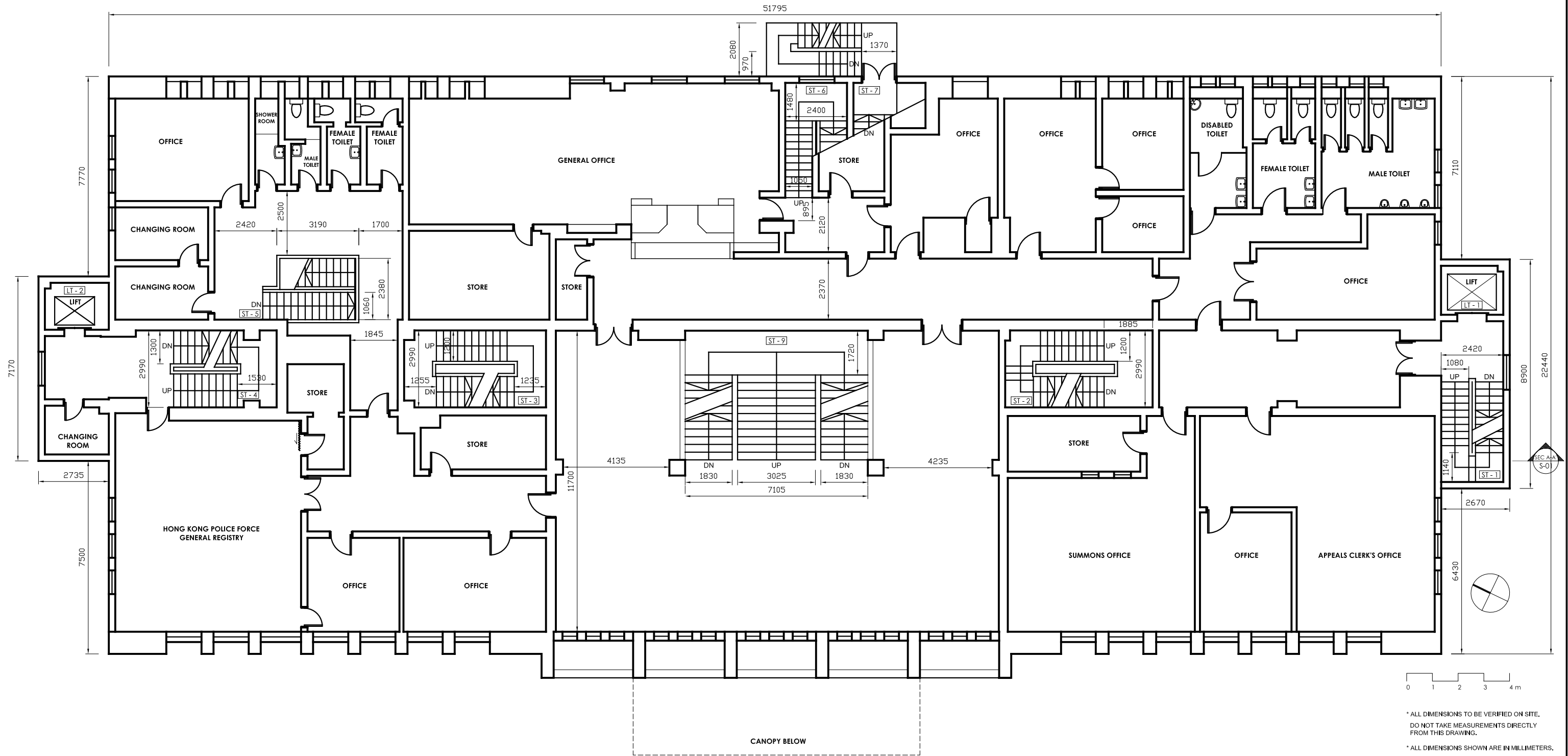
drawing no
NKMP-02

date
28 JAN 2008

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GROUND FLOOR PLAN



CANOPY BELOW



0 1 2 3 4 m

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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
FIRST FLOOR PLAN

scale
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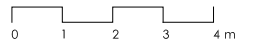
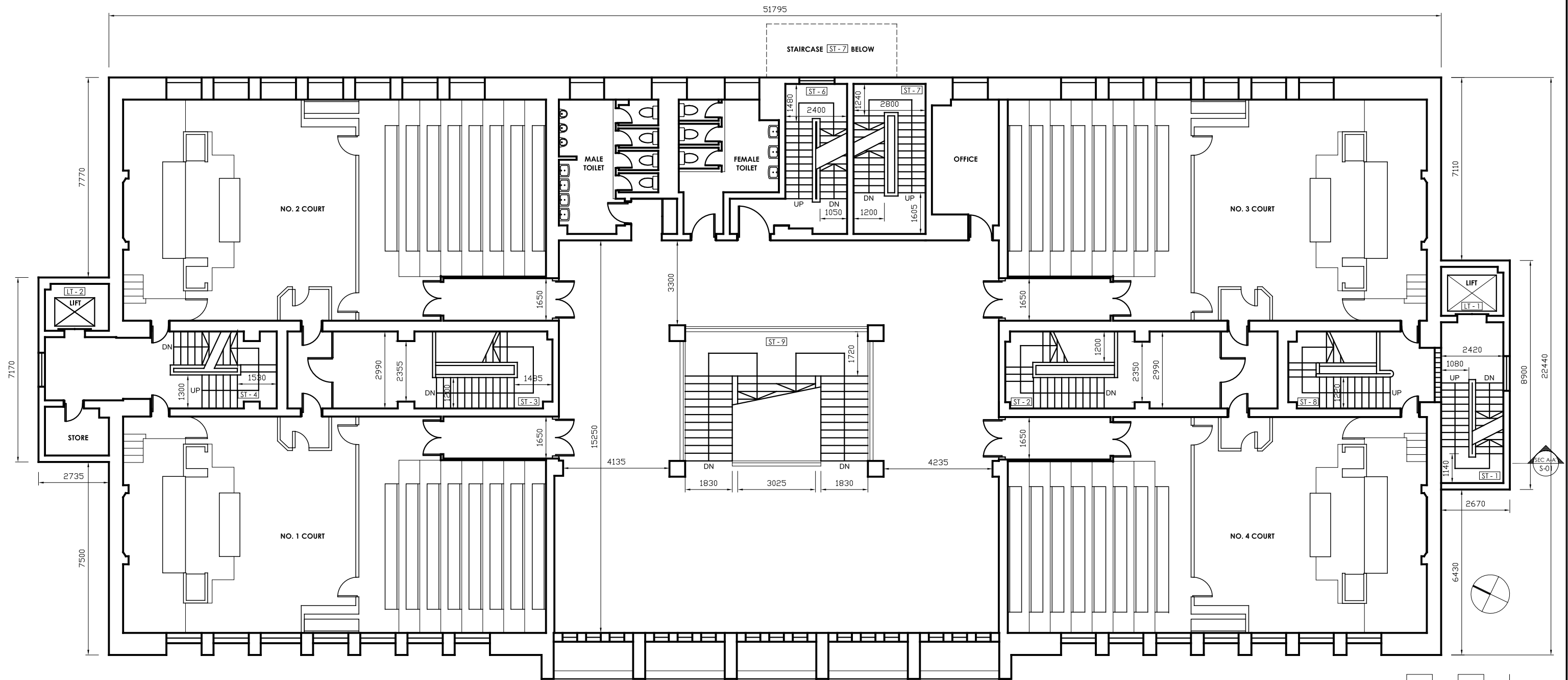
drawing no
NKMP-03

date
28 JAN 2008

submitted by



FIRST FLOOR PLAN



* ALL DIMENSIONS TO BE VERIFIED ON SITE.
DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.

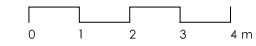
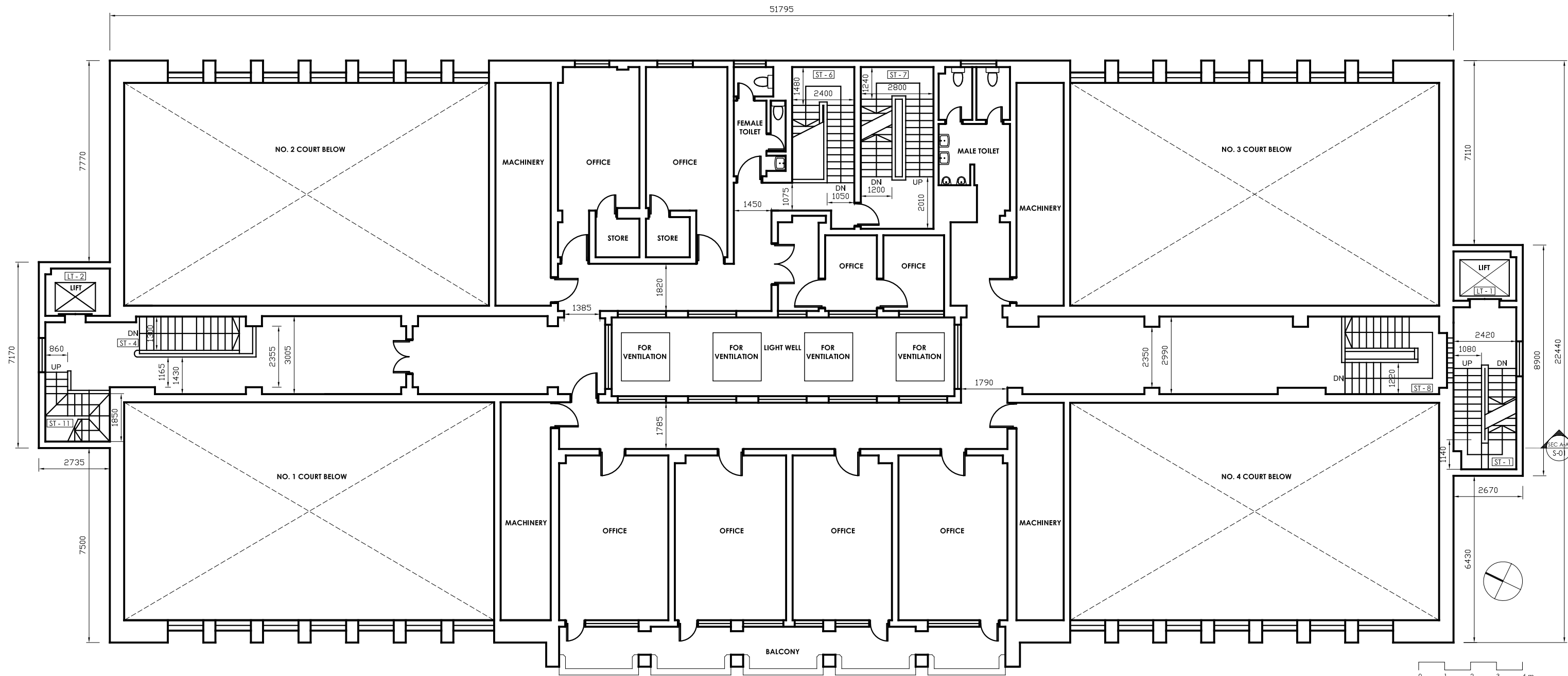
* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

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SECOND FLOOR PLAN

	ARCHITECTURAL SERVICES DEPARTMENT
project	CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO
drawing title	SECOND FLOOR PLAN
scale	1 : 150 (A3)
drawing no	NKM-P-04
date	28 JAN 2008
submitted by	



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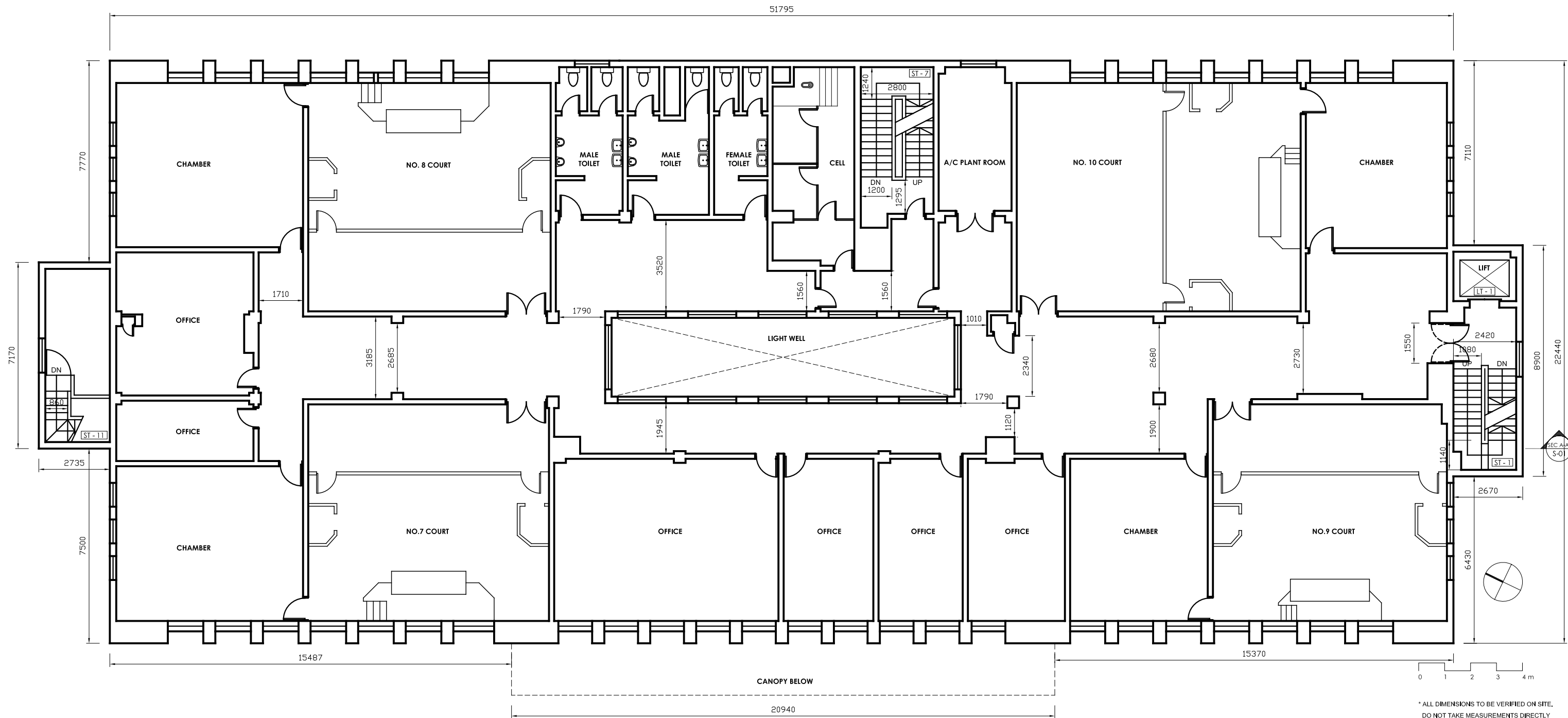
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THIRD FLOOR PLAN

	ARCHITECTURAL SERVICES DEPARTMENT
project	CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO
drawing title	THIRD FLOOR PLAN
scale	1 : 150 (A3)
drawing no	NKM-P-05
date	28 JAN 2008
submitted by	



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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
FOURTH FLOOR PLAN

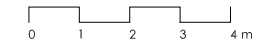
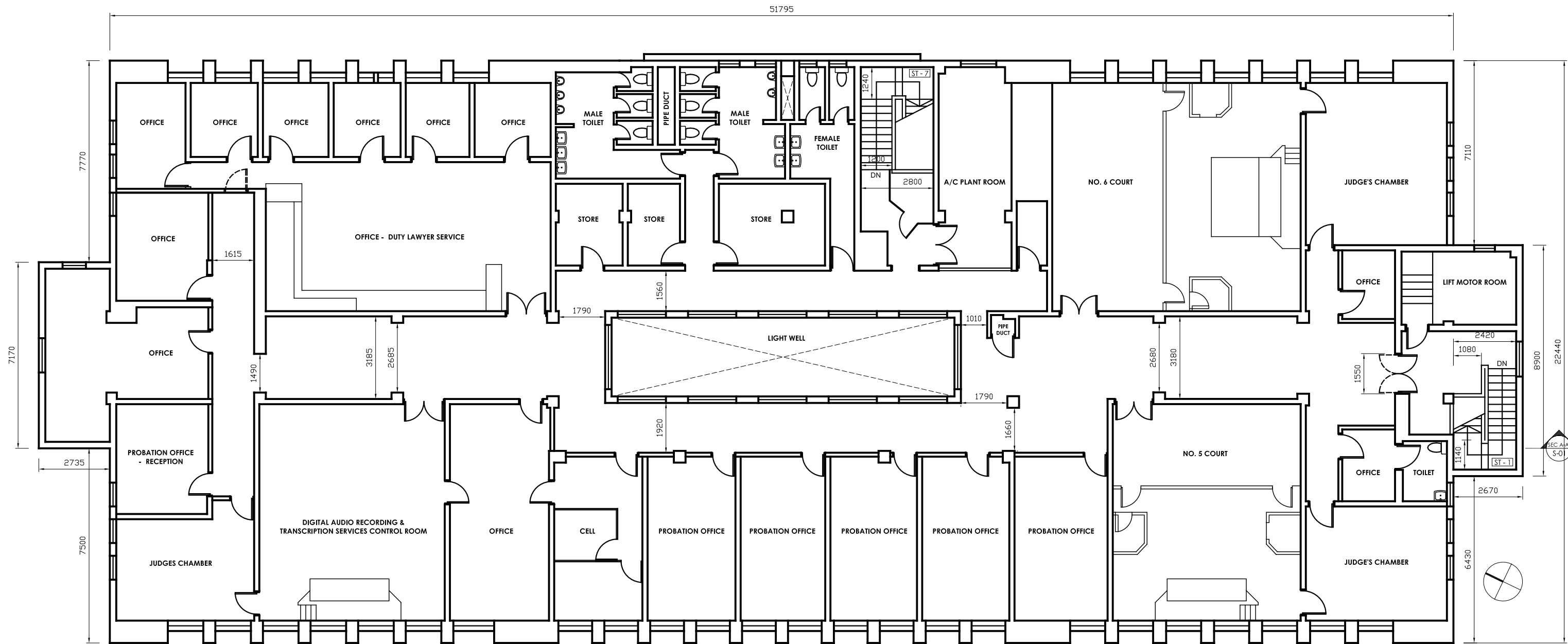
scale
1 : 150 (A3)

drawing no
NKM-P-06

date
28 JAN 2008

submitter by
 歷史建築研究組
 Chinese Architectural Heritage Unit
 ARCHITECTURE . CUHK

FOURTH FLOOR PLAN



* ALL DIMENSIONS TO BE VERIFIED ON SITE.
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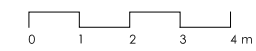
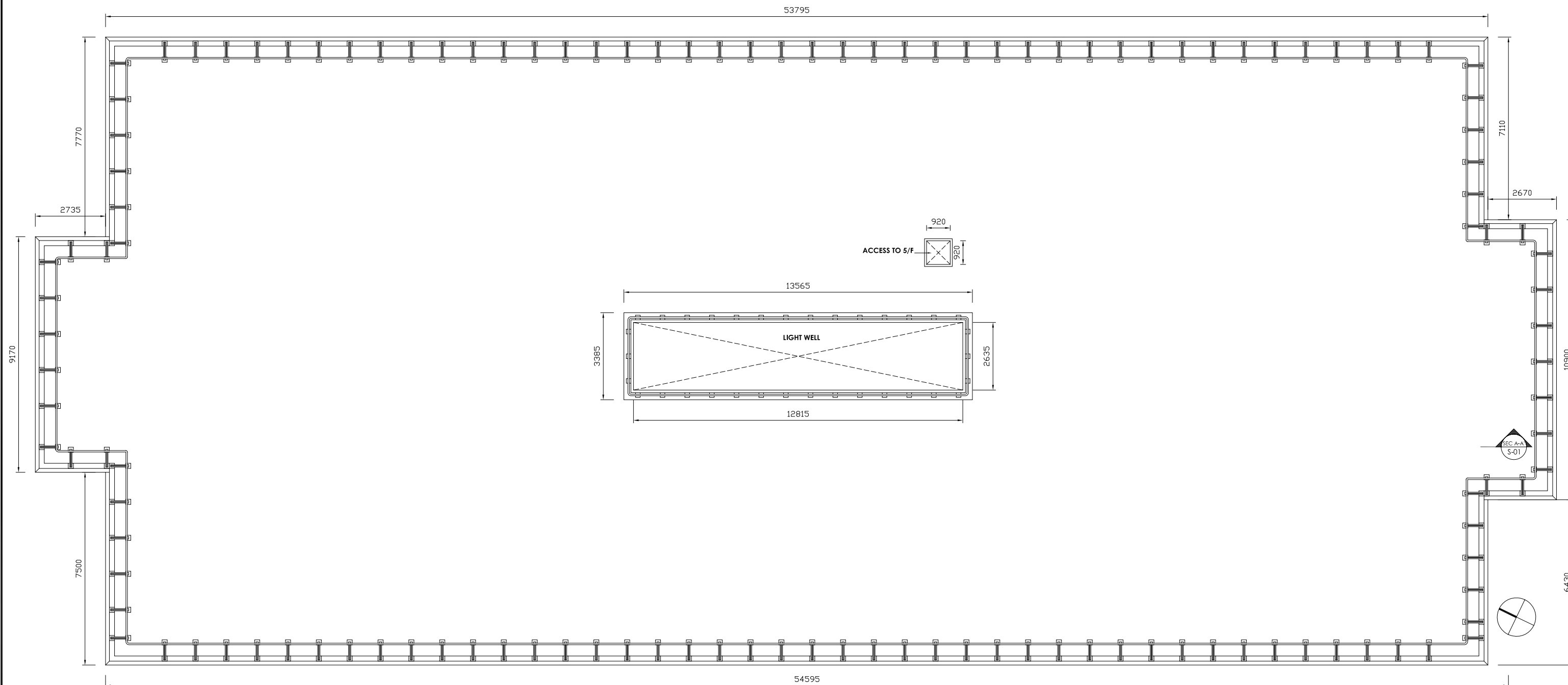
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FIFTH FLOOR PLAN

	ARCHITECTURAL SERVICES DEPARTMENT
project	CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO
drawing title	FIFTH FLOOR PLAN
scale	1:150 (A3)
drawing no	NKM-P-07
date	28 JAN 2008
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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
ROOF PLAN

scale
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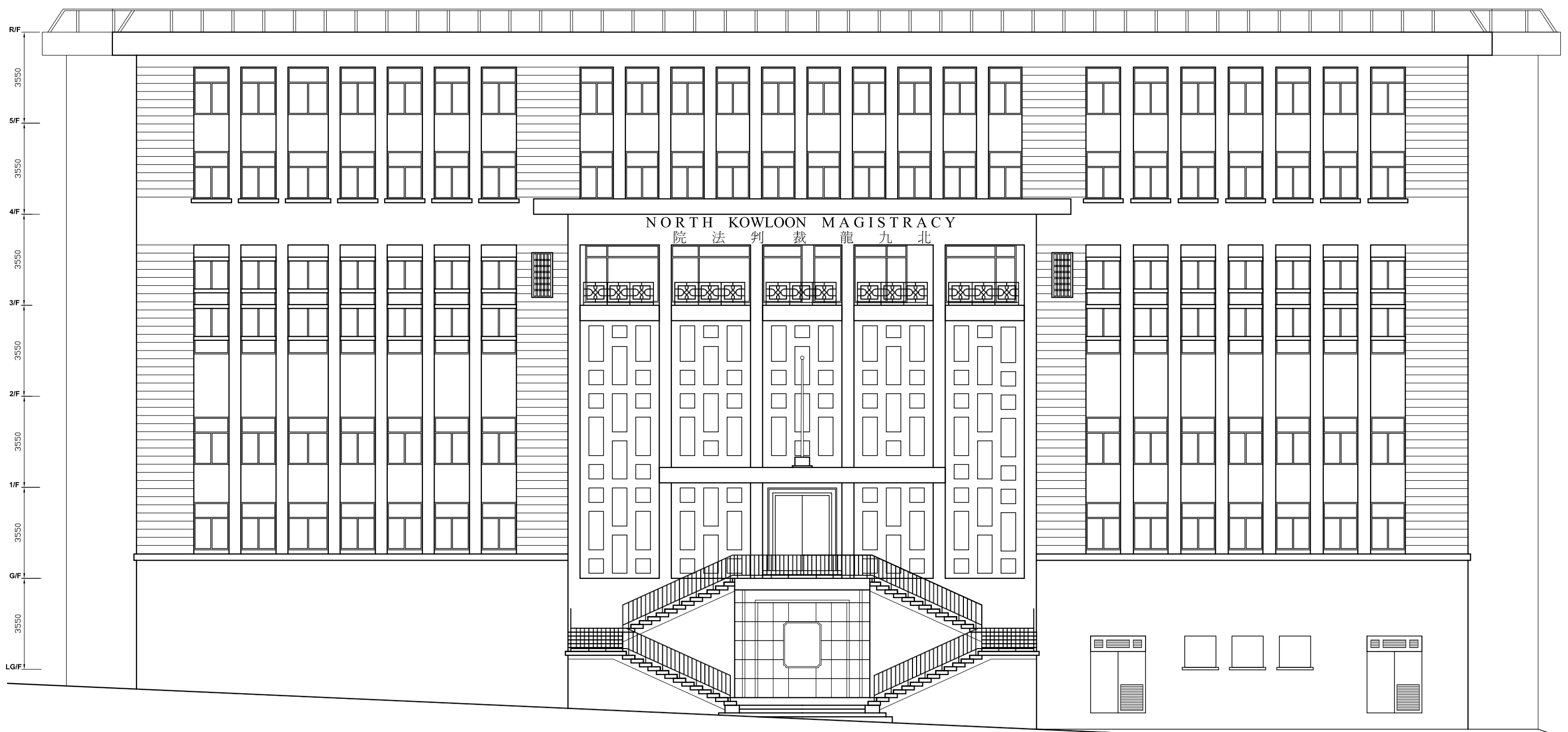
drawing no
NKM-P-08

date
28 JAN 2008

submitted by



ROOF PLAN




FRONT ELEVATION

0 1 2 3 4 m

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 ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
FRONT ELEVATION

scale
1 : 150 (A3)

drawing no
NKME-01

date
28 JAN 2008

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SECTION A-A'

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 ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF NORTH KOWLOON MAGISTRACY SHAM SHUI PO

drawing title
SECTION A-A'

scale
1 : 150 (A3)

drawing no
NKMS-01

date
28 JAN 2008

submitted by

 歷史建築研究組
CUHK
Chinese Architectural Heritage Unit
ARCHITECTURE . CUHK

Appendix VI

Photos of Building



View of staircase in front of main entrance to North Kowloon Magistracy



View of balustrade and staircase at 2/F



View of sitting area at 1/F



View of court room



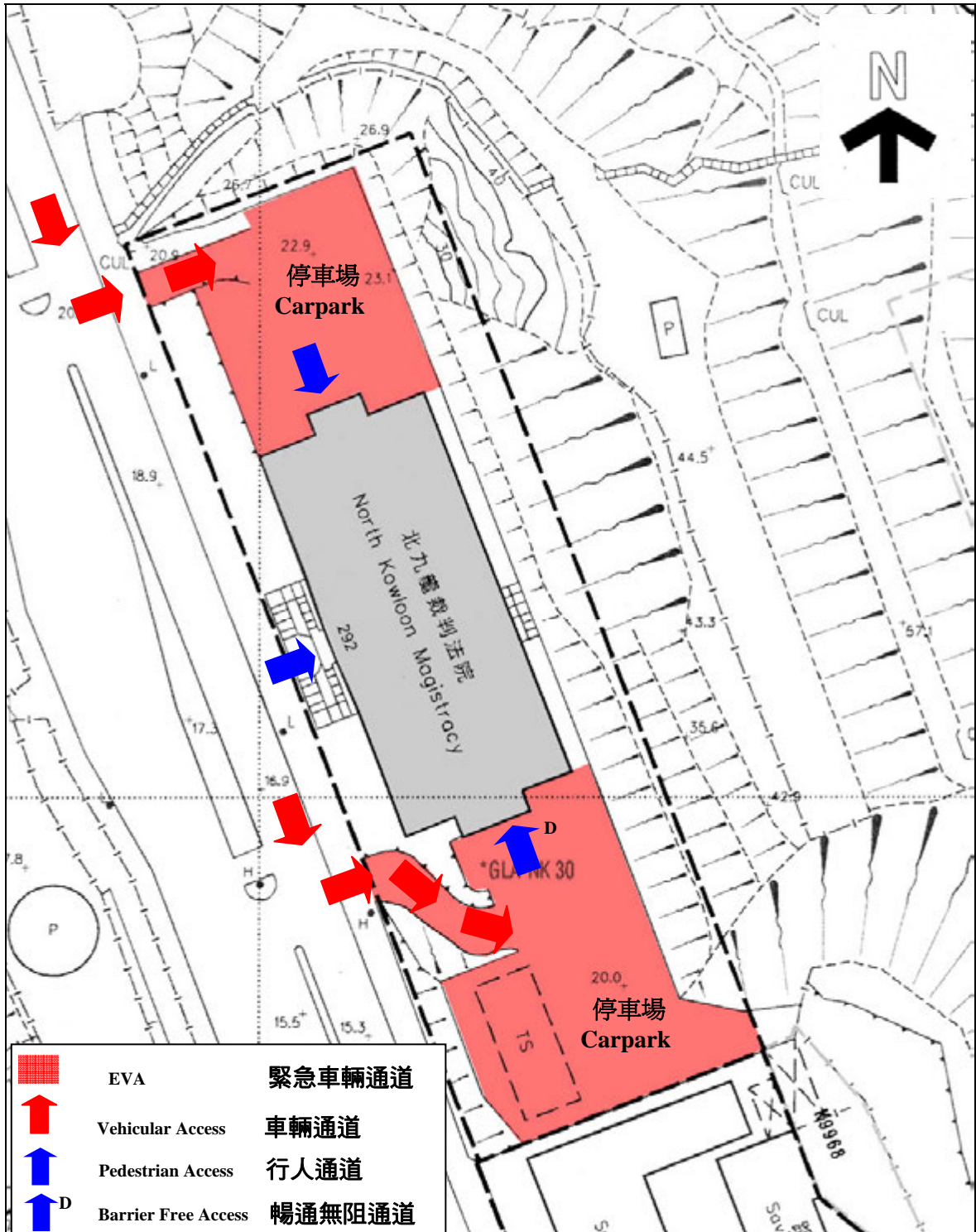
View of staff canteen



View of internal corridor

Appendix VII

Access Plan



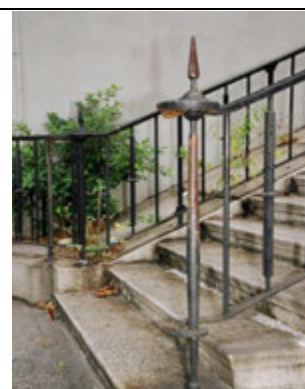
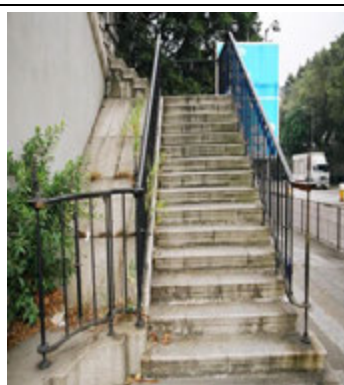
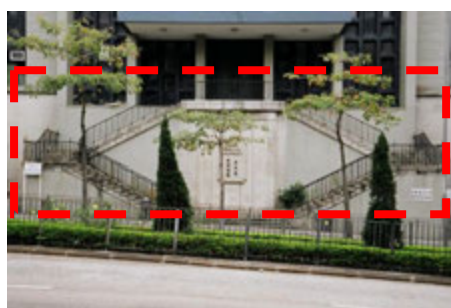
Appendix VIII

**List of Architectural Features
to be Preserved**

North Kowloon Magistracy Building Architectural Features to be Preserved

1. EXTERNAL (Front Elevation facing Tai Po Road)

1.1) Double half-turn unenclosed symmetrical grand staircase from street level to main entrance at *piano-nobile* UG/F level comprising flights of stone steps (including the three stone steps art street level) , landings, strings, spandrels, and ornamental ironwork balustrading in the Italianate palazzo style.

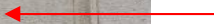


1.2) Projecting ashlar-faced buttress between the staircase spandrels with grooved or recessed joints to the stonework, and a moulded name tablet set in a recessed panel.

Buttress



Name tablet



1.3) Plain ashlar-faced retaining wall forming a podium or plinth to the façade punctuated by windows and doors to the LG/F A/C plant room

Plinth



Plant Room

1.4) Main façade with symmetrical front elevation, which consists of five panels around the central projecting bay, each panel comprising equal divisions of tall narrow windows and tiled apron panels separated by vertical columns, unified horizontally by a string course at UG/F level, transomes at 3/F level, the edge of the floor slab at 4/F level, the projecting edge of the roof slab at eaves level, continuous balcony and ornamental ironwork balustrading to the magistrates' chambers at 3/F level, natural coloured granite wall finish with granite window sills beneath windows, and canopied entrance with metallic flag pole above.



1.5) Main entrance doors comprising a pair of heavy panelled and studded bronze doors in a moulded bronze door case framed with moulded architraves complete with handles, bolts, locks and hinges



1.6) The Chinese and English characters mounted on the moulded name tablet in a recessed panel of the projecting ashlar-faced buttress and the wall of central projecting bay at 4/F level

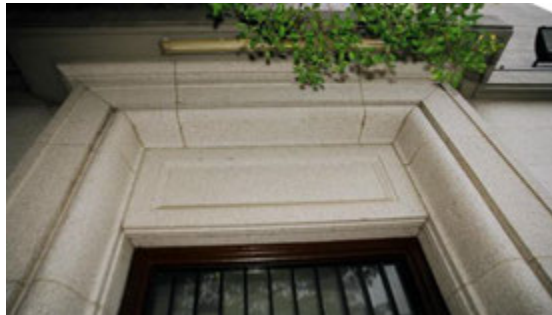


2. EXTERNAL (South Elevation)

2.1) Three bay wide façade with projecting staircase enclosure finished with ashlar or grooved stucco featuring a projecting band course at UG/F level and wide projecting eaves at roof level



2.2) Wooden panelled side entrance door and fanlight in a wooden frame with a moulded architrave, set in a carved stone door case

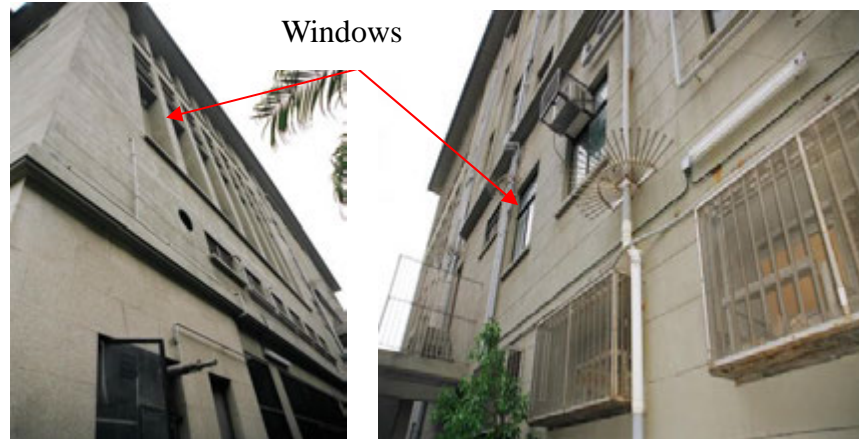


2.3) Regularly spaced transomed metal windows with cills or window surrounds



3. EXTERNAL (East Elevation)

3.1) Symmetrical façade comprising tall narrow windows and apron panels, vertical columns and horizontal features as described for the front elevation, finished in grooved stucco or ashlar



4. EXTERNAL (North Elevation)

4.1) Three bay wide façade with garages at UG/F level on either side of a projecting staircase enclosure finished with ashlar or grooved stucco, including ornamental grilles



4.2) Wooden panelled side entrance door and fanlight in a wooden frame with a moulded architrave, set in a carved stone door case with steps



4.3) Regularly spaced transomed metal windows with cills or window surrounds



5. INTERNAL (Lower Ground Floor)

5.1) Stuccoed & painted walls

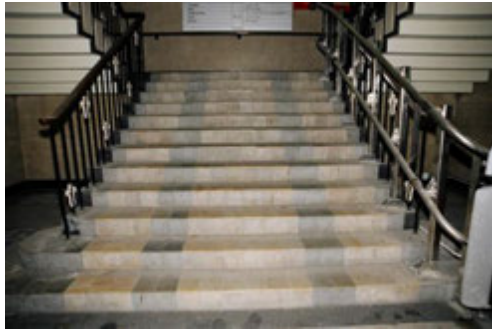


6. INTERNAL (Upper Ground Floor)

6.1) Random pattern stone flooring to main Entrance Hall



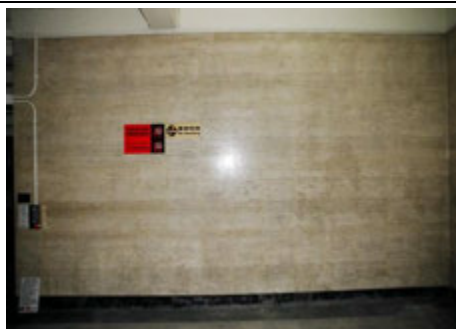
6.2) Central Hall Staircase including stone finishes to treads and risers and ornamental ironwork balustrading (Upgrading work to the balustrading to meet current standards may be permitted)



6.3) Ornamental handrails and guard bars to windows in main Entrance Hall



6.4) Marble cladding to walls of main Entrance Hall



6.5) Original door openings and frames to Staff Canteen (1 No.) and Shroff Office (3 No.) – flush doors to be replaced with salvaged panelled doors



6.6) Original wooden panelled door and frame to Meters and Switches Room off main Entrance Hall



6.7) Original wooden panelled door and frame to staircase off Staff Canteen



6.8) Concrete benches and iron grilles to one of the detention cells



6.9) Original wooden panelled doors and frames to Police Duty Room, Lavatory and Reception Room, etc

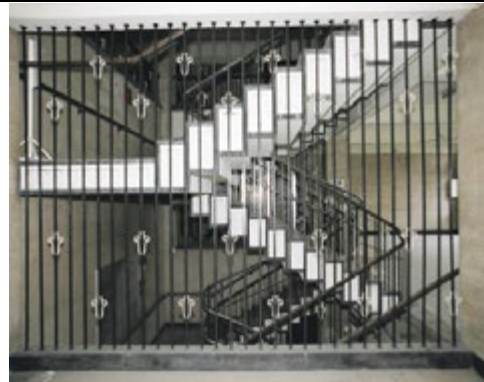
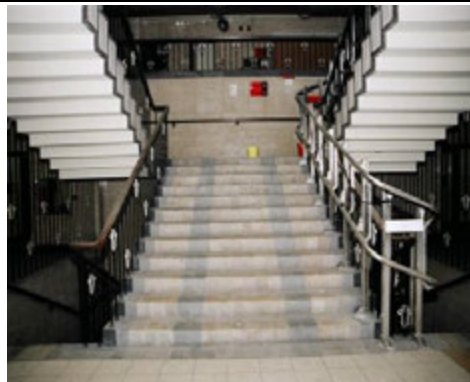


6.10) The Chubs safe No. GSD 1297 and the keys should be preserved in-situ or returned to the Government

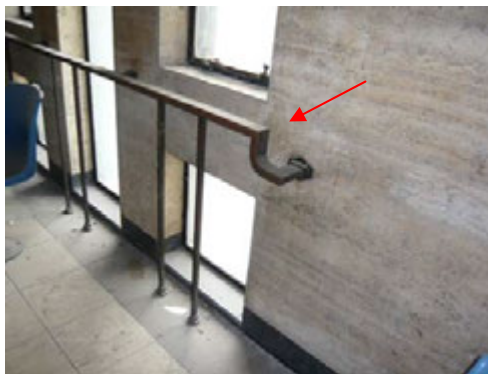


7. INTERNAL (First Floor)

7.1) Central Hall Staircase including stone finishes to treads and risers and ornamental ironwork balustrading (Upgrading work to the balustrading to meet current standards may be permitted)



7.2) Ornamental handrails and guard bars to windows of Hall



7.3) Marble cladding to walls and columns of Hall



7.4) Original wooden panelled doors and frames to offices and toilets



7.5) Original wooden panelled doors and frames to Police General Registry, Summons Office, Changing Room and Toilets



8. INTERNAL (Second Floor)

8.1) Central Hall Staircase, ornamental ironwork balustrading, and ceiling light over landing
(Upgrading work to balustrading to meet current standards may be permitted)



8.2) Marble cladding to walls and columns of Hall



8.3) Ornamental handrails and guard bars to windows of Hall



8.4) Original wooden panelled doors and frames to Court Nos. 1- 4



8.5) All the original settings including wooden flooring and steps, wooden benches, Clerk's bench, Magistrate's bench, raised dais, Prisoner's Dock, security bars, iron gate, lobby, doors, frames, wall panelling and moulded ceiling panels to one of the Courts at 2/F, and including the staircase leading to that Court, should be preserved. (NB: The Bauhinia plaques in each court fixed to the wall above the Magistrates' Bench should be handed back to the appropriate government department)



8.6) Original wooden panelled doors and frames to toilets



9. INTERNAL (Third, Fourth and Fifth Floors)

9.1) Central light well, roof light, exhaust fan housings, and windows to internal corridor including ornamental guard bars





Appendix IX


**List of Required Treatment to
Architectural Features**

North Kowloon Magistracy Building **Required Treatment to Architectural Features**


1. ELEVATIONS


Architectural Feature	Required Treatment
a) Bronze letters fixed to frieze of central bay on front elevation (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”)	Original name sign of the building should be preserved in-situ. No objection to putting new sign over it but works should be carried out in a reversible manner.
	

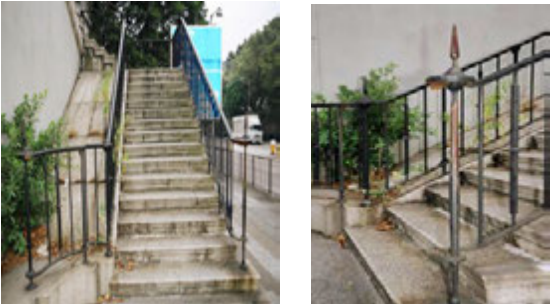
Architectural Feature	Required Treatment
b) Bronze letters fixed to stone tablet in centre of entrance staircase (“NORTH KOWLOON MAGISTRACY” & “北九龍裁判法院”)	Original name sign of the building should be preserved in-situ. No objection to putting new sign over it but works should be carried out in a reversible manner.
	

Architectural Feature	Required Treatment
c) External walls	Stonework, ashlar, stucco, tiling, etc., shall be cleaned with bristle or nylon brushes and clean water; corrosive cleaning chemicals must not be used. Do not install any structure projecting out of the front external walls such as awning, additional shading fins or window-typed air-conditioning units.
	

Architectural Feature	Required Treatment
d) Redundant signage to Tai Po Road frontage	Take down obsolete signs and clear away, and make good wall and paving surfaces.
	

Architectural Feature	Required Treatment
e) Main entrance bronze door	Repair and clean the bronze entrance doors by appropriate cleaning agent. Do not damage the doors by either making opening or resize them.
	

Architectural Feature	Required Treatment
f) Canopy together with flagpole	Repair and clean by appropriate cleaning agent. Do not install signage or other structure covering up the flag pole and its base.
	

Architectural Feature	Required Treatment
g) Granite stair steps with metal balustrade of the main entrance staircases	Repair and clean by appropriate cleaning agent. Do not replace the metal balustrade by stainless steel or glass balustrade. Modification work to existing balustrade to fulfill safety requirement would be allowed provided that the work is reversible.
	


Architectural Feature	Required Treatment
h) Windows and balconies on Front Elevations	Clean and repair as appropriate. Deteriorated steel window frames shall be replaced by the same. Do not change the size of the window openings including enlarge or reduce the size and shape. Do not cover up the balcony by walls or other enclosures. Do not change the metal balustrade by stainless steel or glass balustrade, and do not replace steel window frames by aluminum windows. Modification work to existing balustrade to fulfill safety requirement would be allowed provided that the work is reversible.





2. INTERNAL

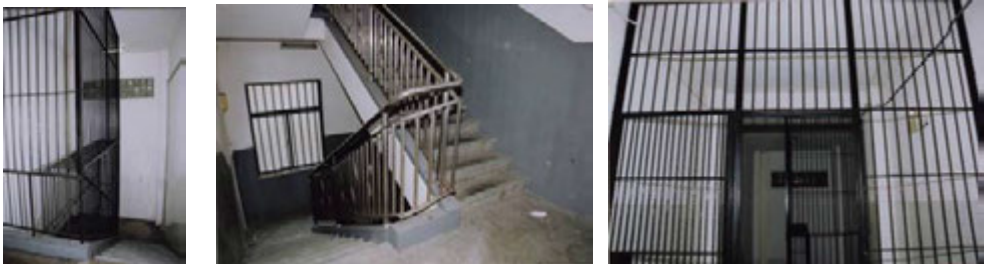
Architectural Feature	Required Treatment
a) All wooden panelled doors and frames to offices and toilets	Should be retained for re-use



Architectural Feature	Required Treatment
<p>b) Old furniture, safes, obsolete equipment, Bauhinia plaques in Courts, and other redundant government property.</p>	<p>Remove and return to the appropriate government departments if required.</p>
	


Architectural Feature	Required Treatment
<p>c) Notice boards, built-in cupboards, partitions, counters, desks, shelves etc. to office and other rooms</p>	<p>Take down and clear away, and make good wall surfaces.</p>
	


Architectural Feature	Required Treatment
d) Courtrooms	All Courts may be stripped out if necessary and wall and floor surfaces made good, but <u>at least one of the major Courts at 2/F</u> which fittings and fixtures including benches, steps, chairs, clock, entrance lobby and paneling to walls and ceiling, Judges' staircase and Prisoner's staircase shall be preserved for heritage preservation purposes. The double storey spaces at all major Courts shall be kept and no additional floor to cover entire floor above may be built (but mezzanine floor may be allowed).
	

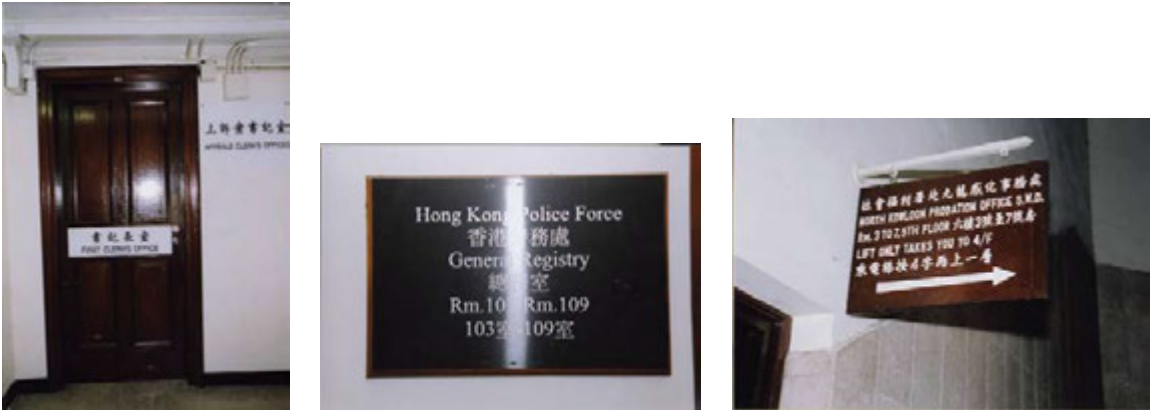
Architectural Feature	Required Treatment
e) Redundant staircases, security grilles, bars, iron gates, etc.	Redundant staircases, security grilles, bars, iron gates, etc. may be removed subject to AMO's approval (except the one leading to the Court to be preserved). It is also allowed to modify or extend the existing staircases for compliance with statutory requirements, subject to the approval of AMO.
	

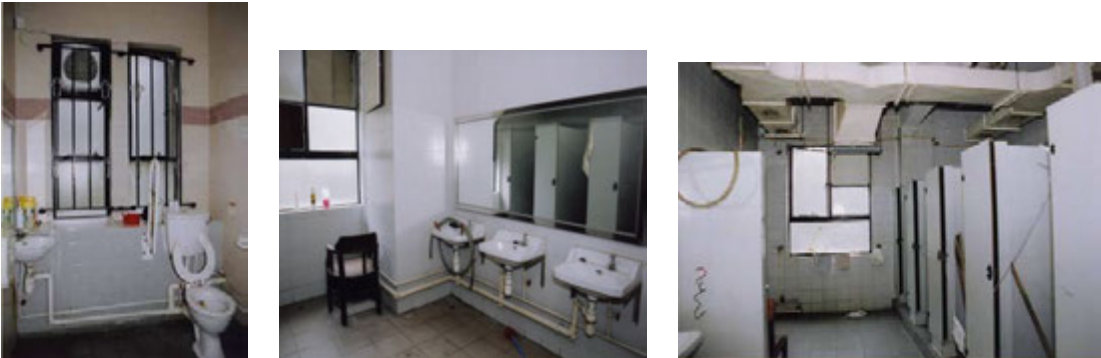
Architectural Feature	Required Treatment
f) Floors	Wood block parapet floors should be sanded and wax polished not sealed or stained; there is no objection to removal and replacement of PVC tiled floors; stone flooring in main Entrance Hall to be cleaned with clean water; corrosive chemicals must not be used.
	


Architectural Feature	Required Treatment
g) Internal walls and partitions	No objection to removal of non-loading bearing internal walls (except stuccoed painted walls), subject to the advice of a Registered Structural Engineer.
	


Architectural Feature	Required Treatment
h) Ceiling	Suspended ceiling should be removed to check any roof leakage for repair; no objection to reinstating false ceiling in rooms if necessary.
	

Architectural Feature	Required Treatment
i) Redundant cables and conduit, light fittings, ceiling bars etc.	Remove redundant building services installations and rewire as necessary and if required.
	


Architectural Feature	Required Treatment
j) Signage	Take down obsolete signs and make good wall surfaces.
	


Architectural Feature	Required Treatment
k) Toilets	If functionally not required take down cubicle partitions, remove fittings and fitments and plumbing, make good walls and floors, and seal off drains.
	

Architectural Feature	Required Treatment
l) Canteen and Kitchen	If functionally not required remove fittings, fitments, equipment, plumbing etc., make good walls and floors, and seal off drains.
	

Architectural Feature	Required Treatment
m) Lifts (including disabled elevator in the main staircase and Judge's Lifts)	To check and upgrade in order to comply with current standards
	

3. EXTERNAL AREA

Architectural Feature	Required Treatment
a) External Open Area	Existing 2-storey temporary structure and its adjoining fire services room shall be demolished, unless permission for continuing to use this structure is applied.
	

Architectural Feature	Required Treatment
b) Mature trees at the south-east carpark entrance	Do not fall down the two trees.
	


Appendix X

List of Recommended Treatment to Architectural Features

North Kowloon Magistracy Building **Recommended Treatment to Architectural Features**

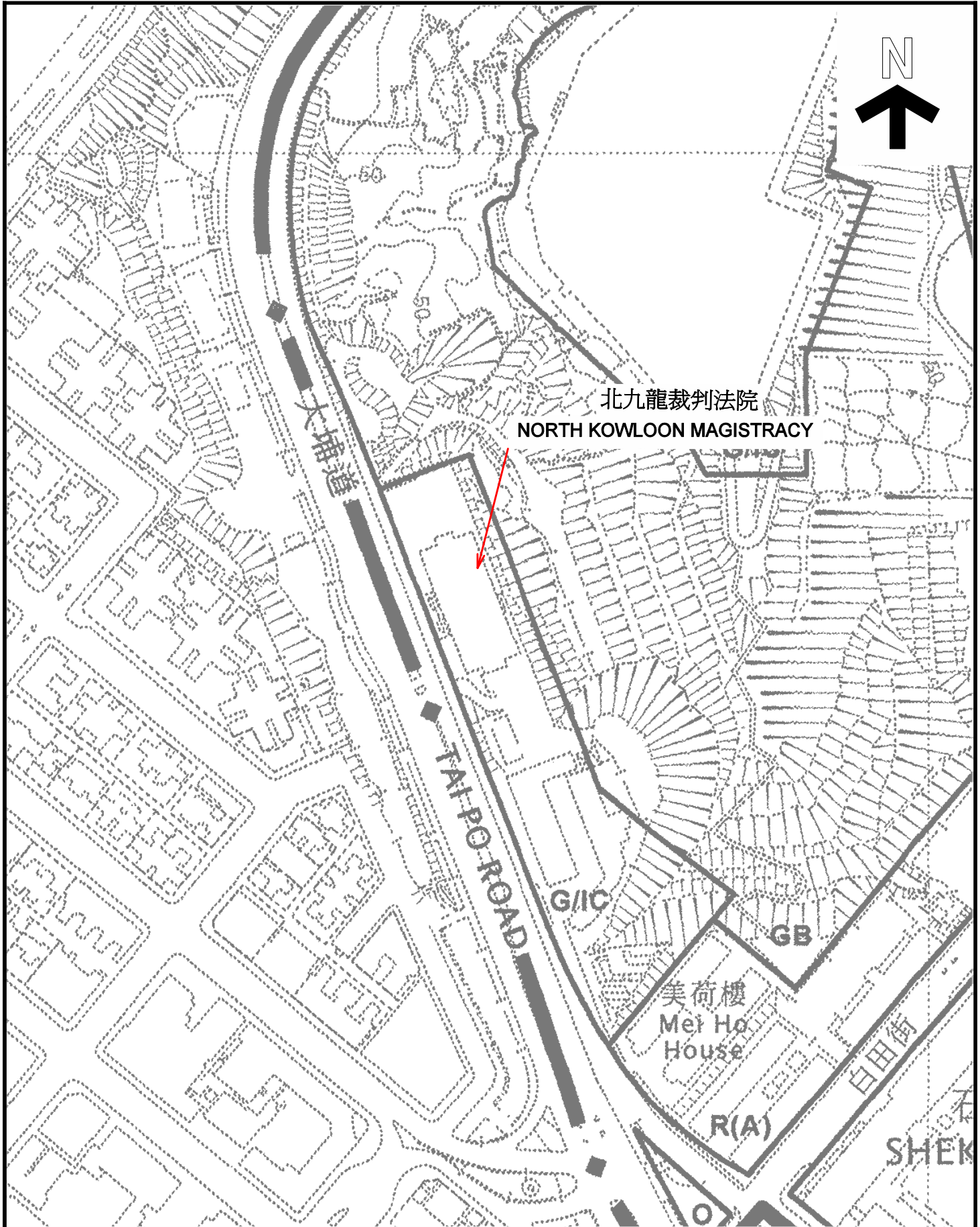
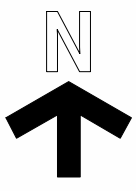
1. INTERNAL

Architectural Feature	Recommended Treatment
a) Detention cells at Upper G/F	Recommended to retain and re-use the cell units as far as practicable for heritage preservation purposes.
	

Architectural Feature	Recommended Treatment
b) Major courtrooms at 2/F	Recommended to retain and re-use as the courtroom as far as practicable for heritage preservation purposes.
	

Appendix XI

Outline Zoning Plan



北九龍裁判法院
NORTH KOWLOON MAGISTRACY

大埔道

TAI PO ROAD

G/IC

GB

美荷樓
Mei Ho
House

R(A)

白田街

SHEK

EXTRACT PLAN PREPARED ON 12.02.08
BASED ON OUTLINE ZONING PLAN No.
S/K4/22 EXHIBITED ON 06.02.08

北九龍裁判法院
深水埗大埔道
NORTH KOWLOON MAGISTRACY
TAI PO ROAD, SHAM SHUI PO

SCALE 1 : 2 000



PLANNING DEPARTMENT

AMO REF.

M/UR/08/0004

PLAN

GOVERNMENT, INSTITUTION OR COMMUNITY

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot	Animal Boarding Establishment
Animal Quarantine Centre (in Government building only)	Animal Quarantine Centre (not elsewhere specified)
Broadcasting, Television and/or Film Studio	Columbarium
Eating Place (Canteen, Cooked Food Centre only)	Correctional Institution
Educational Institution	Crematorium
Exhibition or Convention Hall	Driving School
Field Study/Education/Visitor Centre	Eating Place (not elsewhere specified)
Government Refuse Collection Point	Flat
Government Use (not elsewhere specified)	Funeral Facility
Hospital	Helicopter Filling Station
Institutional Use (not elsewhere specified)	Helicopter Landing Pad
Library	Holiday Camp
Market	Hotel
Place of Recreation, Sports or Culture	House
Public Clinic	Mass Transit Railway Vent Shaft and/or Other Structure above Ground Level other than Entrances
Public Convenience	Off-course Betting Centre
Public Transport Terminus or Station	Office
Public Utility Installation	Petrol Filling Station
Public Vehicle Park (excluding container vehicle)	Place of Entertainment
Recyclable Collection Centre	Private Club
Religious Institution	Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation
Research, Design and Development Centre	Refuse Disposal Installation (Refuse Transfer Station only)
School	Residential Institution
Service Reservoir	Sewage Treatment/Screening Plant
Social Welfare Facility	Shop and Services
Training Centre	Utility Installation for Private Project
Wholesale Trade	Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

Remarks

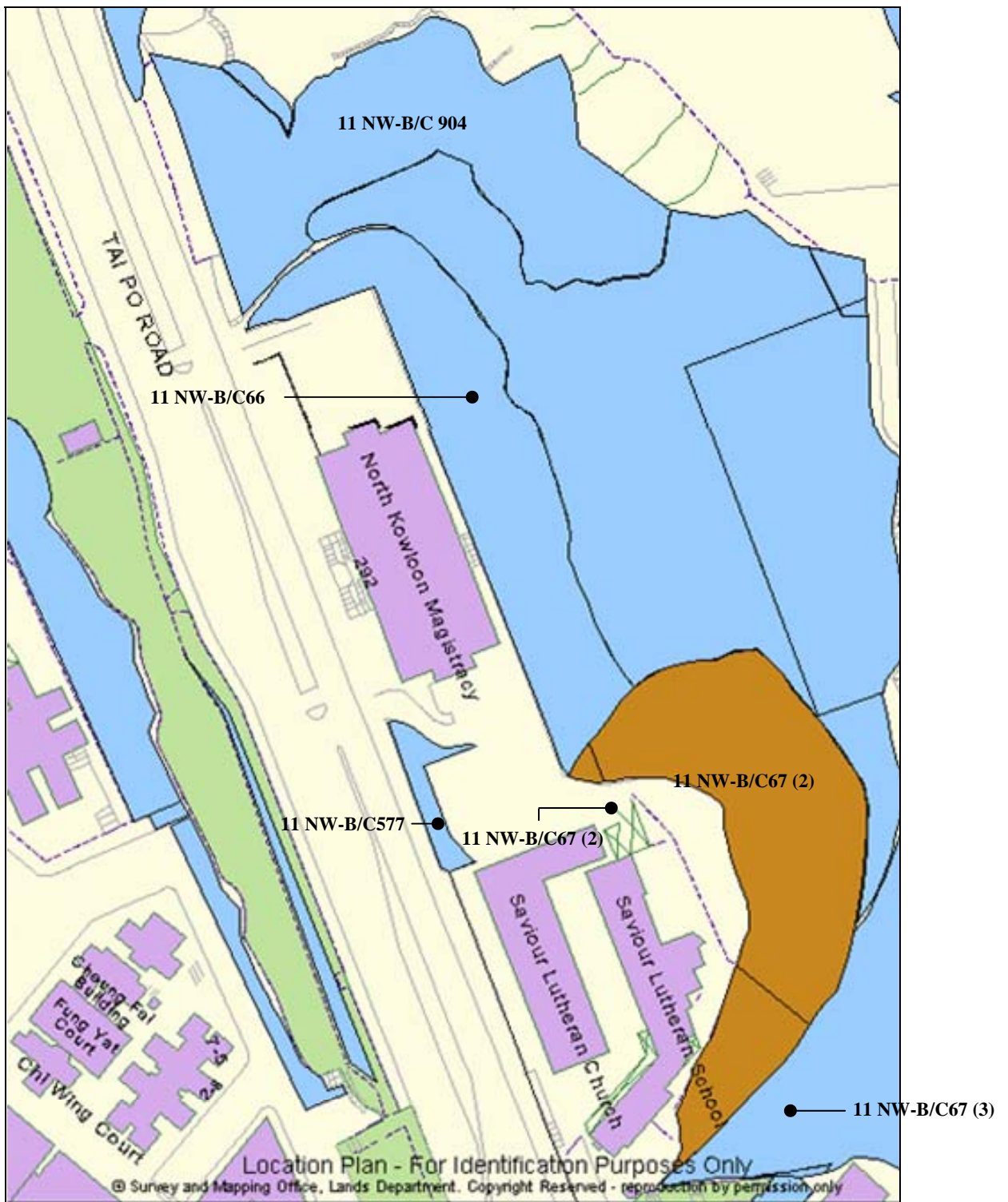
- (1) No new development or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum plot ratio, building height, gross floor area specified below, or the plot ratio, building height, gross floor area of the existing building, whichever is the greater :

Sub-Area	Restriction
G/IC(1)	a maximum building height of 10.67m
G/IC(2)	a maximum building height of 46m above Hong Kong Principal Datum
G/IC(3)	a maximum building height of 51m above Hong Kong Principal Datum
G/IC(4)	sub-area (A) - a maximum building height of 70m above Hong Kong Principal Datum sub-area (B) - a maximum building height of 119.5m above Hong Kong Principal Datum
G/IC(5)	a maximum gross floor area of 27 400m ² and a maximum building height of 112m above Hong Kong Principal Datum
G/IC(6)	a maximum plot ratio of 3.37 and a maximum building height of 134.9m above Hong Kong Principal Datum
G/IC(7)	a maximum building height of 112m above Hong Kong Principal Datum
G/IC(8)	a maximum building height of 38m above Hong Kong Principal Datum

- (2) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restriction, stated in paragraph (1) above, may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- (3) On land designated as “G/IC(5)”, the maximum building height as set out in paragraph (1) above may, upon obtaining permission of the Town Planning Board under section 16 of the Town Planning Ordinance, be increased to a maximum of 135m above Hong Kong Principal Datum, with the support of a visual and landscape impact assessment and any other information as may be required by the Town Planning Board.

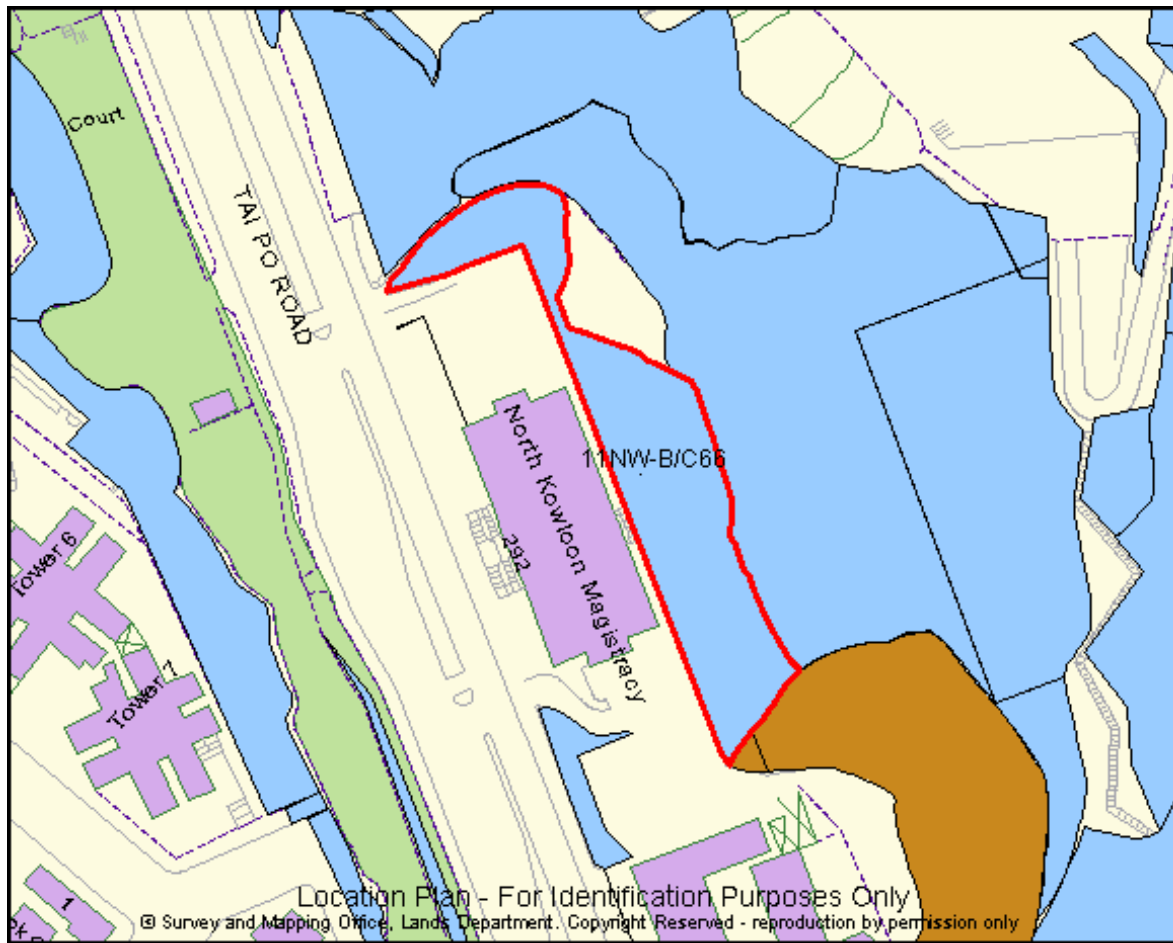
Appendix XII

Slope Features



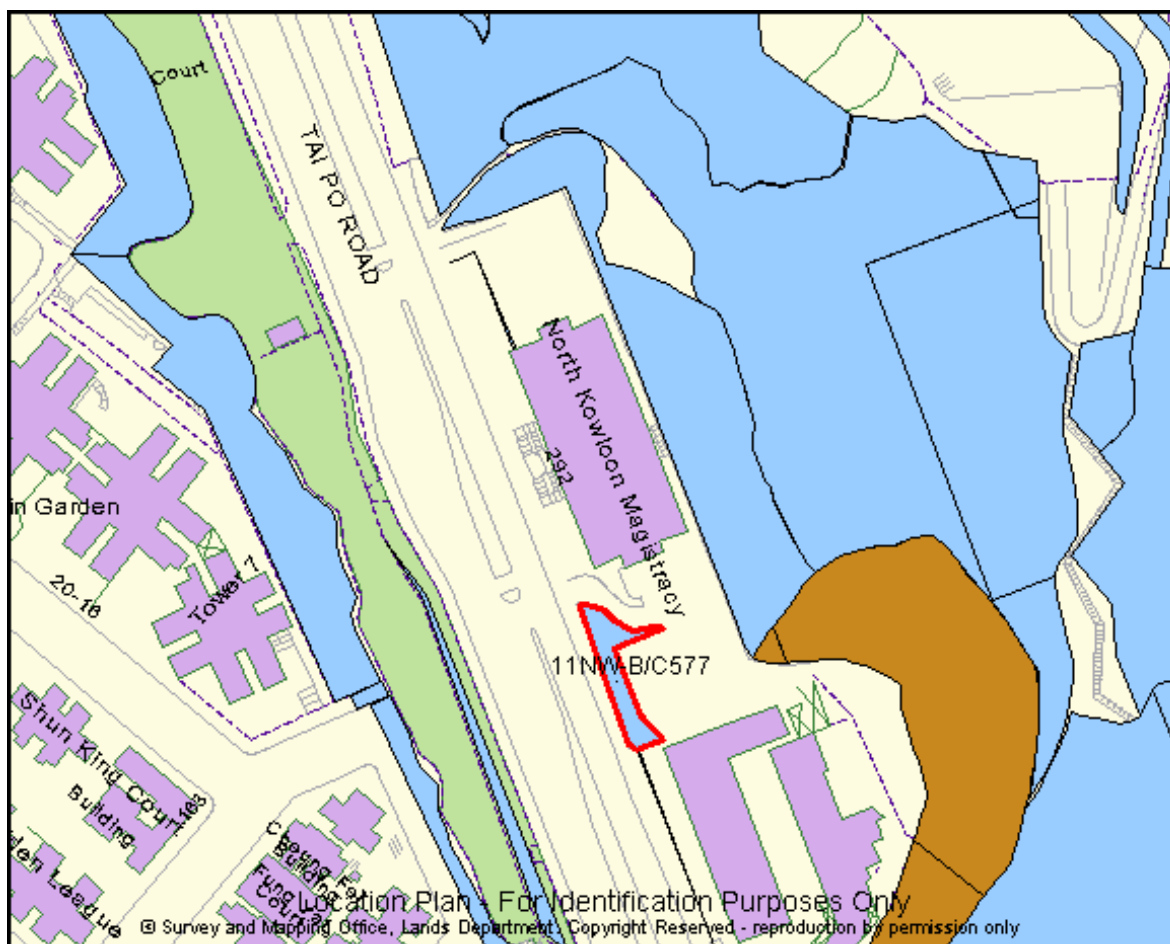
顯示北九龍裁判法院周圍所有斜坡的用地地圖

Site map showing all the slopes around North Kowloon Magistracy



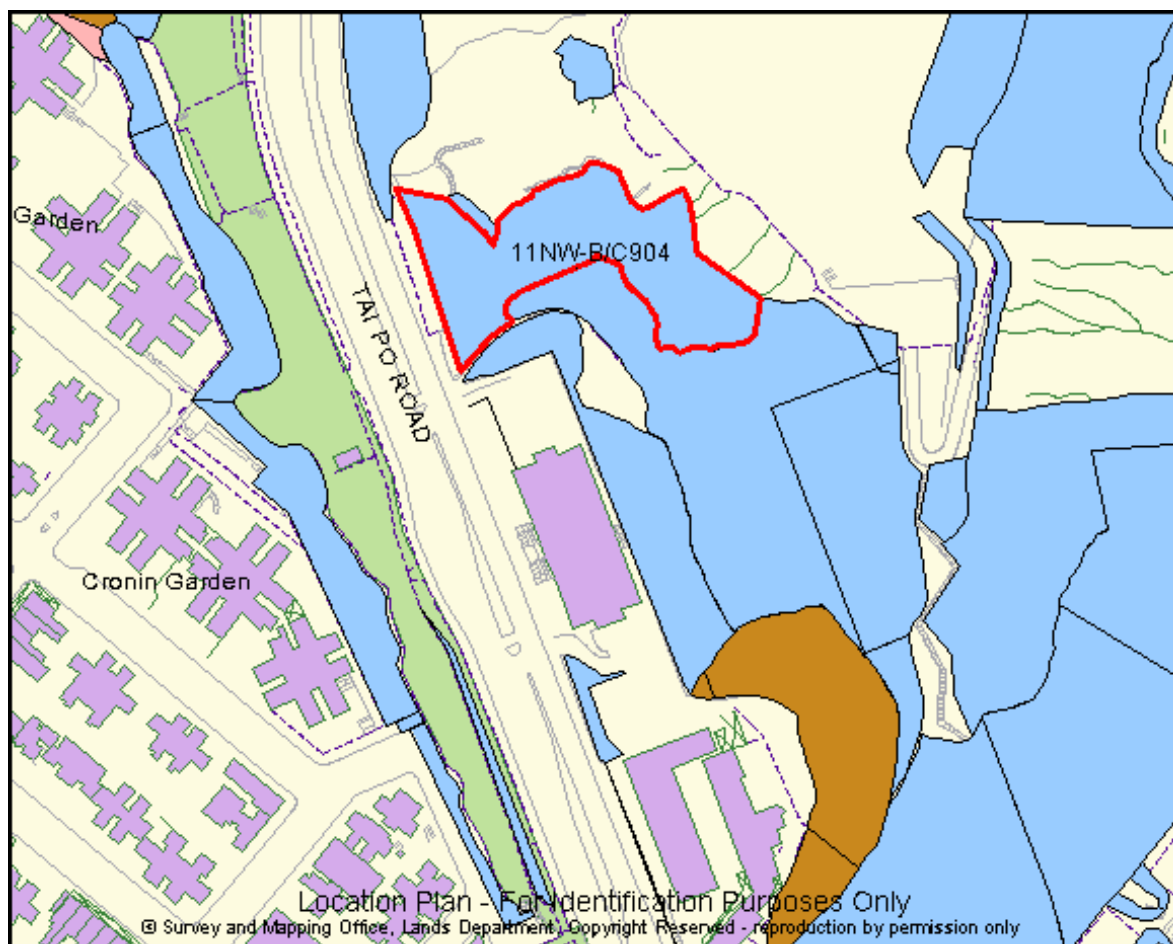
斜坡第 11NW-B/C66 號位置圖

Location plan of slope 11NW-B/C66



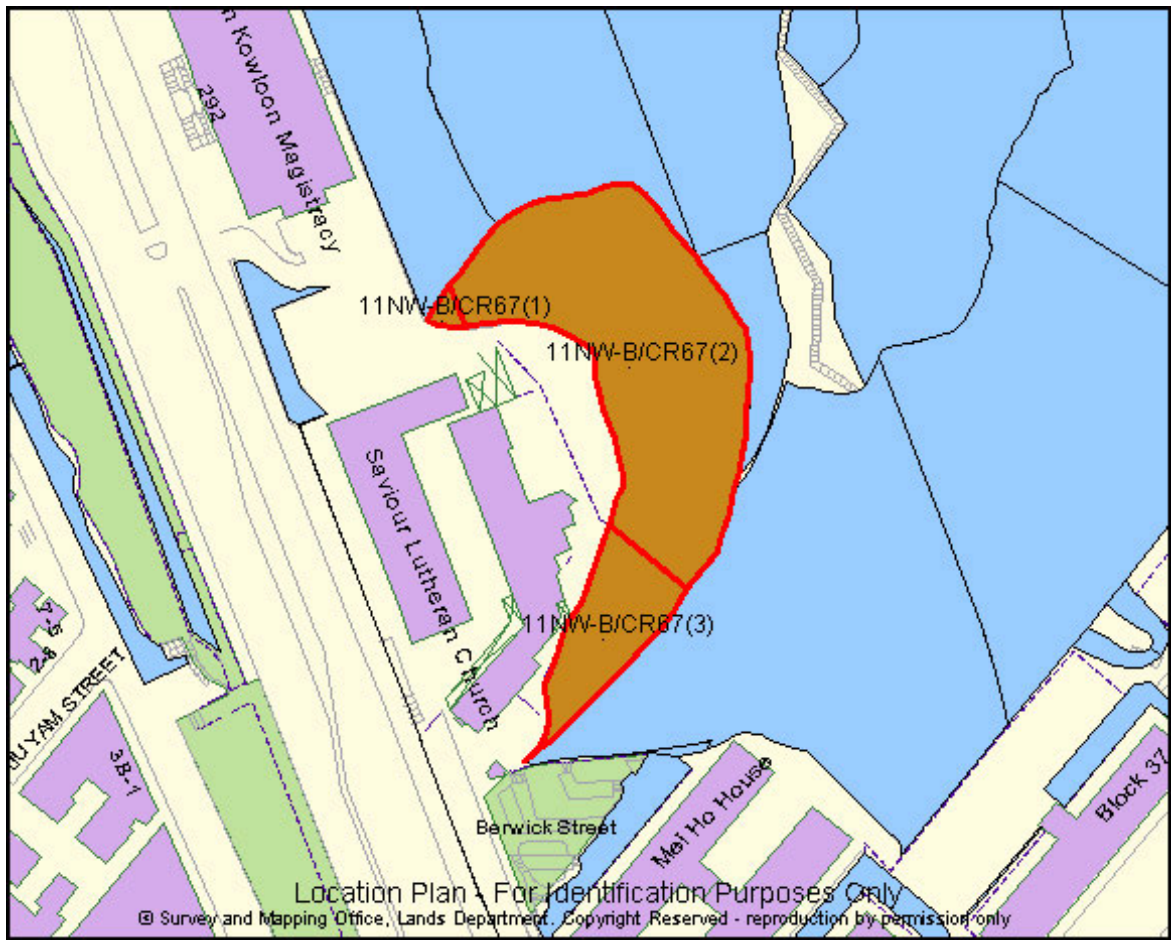
斜坡第 11NW-B/C577 號位置圖

Location plan of slope 11NW-B/C577



斜坡第 11NW-B/C904 號位置圖

Location plan of slope 11NW-B/C904



斜坡第 11NW-B/CR67 號位置圖

Location plan of slope 11NW-B/CR67