

**Revitalising Historic Buildings
Through Partnership Scheme**

Old Tai O Police Station

Resource Kit



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I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Scheme). Information provided include:

- Section II Historical Background and Architectural Merits;
- Section III Site Information;
- Section IV Building Information;
- Section V Vicinity and Access;
- Section VI Conservation Guidelines;
- Section VII Town Planning Issues;
- Section VIII Land and Tree Preservation Issues;
- Section IX Slope Maintenance; and
- Section X Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent locations of the buildings concerned.

1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility

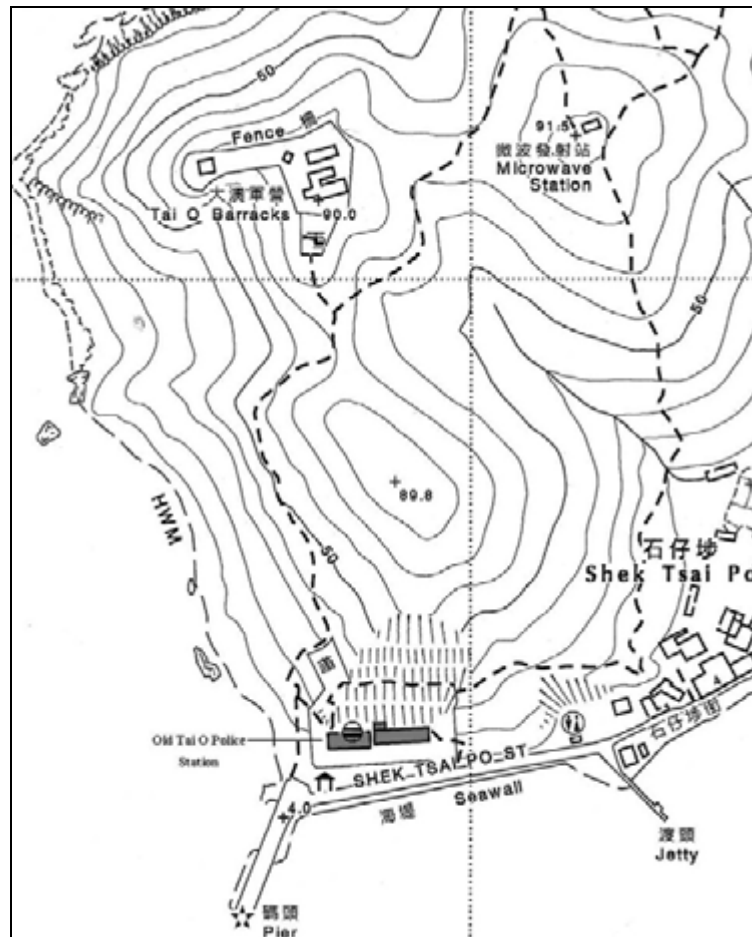
of such case will need to be further examined.

- 1.4 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - “Structural Appraisal” is a rough estimate only.
- 1.5 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address:	Revitalising Historic Buildings Through Partnership Scheme Secretariat 21/F., Murray Building, Central Hong Kong
Email:	rhb_enquiry@devb.gov.hk
Phone.:	2848 6230
Fax:	3167 2665

II. Historical Background and Architectural Merits

2.1 Historical Background



Map showing location of Old Tai O Police Station

Address of Old Tai O Police Station: Shek Tsai Po Street, Tai O, Lantau.

The Old Tai O Police Station is situated on the small hill next to Tai O Ferry Pier. Before the Police Station was erected, a Chinese style house began to be used on 18 May 1899 in Tai O as a temporary police station (regarded as a yamen (衙門) - magistrate office). In 1902, a permanent Police Station was built at the current site to reinforce the police forces on Lantau Island. The building was designated as a Grade III Historic Building in 1988.

Before 1997, officers of the Old Tai O Police Station were under the charge of the marine police. They were mainly responsible for the public security of the villages in Tai O and they patrolled within the community by means of sampan. Goods coming in and out of Tai O needed to be declared to Customs, whereas

visitors needed to be interrogated by the police before landing the Tai O Pier.

Fifteen police officers were distributed to the Police Station in 1903. Even in early 1950s, there were only fourteen police officers, a translator and an assistant working in the station. Hierarchical distinction was obvious within the organization. The European officers usually occupied the higher rank positions, whereas the Indian officers patrolled on the streets and the Chinese officers did clerical works.

The villagers living in Tai O had long been bothered by bandits. A brutal robbery occurred in Tai O Village on 25 March 1925. Around sixty bandits held up and robbed thirty-five houses and shops. The villagers were unable to inform the police until the bandits left. According to the old villagers, it was also said that the Old Tai O Police Station was also captured by the bandits at that time.

The Old Tai O Police Station became a patrol post in 1996 and most of the officers were deployed to the Lung Tin Estate Report Centre. The Old Tai O Police Station was eventually closed in December 1996.

According to the Government Gazette in 1903, the Old Tai O Police Station consists of two buildings at that time, namely the Main Building and the Outhouse. The Main Building is a two-storey building, which once contained a charge-room, two cells, dormitories for officers, three bathrooms and one storeroom. The Outhouse, partly two-storey and partly one-storey, was connected to the Main Building by a covered bridge. According to record, it contained kitchens, drying-room, store and Indian officers' bathroom, an interpreter's room, an accommodation for servants and latrines.

In 1952, an extension of the Old Tai O Police Station was proposed by the Commissioner of Police to resolve its overcrowded and unhygienic conditions. A scheme was once introduced in 1957 to partly reconstruct the Old Tai O Police Station by demolishing the Outhouse to give space for building a three-storey structure that provided living and recreational facilities. Another proposal was also introduced in 1961 for building a two-storey block with washing and ironing facilities, modern bathrooms, kitchens and toilet with flushing system. The final design was to demolish the one-storey part of the Outhouse and rebuild a new one-storey extension connected to the two-storey part of the Outhouse.

The additional barrack accommodation was completed in 1961-62. There was no piped water to the Old Tai O Police Station before the new barrack was erected and water was transported manually to the Police Station by boat.

2.2 Architectural Merits

The Old Tai O Police Station comprising the two separate blocks is considered to be an excellent example of a typical “colonial-style” police station of the period. The Main Building is distinctive with its Chinese pan-and-roll tiled roof, projecting eaves and arched verandahs which give it an overall Italianate Renaissance appearance.

III. Site Information

3.1 Location

The Old Tai O Police Station is situated along the hill slope on a higher level abutting Shek Tsai Po Street. A Site Plan of the Old Tai O Police Station is shown at **Appendix I**.

3.2 Site Boundary

The Site Boundary Plan of the Old Tai O Police Station is shown at **Appendix II**.

3.3 Site Area

The site area is approximately 980 sq. metres.

3.4 Major Datum Levels

The major datum level of the site is around 17.2 mPD. Major datum levels around the site are shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

The Old Tai O Police Station mainly consists of three parts: a two-storey Main Building, a two-storey Outhouse and a one-storey later extension. The two-storey Outhouse and the one-storey later extension were joined together as one block and they are connected to the Main Building by a covered bridge on the first floor. These three parts are linear in form stretching across the site along the east-west direction.

There are two individual blocks located at the rear of the Outhouse. Another two dangerous goods (DG) stores are located at the slope at the rear of the main building.

The Main Building mainly houses offices, while the Outhouse and the later extension house supplementary facilities such as laundry and canteen.

The typical spatial arrangement of both the Main Building and the 2-storey Outhouse is composed of two layers: the verandah at the front and all the rooms at the back. The one-storey later extension has its rooms arranged adjacent to each other in a row.

The base of a cannon, a mast and a water pond are found in front of the Main Building.

The architectural drawings of the Old Tai O Police Station, which consist of site plan (showing location of the Main Building and Outhouse etc.), floor plans, major elevations and sections, are attached at **Appendix V**.

The photos showing the general appearance and internal layout of the Old Tai O Police Station are attached at **Appendix VI**.

4.2 Historic Grading

The Old Tai O Police Station is designated as a Grade III Historic Building by the Antiquities Advisory Board. “Grade III Historic Building” is defined as “Building of some merit, but not yet qualified for consideration as possible monuments. These are to be recorded and used as a pool for future selection.”

The Grading Boundary Plan is shown at **Appendix VII**.

4.3 Schedule of Accommodation

The schedule of accommodation for each floor and the respective floor areas are summarized in the following table:

	Accommodation	Approximate Floor Area
	Main Building	
G/F	Offices, cells, stores and staircase	205 sq.m
1/F	Offices, bathrooms, rest room and guard tower	206 sq.m
	Guard tower	5 sq.m
	Outhouse	
G/F	Store and laundry room	52 sq.m
1/F	Exhibit room and bathroom,	52 sq.m
	Later extension	
G/F	Canteen, briefing room, P.C. night duty room, lavatory, kitchen and office	241 sq.m
Roof	Roof terrace	189 sq.m
	Guard tower	5 sq.m
	Others	
	Two individual blocks at the rear – E&M room, store	22 sq.m
	D.G. stores at the slope at the rear of the main building	~3 sq.m
	Total Gross Floor Area (excluding roof terrace & guard tower)	781 sq.m

4.4 Materials of Construction

Materials of construction		
Roof	Wall	Floor
<ul style="list-style-type: none"> ▪ Main Building and Outhouse– Chinese pan and roll tiles on timber rafters and purlins ▪ Later extension – reinforced concrete with concrete flooring tiles ▪ Individual blocks - concrete ▪ Guard towers - concrete 	<ul style="list-style-type: none"> ▪ Main building – brick wall ▪ Outhouse & later extension– concrete ▪ Individual blocks - concrete ▪ Guard towers - concrete 	<ul style="list-style-type: none"> ▪ Main building – concrete floor ▪ Outhouse & later extension – concrete ▪ Individual blocks – concrete ▪ Guard towers - concrete
Finishes		
Exterior	Interior	
<ul style="list-style-type: none"> ▪ White wall paint on plastered walls 	<ul style="list-style-type: none"> ▪ Emulsion paint on plastered in general, with the walls at the cells and internal roof gables at the Main Building not plastered. ▪ Grey terrazzo wall finishes at the cells of the Main Building on G/F and laundry room of the Outhouse on G/F ▪ Floor finishes are mainly vinyl floor tiles and ceramic floor tiles. Timber planking is used as flooring on 1/F of Main Building. 	

4.5 Internal Circulation

4.5.1 General description

The Main Building and the Outhouse are inter-connected by a covered bridge on first floor.

The rooms at the Main Building and the Outhouse are mainly accessed by the verandahs and covered walkways in front of them. The rooms

at the later extension is accessible through the covered walkway along the front façade.

A concrete staircase is located at the rear of the Main Building leading up to the first floor. Another concrete staircase is located between the Main Building and the Outhouse leading up to the first floor covered bridge, which is accessible to the first floor of both the Main Building and the Outhouse. A timber staircase is located in the middle of the Main Building connecting ground floor and first floor.

Some of the rooms at the main building are inter-connected by doors between rooms on the ground floor and first floor.

4.5.2 Barrier Free Access

The existing ramp leading from Shek Tsai Po Street to the site is too steep and not up to the required standard for barrier free access.

The Main Building is elevated with the ground floor accessed through a flight of steps. The Outhouse is also built on an elevated platform. There is no barrier free access point provided for entering the building. There is also no lift provided inside the Main Building and the Outhouse.

4.6 Major Alterations and Additions

- Re-construction of upper floor of the Main Building in ferro-concrete in 1918
- Construction of the concrete staircase between the Main Building and Outhouse in 1933
- Rebuilt of the later extension in 1961-62

4.7 Structural Appraisal

4.7.1 Description

The Old Tai O Police Station comprises two blocks namely the Main Building and the Outhouse. According to visual inspection, the structural system of the Main Building is reinforced concrete beams and slabs supported by columns and walls made of bricks. Although its finish is of wood, the slab of first floor appears to be of reinforced concrete construction. The structural system of the 2-storey Outhouse consists of reinforced concrete columns supporting the beams and the slabs. The roof trusses of these buildings are timber.

4.7.2 Appraisal

Main Building: according to visual inspection, some minor cracks and few major cracks (0.5m – 2m long) were found on walls and columns at each floor. No spalling of concrete was observed during the visual inspection. The structural slabs, beams and brick columns appear in reasonable condition. Immediate repair of major cracks is recommended.

Outhouse: as part of the roof had collapsed, some areas were not allowed for access. The assessment of the building structure was based on the conditions in the accessible areas. Visual inspection revealed that a few minor cracks (0.5m – 1.5m long) were found on walls at ground floor. Spalling of concrete at one location on ground floor had been repaired. The structural slabs, beams and brick columns appear in reasonable condition. Immediate repair of the roof is recommended.

It is recommended to re-assess the condition of the building after the roof of the building has been repaired.

4.7.3 Loading Assessment

The building was built in 1902. Its design is believed, to have followed the London County Council (LCC) – 1915. In LCC 1915, it specified 100 lb/sq ft (= 4.78 kPa) for floor loading of office.

Based on visual inspection and the age of building, it is possible that a reduction factor of 30% to the original design loading is applicable for this building. The estimated loading capacity of each floor would thus be 3.3 kPa.

4.7.4 Recommendations

Further site investigation and some laboratory testing should be carried out by the successful applicants to determine the existing conditions of the buildings, the allowable loading of the floor and other important structural information for the adaptive reuse of the building.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for the Old Tai O Police Station is as follows:

Building Services	Existing Provisions
MVAC Installation	<ul style="list-style-type: none"> ▪ Window type room coolers are installed in part of the rooms. However, the performance of the air-conditioners shall be further verified if they are considered to be re-used.
Fire Services Installation	<ul style="list-style-type: none"> ▪ No wet Fire Protection System (i.e. F.H./HR & sprinkler system) is found in the building. ▪ No manual fire alarm (MFA), visual fire alarm and automatic fire alarm system (AFA) is found in the building.
Electricity Supply	<ul style="list-style-type: none"> ▪ A 100A three phase fused cutout together with CLP meter are installed aside the internal staircase at G/F. ▪ A 25KVA genset is installed to serve the essential supply for the building.
Lift	<ul style="list-style-type: none"> ▪ The building is not served with any lift or escalator.
Plumbing & Drainage Installation	<ul style="list-style-type: none"> ▪ A 25mm dia. potable water supply pipe together with the water meter is installed for the potable water supply of the building. ▪ An existing bore well is found for flushing purpose. The bore well water is delivered to the roof tank by a set of transfer pump. The flush water will then be delivered to the sanitary fittings by

Building Services	Existing Provisions
	gravity. <ul style="list-style-type: none"> ▪ The surface water of the site is gathered by storm water down pipe and collected by surface channels and discharged to nearby public channels / culvert. ▪ No sewage terminal manhole is found within the site.
Gas Installation	<ul style="list-style-type: none"> ▪ No gas connection is found for the existing building.

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surrounding

The site is mainly surrounded by slope features. Please refer to the Section IX for detailed information of the concerned slope features.

The site is also surrounded by trees planted on the slopes in the front and at the rear of the building. A plan showing the immediate surrounding of the site is shown at **Appendix VIII**.

Village houses, church, school, clinic and Tai O Fire Station are located near the Old Tai O Police Station.

5.2 Access

5.2.1 Vehicular Access

Vehicular access (subject to permission from the Transport Department) is only available up to Shek Tsai Po Street. A pier is located in front of the site at the end of Shek Tsai Po Street. The Access Plan is shown in **Appendix IX**.

5.2.2 Emergency Vehicular Access (EVA)

EVA is not provided for the Old Tai O Police Station.

5.2.3 Loading and Unloading Area

No loading and unloading area is provided within the site.

5.2.4 Parking

No parking spaces are provided within the site.

5.2.5 Pedestrian Access

A ramp is found at the end of Shek Tsai Po Street leading to the main gate of the Old Tai O Police Station at the north-west of the Main Building. Apart from the ramp, there is a staircase from Shek Tsai Po Street leading to the east end of the Outhouse.

5.2.6 Barrier Free Access (Site)

There is no up to standard barrier free access leading to the Old Tai O Police Station.

5.2.7 Refuse Collection Point

No refuse collection point is available within the site.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance. On this issue, we would advise:

- (a) As long as the site allows and there are technically feasible solutions within reasonable cost, the proposal should aim to comply with the statutory building control requirements through suitable modification works subject to essential historic features being preserved; and
- (b) Every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed; i.e., no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation. But, there is no restriction on the type/design of temporary signage, e.g. banners, displays, etc.,

¹ “Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.

provided that the number of such signs is not excessive.

6.1.3 For the restoration works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicants to refer to the full requirements imposed by relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works recommended to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with surroundings to preserve landscape and wildlife habitat.
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for disabled must respect historical integrity of the building(s) and its (their) surroundings, in particular the external elevation(s) of the building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).

h) Plumbing and Sanitary Fittings	No existing fittings are considered to be “historic features” and therefore they may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; the capacity of the existing system and adequacy of authorised waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the restoration works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 All required building works should be carried out by a specialist contractor on the Development Bureau (Works Branch) List of Specialist Contractors for Repair and Restoration of Historic Buildings, and such work shall be to the satisfaction of AMO. For details on the engagement of the above Specialist Contractor, please refer to paragraph 6.1 of the “Guide to Revitalising Historic Buildings Through Partnership Scheme”.

6.2 Specific Conservation Requirements

6.2.1 The Old Tai O Police Station is situated at Shek Tsai Po Street, Tai O, Lantau Island. It consists of two 2-storey blocks comprising the Main Building and the Outhouse. It was given a Grade III historic status by the Antiquities Advisory Board.

6.2.2 The Old Tai O Police Station was built in 1902 to enforce law and order in a rather remote area of Lantau Island. It was vacated in 2002. The whole complex comprises two separate blocks, i.e. a 2-storey Main Building and the Outhouse composing of a 2-storey part and a 1-storey part. The Main Building is considered to be an excellent example of a typical “colonial-style” police station of the period and therefore more stringent conservation requirements are imposed on it. The Outhouse, which had undergone reconstruction in 1960s, is considered less historic

and more flexibility is given in its conservation treatment.

- 6.2.2 There are some elegant architectural features in the Main Building and a number of character defining elements in the other parts of the site which must be preserved in-situ and maintained as necessary. They are listed at **Appendix X**.
- 6.2.3 Some inappropriate alterations and additions have been carried out to the original buildings over the years and it is recommended that these should be removed where possible and the building fabric restored and reinstated to reveal the full cultural significance of the Old Tai O Police Station. Please refer to **Appendices XI** and **XII** for the required and recommended conservation treatment respectively.
- 6.2.4 Every effort should be made to carry out all “required treatment” set out at **Appendix XI** of the Conservation Guidelines. If compliance with the “required treatment” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XII** of the Conservation Guidelines set out some “recommended treatment” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

Tai O, within which the Old Tai O Police Station is located, is not covered by any statutory town plan. All proposed uses for the Old Tai O Police Station do not require planning permission from the Town Planning Board.

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site currently rests on Government land. A Site Boundary Plan is shown at **Appendix II**.

A set of engineering conditions together with the allocation plan for the adaptive re-use of this premises will be prepared by the Lands Department. Unless being maintained by other parties, the successful applicant shall at his own expense and in all respects to the satisfaction of the District Lands Officer or the appropriate authority pave, keep and maintain the existing ramp and staircase from Shek Tsai Po Street leading to the site throughout the term agreed to be granted.

8.2 Tree Issues

At the site, there is no Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Services Department.

In general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the District Lands Officer or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

IX. Slope Maintenance

The Old Tai O Police Station is surrounded by eight registered slope features. Seven of the slope features are under the maintenance of the Architectural Services Department, while one of the slope features (namely Slope No. 9SW-C/CR19 sub-division 1 & 2) adjoining the east of the site is under the maintenance of Lands Department.

More details of the slope features are summarized in the tables below. The location plans of the slope features are attached at **Appendix XIII**.

Slope Feature 1: Slope Feature to the west of Old Tai O Police Station

Slope No.:	9SW-C/F3
Location:	Adjoining Tai O Police Station
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 2: Slope Feature to the south west of Old Tai O Police Station

Slope No.:	9SW-C/C15
Location:	To the SW of Police Station
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 3: Slope Feature in front of the Main Building

Slope No.:	9SW-C/F5
Location:	Adjoining Police Station at Tai O
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department

Slope Maintenance Responsibility Category	Government
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Slope Feature 4: Slope Feature in front of the Main Building to the north of Shek Tsai Po Street

Slope No.:	9SW-C/CR13
Location:	Adjoining Police Station to the north of Shek Tsai Po Street
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 5: Slope Feature in front of the Outhouse to the north of Shek Tsai Po Street-

Slope No.:	9SW-C/CR14
Location:	Adjoining Police Quarters
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 6: Slope Feature in front of the Outhouse

Slope No.:	9SW-C/F6
Location:	Adjoining Police Station and Quarters at Tai O
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

Slope Feature 7: Slope Feature to the east of the Outhouse

Slope No.:	9SW-C/CR19	9SW-C/CR19
Sub-Division:	1	2
Location:	Adjoining Shek Tsai Po Street to the East of Police Station	Adjoining Shek Tsai Po Street to the East of Police Station
Responsible Lot/Party:	Lands Department	Hong Kong Police Force
Maintenance Agent	Lands Department	Lands Department
Slope Maintenance Responsibility Category	Government	Government

Slope Feature 8: Slope Feature at the rear of Old Tai O Police Station:

Slope No.:	9SW-C/C6
Location:	Behind Tai O Police Station and Quarters
Responsible Lot/Party:	Hong Kong Police Force
Maintenance Agent	Architectural Services Department
Slope Maintenance Responsibility Category	Government

It is the responsibility of Government to maintain the slope features listed above. However, the successful applicant should allow Government to gain access to the slope features concerned to carry out required slope maintenance works. Should the successful applicant's proposal for adaptive re-use of the site affects the existing slope features, corresponding slope upgrading works should be carried out by the successful applicant to suit his proposal.

X. Technical Compliance for Possible Uses

10.1 Uses that could Possibly be Considered

Possible adaptive re-use of this building includes:

- (a) Boutique Hotel;
- (b) Café/Museum; and;
- (c) Ecotourism.

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined. Applicants are welcome to come up with suggestions on possible uses that they consider are most suitable for the building.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:
 - means of escape;
 - fire resisting construction;
 - means of access for firefighting and rescue;
 - barrier free access and facilities;
 - protection against falling from height;
 - structural adequacy; and
 - fire services installation requirements.
- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with planning requirements (Approval by TPB is required for any proposed uses not falling under Column 1 in the Notes to the OZP); and
- (d) Compliance with the Conservation Guidelines in Section VI of this resource kit.

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants are listed below:

(a) Heritage Conservation

The Antiquities and Monuments Office has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

As Tai O is not covered by any statutory town plan, there is no statutory control on all the examples of uses in paragraph 10.1.

(c) Fire Services Requirement

EVA is currently not provided for the building. However, non-provision of EVA can be compensated by provision of fast response type sprinkler heads and direct line to the Fire Services Communication Centre to the satisfaction of the Fire Services Department.

(d) Barrier Free Access

At present, persons with disability will have problem in accessing the site as the only ramp from Shek Tsai Po Street leading to its entrance is too steep to be suitable for use by disabled.

(e) Licensing

(i) If the building is to be used as a boutique hotel, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a “hotel” or “guesthouse” under the Hotel and Guesthouse Accommodation Ordinance. If affirmative, the successful applicant shall be required to obtain a licence from the Office of the Licensing Authority under the Home Affairs Department.

- (ii) If the building is to be used as a café, the successful applicant should obtain a licence from the Food and Environmental Hygiene Department (FEHD) if he intends to carry on any food business which involves, generally, the sale of meals or unbottled non-alcoholic drinks other than Chinese herb tea for consumption on the premises. For details on the application of restaurant licence and related matters, the applicants can visit the website of FEHD for details.

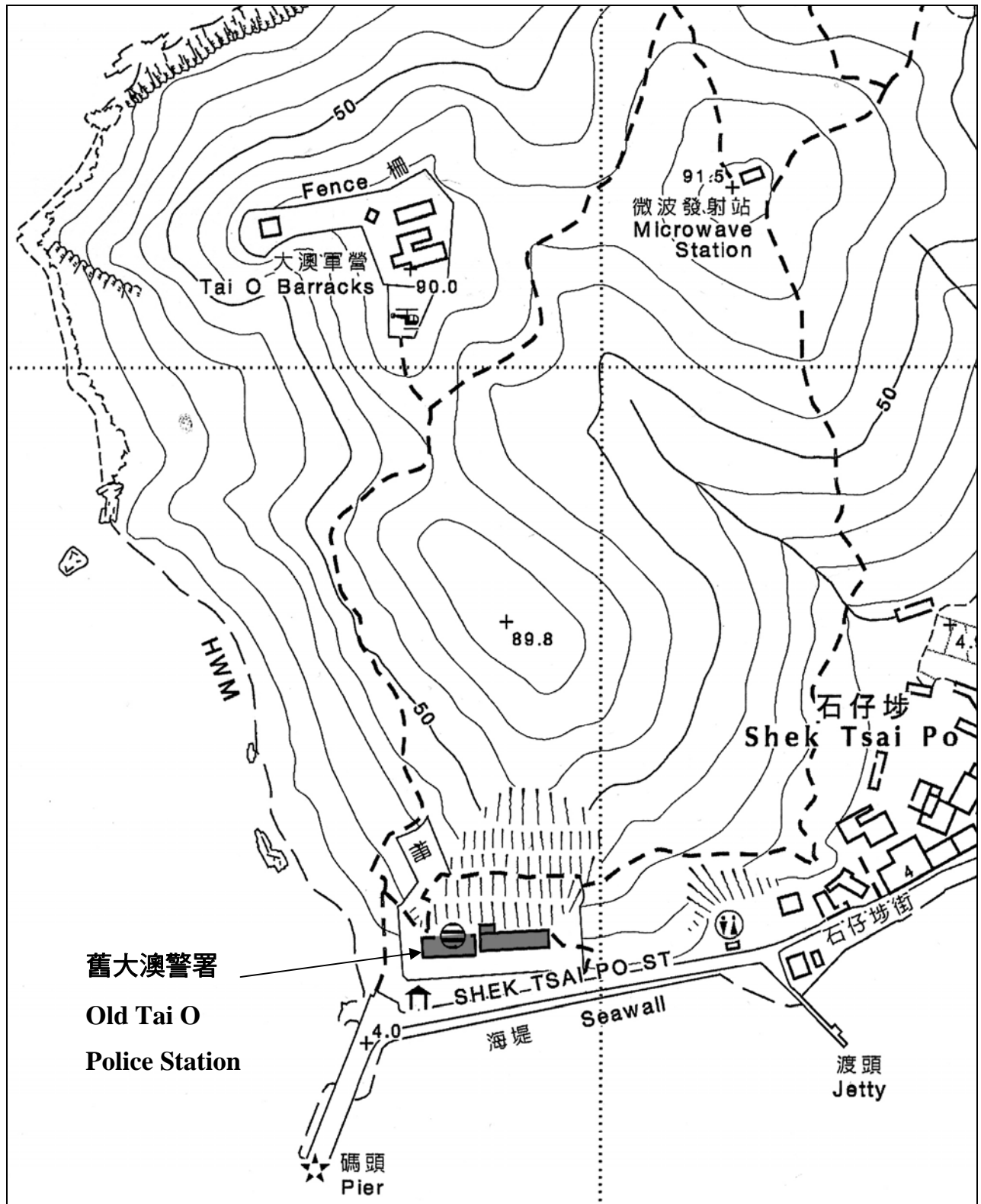
(f) Structural Limitations

The required loading capacity for the possible uses is as follows:

- | | |
|--------------------|--------|
| (i) Boutique Hotel | 2.0kPa |
| (ii) Café/Museum | 5.0kPa |
| (iii) Ecotourism | 3.0kPa |

Based on the estimated loading capacity of the building mentioned in Paragraph 4.7 (3.3kPa), structural strengthening works will be necessary for converting the building into café/museum.

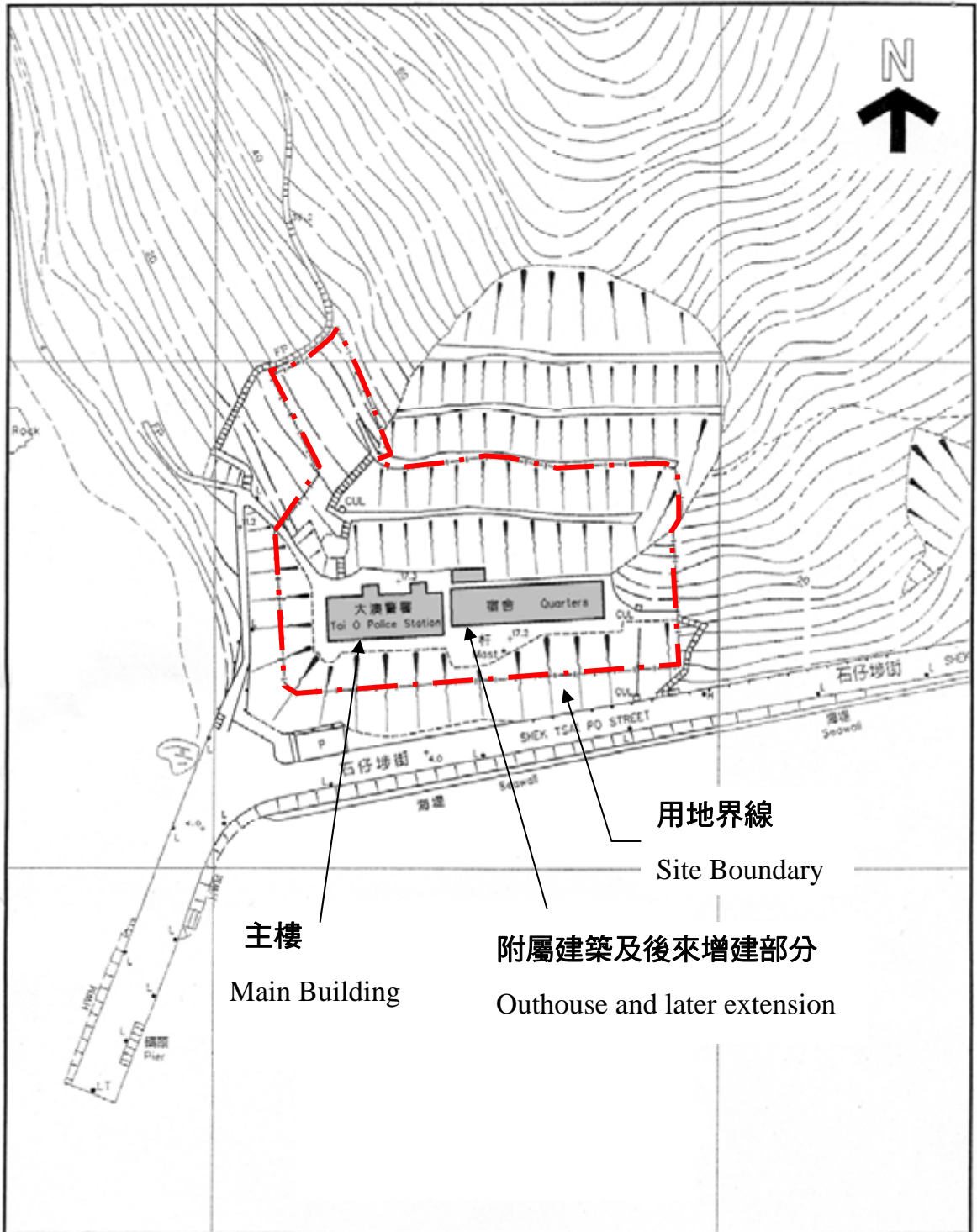
Appendix I
Location Plan



Not to Scale
 不按比例

Appendix II

Site Boundary Plan



主樓
 Main Building

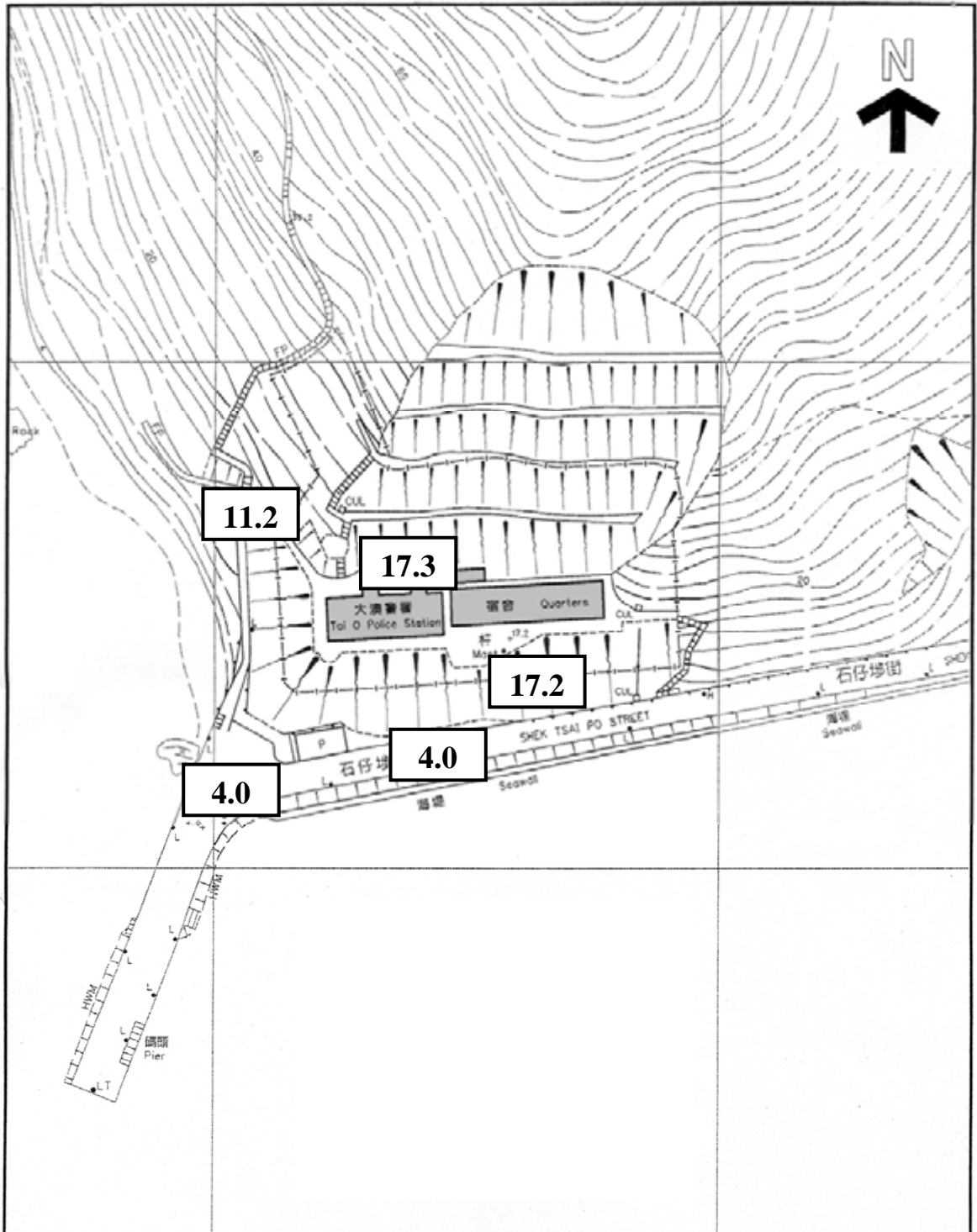
附屬建築及後來增建部分
 Outhouse and later extension

用地界線
 Site Boundary

Not to Scale
 不按比例

Appendix III

Datum Levels Plan



*高度單位為米，按低於平均海平面1.2米的主水平基準計算。

*Heights are given in metres above Principal Datum which is 1.2 metre below Mean Sea Level.

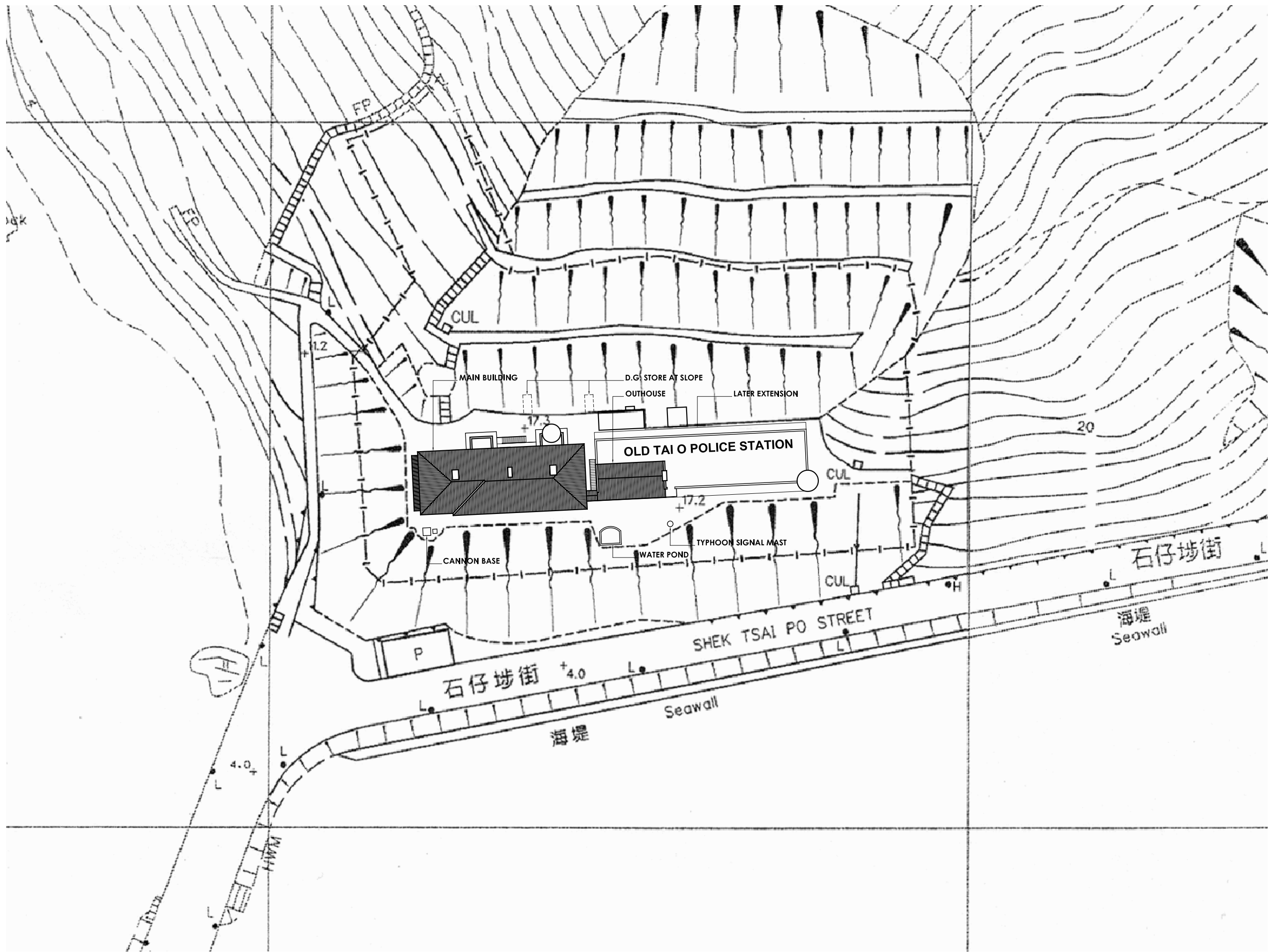
Appendix IV

**Summary of Site and
Building Information**

Appendix V

Architectural Drawings

Drawing No.	Drawing Title
TOP-P-00	Site plan
TOP-P-01	Ground floor plan
TOP-P-02	First floor plan
TOP-P-03	Roof plan
TOP-E-01	Front Elevation with Outhouse and Later Extension
TOP-E-02	Front Elevation without Later Extension
TOP-S-01	Section A-A' & Section B-B'



0 5 10 15 m

* SITE PLAN BASED ON SURVEY PLAN NO. B-SH-22B AND 23A (1:1000) PROVIDED BY LANDS DEPARTMENT, HONG KONG SAR GOVERNMENT.

* ALL DIMENSIONS TO BE VERIFIED ON SITE. DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.

* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.



ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION TAI O

drawing title
SITE PLAN

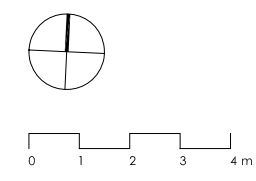
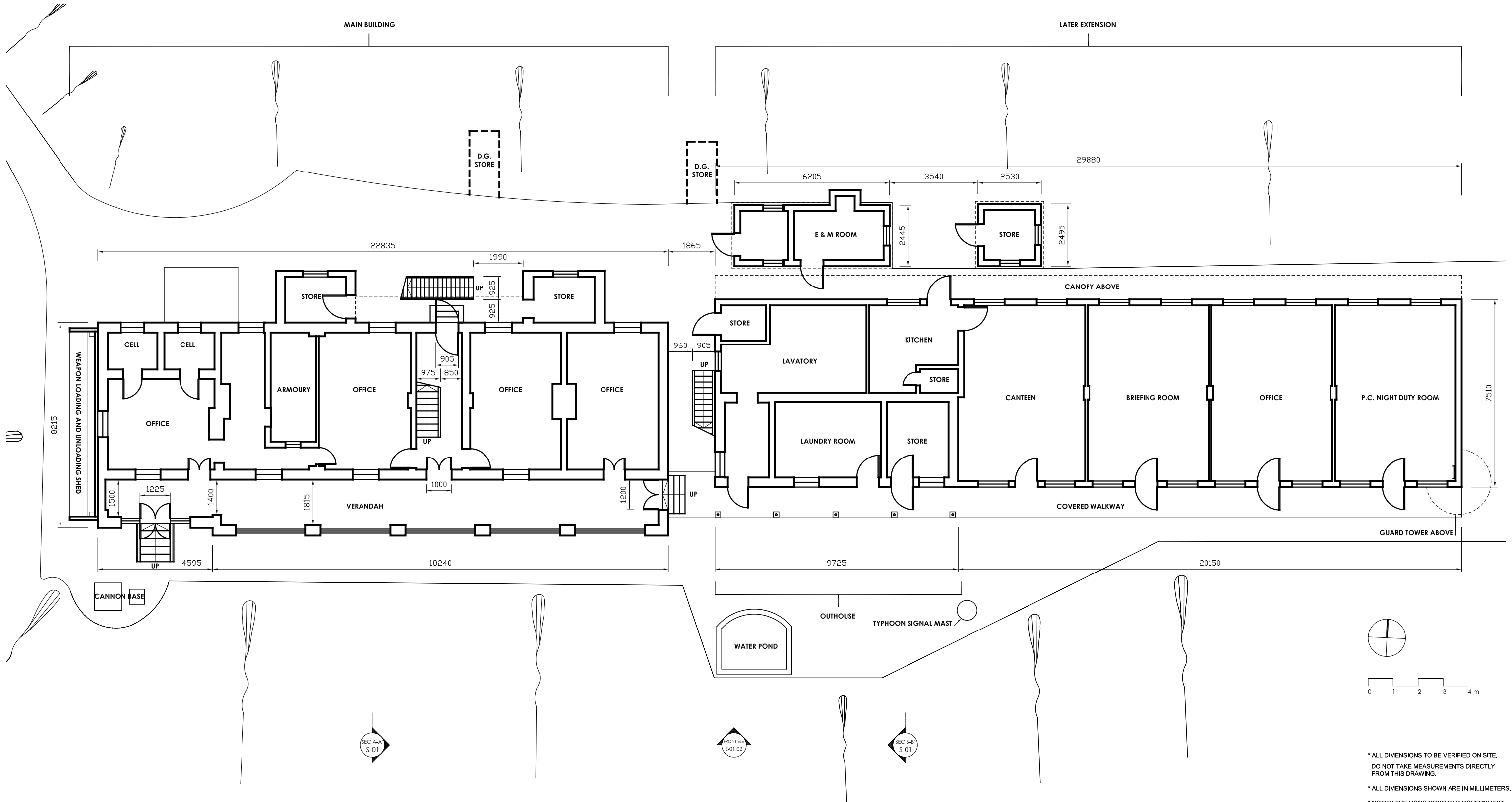
scale
1 : 500 (A3)

drawing no
TOP-P-00

date
28 JAN 2008

submitted by





* ALL DIMENSIONS TO BE VERIFIED ON SITE.
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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION TAI O

drawing title
GROUND FLOOR PLAN

scale
1 : 150 (A3)

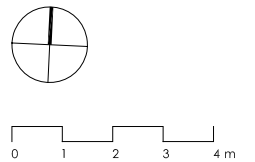
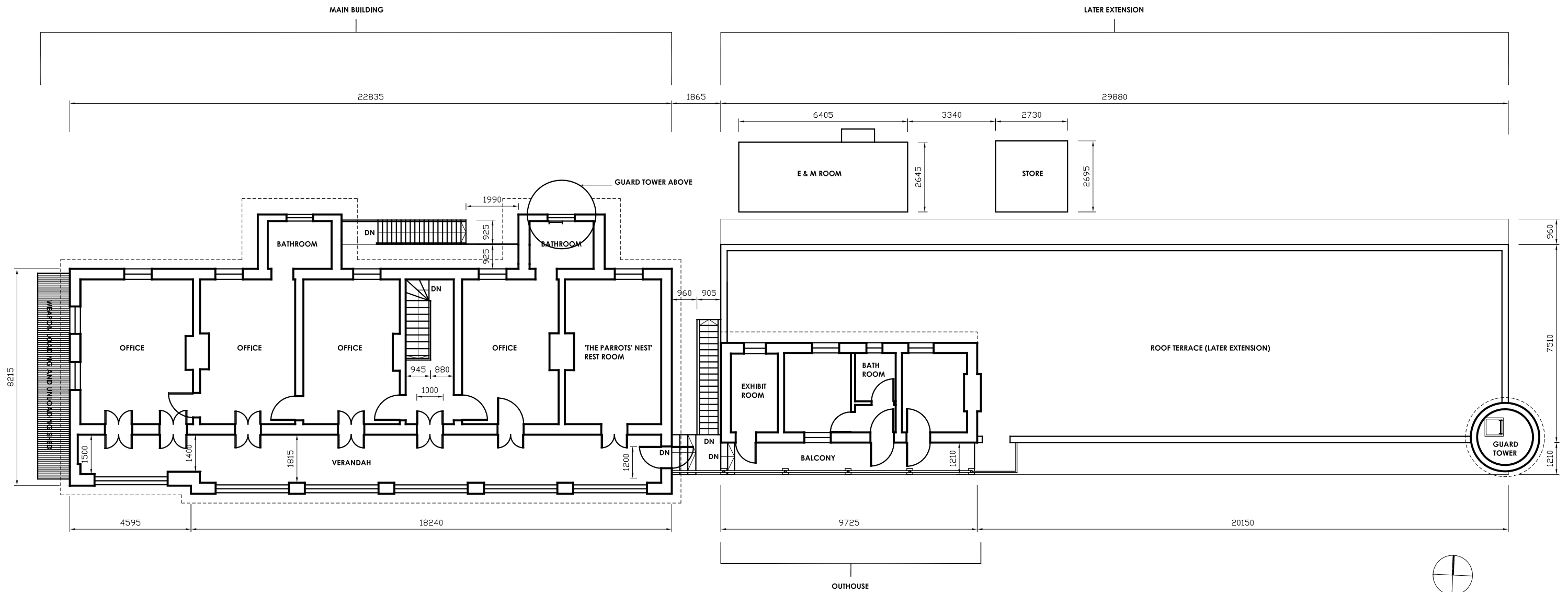
drawing no
TOP-P-01

date
28 JAN 2008

submitted by

CUHK 歷史建築研究組
Chinese Architectural Heritage Unit
ARCHITECTURE . CUHK

GROUND FLOOR PLAN



* ALL DIMENSIONS TO BE VERIFIED ON SITE.
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* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION TAI O

drawing title
FIRST FLOOR PLAN

scale
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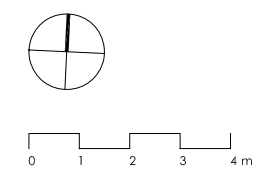
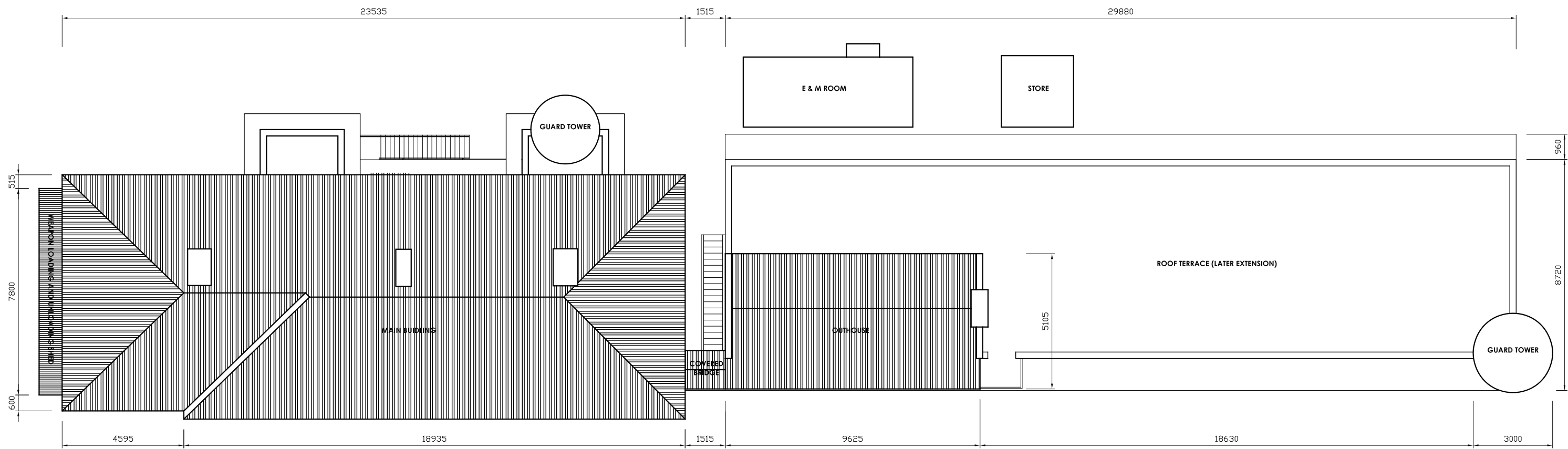
drawing no
TOP-P-02

date
28 JAN 2008

submitted by

建築 歷史建築研究組
Chinese Architectural Heritage Unit
ARCHITECTURE . CUHK

FIRST FLOOR PLAN



* ALL DIMENSIONS TO BE VERIFIED ON SITE.
DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.

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ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION
TAI O

drawing title
ROOF PLAN

scale
1 : 150 (A3)

drawing no
TOP-P-03

date
28 JAN 2008

submitted by



ROOF PLAN



FRONT ELEVATION WITH OUTHOUSE AND LATER EXTENSION

* ALL DIMENSIONS TO BE VERIFIED ON SITE.
DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.
* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.
* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.

 ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION
TAI O

drawing title
FRONT ELEVATION WITH OUTHOUSE AND LATER EXTENSION

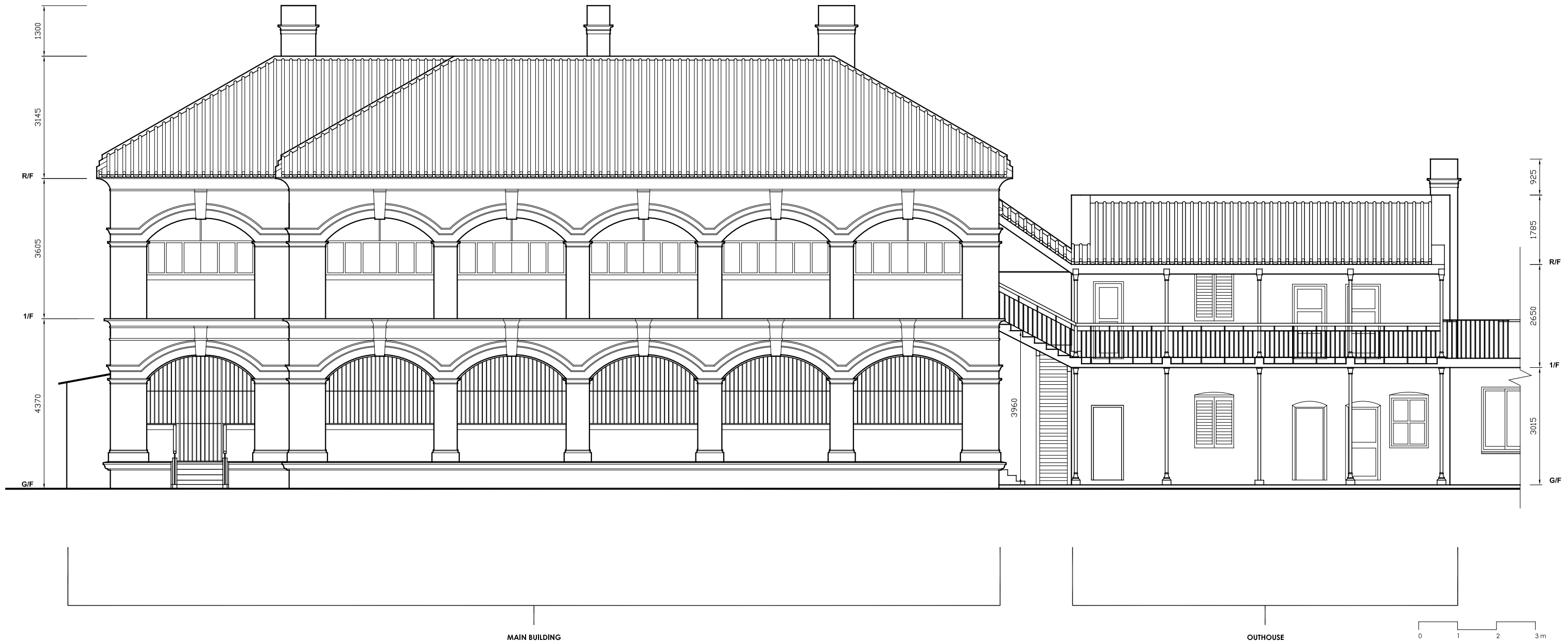
scale
1 : 150 (A3)

drawing no
TOP-E-01

date
28 JAN 2008

submitted by

 歷史建築研究組
Chinese Architectural Heritage Unit
ARCHITECTURE . CUHK



FRONT ELEVATION WITHOUT LATER EXTENSION

* ALL DIMENSIONS TO BE VERIFIED ON SITE.
DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.

* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.

* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.

ARCHITECTURAL SERVICES DEPARTMENT

project
CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION
TAI O

drawing title
FRONT ELEVATION WITHOUT LATER EXTENSION

scale
1 : 100 (A3)

drawing no
TOP-E-02

date
28 JAN 2008

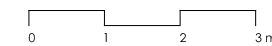
submitted by




SECTION A-A'



SECTION B-B'



* ALL DIMENSIONS TO BE VERIFIED ON SITE.
DO NOT TAKE MEASUREMENTS DIRECTLY FROM THIS DRAWING.
* ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.
* NOTIFY THE HONG KONG SAR GOVERNMENT IMMEDIATELY IN TERMS OF ANY DISCREPANCY FOUND HEREIN.

 ARCHITECTURAL SERVICES DEPARTMENT	
project	CARTOGRAPHIC SURVEY OF OLD TAI O POLICE STATION TAI O
drawing title	SECTION A-A' & SECTION B-B'
scale	1 : 100 (A3)
drawing no	TOP-S-01
date	28 JAN 2008
submitted by	

Appendix VI

Photos of Building



Elevation of Main Building and Outhouse



Elevation of back of Main Building



The ramp leading from Shek Tsai Po Street to the Tai O Police Station



View of footway beside Main Building



View of external staircase between Main Building and Outhouse



View of verandah at G/F of Main Building



View of verandah at 1/F of Main Building



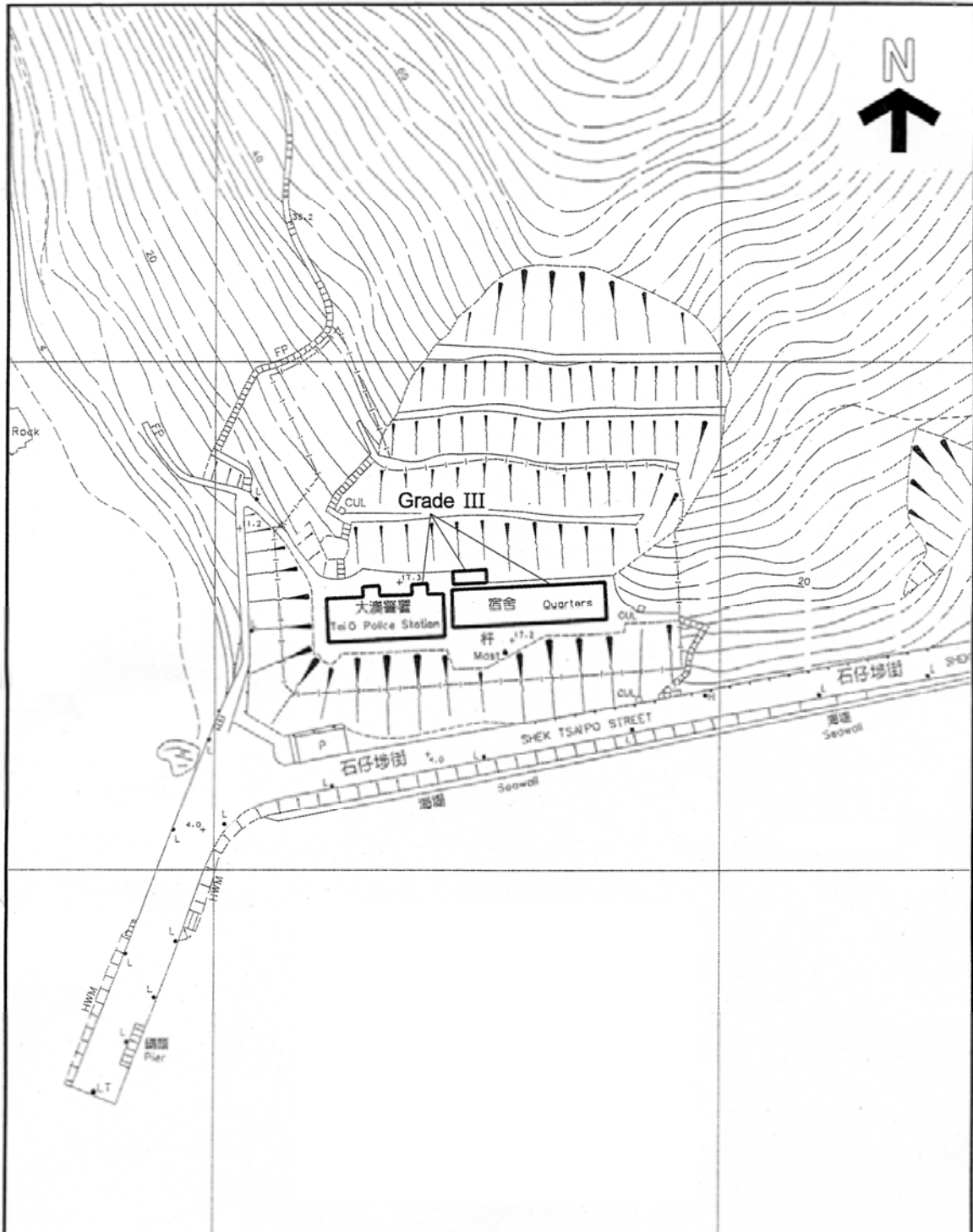
View of verandah at G/F of Outhouse





Internal layout of a room

Appendix VII

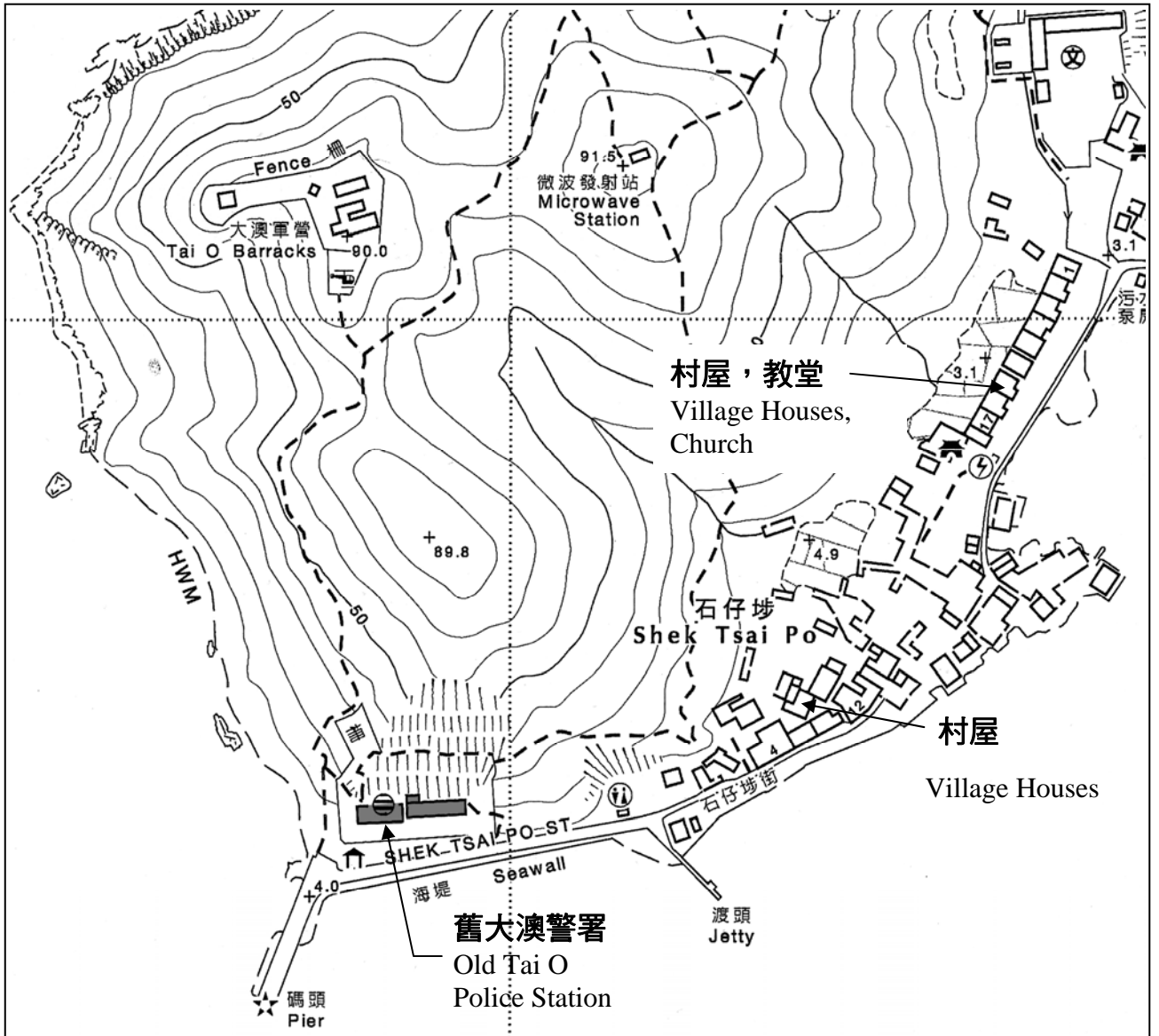
Grading Boundary Plan



<p> GRADING BOUNDARY</p> <p>EXTRACT PLAN PREPARED ON 25.10.07 BASED ON SURVEY SHEET Nos. 9-SW-22B & 23A</p>	<p style="text-align: center;">TAI O POLICE STATION No. 1 SHEK TSAI PO STREET, TAI O, LANTAU ISLAND</p> <p style="text-align: center;">SCALE 1:1 000</p> <p style="text-align: center;">METRES 20 0 20 40 METRES</p>	<p>PLANNING DEPARTMENT </p> <p>AMO REF. AM87-0378</p> <p>M/UR/07/1196 PLAN 9</p>
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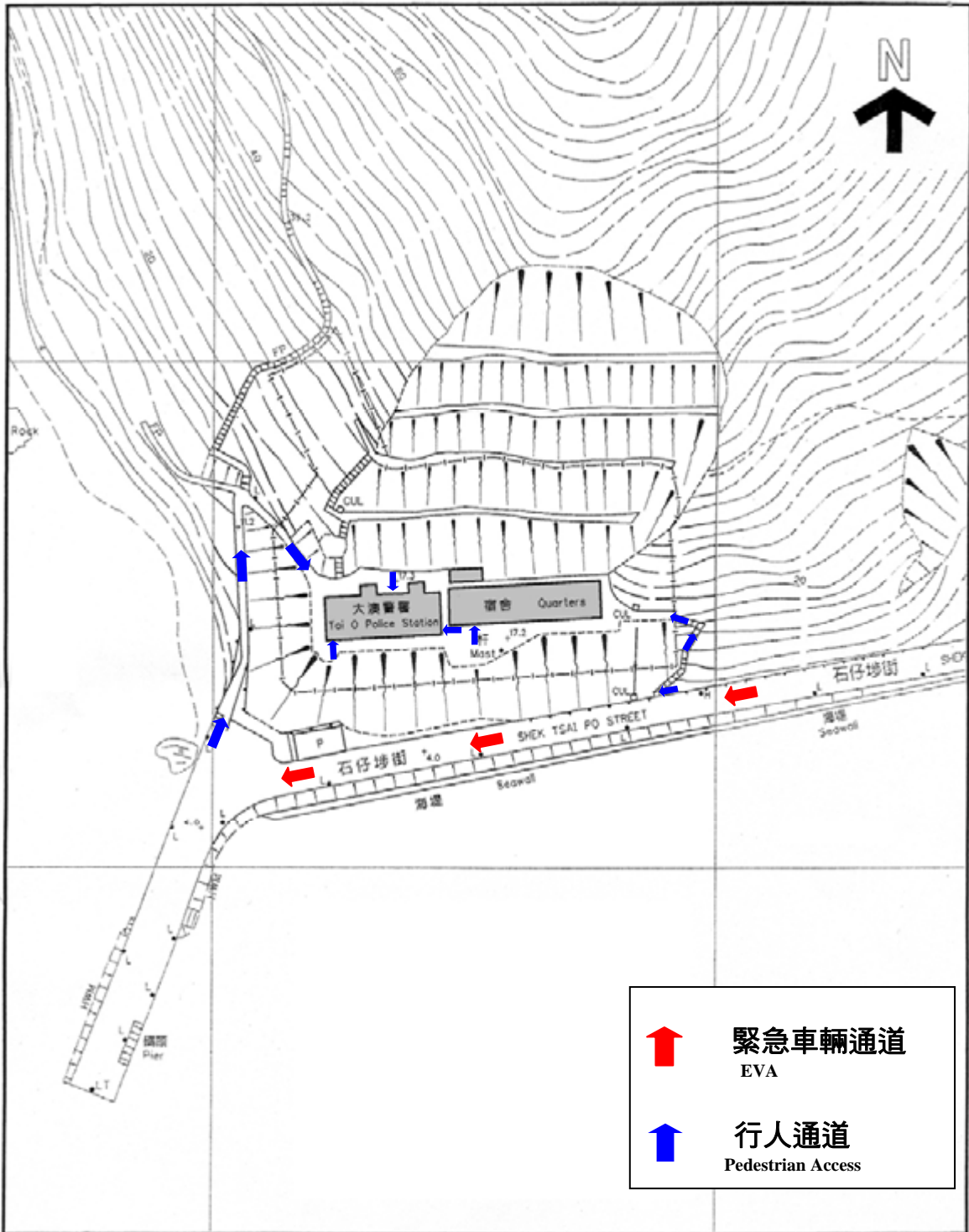
Appendix VIII

Plan Showing Immediate Surrounding



Appendix IX

Access Plan



Appendix X

List of Architectural Features

To be Preserved

Old Tai O Police Station
Architectural Features to be Preserved

1. EXTERNAL AREA

1.1) Old concrete cannon mountings (4 Nos.)



1.2) Old searchlight and stand at SW corner of building



1.3) Iron ring set in concrete block for mast stay



1.4) D.G. Store at rear of building



1.5) Concrete steps and catchpit at rear



1.6) Surface water channels and gratings



1.7) Paths and steps



1.8) Underground water tank at NW corner of Main Building



2. MAIN BUILDING - ELEVATIONS

2.1) Stuccoed and painted walls



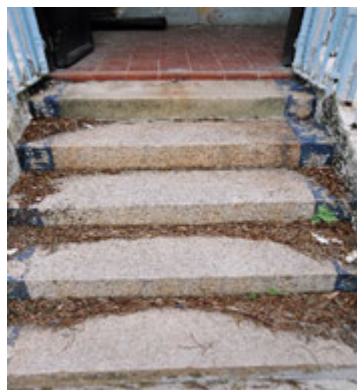
2.2) Arched verandahs, architraves, keystones, cills, mouldings, cornices, etc



2.3) Cast iron rainwater pipes and hoppers



2.4) Granite steps to entrances and balustrading



2.5) Original wooden casement windows and jalousies, some with steel shutters



2.6) Original wooden doors to stores and rear entrance



2.7) Connecting bridge and steps to Outhouse



3. MAIN BUILDING - INTERNAL

3.1) Plastered and painted walls and ceilings to rooms on G/F



3.2) Original wooden casement windows, burglar bars and steel shutters to windows to rooms on G/F



3.3) French windows and jalousies to 1/F verandah entrances



3.4) Original wooden panelled doors to offices



3.5) Timber-framed French doors with louvered doors between 1/F rooms



3.6) Segmental arched mouldings over doors and windows



3.7) Two cells at main building



3.8) Iron gates and grilled partitions in Armoury and under staircase on G/F



3.9) Steel doors to Charge Room and rear exit on G/F



3.10) All fireplaces



3.11) Wooden staircase and balustrade to 1/F and security grille hinged to wall (modifications to the current structural safety standard may be required)



3.12) Boarded floors and ceilings to all rooms on 1/F with plain cement skirting to walls



3.13) Plastered and painted walls to 1/F rooms with moulded wooden picture rails and plaster ceiling cove



4. MAIN BUILDING - ROOF

4.1) Chinese tiles, timber battens and purlins



4.2) Corner turret over bathroom on NE corner of building, including internal cat ladder



4.3) All chimney stacks



5. OUTHOUSE - ELEVATIONS

5.1) Stuccoed and painted walls



5.2) Open verandahs, cast iron posts, and railings at 1/F level



5.3) Cantilevered canopies to modern extension at front and rear



5.4) Corner turret at SE corner of building, including internal cat ladder



6. OUTHOUSE - ROOF

6.1) Chinese tiles, timber battens and purlins





Appendix XI

**List of Required Treatment to
Architectural Features**


Old Tai O Police Station
Required Treatment to Architectural Features

1. EXTERNAL AREA


Architectural Feature	Required Treatment
a) Chain and post fencing along top of slope in front of building	Upgrade the chains to meet current safety standards and replace missing chains between posts.
	

Architectural Feature	Required Treatment
b) Boundary fencing, safety railings and gates	Upgrade the fencing and safety railings and gates to current safety standards.
	


Architectural Feature	Required Treatment
c) D.G. Store at rear of building	Clean out rubbish and clear away; repair walls and chunam; repair/replace doors.
	


Architectural Feature	Required Treatment
d) Weapon loading/ unloading shed at end of building	Demolish and clear away wooden shed and make good walls.
	

Architectural Feature	Required Treatment
e) The base of the cannon and the mast	Do not remove or cover the base of the cannon and do not remove or hack the mast.
	


Architectural Feature	Required Treatment
f) The covered walkway bridging the two buildings	Do not demolish the covered walkway bridging the two buildings.
	


2. MAIN BUILDING - EXTERNAL


Architectural Feature	Required Treatment
a) Chinese style tiled roof	Clean and repair. Do not change the original profile of the roof.
	

Architectural Feature	Required Treatment
b) Chimney stacks	Clean and repair. Do not remove or damage the chimney stacks and do not change the external appearance of the chimney stacks.
	


3. MAIN BUILDING - ELEVATIONS


Architectural Feature	Required Treatment
a) Rear fire escape bridge between 1/F bathrooms	The doors at the bathrooms had been blocked up. As such, no objection to the demolition of the bridge if necessary. If the blocked doors at the bathrooms are re-instated, the bridge should be repaired / re-instated the wooden decking and metal railings of the bridge should be repaired/reinstated to meet current safety standards.
	


Architectural Feature	Required Treatment
b) Stuccoed and painted walls	Stuccoed walls shall be cleaned down and repainted with reversible paint system; permanent coating systems are not permitted. Do not change the external wall finish colour unless permissions is granted by AMO. Do not install any structure projecting out of the external walls such as awning, additional shading fins.
	

Architectural Feature	Required Treatment
c) Redundant cables and conduit on external walls	Disconnect and remove old cables and conduit and clear away, and make good wall surfaces.
	

Architectural Feature	Required Treatment
d) Signage	Take down obsolete signs and hand over, and make good wall surfaces.
	

Architectural Feature	Required Treatment
e) Original arched openings at the verandah	Openings can be enclosed by glass panes. Do not change the size of the opening and do not enclose the openings except transparent materials such as glass.
	


Architectural Feature	Required Treatment
f) The segmental arch shape of the windows and doors	Do not in-fill or change the profile of the arch shape.
	

Architectural Feature	Required Treatment
g) Original timber-framed windows, doors and shutters	<p>Reinstate or rebuild of any damaged windows, doors and shutters with compatible design and materials. Keep the mouldings over the windows and doors. Original blocked doors at the bathrooms can be reinstated according to the original openings. Remove air conditioners and make-good window frames where disturbed. Where new air-conditioning units are required they should be provided in less obvious locations or by discrete split-unit type.</p>
	


Architectural Feature	Required Treatment
h) The metal panels at the windows on the rear elevation	Do not remove or damage the metal panels by resizing or making opening on them.
	


4. MAIN BUILDING – INTERNAL


Architectural Feature	Required Treatment
a) Old fireplaces	Old fireplaces to be carefully restored with the same materials. Do not cover up or enclose the fireplaces.
	


Architectural Feature	Required Treatment
b) Doors and windows	Old panelled doors and windows to be carefully restored and repainted, and original ironmongery eased oiled, adjusted, overhauled and repaired if required. Keep the moulded window cills and mouldings over doors. No objection to replacements if beyond repairs. But replacements should be in traditional style matching the others.
	

Architectural Feature	Required Treatment
c) Ceilings and floors	Old boarded ceilings to be carefully restored and repainted. Old boarded floors restored and wax polished not sealed or stained. Red quarry tiled floor to all floors on G/F should be cleaned down with non-corrosive detergent.
	

Architectural Feature	Required Treatment
d) Redundant cables and conduit, light fittings, ceiling fans etc.	Disconnect and remove old building services installations and rewire as necessary and if required.
	


Architectural Feature	Required Treatment
e) Shower and toilet cubicles	If functionally not required take down partitions, remove fittings and fitments and plumbing, make good walls and floors, and seal off drains.
	

Architectural Feature	Required Treatment
f) Kitchen and laundry	If functionally not required remove fittings and fittings and plumbing, make good walls and floors, and seal off drains.
	


Architectural Feature	Required Treatment
g) The two cells on the ground floor	Do not demolish or make opening to the wall between the two cells.
	


Architectural Feature	Required Treatment
h) The original natural colour and texture of the granite threshold on the ground floor	Do not cover or paint over granite threshold
	


Architectural Feature	Required Treatment
i) Timber truss system and purlins	Repair damaged timber members and install termite monitoring device. Install termite monitoring system to timber roof
	

Architectural Feature	Required Treatment
j) Structural system including structural walls, beams and columns	Do not alter the structural system including structural walls, beams and columns. Non-structural partition can be removed or make opening to suit future functional uses.
	

5. OUTHOUSE – EXTERNAL


Architectural Feature	Required Treatment
a) Stuccoed painted walls	Stuccoed walls shall be cleaned down and repainted with reversible paint system; permanent coating systems are not permitted. Do not change the external wall finish colour unless permissions is granted by AMO. Do not install any structure projecting out of the external walls such as awning, additional shading fins.
	

Architectural Feature	Required Treatment
b) External staircase at West	Check and upgrade to current fire safety standards.
	

Architectural Feature	Required Treatment
c) Window mounted air conditioning units	Do not install air conditioners at the front elevation. Where new air-conditioning units are required they should be provided in less obvious locations or by discrete split-unit type.
	

Architectural Feature	Required Treatment
d) Roof platform	Tidy up and maintain. Should not be enclosed or erect additional floor.
	

6. OUTHOUSE –INTERNAL


Architectural Feature	Required Treatment
a) Internal walls	Non-loading bearing walls can be removed subject to advice of a Registered Structural Engineer.
	

Appendix XII


List of Recommended Treatment to Architectural Features

Old Tai O Police Station
Recommended Treatment to Architectural Features

1. MAIN BUILDING

Architectural Feature	Recommended Treatment
a) Arched openings at the verandah	Recommended to re-open the latter enclosed openings to reveal the original outlook of the building
	

2. outhouse

Architectural Feature	Recommended Treatment
a) Doors and windows	Except those panelled wooden windows and their jalousies, all existing doors and aluminum windows are not historic and recommended to be replaced by timber doors and windows of traditional style. Reference can be made to the Main Building.
	

Architectural Feature	Recommended Treatment
b) Floors	Clean down quarry tiled floors and no conservation requirement for screeded floors. Recommended to repave.
	

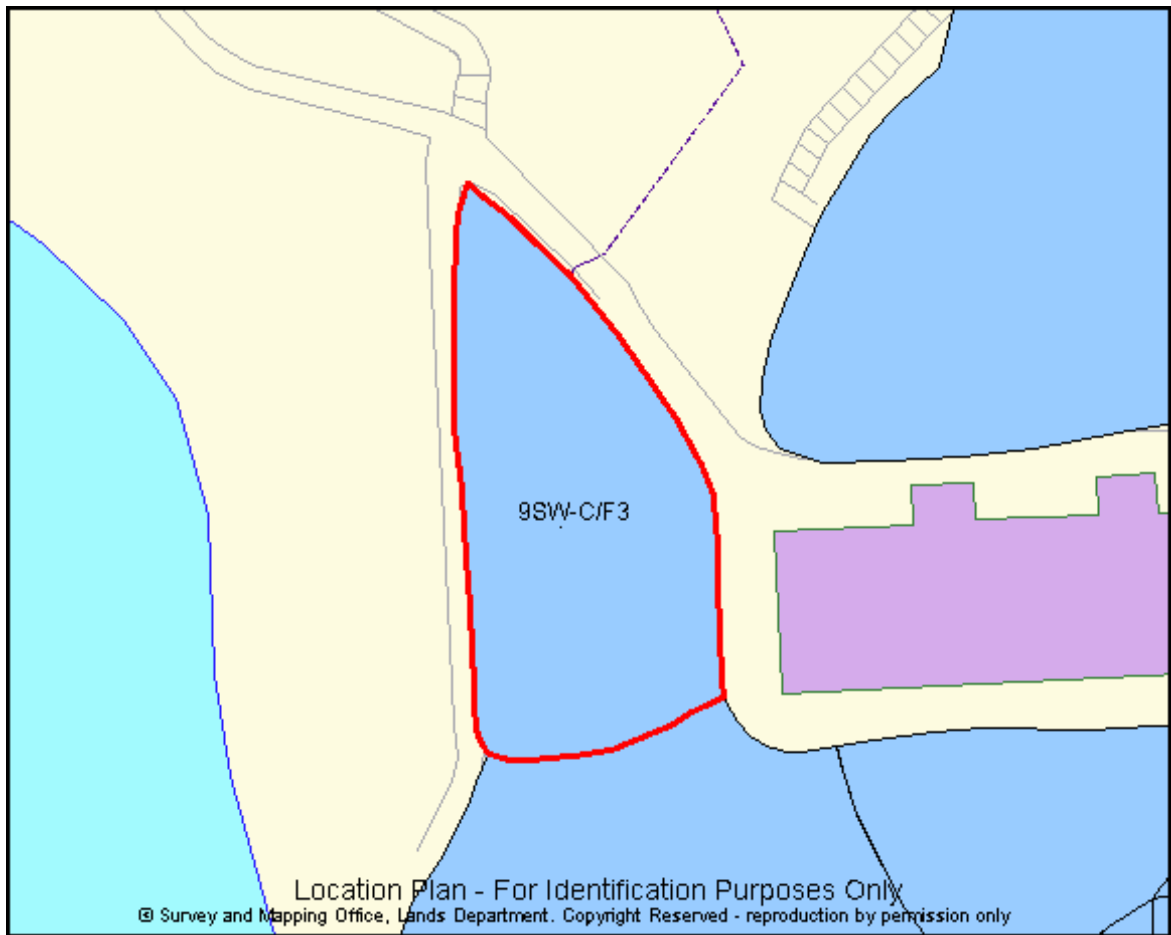
Appendix XIII

Slope Features



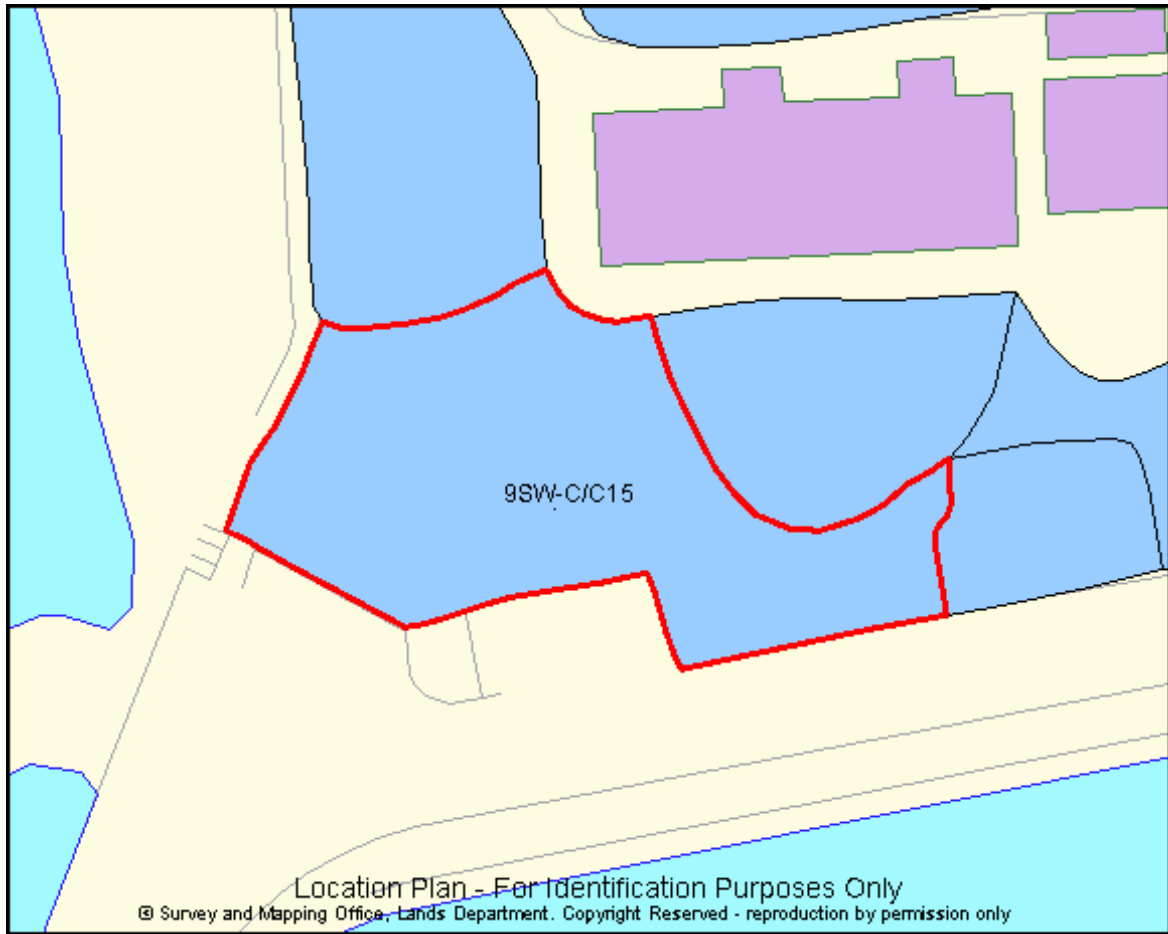
顯示舊大澳警署周圍所有斜坡的用地地圖

Site map showing all the slopes around Old Tai O Police Station.



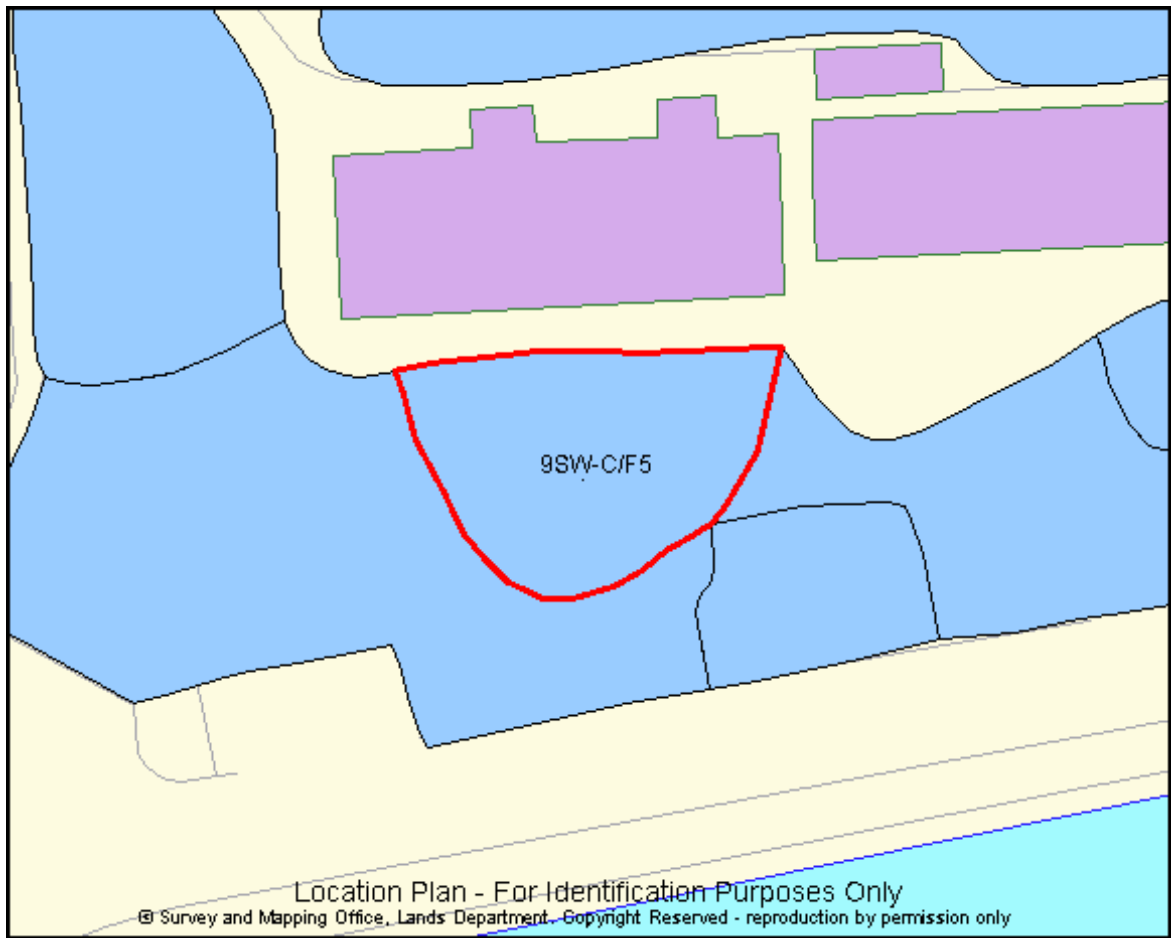
斜坡第 9SW-C/F3 號位置圖

Location plan of slope 9SW-C/F3



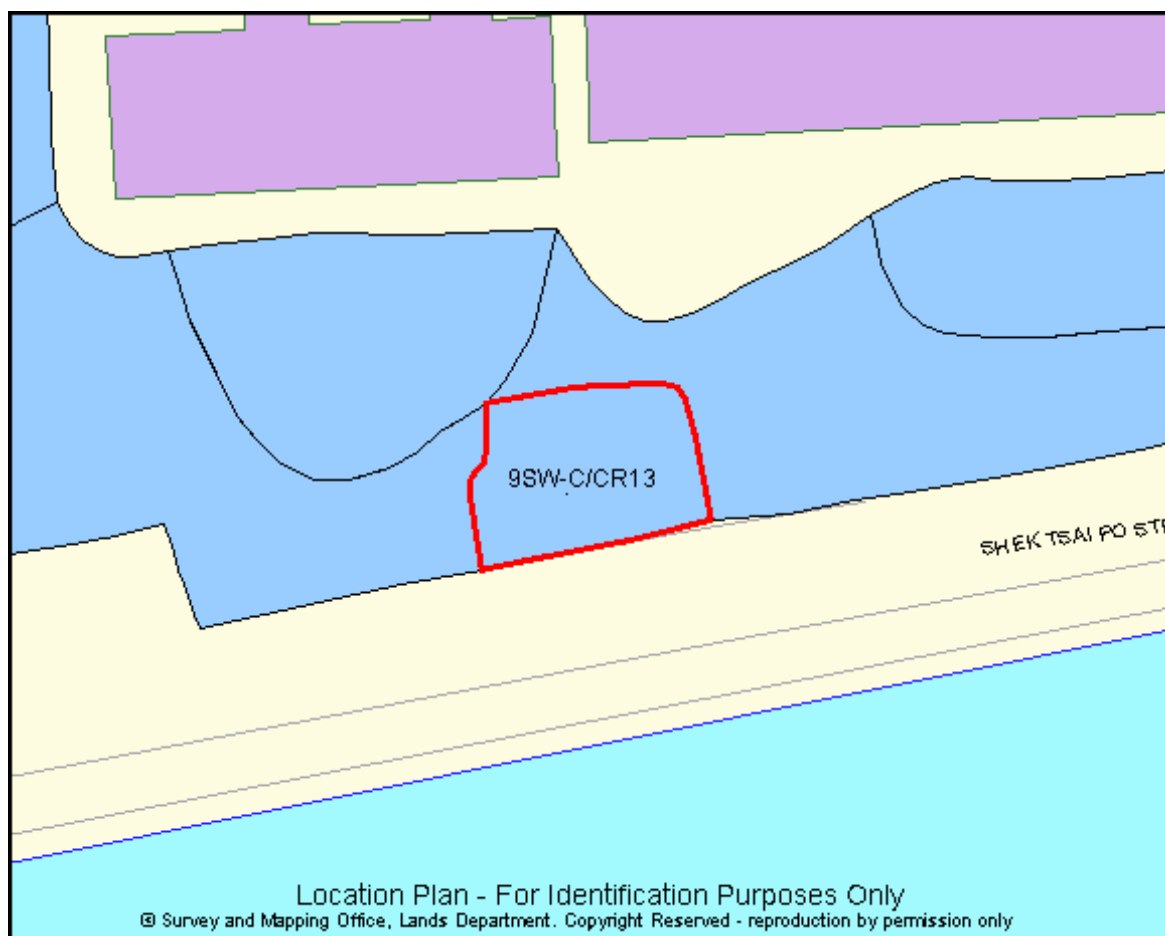
斜坡第 9SW-C/C15 號位置圖

Location plan of slope 9SW-C/C15



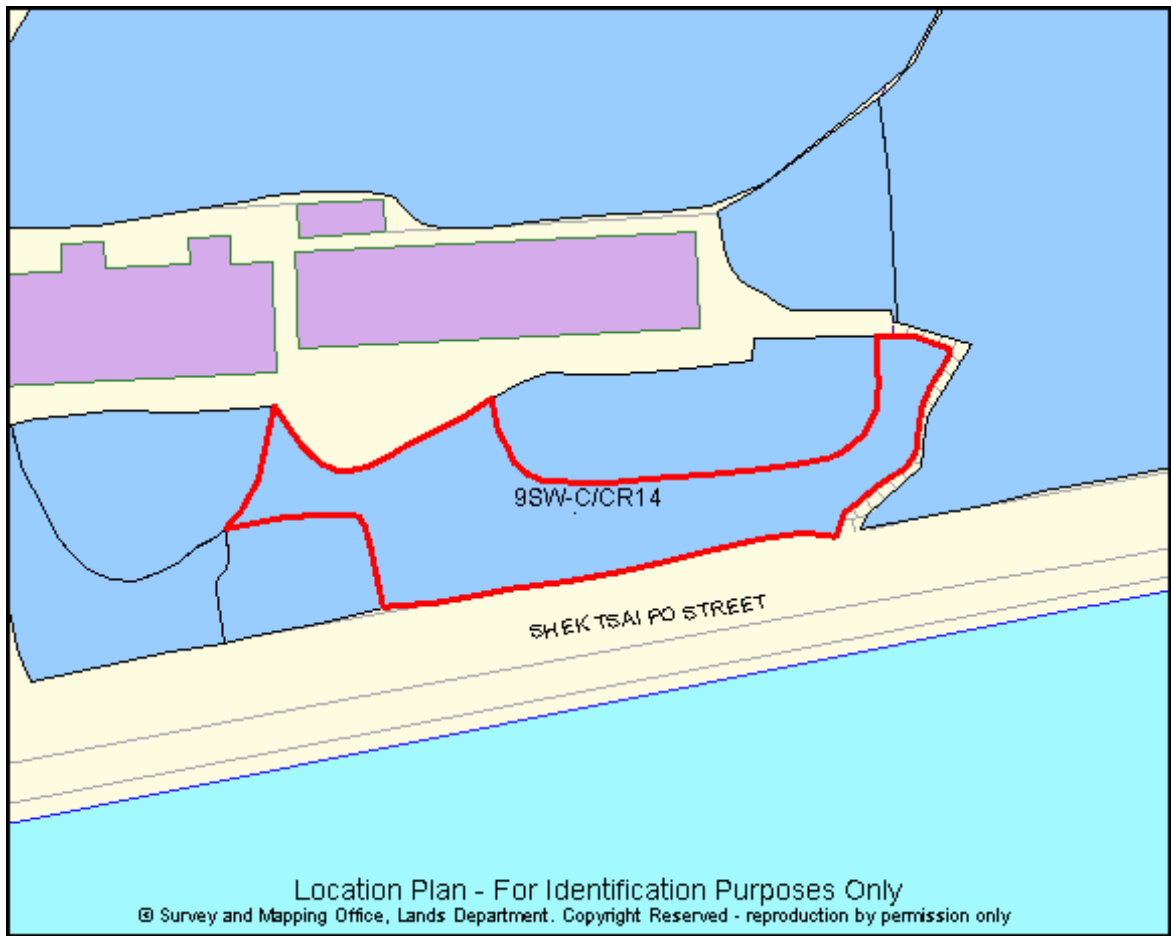
斜坡第 9SW-C/F5 號位置圖

Location plan of slope 9SW-C/F5



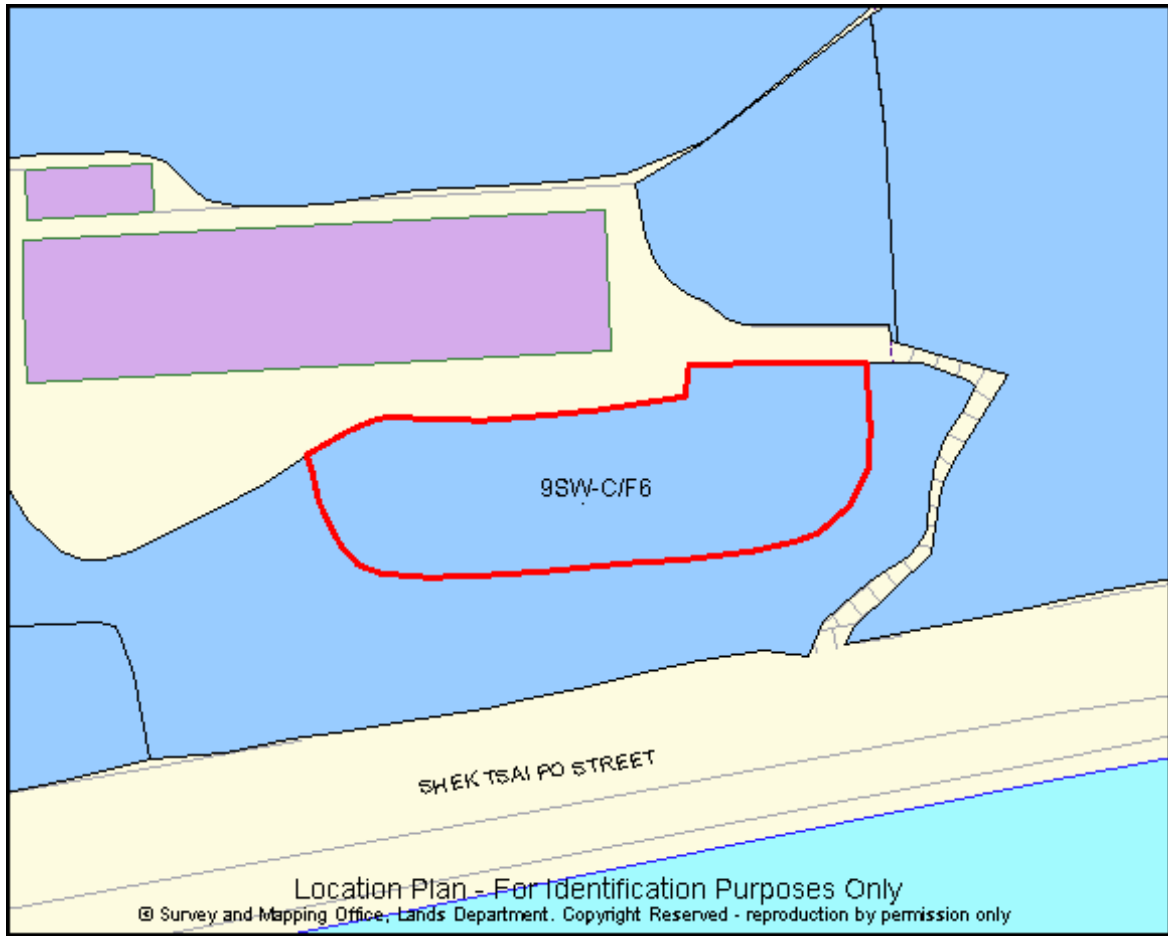
斜坡第 9SW-C/CR13 號位置圖

Location plan of slope 9SW-C/CR13



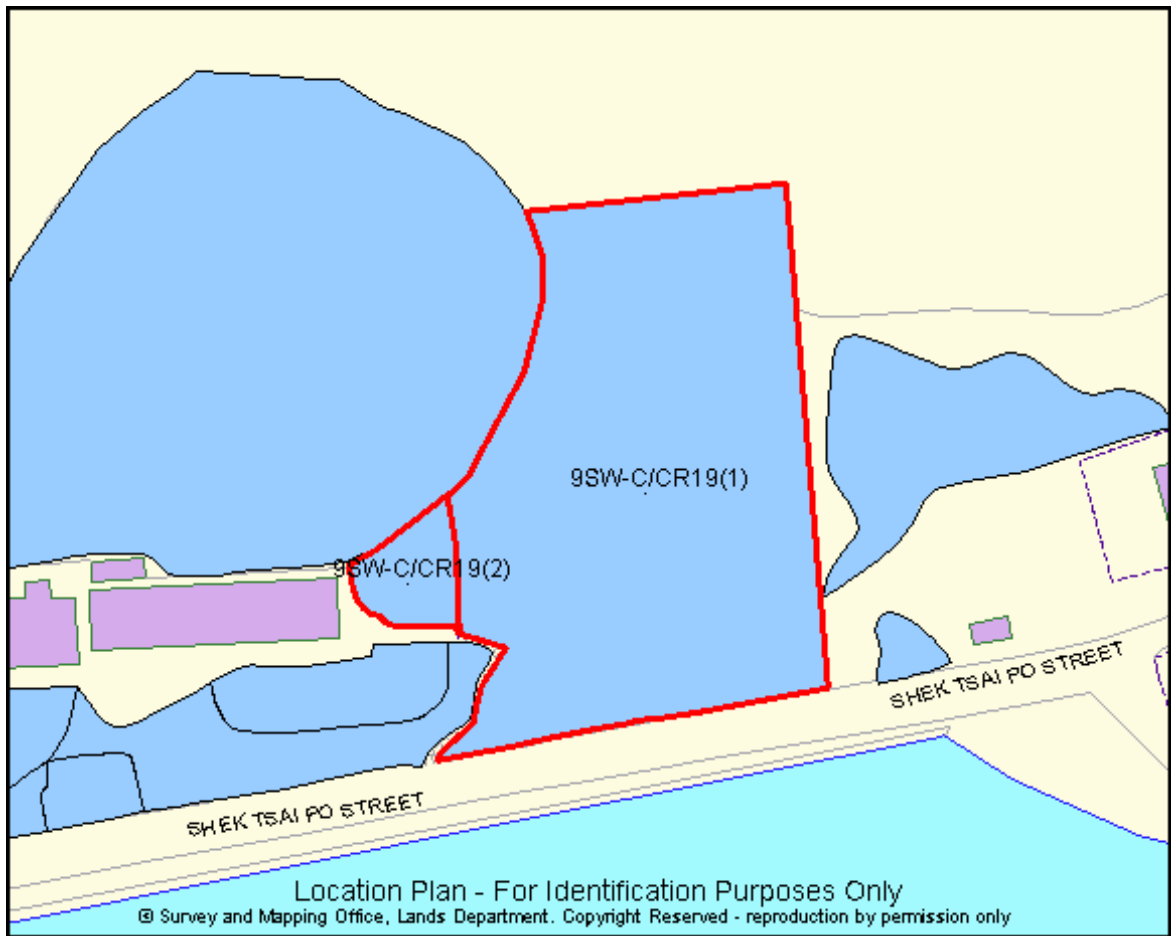
斜坡第 9SW-C/CR14 號位置圖

Location plan of slope 9SW-C/CR14



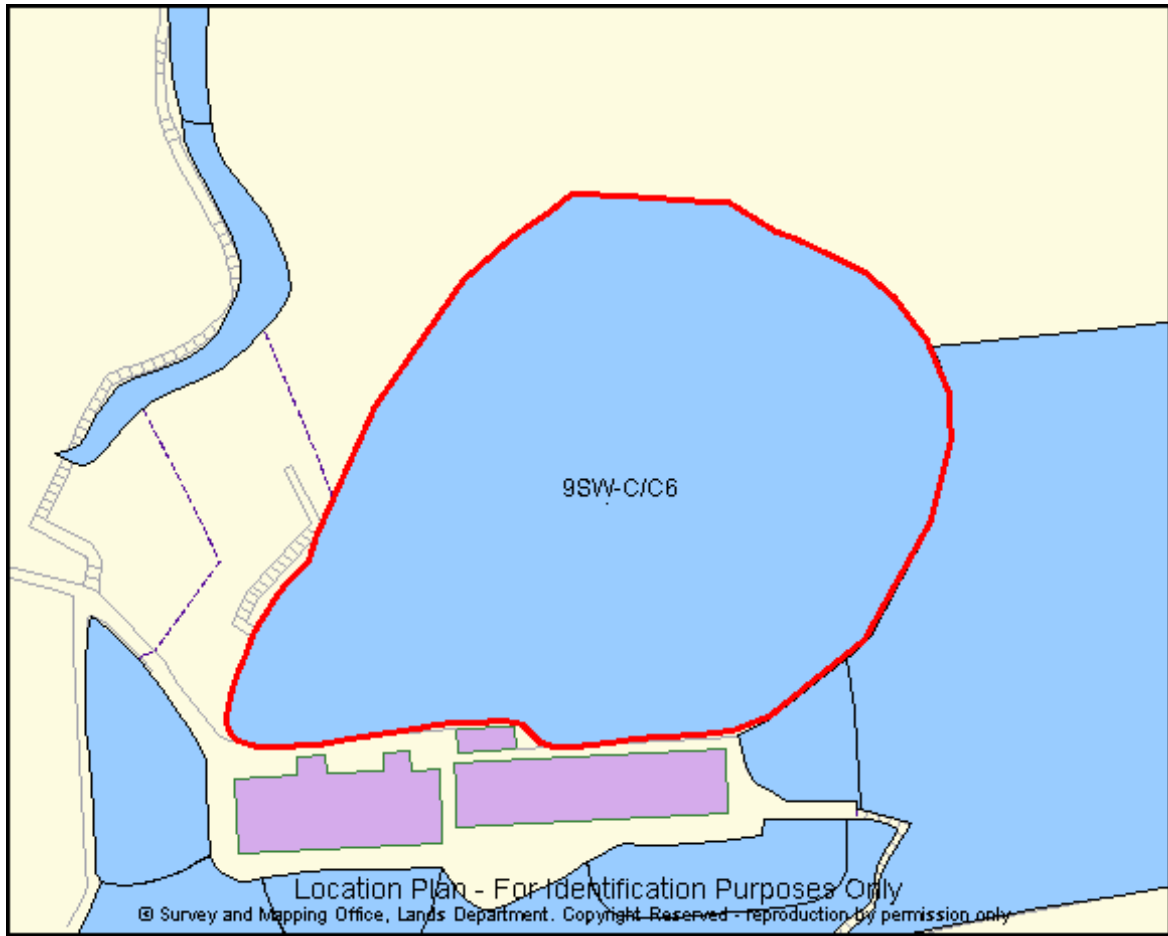
斜坡第 9SW-C/F6 號位置圖

Location plan of slope 9SW-C/F6



斜坡第 9SW-C/CR19 號位置圖

Location plan of slope 9SW-C/CR19



斜坡第 9SW-C/C6 號位置圖

Location plan of slope 9SW-C/C6