

活化歷史建築伙伴計劃

前北九龍裁判法院

資料冊

日期：二零二零年七月六日



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## I. 引言

1.1 本資料冊為申請機構提供基本資料，以便就活化歷史建築伙伴計劃（下稱活化計劃）擬備建議書。本資料冊所提供的資料包括

第 I 部分	引言；
第 II 部分	歷史背景及建築特色；
第 III 部分	用地資料；
第 IV 部分	建築物資料；
第 V 部分	周邊環境及前往途徑；
第 VI 部分	保育指引；
第 VII 部分	城市規劃事宜；
第 VIII 部分	土地及保育樹木事宜；
第 IX 部分	斜坡維修；
第 X 部分	符合可行用途的技術規格；以及
第 XI 部分	本項目的特別規定。

1.2 擬備建議書時，申請機構應特別致力：

- (a) 彰顯建築物的歷史價值；
- (b) 遵從保育指引；以及
- (c) 在保持建築物的原有建築原真性及遵從現行法定樓宇管制規定之間取得平衡。

我們明白 1.2(c)項目的工作頗為複雜，現提出下列建議，以供申請機構考慮：

- (i) 在進行主要改建及加建工程和重要的用途改變時，應將歷史建築妥善提升至符合現行《建築物條例》的樓宇安全及衛生水平。建築物可予選擇的用途，或會受保存重要建築特色的需要、場地限制及 / 或過高的修建費用所局限；以及
- (ii) 應盡量保存歷史建築的重要和別具特色的元素，如須進行加建或改建工程，亦應在有關建築物較不顯眼處進行。

1.3 我們已根據分區計劃大綱圖，列出數個可供考慮的活化用途。然而，有關用途的技術可行性仍有待申請機構進一步研究。

1.4 本資料冊（包括圖則及透視圖）闡述的尺寸、面積及水平，只供參考之用。在進行詳細設計前，申請機構應安排認可的專家對建築物進行詳細的製圖測量及對用地進行地形測量，以核實尺寸、面積和基準線水平。

- 1.5 本資料冊是依據當時環境搜集所得的事實和數據組編而成，內容並非詳盡無遺。主要目的是讓各申請機構對該歷史建築及其位置有基本認識。各申請機構的申請皆有其獨特性質，故在草擬其建議書時，必須先行核實資料冊內相關的資料。
- 1.6 活化計劃秘書處會提供一站式服務，以協助申請機構，並在有需要時轉介他們到有關部門。申請機構可透過下列途徑，與活化計劃秘書處聯絡：

地址： 香港九龍尖沙咀東麼地道 68 號帝國中心 7 樓 701B 室  
發展局文物保育專員辦事處

活化歷史建築伙伴計劃秘書處

電郵： rhb\_enquiry@devb.gov.hk

電話： 2906 1560

傳真： 2906 1574

## II. 歷史背景及建築特色

### 2.1 歷史背景

#### 原有用途

前北九龍裁判法院於1960年建成，負責審理九龍區的案件。裁判法院坐落在九龍大埔道292號，樓高七層，南北兩面各有一個露天前庭，由巴馬丹拿建築及工程師有限公司設計。在1942年前，香港有兩所裁判法院負責審理九龍區的案件。一所位於眾坊街與街市街交界的上海街，而另一所在加士居道。位於加士居道的九龍裁判法院建於1936年，後於1957年重新命名為南九龍裁判署。上海街的裁判法院於1957年拆卸，前北九龍裁判法院其後於1960年建成。隨着加士居道的裁判法院於2000年關閉，前北九龍裁判法院遂成為九龍區唯一審理案件的法院。前北九龍裁判法院可說是全港最繁忙的裁判法院之一。

前北九龍裁判法院過往負責審理九龍區(包括旺角、深水埗、石硤尾、長沙灣及何文田)的案件。由於裁判法院由原來的九間合併為六間，前北九龍裁判法院於2005年1月3日停止運作，之後一直空置，直至2009年。原本由前北九龍裁判法院審理的案件，則交由觀塘裁判法院及九龍城裁判法院新設的三個法庭審理。

在司法架構內，所有刑事訴訟均由裁判法院開始，因此裁判法院屬最低層級的法院，可審理多種可公訴罪行及簡易罪行。在全盛時期，前北九龍裁判法院曾設有多達 11 個裁判法庭(包括一個少年法庭)，以及政府部門辦事處。少年法庭審理 16 歲以下少年及兒童的案件。涉及輕微罪行(例如擺賣、違反交通規例及亂拋垃圾)的案件，亦在裁判法院由特委裁判官審理。裁判法院可判處的最高刑罰為監禁兩年及罰款 10 萬元。在某些情況下，裁判官可判處的刑罰可高達監禁三年及罰款 500 萬元。相對較嚴重的案件則轉介較高司法管轄權的法庭(例如區域法院或原訟法庭)審理。根據曾駐守前北九龍裁判法院的一名高級督察所述，該法院仍在運作時，每日出庭受審的被告人超過 40 人，有時更多達 80 人。

## 2009年的活化計劃

2009年，在發展局推出的第一期活化歷史建築伙伴計劃(活化計劃)下，前北九龍裁判法院由薩凡納藝術設計學院基金(香港)有限公司活化為薩凡納藝術設計(香港)大學，提供有關藝術及設計的非本地高等教育課程，並於2010年9月開始營運。此活化項目獲得2011年「聯合國教育、科學及文化組織(聯合國教科文組織)亞太區文物古蹟保護獎」榮譽獎。薩凡納藝術設計(香港)大學的現有租約將於2020年7月屆滿，但該校將不會續約。政府將由2020年8月1日起接管該歷史建築。

## 2.2 建築特色

前北九龍裁判法院樓高七層，正立面前牆主要由設計對稱的窄長形窗戶構成，面向大埔道，中央有一向外伸展的開間連雙層簷篷，入口則有一對大樓梯。法院大樓按簡約古典風格建成，立面設計在視覺上強調結構及比例，省略大部分傳統飾線、裝飾及細節。大樓為鋼筋混凝土構築物，地下低層的基牆由花崗石磚砌成，三至五樓設有中央天井，原是為內部走廊及二樓的中央樓梯採光而設計。

法院大樓的室內建築設計典雅，通過中央天井為室內採光。室內的裝飾特色包括附有飾線的格板硬木門、附有飾線的框緣、護牆柚木板、大理石牆飾面、入口大堂及中央大堂樓梯的石地面、八字形並附有飾線的頂角線，以及飾有鳶尾花圖案的裝飾鐵製扶欄、金屬護杆及欄柵。此外，大樓內有一道中央樓梯，設有裝飾鐵製扶欄，欄上飾有鳶尾花圖案，而樓梯上方則設有用玻璃磚砌成的固定天窗。法院原本分為三個不同的功能區域，各自設有獨立的通道，分別供市民大眾及職員、裁判官，以及被告人／囚犯使用。

法院大樓為該時期的典型功能性公共建築，因此可視為罕有建築。

2009年，法院大樓進行活化工程，活化後成為薩凡納藝術設計(香港)大學。大樓立面以最小干預的方式進行局部改動工程，大樓外牆的原真性及完整性得以保留和保存，而所採用的簡約古典建築風格亦得到尊重。至於大樓內部，一些意義重大和能提升大樓文物價值的主要建築特色元素(例如第一法庭、中央樓梯及一個羈留室等)已原位保存。其餘地方則活化再利用，以切合新功能的要求。大樓內部的改動工程均以可還原的方式進行，對內部空間特色的影響有限，而大樓的材料及結構亦不會受到不良影響。此項目示範了如何為歷史建築注入新生命，是活化再利用的成功例子。

### **III. 用地資料**

#### **3.1 位置**

前北九龍裁判法院位於深水埗大埔道 292 號。位置圖載於**附錄 I**。

#### **3.2 用地說明**

此活化計劃中的長方形用地位於深水埗和石峽尾之間一座約 90 米高的山丘腳下。由大埔道沿兩條通道斜上約 4 米高，可到達用地兩旁的南面露天前庭及北面露天前庭。這兩個露天前庭分別位處用地中央一幢七層高建築物的左右兩邊。建築物以居高的正立面面向大埔道——其中一條貫通九龍中及新界的主要幹道。此外，用地的南面露天前庭內還有一幢兩層高的臨時構築物、臨時貯存貨櫃及機房，毗鄰是一所學校。

#### **3.3 用地界線**

用地界線圖載於**附錄 II**。

#### **3.4 用地面積**

前北九龍裁判法院位於地段 GLA-NK-757 號，透過政府撥地被分配予發展局。根據於**附錄 XIII** 的地段分界圖，前北九龍裁判法院的用地面積約為 4,815 平方米。

#### **3.5 主要基準線水平**

用地的主要基準線水平由南面露天前庭約 20.0 米主水平基準以上至北面露天前庭約 23.1 米主水平基準以上。兩個露天前庭均高於面向大埔道旁的行人徑的露天用地。該露天用地的主要基準線水平由開放式大樓梯南面約 16.5 米主水平基準以上至樓梯北面約 19.8 米主水平基準以上。基準線水平圖載於**附錄 IV**。

#### **3.6 地形測量**

於 2020 年 5 月繪製的前北九龍裁判法院地形測量圖載於**附錄 VI(D)**。申請機構可以在遞交填妥的申請表格後，向活化計劃秘書處索取圖則 (PDF 及 AutoCAD 格式檔案)。

用地及建築物資料摘要載於**附錄 V**。



## IV. 建築物資料

### 4.1 建築物說明

前北九龍裁判法院鄰接於大埔道。用地包括以下建築、構築物及地方：

- a) 前北九龍裁判法院（一幢座落於用地正中央的七層高建築物，建築物的東面和北面為斜坡）
- b) 消防與花灑泵房及水缸（位於用地南面的機房）
- c) 臨時構築物（一座兩層高的臨時建築物）
- d) 臨時存放處（臨時貯存貨櫃）
- e) 露天前庭（南面露天前庭及北面露天前庭）

由 2010 年至 2020 年，薩凡納藝術設計學院基金(香港)有限公司將前北九龍裁判法院活化為薩凡納藝術設計(香港)大學，提供有關藝術及設計的非本地高等教育課程。薩凡納藝術設計(香港)大學已經停止營運，而政府將由 2020 年 8 月 1 日起接管該用地。有關上述活化工程中屋宇署的批准圖則載於**附錄 VI(F)**。

前北九龍裁判法院現有的設施包括課室、辦公室、圖書館、展覽場地、工作室及動畫實驗室等。另外，舊有四間法院中的其中一間被保留並用作演講廳，而另外三間則更改成為工作室和課室。建築物基本狀況良好，只有少許於飾面上的破損。

有關法院現時的佈局，包括用地平面圖、樓層平面圖、主立面圖及剖面圖，載於**附錄 VI(A)**。

顯示法院整體的外觀及室內佈局的照片載於**附錄 VII**。

### 4.2 歷史評級

前北九龍裁判法院於 2009 年 12 月 18 日被古物諮詢委員會評為二級歷史建築。「二級歷史建築」的定義是「具特別價值而須有選擇性地予以保存的建築物」。

前北九龍裁判法院的歷史評級界線圖載於**附錄 III**。

### 4.3 用途分配表

本節所列法院大樓、其他構築物及地方的「大約淨作業樓面面積/樓面淨面積」及「大約建築樓面面積」只作參考。申請機構需要在採用該資料前，

自行校證。

前北九龍裁判法院、消防與花灑泵房及水缸的總建築樓面面積大約為 7,720 平方米。

面積分配表如下：

#### 4.3.1 前北九龍裁判法院

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 / 樓面淨面積 (平方米)
地下低層 (LG/F)	419	電訊及廣播設備室	16
		沖廁水泵房	13
		食水泵房	18
		消防控制室	4
		管理處	8
		電力變壓房	48
		總掣房	30
		現有的空調裝置機房	121
		水錶房	4
		應急發電機房	37
		樓梯 ST-1	9
		升降機大堂	18
小計：	419	小計：	326

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 / 樓面淨面積(平方米)
地下 (G/F)	1315	入口大堂	85
		圖書館	210
		辦公室 1	10
		辦公室 2	16
		辦公室 3	21
		辦公室 4	10
		獲保存的羈留室辦公室 7D (獲保存的 6 號羈留室)	10
		辦公室 7C (5 號舊羈留室)	21
		辦公室 7B (4 號舊羈留室)	22
		辦公室 7A (3 號舊羈留室)	22
		辦公室 6	6
		辦公室 5	6
		風櫃房	5
		辦公室 8	17
		辦公室 9	15
		辦公室 10	10
		學生作品展覽區	108
		電錶房	5
		伺服器室 (2 號舊羈留室)	15
		鮮風櫃房 (2 號舊羈留室)	20
		公用地方 (舊警車車房)	38
		走廊	220
		女廁	10
		暢通易達而無分性別的洗手間	4
		男廁	13
		中央樓梯	41
		獲保存的被告人樓梯	10
		樓梯 ST-1	15
樓梯 ST-2	12		
樓梯 ST-3	11		
小計：	1315	小計：	1008

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 / 樓面淨面積 (平方米)
一樓 (1/F)	1219	大堂 / 學生休息處 (中央大堂)	161
		課室 1	42
		課室 2	47
		課室 3	46
		課室 4	55
		課室 5	61
		課室 6	57
		課室 7	60
		課室 8	78
		課室 9	8
		課室 10	9
		辦公室 1	42
		鮮風櫃房	13
		女廁	24
		暢通易達而無分性別的洗手間	3
		男廁	32
		中央樓梯	39
		獲保存的被告人樓梯	17
		走廊	147
		電錶房	4
升降機大堂	8		
樓梯 ST-1	15		
樓梯 ST-2	17		
樓梯 ST-3	30		
小計：	1219	小計：	1015

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 / 樓面淨面積 (平方米)
二樓 (2/F)	1199	大堂 / 學生休息處 (中央大堂)	227
		獲保存的第一法庭 / 演講廳 (獲保存的第一法庭)	139
		工作室 (舊有的第二法庭)	112
		課室 11 (舊有的第三法庭)	45
		聲效設計工作室 (舊有的第三法庭)	87
		課室 13 (舊有的第四法庭)	56
		課室 12 (舊有的第四法庭)	77
		女廁	27
		暢通易達而無分性別的洗手間	3
		男廁	27
		中央樓梯	38
		獲保存的被告人樓梯	29
		獲保存的裁判官樓梯	15
		走廊	67
		風櫃房	8
		升降機大堂	5
		電錶房	3
		樓梯 ST-1	15
		樓梯 ST-2	17
樓梯 ST-3	17		
小計：	1199	小計：	1014

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 /樓面淨面積(平方米)
三樓 (3/F)	1204	辦公室 1	44
		辦公室 2	67
		管道房 (格線 D-F) (舊管道房)	15
		管道房 (格線 A-C) (舊管道房)	15
		儲物房 (格線 D-F) (舊管道房)	15
		儲物房 (格線 A-C) (舊管道房)	15
		電錶房	3
		伺服器室	9
		鮮風櫃房 (格線 5-6)	11
		鮮風櫃房 (格線 10-11)	17
		女廁	26
		暢通易達而無分性別的洗手間	5
		男廁	24
		中央天井	40
		獲保存的裁判官樓梯	7
		走廊	169
		露台	28
		升降機大堂	5
		樓梯 ST-1	15
		樓梯 ST-2	17
樓梯 ST-3	17		
小計：	1204	小計：	564

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 /樓面淨面積(平方米)
四樓 (4/F)	1182	課室 14	46
		課室 15	47
		課室 16	46
		課室 17	46
		課室 18	47
		課室 19	55
		課室 20	55
		課室 21	48
		課室 22	46
		課室 23	43
		辦公室 1	44
		辦公室 2	41
		定格動畫工作室	93
		鮮風櫃房 (格線 5-6)	11
		鮮風櫃房 (格線 10-11)	17
		女廁	26
		暢通易達而無分性別的洗手間	5
		男廁	29
		走廊	171
		升降機大堂	5
		電錶房	3
樓梯 ST-1	15		
樓梯 ST-2	17		
樓梯 ST-3	17		
小計：	1182	小計：	973

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 /樓面淨面積(平方米)
五樓 (5/F)	1182	課室 24	43
		課室 25	94
		課室 26	46
		課室 27	94
		課室 28	67
		課室 29	67
		課室 30	47
		課室 31	56
		攝影工作室	135
		鮮風櫃房 (格線 5-6)	11
		鮮風櫃房 (格線 10-11)	17
		女廁	26
		暢通易達而無分性別的洗手間	5
		男廁	29
		電錶房	2
		升降機大堂	5
		走廊	184
		樓梯 ST-1	15
		樓梯 ST-2	17
樓梯 ST-3	17		
小計：	1182	小計：	977
總共：	<b>7720</b>	總共：	<b>5877</b>



#### 4.3.2 消防與花灑泵房及水缸

樓層	大約建築樓面面積 (平方米)	用途	大約淨作業樓面面積 / 樓面淨面積 (平方米)
地下 (G/F)	42	消防與花灑泵房	24
		空調泵房	12
總共：	<b>42</b>	總共：	<b>36</b>

#### 4.3.3 臨時構築物

樓層	用途	大約建築樓面面積 (平方米)
地下 (G/F)	臨時構築物	137
一樓 (1/F)	臨時構築物	100
總共：		<b>237</b>

#### 4.3.4 露天前庭

樓層	用途	大約面積(平方米)
地下低層 (LG/F)	南面露天前庭	450
地下 (G/F)	北面露天前庭	595
總共：		<b>1045</b>

#### 4.4 建築物料

##### 4.4.1 前北九龍裁判法院

建築物料	天台	- 鋼筋混凝土及混凝土天台地磚 - 玻璃天幕 - 玻璃升降機裝置的玻璃圍封
	牆壁	鋼筋混凝土
	地板	鋼筋混凝土
	樓梯	<u>樓梯 ST-1, ST-2 及 ST-3</u> - 鋼 <u>中央樓梯, 獲保存的被告人樓梯及獲保存的裁判官樓梯</u> - 鋼筋混凝土
	窗	鋼框玻璃窗
	門	<u>正門入口的大門</u> - 飾釘格板雙開銅門 <u>側門入口的大門</u> - 木 <u>舊法庭</u> - 木 <u>辦公室、課室、洗手間、樓梯及升降機</u> <u>大堂</u> - 木; - 不銹鋼; 或 - 鋁框玻璃門 <u>機房</u> - 木
飾面	室外	<u>面向大埔道的正立面</u> - 裝飾瓷磚 - 花崗石 - 琢石鑲面 - 槽紋粉飾灰泥 <u>南面及北面立面</u> - 琢石鑲面 - 槽紋粉飾灰泥 <u>東面立面</u> - 琢石鑲面 - 槽紋粉飾灰泥

飾面	室內 – 樓梯	
	中央樓梯	<u>牆壁</u> - 雲石面 <u>牆腳線</u> - 黑雲石 <u>級面及豎板</u> - 石飾面 <u>天花</u> - 樓梯平臺上方設有玻璃磚頂
	獲保存的被告人樓梯	<u>牆壁</u> - 瓷磚 <u>級面及豎板</u> - 批盪配以梯級邊緣瓷磚
	獲保存的裁判官樓梯	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 馬賽克瓷磚飾面 <u>級面及豎板</u> - 馬賽克瓷磚飾面及梯級邊緣瓷磚
	樓梯 ST-1 樓梯 ST-2 樓梯 ST-3	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 乳膠漆 <u>地板</u> - 批盪面配以不銹鋼梯級防滑條 <u>天花</u> - 乳膠漆
	室內 – 地下低層 (LG/F)	
升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆	

飾面	室內- 地下低層 (LG/F)	
	管理處	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	室內 - 地下 (G/F)	
	入口大堂	<u>牆壁</u> - 雲石面 <u>牆腳線</u> - 黑雲石 <u>地板</u> - 石 <u>天花</u> - 垂吊式石膏板天花
獲保存的羈留室 辦公室 7D (獲保存的 6 號羈 留室)	<u>牆壁</u> - 乳膠漆 - 瓷磚 (蹲廁範圍) <u>地板</u> - 批盪面 - 馬賽克瓷磚 (蹲廁範圍) <u>天花</u> - 乳膠漆	

飾面	室內 – 地下 (G/F)	
	辦公室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 - 膠地板 <u>天花飾面</u> - 垂吊式鋁板天花
	學生作品展覽區	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	圖書館	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 <u>天花</u> - 乳膠漆
	公用地方	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆

飾面	室內 – 地下 (G/F)	
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 - 地氈 <u>天花</u> - 乳膠漆
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	洗手間	<u>牆壁</u> - 過底磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆

飾面	室內 – 一樓 (1/F)	
	大堂 / 學生休息處 (中央大堂)	<u>牆壁</u> - 雲石面 <u>牆腳線</u> - 黑雲石 <u>地板</u> - 瓷磚 <u>天花</u> - 垂吊式石膏板天花
	辦公室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 - 膠地板 <u>天花</u> - 垂吊式鋁板天花
	課室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 膠地板 - 地氈 <u>天花</u> - 垂吊式纖維板天花
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 垂吊式纖維板天花

飾面	室內 – 一樓 (1/F)	
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	洗手間	<u>牆壁</u> - 瓷磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	室內 – 二樓 (2/F)	
	大堂 / 學生休息處 (中央大堂)	<u>牆壁</u> - 雲石面 <u>牆腳線</u> - 黑雲石 <u>地板</u> - 瓷磚 <u>天花</u> - 垂吊式石膏板天花
	獲保存的第一法庭/演講廳	<u>牆壁</u> - 隔音板 - 木板飾面 <u>牆腳線</u> - 木飾面 <u>地板</u> - 拼花木地板 <u>天花</u> - 乳膠漆



飾面	室內 – 二樓 (2/F)	
	工作室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 - 地氈 <u>天花</u> - 乳膠漆
	課室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 膠地板 - 地氈 <u>天花</u> - 垂吊式纖維板天花
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 垂吊式纖維板天花
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆

飾面	室內 – 二樓 (2/F)	
	洗手間	<u>牆壁</u> - 瓷磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	室內 – 三樓 (3/F)	
	中央天井	<u>牆壁</u> - 紋理乳膠漆 <u>牆腳線</u> - 乳膠漆 <u>地板</u> - 批盪面配以玻璃磚 <u>天花</u> - 天幕
	辦公室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 <u>天花</u> - 垂吊式纖維板天花
	露台	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 馬賽克瓷磚飾面 <u>地板</u> - 馬賽克地磚飾面 <u>天花</u> - 乳膠漆

飾面	室內 – 三樓 (3/F)	
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 - 地氈 <u>天花</u> - 垂吊式纖維板天花
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	洗手間	<u>牆壁</u> - 瓷磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆

飾面	室內 – 四樓 (4/F)	
	課室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 <u>天花</u> - 垂吊式纖維板天花
	定格動畫工作室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 膠地板 <u>天花</u> - 垂吊式纖維板天花
	辦公室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 <u>天花</u> - 垂吊式纖維板天花
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 - 地氈 <u>天花</u> - 垂吊式纖維板天花

飾面	室內 – 四樓 (4/F)	
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	洗手間	<u>牆壁</u> - 瓷磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	室內 – 五樓 (5/F)	
	課室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 地氈 - 膠地板 <u>天花</u> - 垂吊式纖維板天花
	攝影工作室	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 垂吊式纖維板天花

飾面	室內 – 五樓(5/F)	
	走廊	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 - 地氈 <u>天花</u> - 垂吊式纖維板天花
	升降機大堂	<u>牆壁</u> - 乳膠漆 <u>牆腳線</u> - 膠牆腳線 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆
	洗手間	<u>牆壁</u> - 瓷磚 <u>地板</u> - 過底磚 <u>天花</u> - 垂吊式纖維板天花
	機房	<u>牆壁</u> - 乳膠漆 <u>地板</u> - 批盪面 <u>天花</u> - 乳膠漆

#### 4.4.2 消防與花灑泵房及水缸

建築物料	天台	鋼筋混凝土
	牆壁	鋼筋混凝土
	地板	鋼筋混凝土
	門	不銹鋼
飾面	室外	油漆
	室內	牆壁 - 乳膠漆 地板 - 批盪面 天花 - 乳膠漆

#### 4.4.3 臨時構築物

建築物料	天台	金屬波紋板
	牆壁	鋁板
	地板	金屬板
	門	室外：玻璃 室內：木
	窗	鋁窗
飾面	室外	水泥批盪面及鋁板
	室內	地板 - 水泥批盪面, 地氈及膠地板 天花 - 垂吊式纖維板天花 樓梯 - 鋼梯

#### 4.4.4 露天前庭

建築物料	地板	混凝土
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## 4.5 通道

### 4.5.1 一般說明

前北九龍裁判法院總共有四個出入口。行人主要由南面露天前庭的大門出入，日常交通及送貨則使用北面露天前庭。樓梯 ST-3 的一樓逃生門通向建築物後方地下及地下低層的開放空間。

室內通道則依靠六道室內樓梯以及一部暢通易達升降機。

位於建築物南、北及東面的三道樓梯 (ST-1、ST-2 及 ST-3) 是為符合建築物條例要求而設的逃生樓梯，皆能通往室外。樓梯 ST-1 及 ST-2 分別連接五樓(5/F)至地下低層(LG/F)及五樓(5/F)至地下(G/F)。樓梯 ST-3 則只於室內連接五樓(5/F)至一樓(1/F)，於室外位置連接一樓(1/F)至地下(G/F)。三道樓梯都是以鋼製成。

另外三道獲保留的室內鋼筋混凝土樓梯，分別是中央樓梯、獲保存的被告人樓梯及獲保存的裁判官樓梯，作為舊時為公眾及職員、裁判官以及被告人/囚犯提供的獨立通道。中央樓梯連接地下(G/F)至二樓(2/F)的中央大堂，貫通地下(G/F)入口大堂以及於一樓(1/F)及二樓(2/F)的大堂 / 學生休息處。獲保存的被告人樓梯連接地下(G/F)至二樓(2/F)，貫通地下(G/F)走廊(舊羈留室走廊)及二樓(2/F)獲保存的第一法庭 / 演講廳，而獲保存的裁判官樓梯則只作部分保留，現在只連接二樓(2/F)獲保存的第一法庭 / 演講廳至三樓(3/F)走廊。

要到達天台，現時只能依靠豎梯出入進行維修。

消防與花灑泵房及水缸和臨時構築物均可由南面露天前庭到達。

### 4.5.2 暢通無阻的通道

在第一期活化計劃中，前北九龍裁判法院於南面入口提供暢通易達的通道，並設置備有觸覺帶的斜道，以供行動不便人士使用。另外，還加設了一部暢通易達升降機，連接五樓(5/F)至地下低層(LG/F)。在南面停車場的入口旁邊設有暢通易達停車位。所有逃生樓梯及地下低層(LG/F)的升降機大堂均設有觸覺引路帶及警示磚。

## 4.6 主要改建及加建工程

前北九龍裁判法院曾於 2010 年的第一期活化計劃中進行改建及加建工程，主要工程如下：



- a) 加建升降機裝置的玻璃圍封
- b) 拆除一個升降機槽
- c) 改建及加建根據建築物條例所要求的逃生樓梯
- d) 拆除室內樓梯
- e) 改建洗手間
- f) 天台天井加建天幕
- g) 因變更用途改動室內佈局
- h) 提供暢通無阻的通道；以及
- i) 在南面露天前庭興建消防與花灑泵房及水缸

#### 4.7 初步結構評估

此初步結構評估是以一個建築物現況結構調查報告來釐定。現況結構調查報告可透過遞交已填妥的申請表格向活化計劃秘書處索取。結構調查報告主要根據註冊結構工程師及其團隊於 2020 年 5 月進行的目測檢查和現場測量所編製。當中並沒有在現有的鋼筋混凝土結構件上，進行任何破壞性測試包括鑽取土芯、實驗室測試和混凝土開鑿表層測試。申請機構應核實本部分所提供的資料後，才在其建議書中採納這部分的資料或將資料用於其他相關用途。

##### 4.7.1 結構資料

前北九龍裁判法院結構記錄圖，以及於 2010 年第一期活化計劃中所進行改建及加建工程的竣工結構圖均載於附錄 VI(C)以供參考。

當中 2010 年改建工程主要包括以下：

- a) 在南面露天前庭興建消防與花灑泵房及水缸和水塔
- b) 法院內加建升降機
- c) 法院內加建三道樓梯 (ST-1、ST-2 及 ST-3 樓梯)；以及
- d) 法院天台中央天井位置加建天幕覆蓋

##### 4.7.2 構造

###### 4.7.2.1 法院

法院樓高七層，為典型的鋼筋混凝土板樑柱結構，並以淺埋式獨立地腳作地基。

地下低層(LG/F)全層及部分地下(G/F)地板是為坐地混凝土板。其餘地下(G/F)以及其他樓層地板(1/F 至 R/F)則以鋼筋混凝土懸掛樓板和樑構造，然而三樓(3/F)天井地板除外，該位置以迷你混凝土橫樑建

造井形樓板，配以玻璃嵌板，以構造透明地板結構。

以下位置是為懸垂鋼筋混凝土結構：

- a) 一樓(1/F)大樓梯上方的簷篷(格線 A6 至 A10)
- b) 三樓(3/F)露台(格線 A5 至 A11)
- c) 四樓(4/F)延伸出的平頂平台，覆蓋上述三樓(3/F)露台；以及
- d) 天台(R/F)延伸出的簷篷，圍繞整個建築物周界

在 2010 年所加建的三道樓梯 (ST-1 至 ST-3)均為鋼結構，而原有中央樓梯、獲保存的被告人樓梯及獲保存的裁判官樓梯則為典型的混凝土構造。

天台天幕是為鋼框玻璃嵌板，覆蓋三樓(3/F)至天台(R/F)的中央天井。

#### 4.7.2.2 消防與花灑泵房及水缸

消防與花灑泵房及水缸為鋼筋混凝土結構，由淺墊式筏板支撐。旁邊兩座水塔均建於淺墊式筏板上。

### 4.7.3 結構改動

前北九龍裁判法院於 2010 年第一期活化計劃後，沒有進行任何明顯的結構改動或改善工程。

### 4.7.4 建築物的結構狀況

#### 4.7.4.1 法院

在法院不同的位置觀察到輕微的局部剝落、裂縫及滲水。然而，法院整體的結構狀況尚好。有關結構損壞的詳細照相記錄，請參閱現況結構調查報告。

#### 4.7.4.2 消防與花灑泵房及水缸

消防與花灑泵房及水缸保持良好的結構狀況，並沒有任何結構性損壞。

### 4.7.5 荷載評估

建築物於 1960 年建造，其設計估計是依從<<作業守則 3>>：第 V 章 -1952 年倫敦縣議會 (L.C.C.) 法規，當中訂明於設有固定座位的集會場地、銀行大堂、禮拜堂和教堂，混凝土板能承受每平方米

80 磅 (即 3.83 千帕斯卡)。因前北九龍裁判法院屬於上述用途之一，法院內大部分樓板的原設計荷載應為 3.83 千帕斯卡。

根據法院的樓齡，對於原設計荷載的 3.83 千帕斯卡，有需要作出調整。在 2010 年第一期活化計劃中，就其用途為教育機構，建議承受 3.0 千帕斯卡的外加荷載。

樓層內有不少位置於第一期活化計劃中進行過改動和/或鞏固工程，對於上述範圍，外加荷載可參考於 2010 年經屋宇署核准的圖則(載於附錄 VI(C))

地點	樓層	原有用途	2010 年第一期活化計劃下建議用途	原設計活荷載 (千帕斯卡)	估計現有外加荷載能力(千帕斯卡)
前北九龍裁判法院	地下低層 (LG/F) (坐地混凝土板)	-	機房	-	5.0**
	地下 (G/F) (坐地混凝土板)	法庭	教育機構	3.83 <sup>#</sup>	5.0**
	地下 (G/F) (懸掛樓板)	法庭	教育機構	3.83 <sup>#</sup>	3.0*
	一樓至五樓 (1/F-5/F)	法庭	教育機構	3.83 <sup>#</sup>	3.0*
			機房	3.83 <sup>#</sup>	5.0*
	天台 (R/F)	不能到達的平屋頂	不能到達的平屋頂	0.72 <sup>#</sup>	0.75*

地點	樓層	原有用途	2010年第一期活化計劃下建議用途	原設計活荷載(千帕斯卡)	估計現有外加荷載能力(千帕斯卡)
消防與花灑泵房及水缸	地下(G/F)	-	泵房	-	7.5*
	一樓(1/F)	-	水缸	-	-
	天台(R/F)	-	不能到達的平屋頂	-	0.75*
北面及南面露天前庭	地下(G/F) (坐地混凝土板)	停車場	停車場	3.83 <sup>#</sup>	5.0 <sup>**</sup>

<sup>#</sup>參考 LCC 1952 第 4.7.5 段。

\*參考 2010 年批准改建及加建圖則 (載於附錄 VI(C))

\*\*估算坐地混凝土板的外加荷載能力，需再作勘察評估以找出實際承載能力。

#### 4.7.6 建議

從最近所進行的目測檢查所得，前北九龍裁判法院自 2010 年的活化工程後，看來仍然保養良好，並且沒有進行過任何結構上的改動。因此，前北九龍裁判法院的結構狀況被認為尚好，但仍需修復一些正常磨損及欠妥之處以防止進一步損壞。

消防與花灑泵房及水缸並未發現有任何結構上的破損，所以不預期需要進行任何維修工作。

獲選機構在採用以上所述的外加樓面荷載參數來設計對其建築物所提議的運用前，必須核實這些荷載參數的有效性。如獲選機構的提議用途需要更大的樓面荷載量，申請人必需進行充裕的測試及詳細的結構分析以評估其物業的荷載承托能力，及依據其評估結果提議用途實施所需的加固工程。

## 4.8 屋宇裝備及公用設施

前北九龍裁判法院現有屋宇裝備和公用設施表列如下：

### 4.8.1 前北九龍裁判法院

屋宇裝備	現有設備
機械通風和空調系統裝置	<ol style="list-style-type: none"><li>1. 地下低層(LG/F)的空調裝置機房，安裝有2部787kW 配以R134a雪種的水冷式冷凍水機。</li><li>2. 南面露天前庭的消防與花灑泵房及水缸旁安裝有2部994kW製冷量的水塔</li><li>3. 法院內走廊、辦公室及功能房安裝有盤管式風機，總共約185部(當中有3部位於二樓的盤管式風機並未有使用)，連接著8部鮮風櫃，用作預先處理室外空氣。</li><li>4. 地下控制室設有1組空調系統中央控制監察系統。</li><li>5. 法院內入口大堂、大堂 / 學生休息處及獲保存的第一法庭 / 演講廳安裝有5部風機。</li><li>6. 設有3組冷凍水泵 (2組主水泵和1組備用水泵)以提供冷凍水至法院所有樓層內的盤管式風機、鮮風櫃及風機</li><li>7. 設有3組冷卻水泵(2組主水泵和1組備用水泵)作散熱用途。</li><li>8. 南面露天前庭的空調泵房設有化學品缸、補給水缸和泄放水缸。</li><li>9. 設有1個用於冷凍水的化學計量泵及3個用於冷卻水的化學計量泵</li><li>10. 系統設有2個排污水泵。</li><li>11. 現有一條直徑50毫米食水供水管作補給用途(水錶編號：M18-451171)。</li></ol>

屋宇裝備	現有設備
機械通風和空調系統裝置 (續)	<p>12. 用地內有多組分體式冷氣機及窗口式冷氣機。</p> <p>13. 每層所有機房及洗手間位置已安裝抽氣扇。</p>
消防裝置	<p>1. 法院內設有消防自動花灑系統、消防喉轆系統、手動火警警報系統、視像警報系統和自動火警警報系統。</p> <p>2. 現有1條直徑80毫米的消防供水管，由位於大埔道的政府水管連接到法院的花灑及消防系統。</p> <p>3. 消防喉轆系統</p> <ul style="list-style-type: none"> <li>a) 系統設有1個直徑50毫米的檢測錶位。</li> <li>b) 消防與花灑泵房天台上設有1個36 立方米的消防鋼筋混凝土供水缸。</li> <li>c) 消防與花灑泵房內設有2組30kW消防花灑泵 (1組主水泵和1組備用泵) 及一組1.5kW加壓泵。</li> <li>d) 消防入水掣設於ST-1及ST-2樓梯出口附近。</li> </ul> <p>4. 自動花灑系統</p> <ul style="list-style-type: none"> <li>a) 除機房外，整個法院均設有自動花灑系統。</li> <li>b) 系統設有1個直徑80毫米的檢測錶位</li> <li>c) 法院的火災危險組別屬於普通危險程度第1組(OH 1)</li> <li>d) 南面露天庭院的消防花灑泵房天台上，設有1個47,000公升的自動花灑鋼筋混凝土供水缸</li> <li>e) 消防與花灑泵房內設有2組15kW消防花灑泵 (1組主水泵和1組備用泵)及1組1.1kW加壓泵。</li> <li>f) 消防花灑入水掣設於地下低層(LG/F)入口旁邊。</li> </ul> <p>5. 在機房內設有手提式滅火器。</p> <p>6. 在機房內安裝了熱力偵測器。</p> <p>7. 法院內已安裝緊急照明系統及出口指示牌。</p>

屋宇裝備	現有設備
電力裝置	<ol style="list-style-type: none"> <li>1. 法院電力由地下低層(LG/F)電力變壓房的1500kVA變壓器所提供。</li> <li>2. 地下低層(LG/F)的總掣房設有1個2250A 4極空氣斷路器，以保護整個電力系統。</li> <li>3. 電訊及廣播設備室內設有100A TPN 熔斷器。</li> <li>4. 法院內均有電源插座及照明裝置。</li> <li>5. 地下低層(LG/F)設有1部250kVA應急發電機，並裝有一個400A 四極自動轉換掣，當普通電力出現問題時，可以轉換至應急電源，以提供電力予消防裝置及升降機。</li> </ol>
升降機裝置	<ol style="list-style-type: none"> <li>1. 法院南面安裝了一部升降機，可以用作消防升降機及暢通易達升降機。</li> <li>2. 升降機承重力限於900 千克。</li> </ol>
保安系統裝置	<ol style="list-style-type: none"> <li>1. 法院內沒有可用的閉路電視系統及門控系統。</li> </ol>
供水裝置	<ol style="list-style-type: none"> <li>1. 食水供應 <ol style="list-style-type: none"> <li>a) 現有一條直徑54毫米的食水管連直徑40毫米的食水錶(水錶編號：M13-228539)，由位於大埔道的政府水管連接到法院，為法院提供食水。水錶設於地下低層(LG/F)水錶房內。</li> <li>b) 於法院地下低層(LG/F)的食水泵房內，設有1個4000公升的食水玻璃纖維水缸。</li> <li>c) 地下低層(LG/F)的食水泵房內設有2組食水加壓水泵(流量：每小時14.4立方米，泵壓：45米，功率：5.5kW)和1個500公升壓力容器</li> </ol> </li> </ol>

屋宇裝備	現有設備
供水裝置 (續)	<p>2. 沖廁水供應</p> <p>a) 現有一條直徑50毫米的沖廁水管，由位於大埔道的政府水管連接到法院。現設有一個直徑50毫米水錶。</p> <p>b) 地下低層(LG/F)的水錶房內設有檢測錶。</p> <p>c) 於法院地下低層(LG/F)的沖廁水泵房，設有1個6000公升的沖廁水玻璃纖維水缸。</p> <p>d) 地下低層(LG/F)的沖廁水泵房內設有2組食水加壓水泵 (流量：每小時14.4立方米，泵壓：35米，功率：4kW)和 2個750公升壓力容器</p> <p>3. 清洗用水供應</p> <p>a) 清洗用水供應是由地下低層(LG/F)水錶房的直徑54毫米食水供應分拆出來。</p> <p>b) 1個直徑15毫米清洗用水水錶(水錶編號：M10-202123) 設於地下低層(LG/F)的水錶房內。</p> <p>c) 於法院地下低層(LG/F)的食水泵房，設有1個250公升的清潔水玻璃纖維水缸。</p> <p>4. 地下低層(LG/F)的食水泵房內設有2組清洗用水加壓水泵 (流量：1.44 L/s，泵壓：10米，功率：1.1kW)和 1個300公升壓力容器。</p> <p>5. 根據屋宇署記錄，地下低層(LG/F)的空調裝置機房的集水坑內，設有1個流量1 L/s及水壓9米的污水集水泵。</p>



屋宇裝備	現有設備
排水裝置	<ol style="list-style-type: none"> <li>1. 雨水 <ol style="list-style-type: none"> <li>a) 天台的雨水被排放到雨水渠，再由雨水渠經直身喉管排放到地下(G/F)或地下低層(LG/F)的渠道。</li> </ol> </li> <li>2. 污水 <ol style="list-style-type: none"> <li>a) 建築物的污水由去水渠收集，並排放至用地內的污水沙井，連接公共污水井(FMH 4016510)。</li> </ol> </li> <li>3. 渠務署的公共沙井及用地內現有的污水尾井和雨水尾井的位置載於<b>附錄VI(B)</b>。</li> </ol>
電訊網絡	<ol style="list-style-type: none"> <li>1. 用地內設有固定電訊網絡。</li> </ol>
氣體裝置	<ol style="list-style-type: none"> <li>1. 根據公共設施勘測結果，現場有一條直徑80毫米，由大埔道伸延至建築物南面的地下煤氣管道。</li> <li>2. 法院沒有使用煤氣。</li> </ol>

#### 4.8.2 消防與花灑泵房及水缸

屋宇裝備	現有設備
機械通風和空調系統裝置	<ol style="list-style-type: none"> <li>1. 機房內均裝有抽氣扇。</li> </ol>
消防裝置	<ol style="list-style-type: none"> <li>1. 機房設有手動火警警報系統及自動火警警報系統。</li> <li>2. 機房設有手提式滅火器。</li> </ol>
電力裝置	<ol style="list-style-type: none"> <li>1. 消防水泵及花灑水泵設有1個250A TPN自動轉換掣及300A TPN 匯流排箱，電纜由法院內接駁。</li> <li>2. 法院提供電力予空調系統，包括冷卻水泵、排放水泵及水塔。</li> </ol>
排水裝置	<ol style="list-style-type: none"> <li>1. 天台的雨水經由直身喉管排放到地面的渠道，期後再被排放到公共雨水排水系統。</li> <li>2. 機房的地面水經由用地內的污水沙井，再排到公共污水排水系統。</li> </ol>

### 4.8.3 露天前庭

屋宇裝備	現有設備
電力裝置	<ol style="list-style-type: none"><li>1. 北面露天前庭設有一支電燈柱。</li><li>2. 南面露天前庭並沒有電力裝置。</li></ol>
供水裝置	<ol style="list-style-type: none"><li>1. 食水供應<ol style="list-style-type: none"><li>a) 現有一條直徑22毫米的食水管由法院內伸延，接駁到法院南面入口的6個水龍頭</li></ol></li><li>2. 清洗用水供應<ol style="list-style-type: none"><li>a) 法院南面入口設有一個清洗用水取水點。</li></ol></li></ol>
排水裝置	<ol style="list-style-type: none"><li>1. 周邊斜坡的雨水被排放到現有地下(G/F)或地下低層(LG/F)的渠道。</li><li>2. 北面露天前庭的渠道連接到現有於用地西北面的集水井及於大埔道旁行人路上的公共雨水沙井。</li><li>3. 南面露天前庭的渠道連接到現有於大埔道旁行人路上的公共雨水沙井。</li></ol>

屋宇裝備的參考圖則載於**附錄 VI(B)**。有關圖則是從上任用戶中取得，可能與現場環境不符，申請機構應核實其準確性，才在其建議書中採納有關資料。

## **V. 周圍環境及前往途徑**

### **5.1 毗鄰環境**

前北九龍裁判法院位於一個配水庫下的西山腳。

沿前北九龍裁判法院南行數分鐘可到達美荷樓，為另一幢納入第一期活化計劃的歷史建築；而美荷樓的附近則為公共屋邨石硤尾邨。

毗鄰前北九龍裁判法院用地，有路德會救主學校及路德會救主堂。而在用地對面的大埔道旁，有一個休憩花園。在較遠的青山道和深水埗區，則主要為住宅及商業區。

顯示毗鄰環境的位置圖載於**附錄 I**。

### **5.2 前往途徑**

前北九龍裁判法院的前往途徑圖則載於**附錄 VIII**。

#### **5.2.1 車輛通道**

目前，前北九龍裁判法院有兩條經大埔道的車輛通道，闊度若為 4.8 米及 5.8 米，分別可到達北面露天前庭及南面露天前庭的停車場。

#### **5.2.2 緊急車輛通道**

大埔道被用作前北九龍裁判法院的緊急車輛通道，消防車可經由大埔道到達法院的正面前牆。

#### **5.2.3 上落客貨區**

現有用地未有提供指定上落客貨區。

#### **5.2.4 停車處**

前北九龍裁判法院北面及南面露天前庭設有兩個露天停車場，提供總共 22 個私家車車位、8 個電單車車位及 1 個暢通易達停車位。

#### **5.2.5 行人通道**

前北九龍裁判法院的主要行人通道設於大埔道。而法院與鄰近大

埔道的巴士站相距大約數分鐘的路程，與深水埗港鐵站則相距約十分鐘的路程。

#### **5.2.6 暢通無阻的通道(用地)**

要暢通無阻地前往北九龍裁判法院，可以經由車輛到達法院南面的停車場，該處設有暢通易達停車位。暢通易達升降機亦設於南面入口大堂。

#### **5.2.7 垃圾收集站**

根據屋宇署的紀錄圖則，用地範圍內沒有垃圾收集站。上任用戶將南面露天前庭的一部分空地用作臨時垃圾收集和處理的地方。

## VI. 保育指引

### 6.1 一般保育方法

6.1.1 申請機構在擬備修復工程建議書時，應細閱《威尼斯憲章》（國際古蹟遺址理事會）、《巴拉憲章》（國際古蹟遺址理事會澳洲分會）及《中國文物古蹟保護準則》（國際古蹟遺址理事會中國分會）最新版內所確立的文物保育國際原則。

6.1.2 我們明白，要在保持歷史建築的建築原貌與遵守現行《建築物條例》的法定要求之間取得平衡，涉及的問題相當複雜。關於這點，我們建議：

- (a) 當歷史建築進行大型改動工程及改變用途時，應妥為提升現有設備，以符合新用途的安全水平，使之與新建築物的標準看齊。歷史建築可作什麼用途，或會受制於保存重要建築特色（請參閱**附錄 IX**）的需要、場地限制或過高的提升設備費用；以及
- (b) 歷史建築的原有立面須全力予以保存，違例搭建物（如有的話）不在保存之列。如需進行加建及改動工程，應在建築物的後方或其他較不顯眼的地方動工。除非本保育指引准許，否則建築物原有的立面一般不應改動，亦不得干擾；換而言之，不得在歷史建築外部進行任何大型的加建或改動工程。重新粉飾外牆時，選用的設計及顏色必須與建築物的時代風貌和風格協調，並必須使用可還原<sup>1</sup>的塗料。如有固定安裝的指示標誌，應與建築物外部的時代風貌和風格配合，並必須在安裝前獲古物古蹟辦事處（古蹟辦）批准。

6.1.3 至於因應樓宇管制的法定要求而進行的翻新工程，現提供下列一般指引供申請機構參考。不過，下列指引並非詳盡無遺，獲選機構必須細閱有關當局（包括屋宇署、消防處、渠務署及其他相關部門）就建議書所施加的所有規定。

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<sup>1</sup> 「可還原」是指某項工作或工序可於日後取消或移除，而不會對歷史遺址或歷史建築（視屬何情況而定）造成實質傷害、損失、破壞或改變。

可能進行的建築工程	保育指引
a. 逃生通道	任何擬為門口、梯級等進行的改善工程，均須顧及建築物的歷史完整性，並在較不顯眼的地方動工。現有的逃生樓梯應在可行情況下盡量重用。
b. 採光和通風	如需改動或擴大任何原有窗戶，或增設窗口，均須顧及建築物的歷史完整性，並在較不顯眼的地方動工。
c. 暢通無阻的通道	任何擬為殘疾人士進行的通道改善工程，均須顧及建築物和周圍環境的歷史完整性，尤其是建築物的立面。現有的暢通無阻的通道、暢通易達升降機，以及暢通易達廁所應在可行情況下盡量重用。
d. 樓板、門、牆和樓梯的耐火結構	任何因應現行規定而需要進行的提升工程，均須顧及構件的歷史完整性和所用物料，有關構件很可能需要原位保留。
e. 樓板負荷量	任何因應「改變用途」規定而需要進行的提升工程，均須顧及樓板的歷史完整性和所用物料。應徵詢註冊結構工程師的意見。
f. 屋宇裝備	必須確保任何擬為歷史建築進行的電力供應、空氣調節、消防裝置和水管裝置提升工程均不屬「無法還原」的工程。現有的屋宇裝備系統應在可行情況下盡量重用。
g. 水管和衛生設備	由於現有設備不被視作具有歷史價值，因此可按需要重用、更換或加裝。
h. 污水系統、排水系統和廢物處置設施	所有予以保留的排水設施，均應一一檢查，並按需要加以檢修；亦應核實現有系統的處理能力和認可的廢物處置方式是否足夠，並按需要加以提升。

6.1.4 每幢歷史建築的狀況都是獨特的，故此，進行翻新工程遇到問題時，應按個別情況處理。若由於實行活化再利用建議方案而須遵守某些法定要求，以致無法遵從本保育指引所載規定，須先獲古蹟辦批准。

- 6.1.5 翻新工程難免會影響歷史建築，因此，獲選機構必須在動工前向古蹟辦提交文物影響評估報告，徵求同意。古蹟辦須諮詢古物諮詢委員會，方可同意。
- 6.1.6 獲選機構須按工程合約的預算造價，從發展局《認可公共工程承建商名冊 — 建築類別》（名冊見 <https://www.devb.gov.hk/Contractor.aspx?section=80&lang=2>）相應組別中，選用一名承建商進行翻新工程。該承建商亦須同時為屋宇署註冊的一般建築承建商（名冊見 [https://www.bd.gov.hk/tc/resources/online-tools/registers-search/registrationsearch.html?reg\\_type=GBC](https://www.bd.gov.hk/tc/resources/online-tools/registers-search/registrationsearch.html?reg_type=GBC)）。獲委聘承接翻新工程的承建商本身若非《認可公共工程物料供應商及專門承造商名冊—維修及修復有歷史性樓宇類別》上的認可專門承造商（維修及修復專門承造商），則必須從認可名冊中選用一名維修及修復專門承造商作專門分包商，為相關歷史建築「須予保存的建築特色」進行維修及修復工程。承建商若有需要，應參閱發展局的《認可公共工程物料供應商及專門承造商名冊》，並從相應類別／組別中為翻新工程選用其他專門分包商（名冊見 [http://www.devb.gov.hk/tc/construction\\_sector\\_matters/contractors/supplier/index.html](http://www.devb.gov.hk/tc/construction_sector_matters/contractors/supplier/index.html)）。

## 6.2 具體保育規定

- 6.2.1 前北九龍裁判法院位處大埔道，見證了深水埗區戰後的歷史發展。此外，該建築物亦用作裁判法院大樓超過 44 年，見證了香港司法制度的發展，與香港的法律與秩序息息相關。裁判法院於 1960 年代興建，屬當代典型具簡約古典風格的公共建築，此項建築價值與上述歷史及社會價值應在該址範圍內予以恰當詮釋。
- 6.2.2 裁判法院樓高七層，南北兩面各有一個露天前庭。大樓原用作裁判法院，分為三個不同的功能區域，供市民大眾及職員、裁判官，以及被告人／囚犯使用，各個區域設有獨立的通道、樓梯及升降機。
- 6.2.3 裁判法院於 2010 年進行改裝工程，改建為薩凡納藝術設計(香港)大學。裁判法院的外牆已予以保留和保存，而內部亦重新分間，以切合不同功能的需要，一些意義重大的主要建築特色元素亦予以保留和保育。舉例來說，中央通道區域(即地下(G/F)至二樓(2/F)的中央樓梯及大堂)獲得保留。地下(G/F)共有六間羈留室，當中五間及毗鄰的羈留室走廊也保留了原來的布局。其中一間羈留室予以原位保存，作公眾詮釋用途，其餘四間則曾進行小規模改動，活化再利用作行政辦公室及機房。位於二樓(2/F)的第一法庭，連同所有原有的木家具、布置及設備，均予以原位保存，而其餘三間同層的

大法庭房間經活化再利用後改為課室或工作室，安裝了樓底較矮的假天花。為各功能區域提供獨立通道的原樓梯中，有部分予以保留作詮釋用途。此外，一些樓梯曾進行改動，以符合法定要求或運作需要，而其中一個原有的升降機槽亦曾重建，以滿足人流需要。

- 6.2.4 某些保育原則(例如在可行情況下，盡量移除先前所作的改動干預措施，以及修復建築特色元素，以配合新的活化再利用項目)有助進一步彰顯歷史建築原有的文物價值，因此應考慮採納。
- 6.2.5 日後經擬議活化再利用工程原位保存的重要歷史特色，不應較現時保存下來的少。由於採用簡約古典設計的立面體現出該時期的典型公共建築風格，因此應大致保持原貌。至於有助展現司法機構建築特色的內部元素(例如獲保留的第一法庭、獲保留的羈留室連毗鄰羈留室走廊，以及獲保留的每個功能區域的專屬獨立樓梯)亦應保持原貌。為了更有效彰顯此歷史建築的原有設計，日後進行的活化再利用工程應在可行情況下盡量展示二樓(2/F)其他三間大法庭房間原有兩層高樓底的空間布局。
- 6.2.6 過往向屋宇署提交的法定文件載述了所採取的管理措施，以求在遵從現行法定要求和保持歷史建築的建築原貌真性之間取得平衡。現建議採取類似措施以原位保存此歷史建築的重要歷史特色。
- 6.2.7 某些建築特色元素必須原位保存，並按需要加以維修保養。這些建築特色元素載列於**附錄 IX**，相關的「規定處理方法」和「建議處理方法」則分別載於**附錄 X** 和 **XI**。
- 6.2.8 須全力實行**附錄 X** 所載的各項「規定處理方法」。如無法遵辦，須向古蹟辦解釋原因，以供考慮。至於**附錄 XI** 就本歷史建築所載的「建議處理方法」，應在可行情況下盡量執行。



## **VII. 城市規劃事宜**

- 7.1 前北九龍裁判法院在石硤尾分區計劃大綱圖編號 S/K4/29 中被劃為「政府、機構或社區」地帶，而東南面一角位於「綠化帶」中。整套分區計劃大綱圖，包括《圖則》、《註釋》及《說明書》，可從城市規劃委員會（城規會）的網站（網址：<http://www.info.gov.hk/tpb/>）下載。分區計劃大綱圖的相關摘要，以及「政府、機構或社區」地帶的《註釋》，載於**附錄 XII**。
- 7.2 「政府、機構或社區」地帶的規劃意向，主要是提供政府、機構或社區設施，以配合當地居民及／或該地區、區域，以至全港的需要；以及是供應土地予政府、提供社區所需社會服務的機構和其他機構，以供用於與其工作直接有關或互相配合的用途。
- 7.3 「政府、機構或社區」地帶的《註釋》（**附錄 XII**）載列經常准許的用途或發展（「第 1 欄」用途），以及須向城規會申請批准的用途（「第 2 欄」用途）。如欲申請進行第 2 欄所載的用途，必須根據《城市規劃條例》第 16 條向城規會作出申請。倘若申請機構提出的擬議用途不屬第 1 欄或第 2 欄所載的類別，則申請機構須根據《城市規劃條例》第 12A 條向城規會申請，要求城規會考慮修訂分區計劃大綱圖的區劃方式。除非獲得規劃處許可，建築物的高度限制不得超過 7 層高。
- 7.4 在遞交申請前，申請機構可向規劃署轄下的荃灣及西九龍地區規劃處徵詢意見 - 新界荃灣西樓角道 38 號荃灣政府合署 27 樓（電話：2417 6658，傳真：2412 5435）。
- 7.5 城市規劃委員會在收到根據《城市規劃條例》第 16 條提出的申請後，會在兩個月內予以考慮。城市規劃委員會可以在有條件或無條件的情況下拒絕或批准申請。城市規劃委員會就申請作出的決定，會在有關會議的記錄獲得通過後，以書面形式通知申請人。

## VIII. 土地及保育樹木事宜

### 8.1 土地事宜

用地界線圖載於**附錄 II**。

根據地政總署透過政府撥地(GLA-NK757)撥予發展局，因營運所需而提供的停車位及上落貨車位需符合運輸署的要求。獲選機構需檢視有關停車位的設計及要求，並提交圖則予相關政府部門作審批。

除非獲得地政專員書面批准，用地的車輛出入口需限於用地北面和南面面向大埔道的位置。

不准於用地範圍內製作混凝土及焚燒垃圾或其他物料。

用地內任何新建構築物，或於現有建築物或構築物進行加建，根據工程條款第 1 和 37 條，均需要於工程開展前獲得地政總署及古物古蹟辦事處許可。

### 8.2 樹木事宜

根據 2020 年 5 月所準備的樹木評估表，用地內的鄰近範圍共有 81 棵樹木，而當中有 58 棵樹木位於用地範圍內。而在康樂及文化事務署（康文署）管理的《古樹名木冊》內，用地內沒有任何古樹名木記錄。用地內已測量的樹木均已作標記，樹木編號分別為 T1 至 T81。記錄樹木狀況和品種的樹木評估表載於**附錄 XIV**。

總括而言，活化項目不得干擾有關用地或鄰近地方生長的樹木，除非事先得到地政總署、古物古蹟辦事處及其他相關部門的書面許可，而有關當局在給予許可時，可施加其認為合適的條件例如移植樹木、補償種植或重植樹木等。

獲選機構須負責活化項目範圍內的園藝及樹木之保養。

## IX. 斜坡維修

根據於 2020 年 6 月 4 日於地政總署的「系統性鑑辨本港斜坡維修責任小組」(SIMAR) 的記錄，毗鄰用地及用地範圍內共有四幅斜坡及擋土牆。下表及附錄 XV 中包含的這些斜坡及擋土牆特徵細節建基於 (SIMAR) 資料以僅供參考，獲選機構應評估並核實斜坡及擋土牆的狀況。

### 斜坡 1:

斜坡編號	分段編號	地點	負責方	維護代理人
11NW-B/C66	-	位於政府撥地第 NK757 號內, 並毗連該地	發展局	建築署

### 斜坡 2:

斜坡編號	分段編號	地點	負責方	維護代理人
11NW-B/C577	-	位於政府撥地第 NK757 號及近其南面角落的政府土地內	發展局	建築署

### 斜坡 3:

斜坡編號	分段編號	地點	負責方	維護代理人
11NW-B/CR67	1	部分位於政府撥地第 NK 757 號內，部分位於政府撥地第 NK 739 號內，並部分在毗連新九龍內地段第 4456 號及增批部分的未批撥政府土地上	發展局	地政總署
11NW-B/CR67	2	部分位於政府撥地第 NK 757 號內，部分位於政府撥地第 NK 739 號內，並部分在毗連新九龍內地段第 4456 號及增批部分的未批撥政府土地上	地政總署	地政總署

11NW-B/CR67	3	部分位於政府撥地第 NK 757 號內，部分位於政府撥地第 NK 739 號內，並部分在毗連新九龍內地段第 4456 號及增批部分的未批撥政府土地上	新九龍內地段第 4456 號及增批部分	不適用
11NW-B/CR67	4	部分位於政府撥地第 NK 757 號內，部分位於政府撥地第 NK 739 號內，並部分在毗連新九龍內地段第 4456 號及增批部分的未批撥政府土地上	康樂及文化事務署	建築署

**斜坡 4:**

斜坡編號	分段編號	地點	負責方	維護代理人
11NW-B/R168	-	位於政府撥地—新九龍第 757 號內，在薩凡納藝術設計(香港)大學	發展局	建築署

獲選機構須讓政府或其委派代表到達有關斜坡及擋土牆，以進行所需的斜坡維修工作。如獲選機構就活化再用該址所提出的建議，會對現存斜坡及擋土牆構成影響，則獲選機構須按其建議書，對用地作出充足的土力評估，並對受影響的斜坡進行建築事務監督或其他政府部門所要求的斜坡改善工程。獲選機構日後也須要負責受活化工程影響的斜坡之維修和保養，並支付所需費用，不論有關斜坡是否經已註冊。

獲選機構應諮詢相關政府部門，例如屋宇署及土木工程拓展署轄下土力工程處以確保關於活化計劃之所有斜坡及擋土牆穩定。

任何斜坡改善工程均不應改變用地內的建築物的外觀，或對任何位於用地或周邊的斜坡及構築物的穩定性造成不利影響。

## X. 符合可行用途的技術規格

### 10.1 可予考慮的用途

該址可作活化再用的用途包括：

- (a) 教育機構；
- (b) 食肆；
- (c) 康體文娛場所；和
- (d) 研究所、設計及發展中心

每項實例的技術可行性均需再作考量。申請機構可就該址最適合的可行用途提出建議。申請機構須參考城市規劃委員會網頁上載之「詞彙釋義」文件來確定該建議用途是否符合城市規劃的要求。申請機構並須要就建議用途考慮技術上要求，包括：結構的可行性及保育要求。

### 10.2 技術方面的考慮

須顧及技術方面的考慮包括：

- (a) 符合《建築物條例》及相關規定，包括但不限於：

規定	備註
1. 逃生途徑	獲選機構需要為這幢建築物進行一些現有逃生安排的修改，以適應新的用途和布局，並符合《2011年建築物消防安全守則》的規定。
2. 耐火結構	獲選機構須作進一步研究以證明現有建築物構件有足夠的耐火性。獲選機構可能需要進行一些改善工程以適應新的用途，並符合《2011年建築物消防安全守則》的規定。
3. 消防及救援通道	消防及救援通道，包括消防升降機及緊急車輛通道已在2010年第一期活化計劃中提供。對於第10.1段中提及可予考慮的用途，現有的消防及救援通道基本上已經可以符合規定。獲選機構可能需要進行一些改善工程，以適應新的用途和布局。
4. 暢通無阻的通道及設施	多項暢通無阻的通道及設施如暢通易達升降機、無障礙斜道、暢通易達洗手間等經

規定	備註
	<p>已在2010年第一期活化計劃中提供。</p> <p>儘管現時用地已提供暢通無阻的通道及設施，獲選機構仍需定時檢視用地的設施以符合《設計手冊：暢通無阻的通道2008》。</p>
5. 防止從高處墜下	<p>在 2010 年的第一期活化計劃中，已裝設或提升現有欄杆及扶欄。獲選機構須參考並遵從屋宇署於 2010 年所准予的修訂條件。將來有可能需要就建議用途，按照屋宇署的規定，進行改善及提升。</p>
6. 結構足夠性	<p>進行全面結構勘察以確保現時建築物的結構構件可以符合將來的用途。根據結構評估的結果和建議用途，可能需要對現有結構進行加固工程。</p>
7. 消防裝置的規定	<p>在 2010 年第一期活化計劃中已設有消防裝置，獲選機構需要遵守消防處制定之《最低限度之消防裝置及設備守則》及《裝置及設備之檢查、測試及保養守則》的要求。</p>
8. 天然照明與通風	<p>在 2010 年第一期活化計劃中洗手間和辦公室已設有機械通風與人工照明。其後的改建及加建工程，應按照《建築物（規劃）規例》設計。如果用地有限制，建築事務監督可能會為修改申請作考慮。</p>
9. 提供衛生設備	<p>在建築物內已有具備相關衛生設備的男廁、女廁及暢通易達洗手間。</p> <p>雖然建築物已設有衛生設備，獲選機構亦需為建議用途，重新檢視所有設施以符合《建築物(衛生設備標準、水管裝置、排水工程及廁所)規例》。</p>
10. 排水裝置	<p>現有污水和雨水排放系統均已接駁至政府公用污水和雨水系統。因應將來有不同的建築物用途而可能會增加污水的排放量，現有的排水系統需要作出改動。</p> <p>若建築物用作餐廳用途，需要符合食物環境衛生署（食環署）及環境保護署的指引及要求，於所有污水排放至公眾喉管前應要加裝隔油池。</p>

- (b) 符合發牌規定（在營運上須獲發牌的用途）；
- (c) 符合城市規劃要求（詳見本資料冊**第 VII 部分**）；以及
- (d) 符合保育指引（詳見本資料冊**第 VI 部分**）

上文所述並非全部的技術考慮因素而無遺漏之處。申請機構需注意在擬備建議書時，或需考慮其他技術方面的情況。其亦可參考屋宇署網頁 ([www.bd.gov.hk](http://www.bd.gov.hk)) 上的《認可人士、註冊結構工程師及註冊岩土工程師作業備考 PNAP APP-69》及《2012 年文物歷史建築的活化再用和加建工程實用手冊》（2019 年版）。

### 10.3 其他可行用途的進一步資料

我們已就上文第 10.1 段所述用途進行初步研究。下文列出的資料或對申請機構有用：

- (a) 文物保育  
申請機構需按照本資料冊**第 VI 部分**保育指引的要求，以解決由加建及改建工程衍生相關技術上的問題。
- (b) 規劃  
上文第 10.1 段所列舉而又可作考慮的用途，乃屬政府、機構或社區，根據「分區計劃大綱圖」內註釋的第一欄，都是屬於「經常准許的用途」。申請機構需檢閱城市規劃委員會是否有就分區計劃大綱圖及註釋作出更新。
- (c) 緊急車輛通道  
用地於 2010 年第一期活化計劃中，提供緊急車輛通道，符合《2011 年建築物消防安全守則》中 D 部分第 6 節的標準。申請機構需檢視就將來建議用途是否符合有關最新規定。
- (d) 發牌工作
  - (i) 若此活化項目之用地用作教育機構，獲選機構須核實建議的運作模式是否屬《教育條例（第 279 章）》所界定的“學校”。若是，獲選機構須向教育局常任秘書長提出學校註冊之申請。有關註冊程序的資料及表格可從教育局網頁 (<http://www.edb.gov.hk>) 下載。
  - (ii) 如擬以此用地作為餐飲處所，提供食物或非瓶裝飲料（不包

括涼茶)，獲選機構須向食環署申領有關牌照。有關申領食物牌照 / 許可證程序及相關表格可從食環署網頁 (<http://www.fehd.gov.hk/english/licensing/index.html>) 下載。

- (iii) 若此用地作為展覽場地或康樂/文娛場所，獲選機構如經營下列用途，須向食物環境衛生署（食環署）申領有關牌照：
- (a) 下述任何一項或多於一項的展覽：圖畫展覽、攝影展覽、書刊展覽、手稿展覽，或其他文件或事物展覽
  - (b) 運動展覽
  - (c) 電影放映或激光投影放映

有關申領公眾娛樂場所(戲院及劇院除外)牌照/許可證及相關事宜的詳情，申請機構可瀏覽食環署網頁 ([https://www.fehd.gov.hk/tc\\_chi/licensing/guide.htm](https://www.fehd.gov.hk/tc_chi/licensing/guide.htm))。

(e) 結構荷載要求

根據《建築物（建造）規例》，屋宇署訂明各種用途的最少均布外加荷載已列於下表：

可行的活化再用類別	最少外加荷載 (kPa)	《建築物（建造）規例》類別編號	《建築物（建造）規例》註明的用途
教育機構	3.0	3	課室、講室、教學輔導室、電腦室及沒有藏書的閱覽室
食肆	4.0	3	餐館、咖啡室及快餐店
康體文娛場所	3.0	3	不能用作集會用途的休憩、康樂及娛樂場地
研究所、設計及發展中心	3.0	2	實驗室、沒有由中央動力推動的機械亦沒有貯物的輕型工作室



#### **10.4 經常性開支**

為方便申請機構預計營運開支，我們在**附錄 XVI** 載列我們所估計有關營運歷史建築的部分常見經常項目的開支，包括電費、水費、排污費、差餉和地租。申請機構需注意，此估計開支是按可能用途和有關假設而計算，只供參考之用。建議申請機構就其建議及特定的營運要求，自行作出適當的調整。

## **XI. 本項目的特別規定**

申請機構在制定申請建議書時須參考本部分的特別注意事項，並在其建議書中闡釋如何把這些特別注意事項納入建議內。

### **11.1 一對開放式大樓梯和中央樓梯**

法院的一對開放式大樓梯和中央樓梯的防護欄障，已在 2010 年獲屋宇署批准就《建築物（建造）規例》內的部分規定作出變通。該變通是基於認可薩凡納藝術設計(香港)大學所提出的承諾。

一對開放式大樓梯、中央樓梯及毗鄰的入口大堂以及大堂/學生休息處(中央大堂) 應遵從屋宇署所批准的圖則和上述承諾書上的要求。申請機構須要就將來建議改變之用途呈交一份新的申請，包括可行的管理措施，夾附有關理據和承諾，徵詢所有有關部門的許可，並須保存大樓梯現有的裝飾鐵製扶欄不作改動，及應避免對現有中央樓梯的扶手及扶欄進行改動及提升工程。

### **11.2 消防與花灑泵房及水缸和臨時構築物**

位於南面露天前庭的消防與花灑泵房及水缸和臨時構築物並不屬於歷史建築物評級界線範圍內。消防與花灑泵房及水缸是於第一期活化計劃內興建的，並用作裁判法院中的機房。而臨時構築物則早於第一期活化計劃前已建成，並且在第一期活化計劃工程中計算入非住用建築物的上蓋面積百分率及地積比率中，臨時構築物及其室外休憩用地被薩凡納藝術設計(香港)大學用作辦公室及接待處，招待學生及訪客。

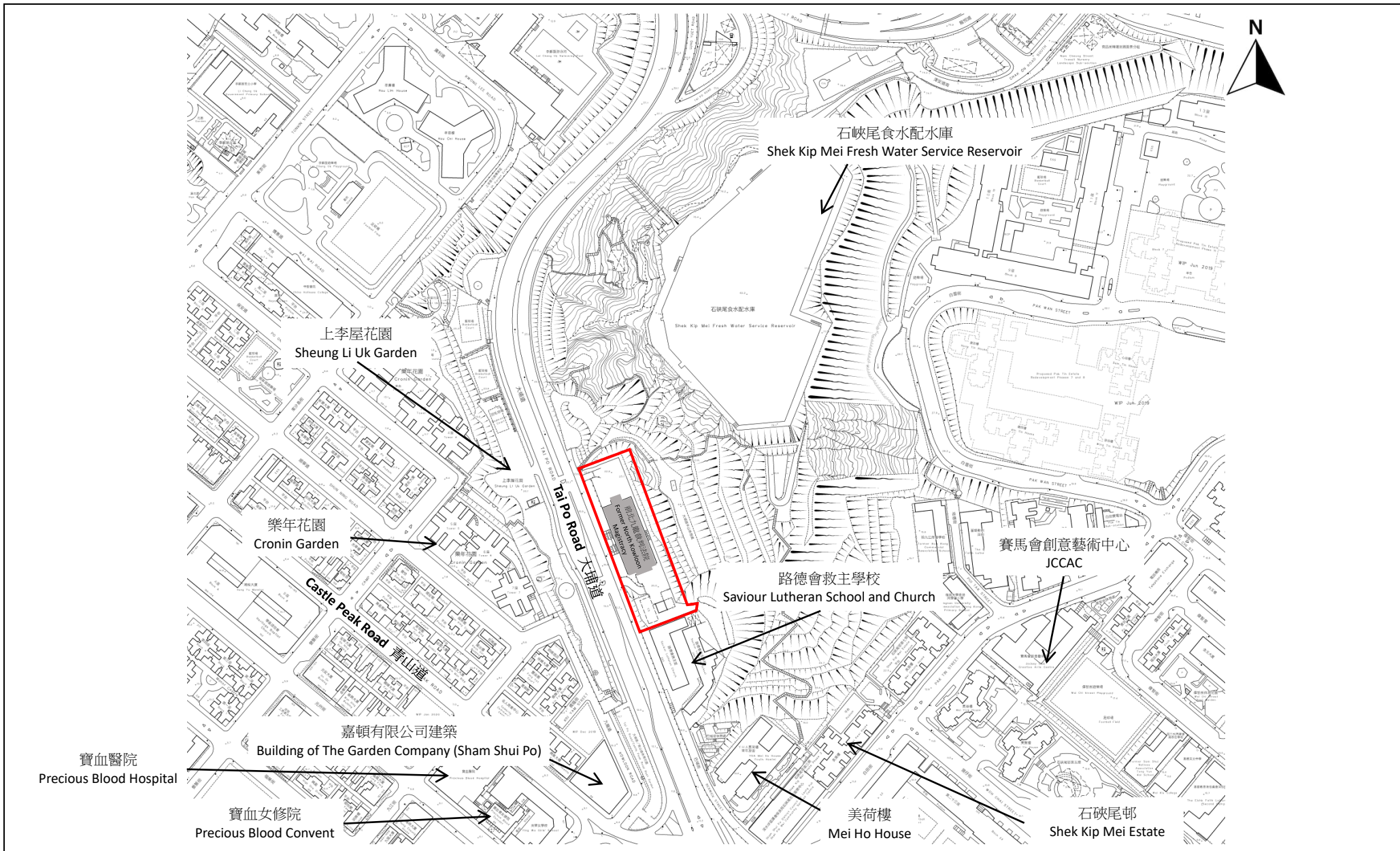
若獲選機構有意使用臨時構築物，則須就相關的建議呈交一份新的申請，確保臨時構築物的結構安全，並須事先獲得相關政府部門的批准，包括但不限於屋宇署、城市規劃委員會及古物古蹟辦事處等。此外，有關建議亦需要符合相關法例所列明的要求，包括但不限於《建築物條例》（第 123 章）及《城市規劃條例》（第 131 章）。

若有意清拆臨時構築物，不論是否於該處的地面及/或地底興建新的構築物，以提供額外空間以支援社會企業服務，也可能允許的。其新構築物（如有的話）應盡量減少對現有建築物的干擾，主要用來支援歷史建築物的活化重用。要達致此目的，如有新構築物，申請機構需盡量利用現有歷史建築物以提供其主要社會企業的運作，並在設計新構築物時遵守以下規定：

- (a) 作為二級歷史建築，前北九龍裁判法院擁有獨特的文物價值，因此新構築物的設計應與現有歷史建築物及其外形有相容性，並且不會影響其視覺上的效果。新構築物的規模及比例應配合將來的使用用途及現有歷史建築物，並且不會喧賓奪主。
- (b) 申請機構應遵守於建築物條例、分區計劃大綱圖及土地契約中所訂明的有關建築物高度限制、最大上蓋面積及最高地積比率的規定。
- (c) 申請機構應遵守**附錄 X** 保育守則內第 1.4 項的要求。新的構築物之最終高度，如有的話，必須被面向大埔道之自然樹木園景所遮蓋，不能對現有歷史建築物造成視覺上的影響。
- (d) 任何於用地上的新建構築物，或於原有建築物上進行的加建，均須遵從相關法例要求，並得到相關政府部門，包括地政總署、規劃署、屋宇署及古物古蹟辦事處的同意，才能得以展開。

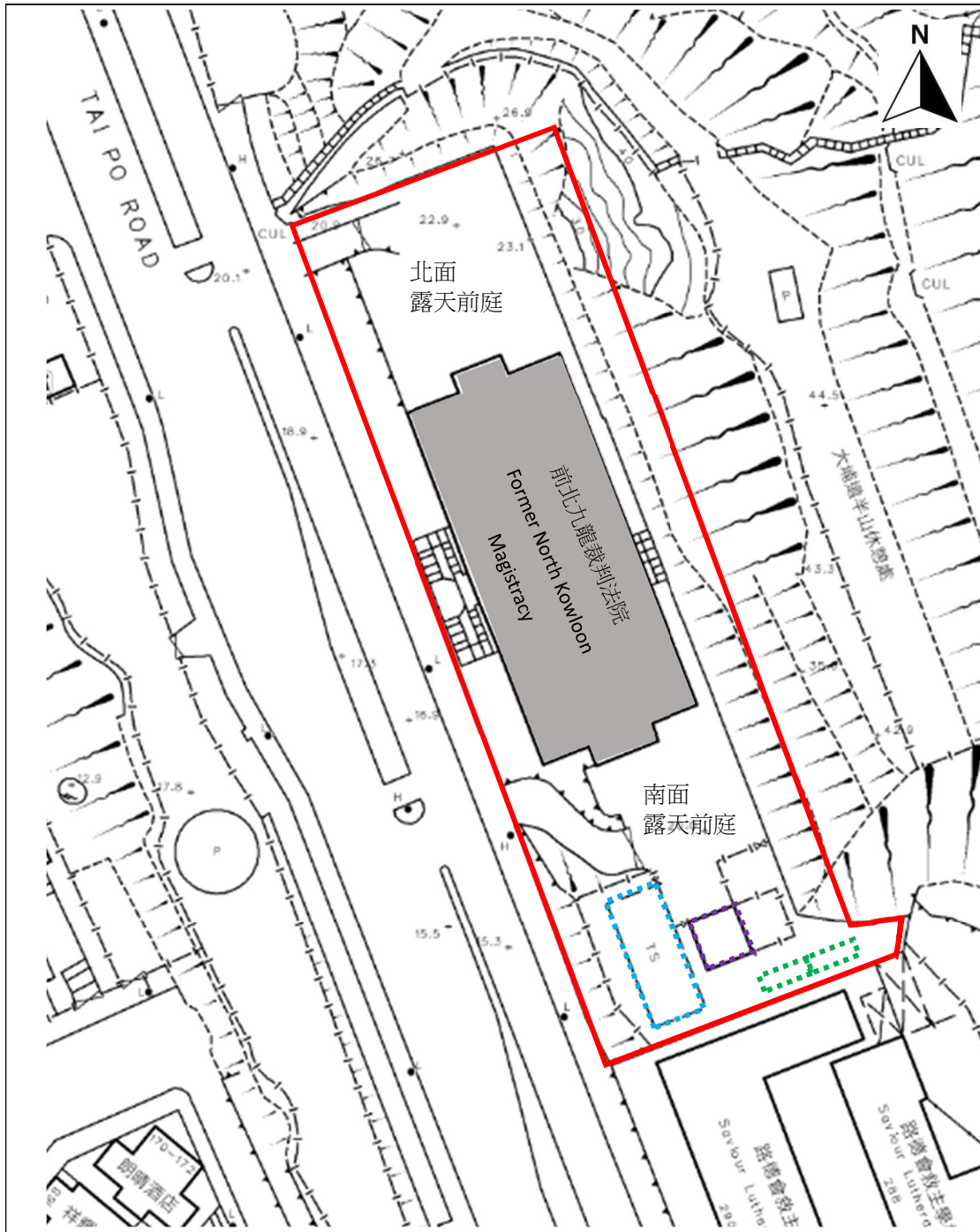
附錄 I

位置圖



	<b>SITE BOUNDARY</b>	<b>FORMER NORTH KOWLOON</b>	<b>APPENDIX I</b>
<b>EXTRACT PLAN BASED ON SURVEY SHEET NO. 11-NW-9C</b>		<b>MAGISTRACY</b>	<b>LOCATION PLAN (NOT TO SCALE)</b>

附錄 II  
用地界線圖



- 用地界線
- 臨時構築物
- 臨時存放處
- 消防與花灑泵房及水缸

根據第 11-NW-9C 號測量地圖繪製

前北九龍裁判法院

附錄 II  
用地界線圖  
不按比例

## 附錄 III

### 歷史建築物評級界線圖

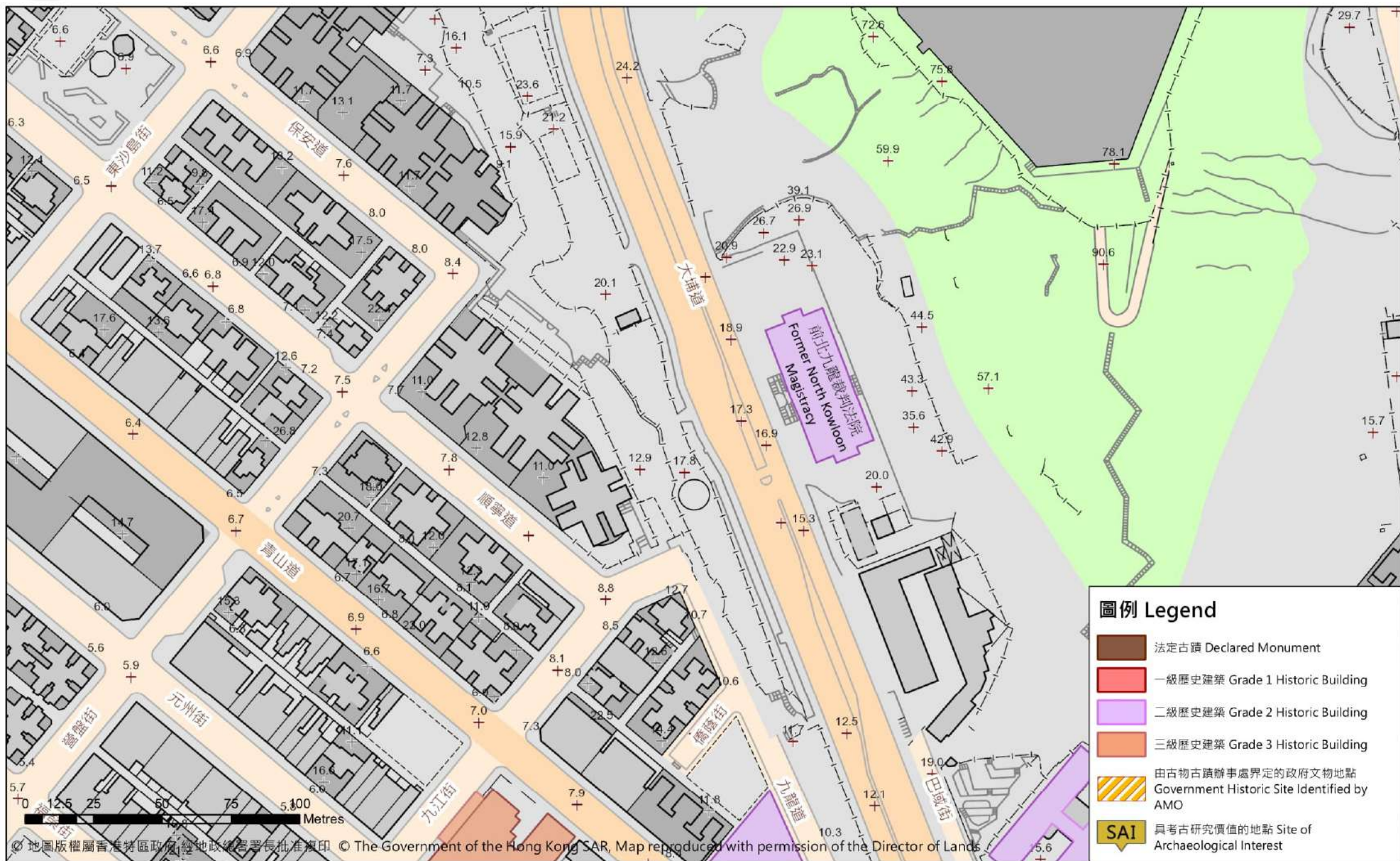




# 香港文物地理資訊系統

Geographical Information System

on Hong Kong Heritage



### 圖例 Legend

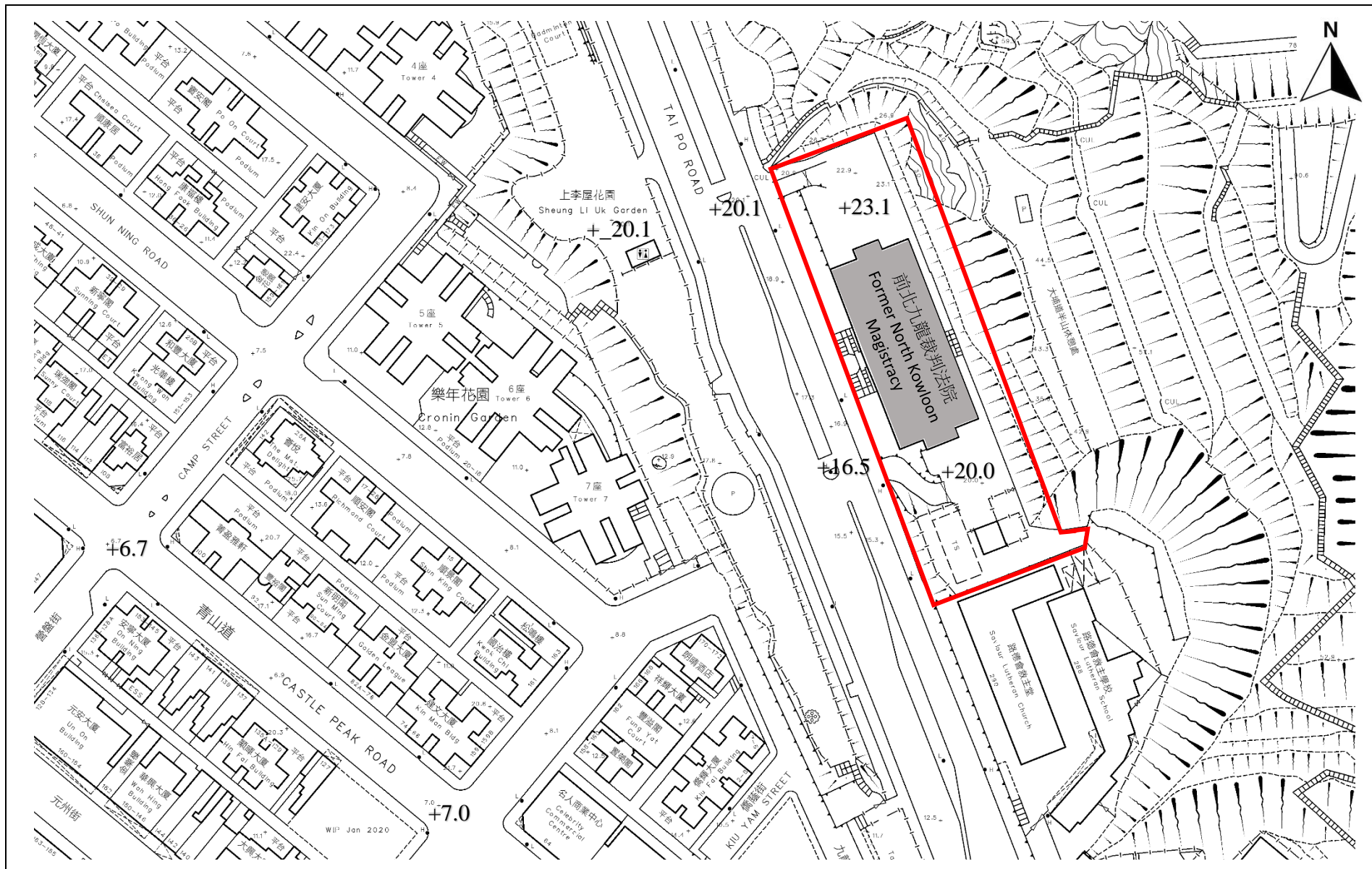
- 法定古蹟 Declared Monument
- 一級歷史建築 Grade 1 Historic Building
- 二級歷史建築 Grade 2 Historic Building
- 三級歷史建築 Grade 3 Historic Building
- 由古物古蹟辦事處界定的政府文物地點  
Government Historic Site Identified by AMO
- SAI 具考古研究價值的地點 Site of Archaeological Interest

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只作識別用 FOR IDENTIFICATION PURPOSES ONLY

附錄 IV

基準線水平圖



用地界線

+20.1 在主水平基準上 20.1 米

根據第 11-NW-9C 號測量地圖繪製

前北九龍裁判法院

附錄 IV

基準線水平圖

不按比例

## 附錄 V

### 用地及建築物資料摘要

該用地的資料摘要載列如下：

建築物名稱	前北九龍裁判法院
地址	九龍大埔道 292 號
用地面積	約 4,815 平方米
主要基準水平	介乎主水平基準以上約 16.5 米至 23.1 米
規劃地帶	政府、機構或社區 (佔用地主要部分)

建築物的資料摘要載列如下：

幢數 (永久構築物)	2 幢 (前北九龍裁判法院及消防與花灑泵房及水缸)
落成年份	- 1960 (前北九龍裁判法院) - 2010 (消防與花灑泵房及水缸)
總樓面面積	約 7673 平方米
歷史評級	二級歷史建築 (不包括消防與花灑泵房及水缸)
原本用途	裁判法院
最近用途	教育機構 自 2010 年 9 月，薩凡納藝術設計學院基金(香港)有限公司透過第一期活化歷史建築伙伴計劃，將前北九龍裁判法院活化為薩凡納藝術設計(香港)大學，並將會於 2020 年 7 月終止營運。

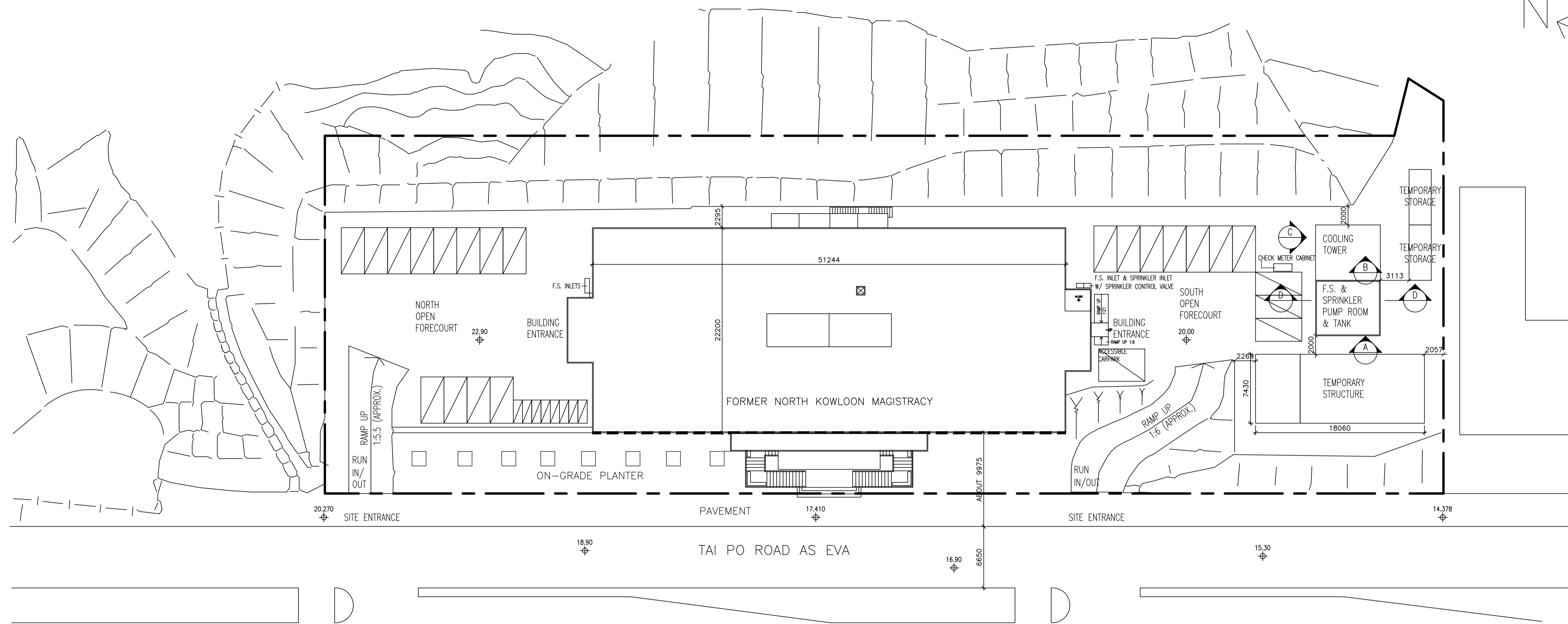
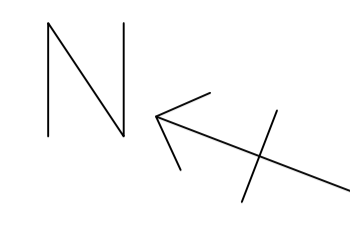
附錄 VI(A)

建築圖則

## 附錄 VI(A) – 建築圖則

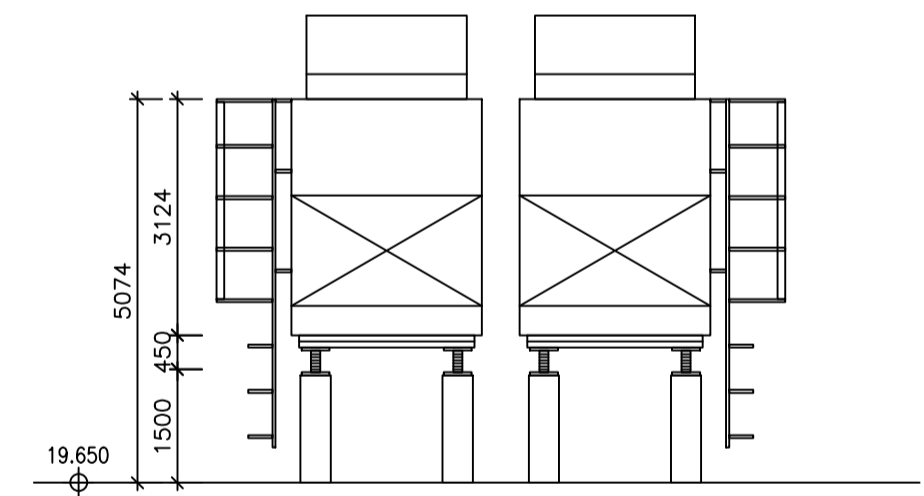
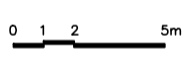
### 圖則清單

	圖則編號	圖則名稱
1.	NK-01	用地平面圖
2.	NK-02	地下低層平面圖
3.	NK-03	地下平面圖
4.	NK-04	一樓平面圖
5.	NK-05	二樓平面圖
6.	NK-06	三樓平面圖
7.	NK-07	四樓平面圖
8.	NK-08	五樓平面圖
9.	NK-09	天台平面圖
10.	NK-10	剖面圖 A-A
11.	NK-11	剖面圖 B-B
12.	NK-12	西面立面圖
13.	NK-13	南面立面圖
14.	NK-14	東面立面圖
15.	NK-15	北面立面圖

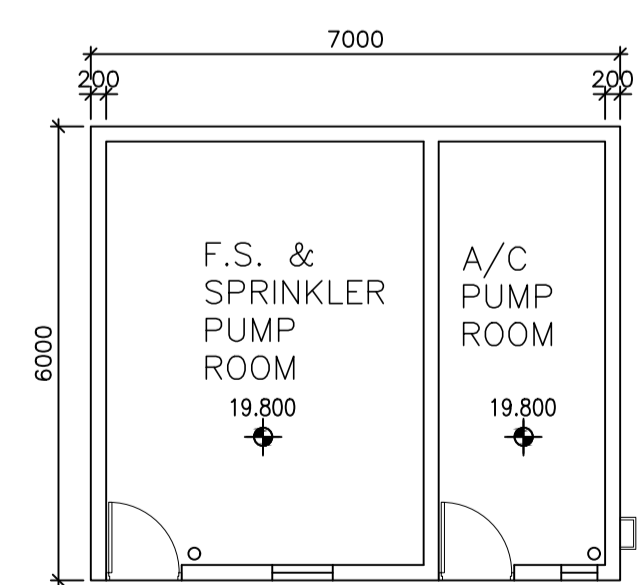


**BLOCK PLAN & E.V.A. PLAN**

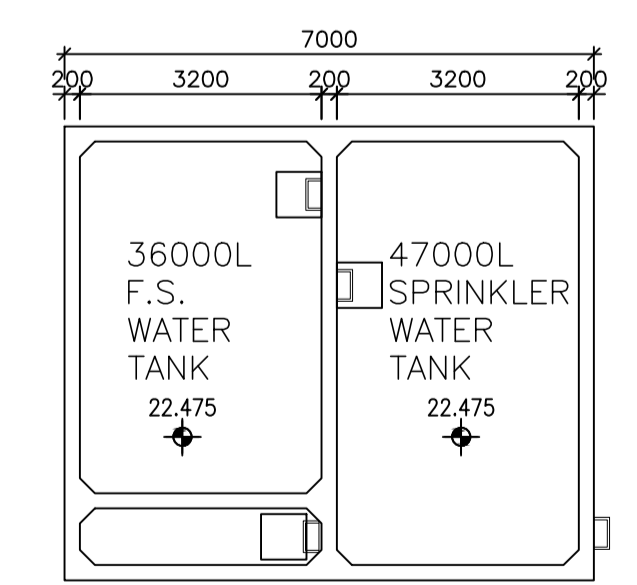
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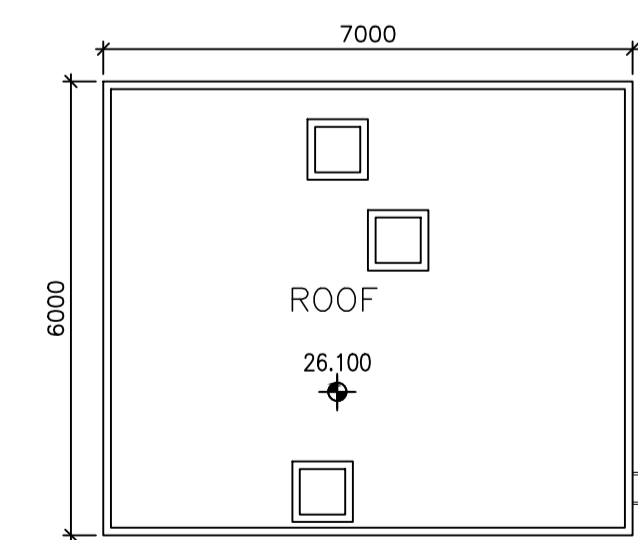
ELEVATION B



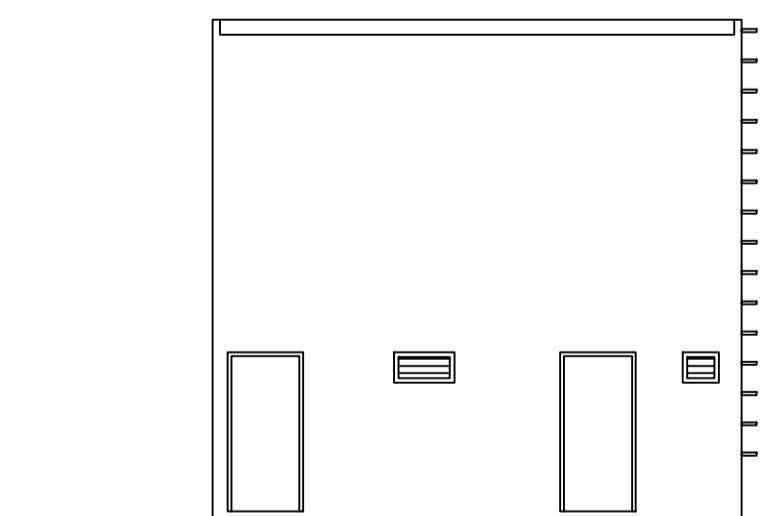
GROUND FLOOR PLAN



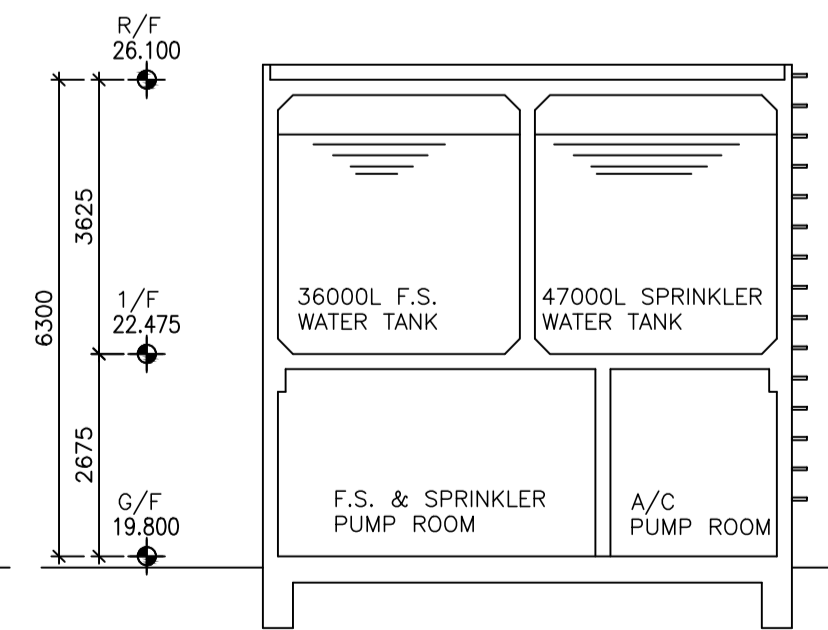
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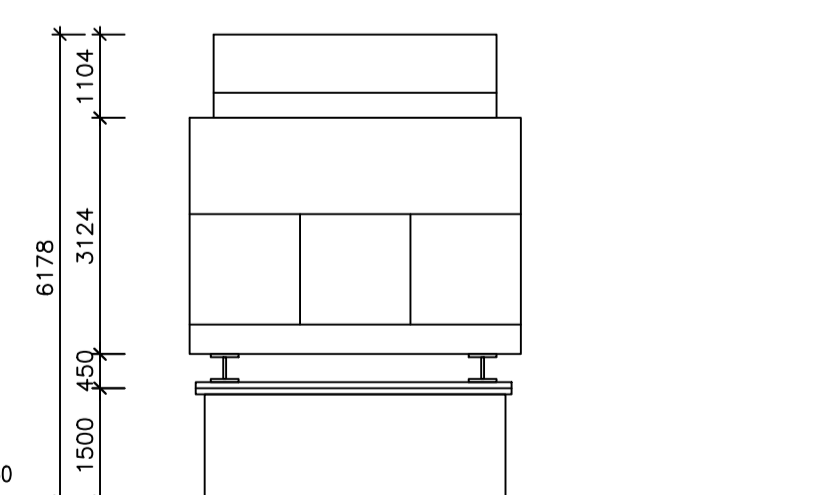
ROOF FLOOR PLAN



ELEVATION A



SECTION D



ELEVATION C

**F.S. & SPRINKLER PUMP ROOM**

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 STRUCTURAL FLOOR LEVEL  
 REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



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PROJECT TITLE:  
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 KOWLOON MAGISTRACY,  
 NO.292 TAI PO ROAD,  
 SHAM SHUI PO,  
 KOWLOON

DRAWING TITLE:  
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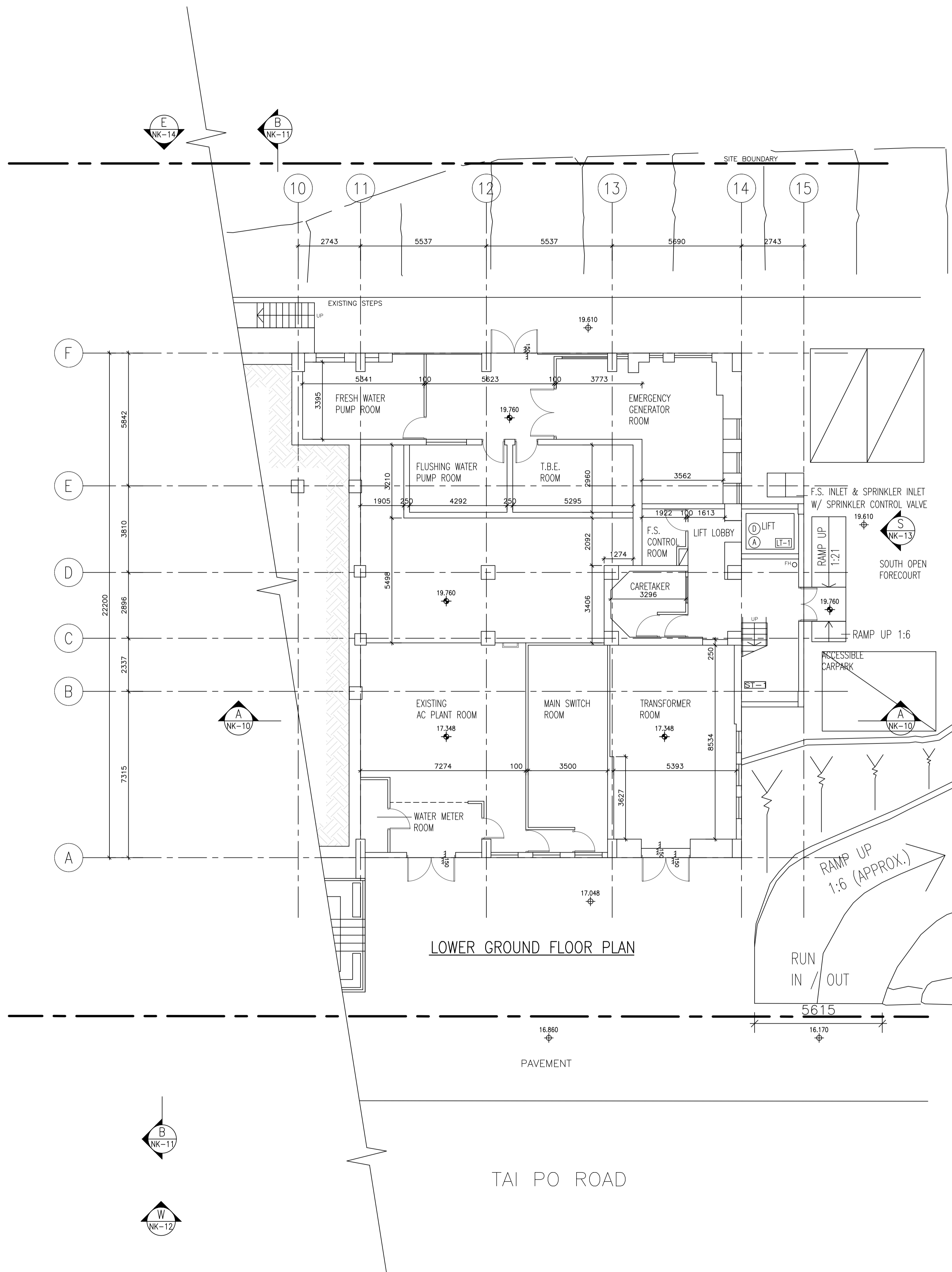
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STATUS:





LOWER GROUND FLOOR PLAN

TAI PO ROAD

0 1 2 5m

LEGEND:  
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 ⊕ STRUCTURAL FLOOR LEVEL

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 PLAN

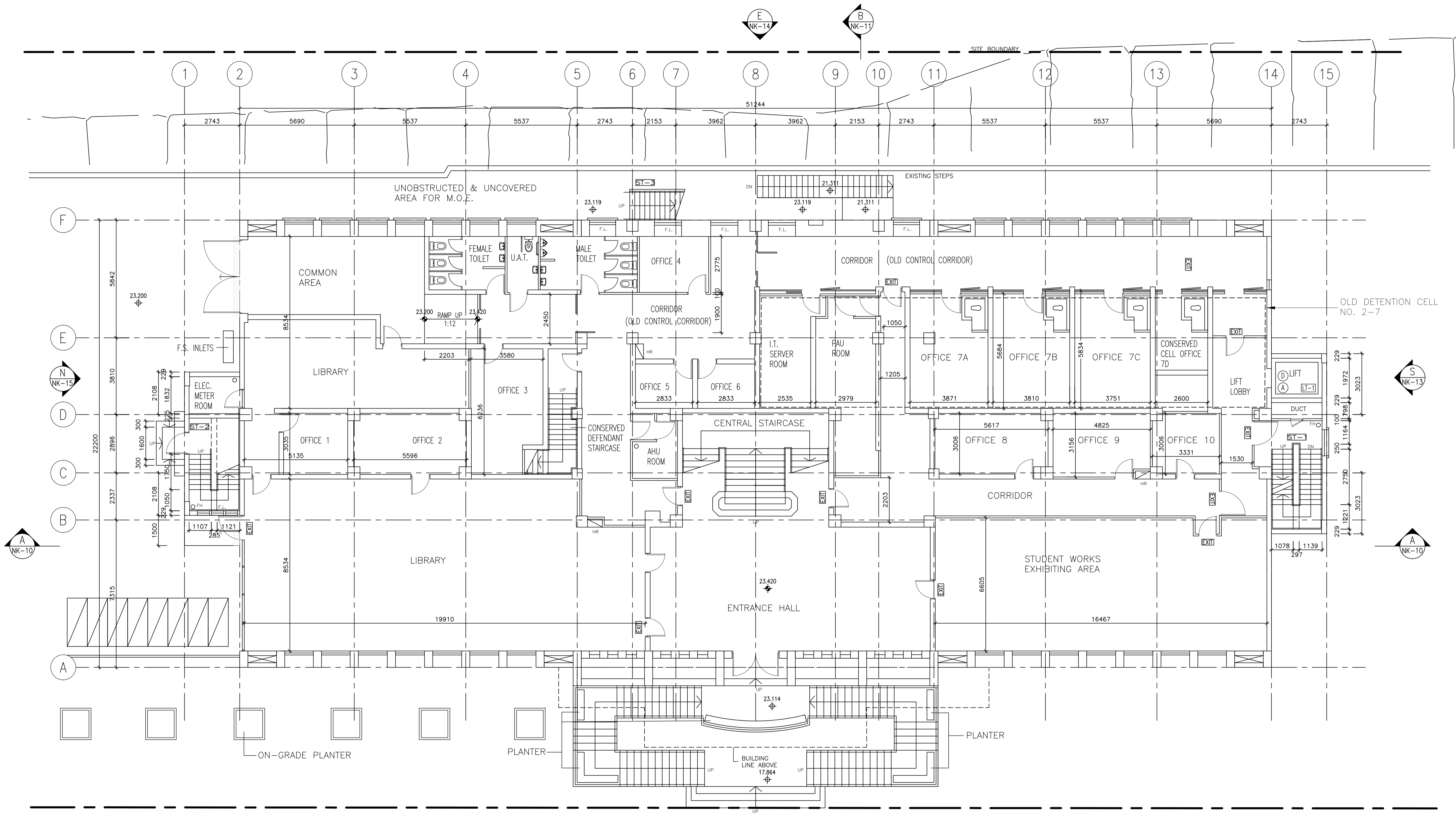
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STATUS:



GROUND FLOOR PLAN

TAI PO ROAD

LEGEND:  
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 ⊕ STRUCTURAL FLOOR LEVEL  
REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

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 NO.292 TAI PO ROAD,  
 SHAM SHUI PO,  
 KOWLOON

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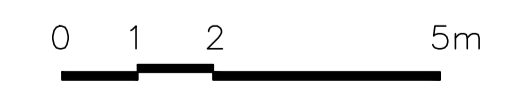
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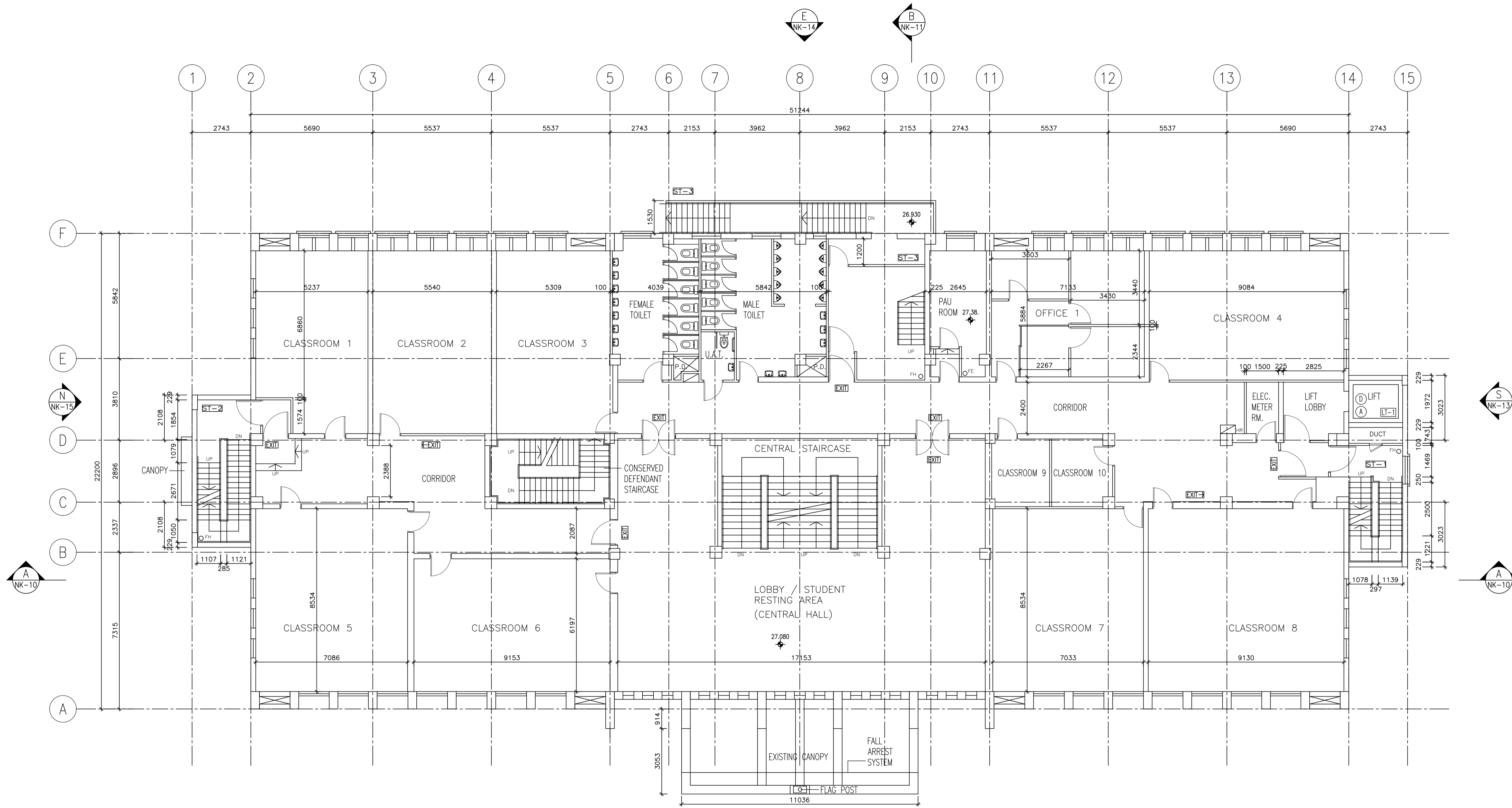
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STATUS:





FIRST FLOOR PLAN

LEGEND:  
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 ⊖ STRUCTURAL FLOOR LEVEL

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 SHAM SHUI PO,  
 KOWLOON

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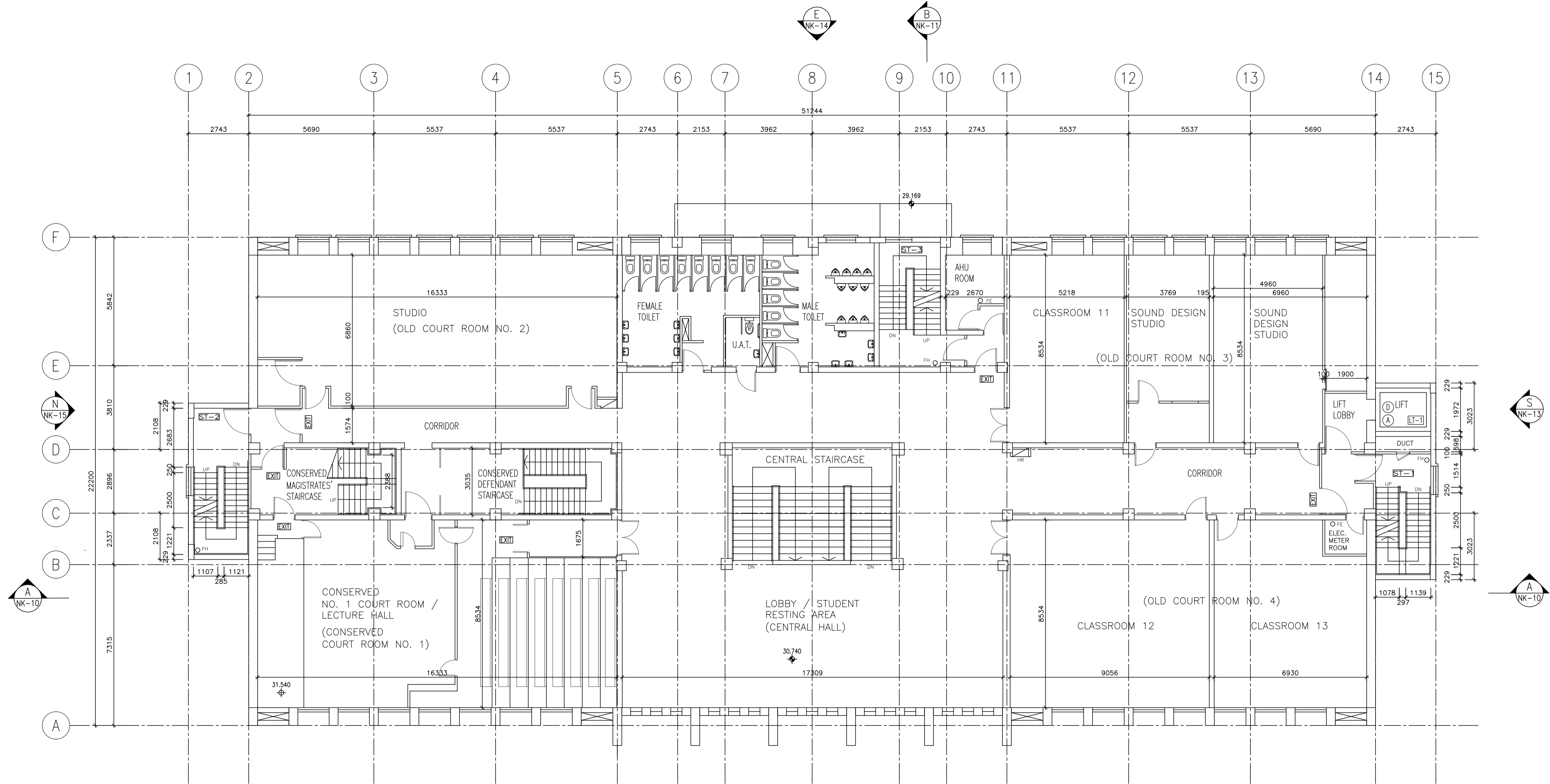
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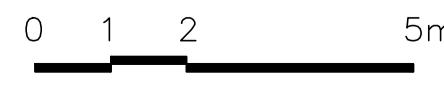
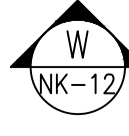
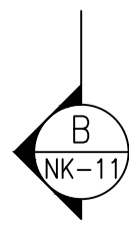
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SECOND FLOOR PLAN



LEGEND:  
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 ⊕ STRUCTURAL FLOOR LEVEL  
REMARKS: FLOOR LEVELS INDICATED IN THIS ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2016.



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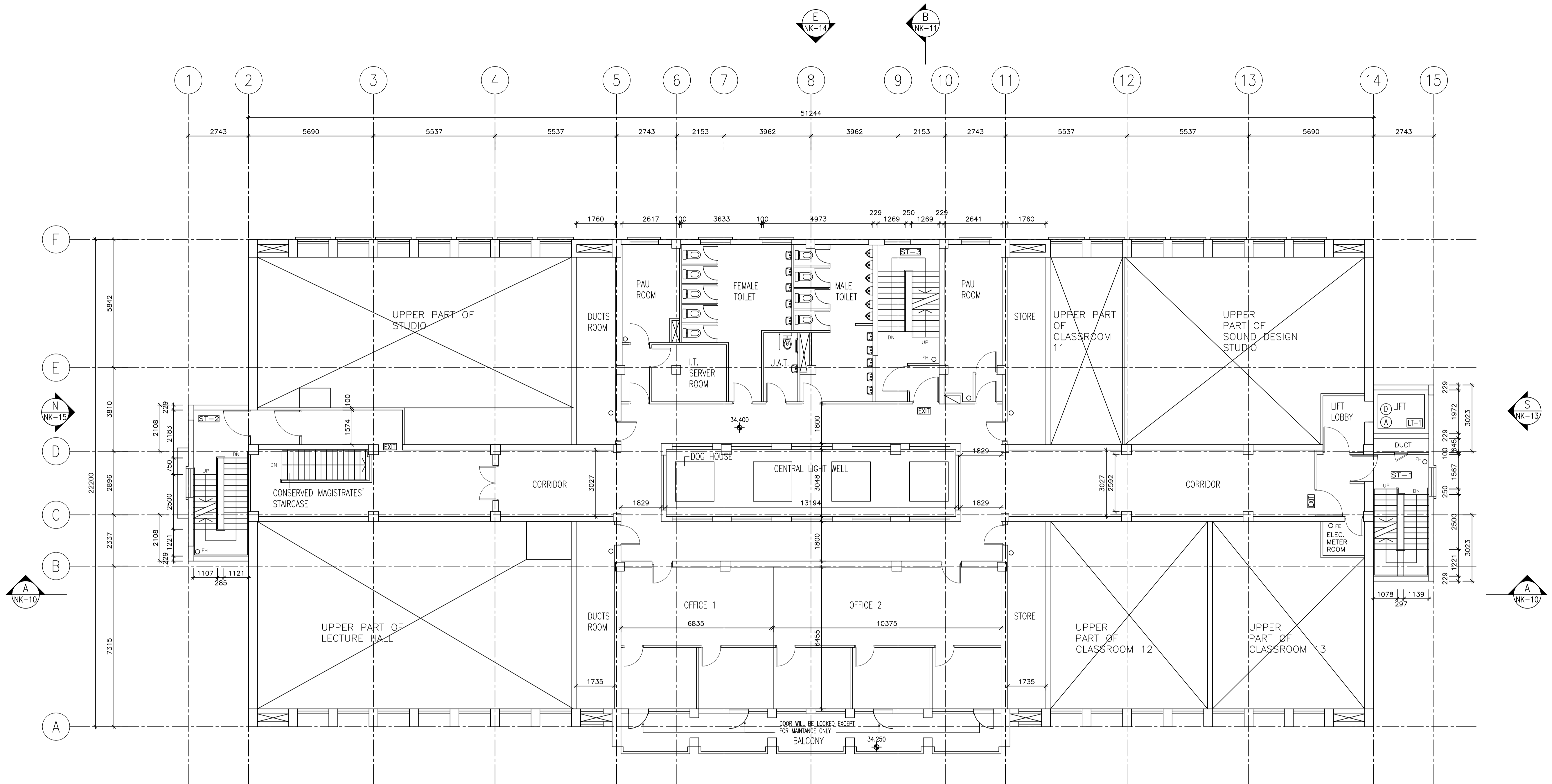
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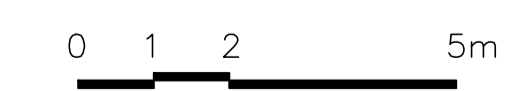
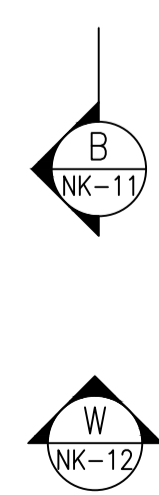
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STATUS:



THIRD FLOOR PLAN



- LEGEND:
- FINISHED FLOOR LEVEL
  - STRUCTURAL FLOOR LEVEL
- REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2016.



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 SHAM SHUI PO,  
 KOWLOON

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 THIRD FLOOR PLAN

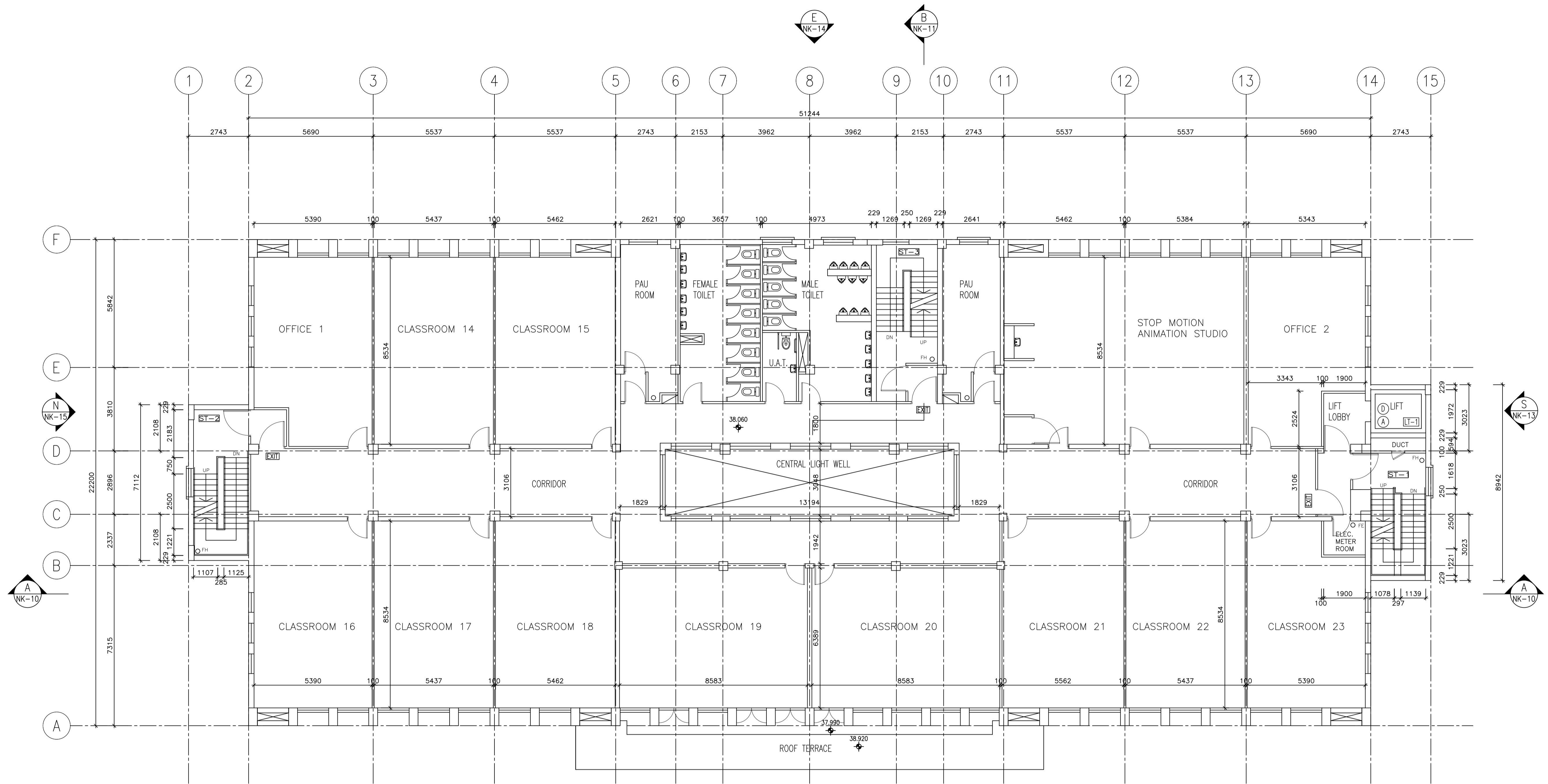
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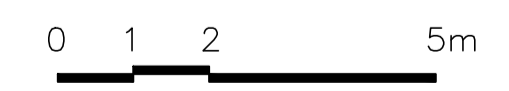
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STATUS:



FOURTH FLOOR PLAN



LEGEND:

- ⊕ FINISHED FLOOR LEVEL
- ⊖ STRUCTURAL FLOOR LEVEL

REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2015.

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KOWLOON

DRAWING TITLE:  
FOURTH FLOOR PLAN

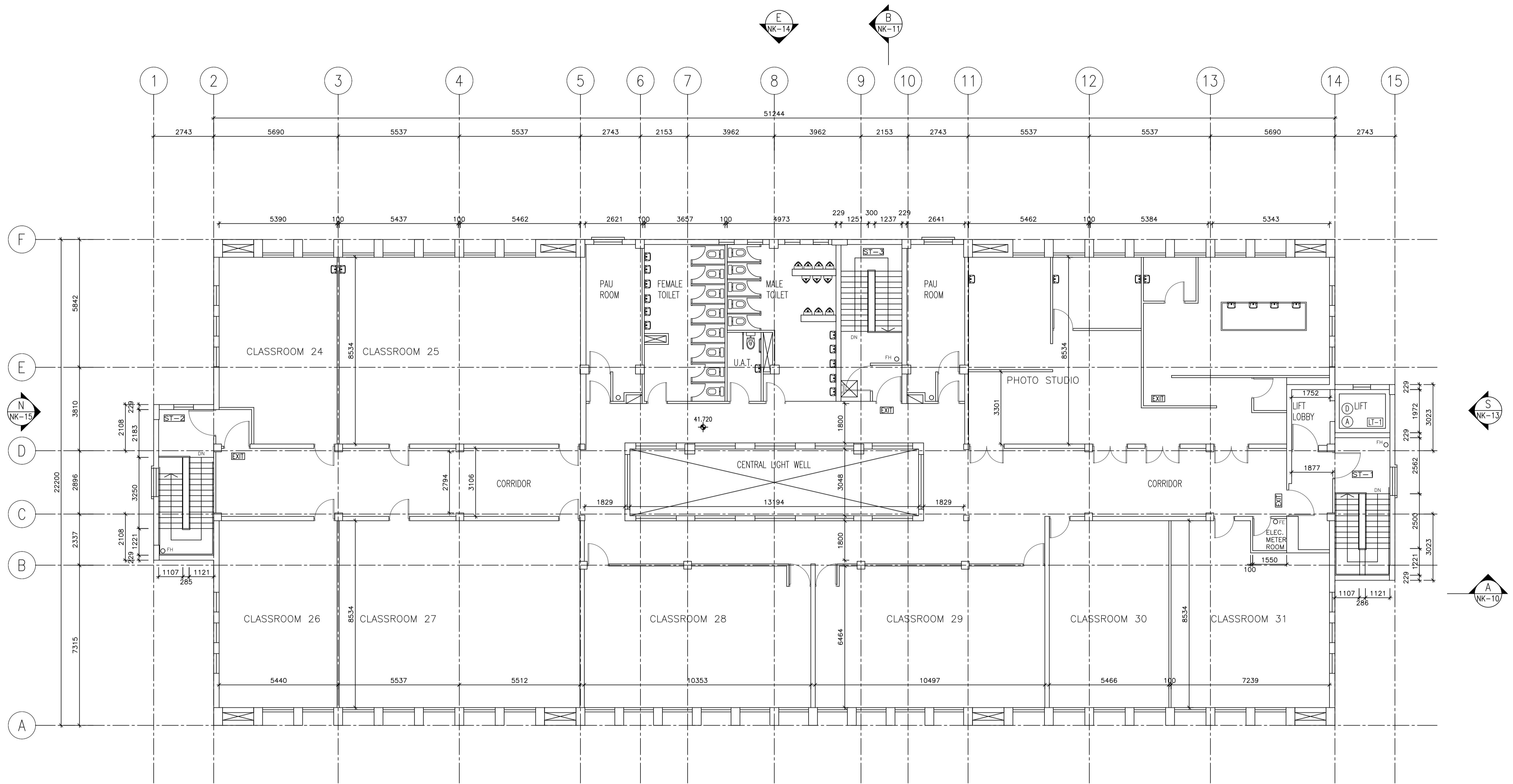
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27/5/2020				1:100 (in A1)

JOB NO:  
JY-20079J

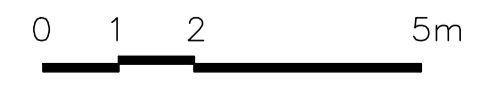
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NK-07

FILE REF:  
X:\HY\04\_Project\20079 - Resource  
01 - 02\2020\03 -  
Plan\4th\2020-07-09.dwg

STATUS:



FIFTH FLOOR PLAN



LEGEND:

- ⊕ FINISHED FLOOR LEVEL
- ⊙ STRUCTURAL FLOOR LEVEL

MEASUREMENTS: FLOOR LEVEL, ANNOTATED AS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

**ARCHITECTURAL SERVICES DEPARTMENT**

CONSULTANT:

**HY JOHN H Y YIP**  
Surveyors Ltd.

葉浩然測量師行

JOHN H Y YIP SURVEYORS LTD.  
ROOM 6F, 6/F,  
EFFORT INDUSTRIAL BUILDING  
2-8 KUNG YIP STREET, KWAI CHUNG,  
NEW TERRITORIES, HONG KONG  
TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
RESOURCE KIT FOR  
FORMER NORTH  
KOWLOON MAGISTRACY,  
NO.292 TAI PO ROAD,  
SHAM SHUI PO,  
KOWLOON

DRAWING TITLE:  
FIFTH FLOOR PLAN

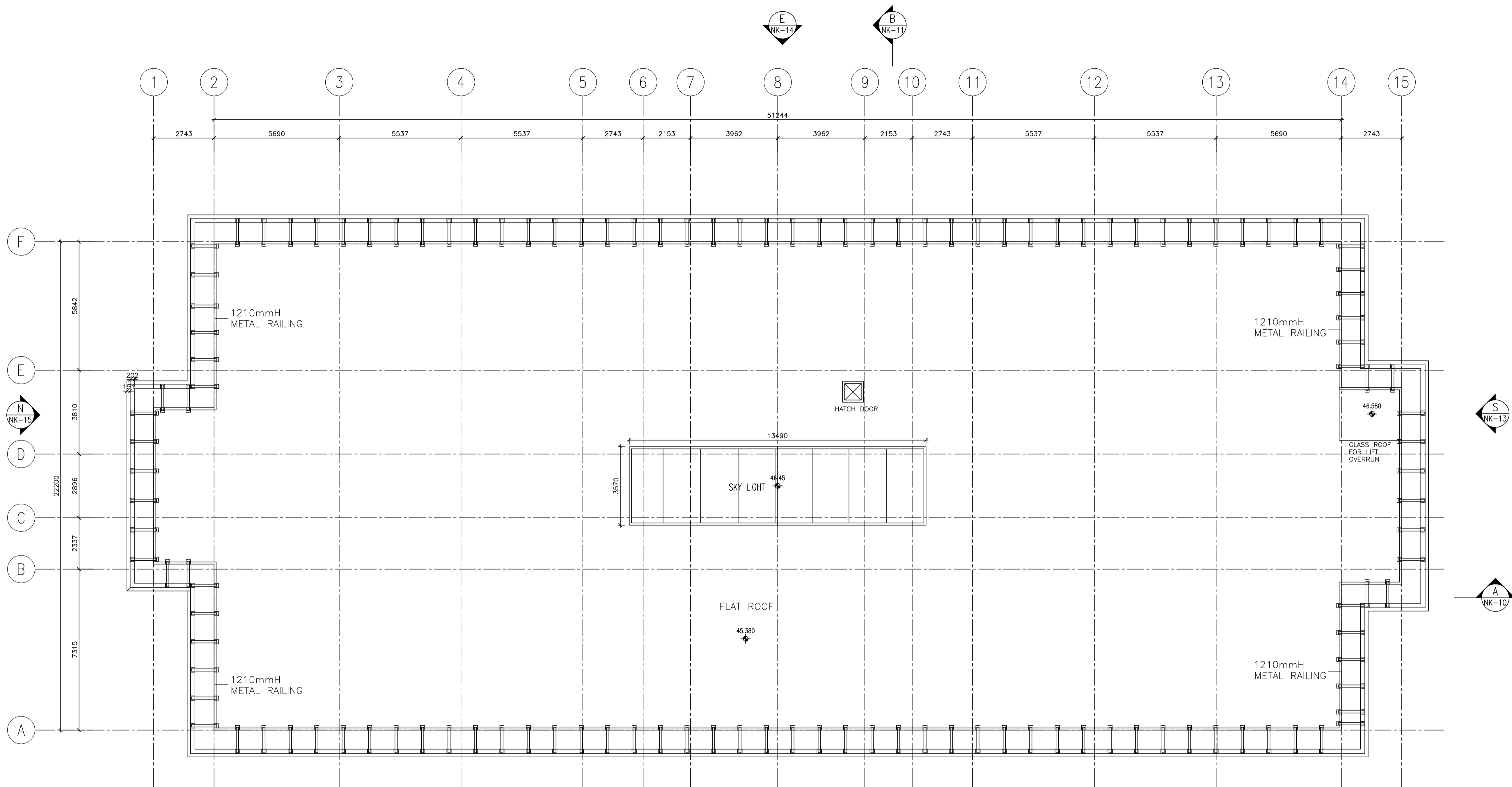
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JOB NO:  
JY-20079J

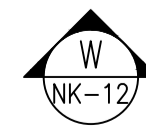
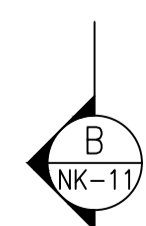
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Kit For Former North Kowloon Magistracy  
RFP-022020\03 -  
Plan\Ae-nk12020-07-09.dwg


STATUS:




ROOF PLAN



LEGEND:  
 FINISHED FLOOR LEVEL  
 STRUCTURAL FLOOR LEVEL  
REMARKS: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

 ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:  
 JOHN H Y YIP Surveyors Ltd.  
 葉浩然測量師行  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6F, 6/F  
 EFFORT INDUSTRIAL BUILDING  
 2-8 KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR FORMER NORTH KOWLOON MAGISTRACY, NO.292 TAI PO ROAD, SHAM SHUI PO, KOWLOON

DRAWING TITLE:  
 ROOF PLAN

DATE	DRAWN	DESIGNED	CHECKED	SCALE
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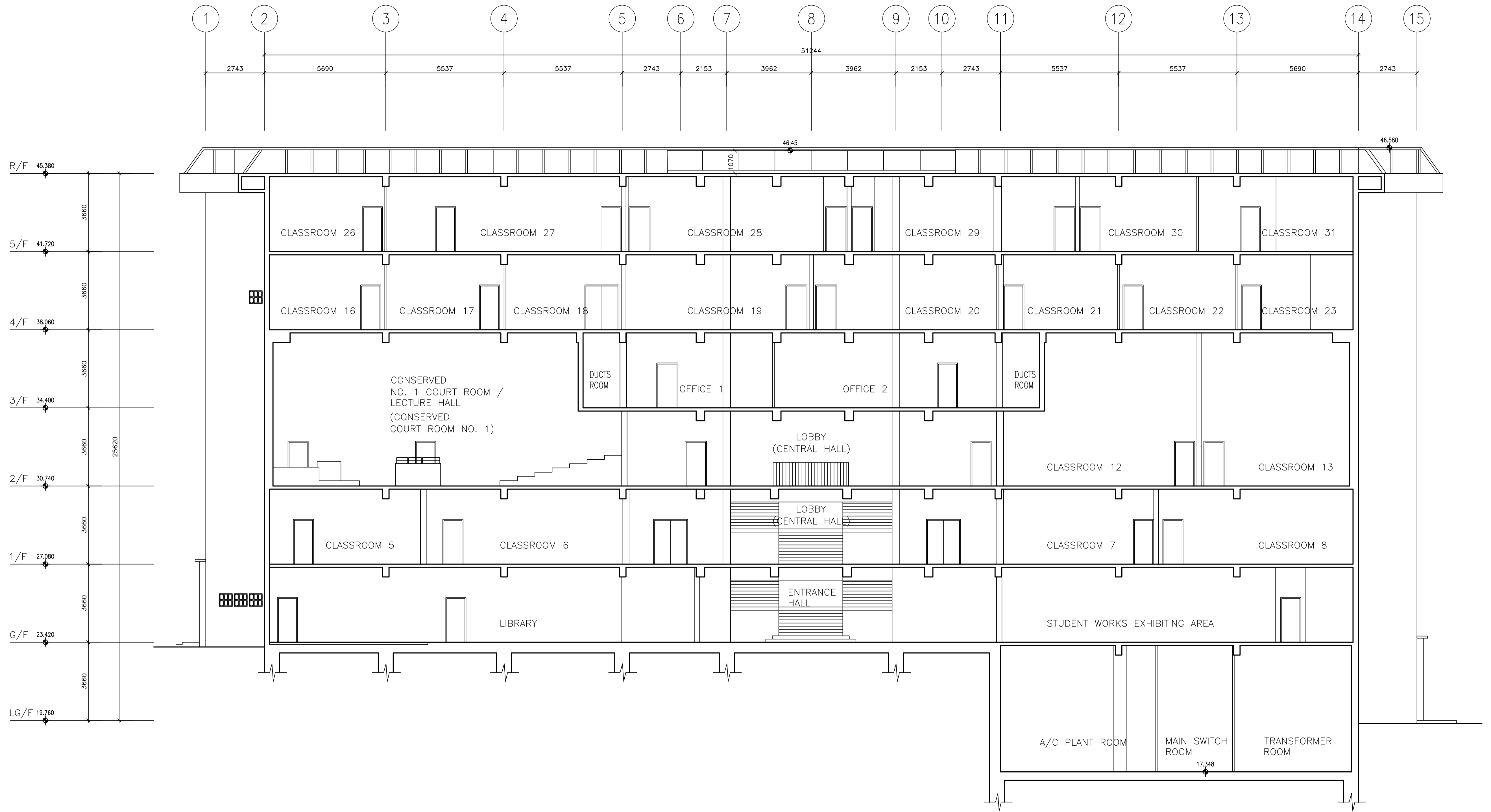
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 JY-20079J

DRAWING NO:  
 NK-09



FILE REF:  
K:\JHY\04\_Project\20079J - Resource Kit for Former North Kowloon Magistracy\2020\20200703 - Final\Arch\2020-07-09\RF.dwg

STATUS:





SECTION A-A

LEGEND:  
 FINISHED FLOOR LEVEL  
 STRUCTURAL FLOOR LEVEL  
REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

 ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:  
 JOHN H Y YIP Surveyors Ltd.  
 葉浩然測量師行  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6F, 6/F  
 EFFORT INDUSTRIAL BUILDING  
 2-8 KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR FORMER NORTH KOWLOON MAGISTRACY, NO.292 TAI PO ROAD, SHAM SHUI PO, KOWLOON

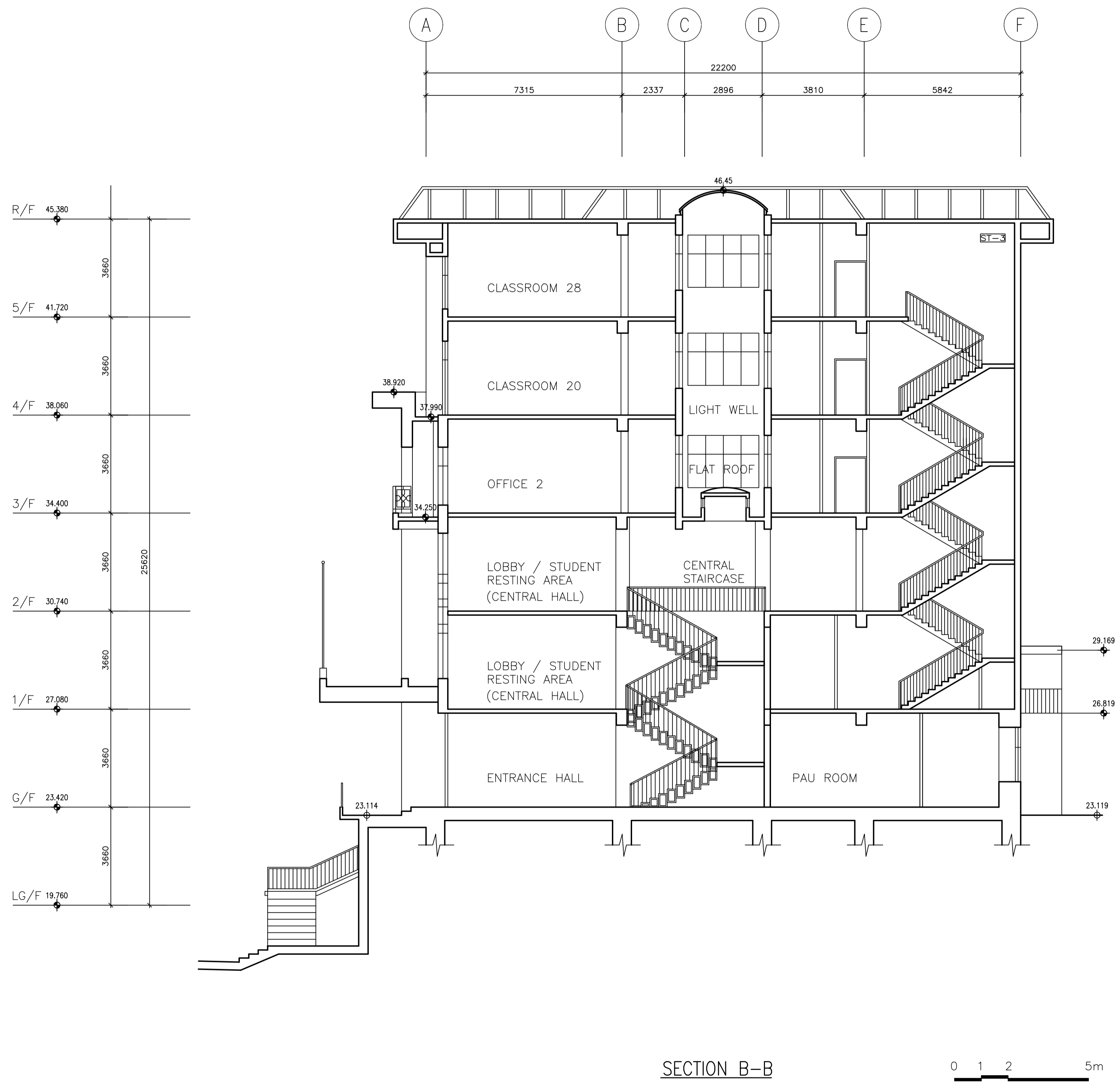
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DATE	DRAWN	DESIGNED	CHECKED	SCALE
27/5/2020				1:100 (in A1)

JOB NO:  
 JY-20079J

DRAWING NO:  
 NK-10

STATUS:



SECTION B-B



LEGEND:

- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL

REMARK: FLOOR LEVEL ADJUSTED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDING DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:

**HY JOHN H Y YIP**  
Surveyors Ltd.

葉浩然測量師行

JOHN HY YIP SURVEYORS LTD.  
ROOM 6F, 6/F,  
EFFORT INDUSTRIAL BUILDING  
2-8 KUNG YIP STREET, KWAI CHUNG,  
NEW TERRITORIES, HONG KONG  
TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
RESOURCE KIT FOR  
FORMER NORTH  
KOWLOON MAGISTRACY,  
NO.292 TAI PO ROAD,  
SHAM SHUI PO,  
KOWLOON

DRAWING TITLE:  
SECTION B-B

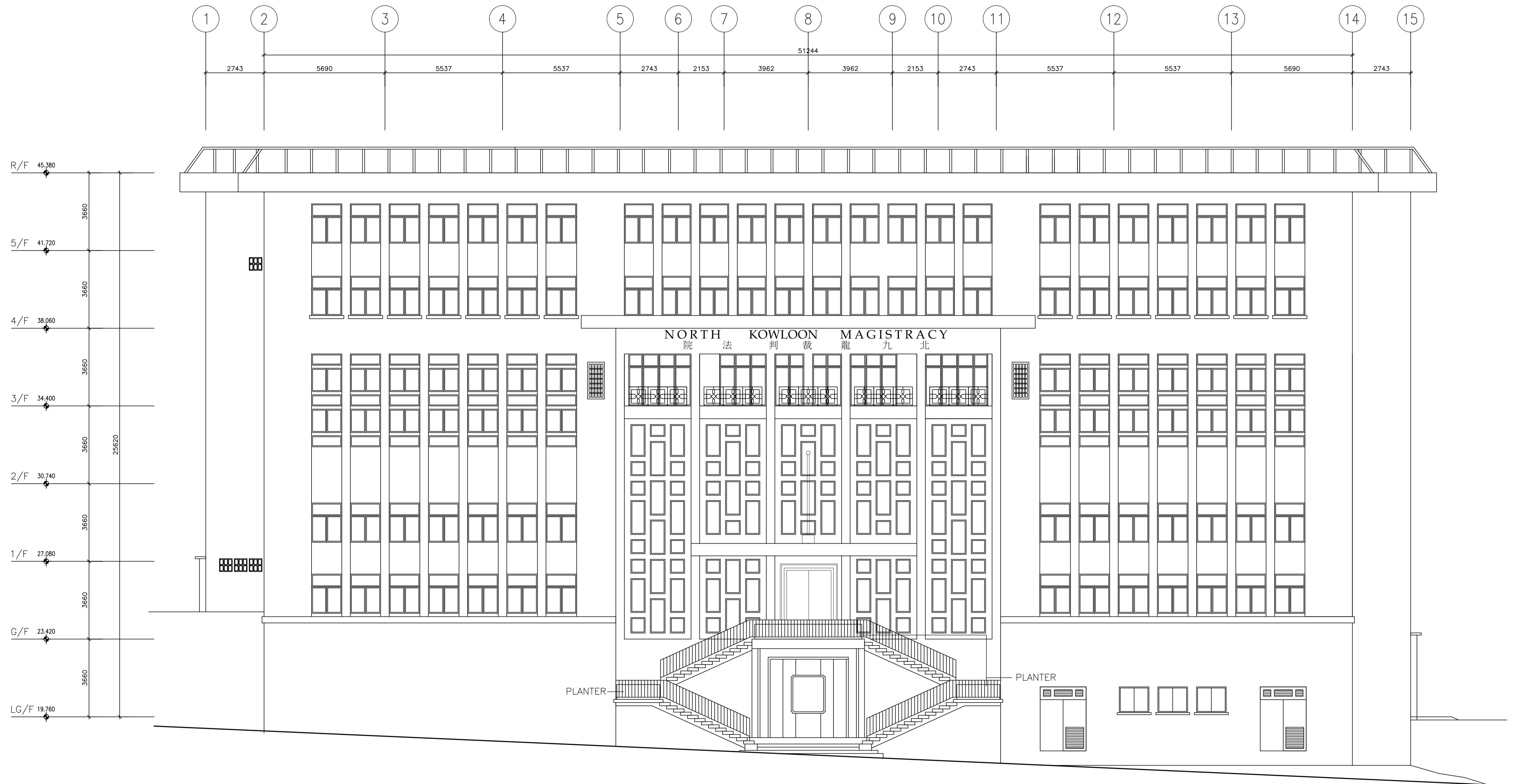
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JOB NO:  
JY-20079J

DRAWING NO:  
NK-11

FILE REF:  
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Kit for Former North Kowloon Magistracy  
RKF-02020031  
Plot\A4-041\2020-07-09\SEC-B.dwg

STATUS:



WEST ELEVATION



LEGEND:  
 ⊕ FINISHED FLOOR LEVEL  
 ⊕ STRUCTURAL FLOOR LEVEL  
 REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:  
 JOHN H Y YIP Surveyors Ltd.

葉浩然測量師行  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6F, 6/F,  
 EFFORT INDUSTRIAL BUILDING  
 2-B KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR  
 FORMER NORTH  
 KOWLOON MAGISTRACY,  
 NO.292 TAI PO ROAD,  
 SHAM SHUI PO,  
 KOWLOON

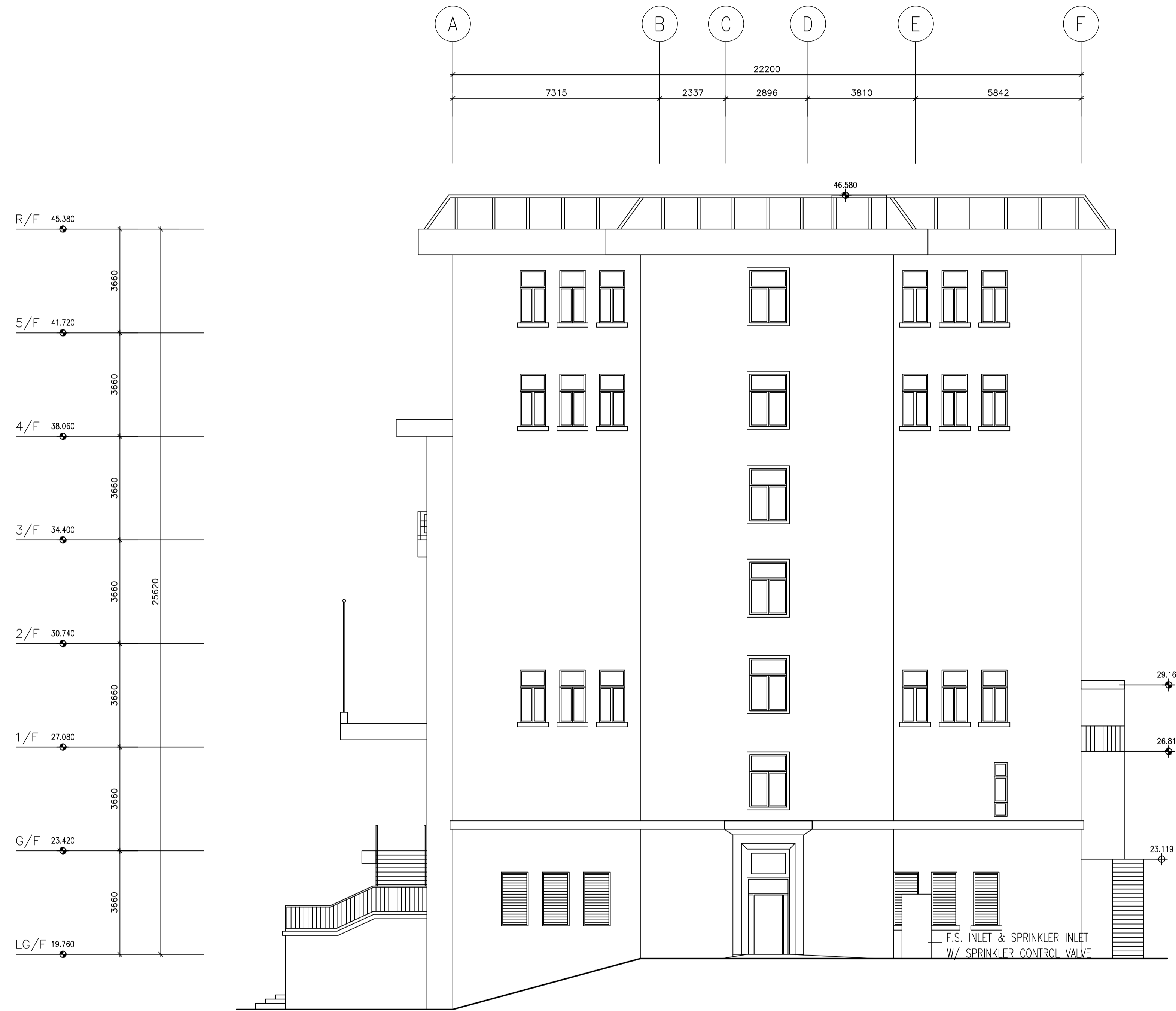
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DATE	DRAWN	DESIGNED	CHECKED	SCALE
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JOB NO:  
 JY-20079J  
 DRAWING NO:  
 NK-12

FILE REF:  
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 Kit for Former North Kowloon Magistrate  
 2017-02020(03)  
 Plan\Arch\2020-07-09\W-ELE.dwg

STATUS:



SOUTH ELEVATION



- LEGEND:
- FINISHED FLOOR LEVEL
  - STRUCTURAL FLOOR LEVEL

\* FINISHED FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.



葉浩然測量師行  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6F, 6/F.  
 EFFORT INDUSTRIAL BUILDING  
 2-8 KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR  
 FORMER NORTH  
 KOWLOON MAGISTRACY,  
 NO.292 TAI PO ROAD,  
 SHAM SHUI PO,  
 KOWLOON

DRAWING TITLE:  
 SOUTH ELEVATION

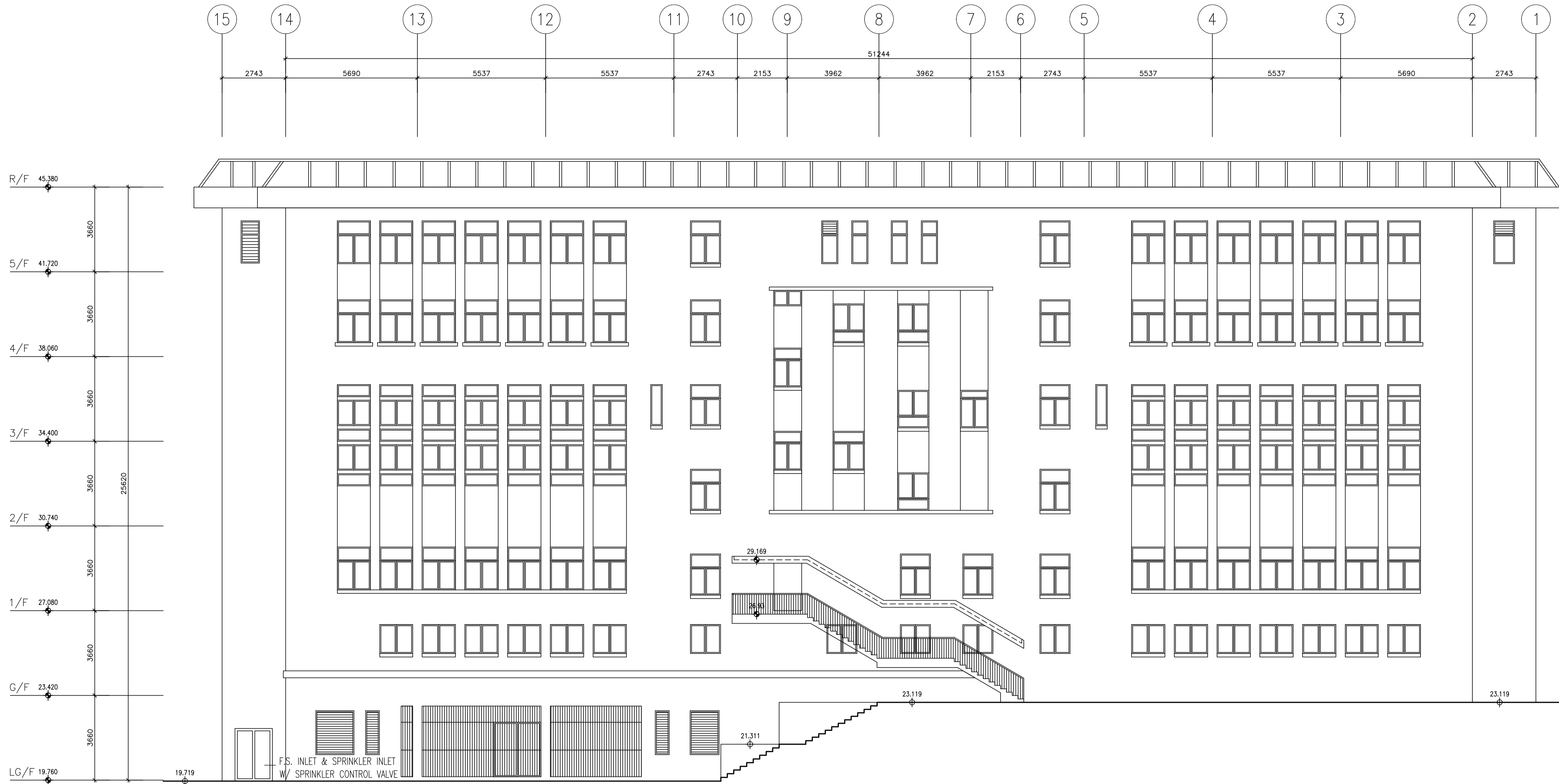
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JOB NO:  
 JY-20079J

DRAWING NO:  
 NK-13

FILE REF:  
K:\JHY\04 Project\20079J - Resource Kit for Former North Kowloon Magistracy\2020-05-27\2020-05-27-09-15-ELL.dwg

STATUS:



EAST ELEVATION



LEGEND:  
 FINISHED FLOOR LEVEL  
 STRUCTURAL FLOOR LEVEL  
REMARK: FLOOR LEVEL ANNOTATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:  
 JOHN H Y YIP Surveyors Ltd.  
 葉浩然測量師樓  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6F, 6/F  
 EFFORT INDUSTRIAL BUILDING  
 2-8 KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR  
 FORMER NORTH  
 KOWLOON MAGISTRACY,  
 NO.292 TAI PO ROAD,  
 SHAM SHUI PO,  
 KOWLOON

DRAWING TITLE:  
 EAST ELEVATION

DATE	DRAWN	DESIGNED	CHECKED	SCALE
27/5/2020				1:100 (M A1)

JOB NO:  
JY-20079J

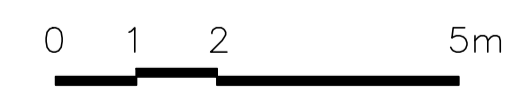
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FILE REF:  
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 2020\20200703 -  
 Plan\Arch\2020-07-09\1-ELE.dwg

STATUS:



NORTH ELEVATION



LEGEND:  
 FINISHED FLOOR LEVEL  
 STRUCTURAL FLOOR LEVEL  
 REMARKS: FLOOR LEVEL INDICATED IS IN ACCORDANCE WITH THE LATEST APPROVED BUILDING PLANS APPROVED BY BUILDINGS DEPARTMENT IN 2010.

ARCHITECTURAL SERVICES DEPARTMENT

CONSULTANT:  
 JOHN H Y YIP Surveyors Ltd.  
 葉浩然測量師行  
 JOHN H Y YIP SURVEYORS LTD.  
 ROOM 6/F  
 EFFORT INDUSTRIAL BUILDING  
 2-8 KUNG YIP STREET, KWAI CHUNG,  
 NEW TERRITORIES, HONG KONG  
 TEL: 2155 0938 FAX: 2155 0933

PROJECT TITLE:  
 RESOURCE KIT FOR FORMER NORTH KOWLOON MAGISTRACY, NO.292 TAI PO ROAD, SHAM SHUI PO, KOWLOON

DRAWING TITLE:  
 NORTH ELEVATION

DATE	DRAWN	DESIGNED	CHECKED	SCALE
27/5/2020				1:100 (in A1)

JOB NO: JY-20079J	DRAWING NO: NK-15
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FILE REF:  
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STATUS:

附錄 VI(B)

屋宇裝備參考圖則

## 附錄 VI(B) – 屋宇裝備參考圖則

### 圖則清單

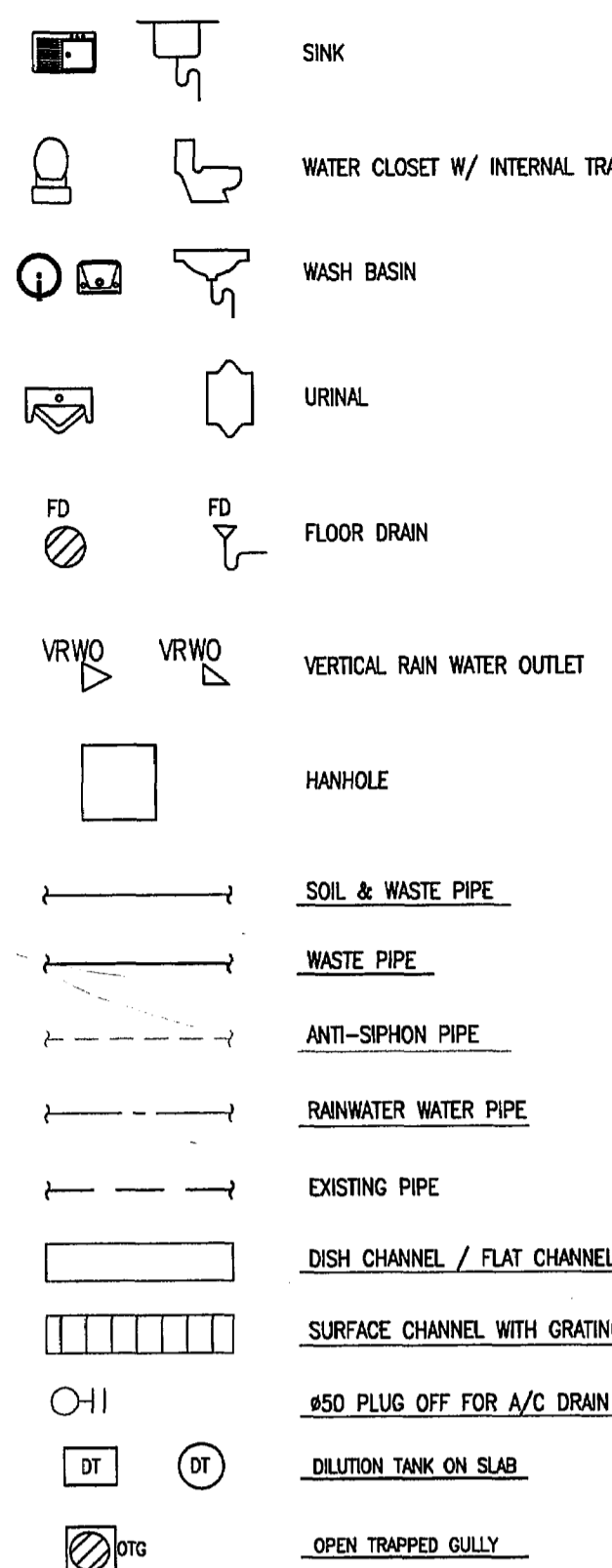
	圖則編號	圖則名稱
排水		
1.	0903/D/G01	圖例、簡稱、圖則清單、物料清單、一般註釋、地盤平面圖和污水系統圖
2.	0903/D/L01	地下低層排水設計圖
3.	0903/D/L02	地下排水設計圖
4.	0903/D/L03	一樓排水設計圖
5.	0903/D/L04	二樓排水設計圖
6.	0903/D/L05	三樓排水設計圖
7.	0903/D/L06	四樓排水設計圖
8.	0903/D/L07	五樓排水設計圖
9.	0903/D/L08	天台排水設計圖
10.	0903/D/M02	排水系統標準細節圖 (II)
11.	0903/D/M01	排水系統標準細節圖 (I)
12.	0903/D/L09	消防與花灑泵房及水泵排水設計圖
13.		渠務署於地理資訊地圖的記錄
供水		
1.	0903/P/S01	供水系統圖
機械通風和空調系統		
1.	0903/AC/S01	機械通風和空調系統供風端風喉圖
2.	0903/AC/S02	機械通風和空調系統供水端喉管圖
3.	0903/AC/S05	電動機控制中心電力供應
消防裝置		
1.	0903/FS/S01	消防栓及喉轆系統圖
2.	0903/FS/S02	花灑系統圖
3.	0903/FS/S03	手控及自動警報系統圖
電力裝置		
1.	GTL/SCAD/MS	薩凡納藝術設計(香港)大學校園電力系統圖

備註：

有關屋宇裝備參考圖則是由上任何用戶所提供，可能與現場環境不符，申請機構應核實其準確性，才在其建議書中採納有關資料。



**LEGEND**



**GENERAL NOTES**

- COMPLETE STORM, SOIL, WASTE SYSTEM & DRAINAGE SYSTEM SHALL BE CARRIED-OUT BY THIS CONTRACTOR.
- ALL NOTES APPEARING ON THESE DRAWINGS SHALL BE READ AND INTERPRETED IN CONJUNCTION WITH EACH OTHER AND THE SPECIFICATIONS.
- THE P&D INSTALLATION CARRIED-OUT AND ALL MATERIALS SUPPLIED SHALL BE IN FULL ACCORDANCE WITH THE B.S. STANDARD, REGULATIONS AND REQUIREMENTS OF ALL RELEVANT AUTHORITIES HAVING JURISDICTION.
- THIS CONTRACTOR SHALL INCLUDE THE COST OF ALL TESTS REQUIRED TO MEET THE APPROVAL OF AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE SPECIFIED.
- THIS CONTRACTOR SHALL DOUBLE CHECK AND CO-ORDINATE WITH ALL DIMENSIONS ON ARCHITECTURAL, STRUCTURAL AND M/E DRAWINGS AND REPORT ANY DISCREPANCIES TO CONSULTING ENGINEERS BEFORE PROCEEDING WITH CONSTRUCTION.
- PIPE FLEXIBLE/EXPANSION JOINTS WHETHER OR NOT SHOWN ON DRAWINGS SHALL BE PROVIDED FOR ANY PIPES ACROSS BUILDING EXPANSION JOINTS. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS FOR LOCATION OF BUILDING EXPANSION JOINTS. TYTON JOIN SHALL BE USED FOR ALL UNDERGROUND PIPEWORK UNLESS OTHERWISE SPECIFIED.
- EVERY DRAIN TO BE LAID TO A MINIMUM FALL OF NOT LESS THAN THAT SPECIFIED IN BUILDING REGULATION CAP.123 MAIN FALL OR DRAINS :-  

DIA. OF PIPE	FALL
100 & BELOW	1:40
150	1:70
225	1:100
300 AND ABOVE	1:150
- ALL TRAPS FOR WASH BASIN, SINK, AND FLOOR DRAIN SHALL BE OF RESEALING (ANTI-SIPHON) TYPE AND WITH WATER SEAL OF 80mm UNLESS OTHERWISE STATED.
- PIPES LAID BENEATH ROADS OR BUILDING SHALL BE SET IN CONCRETE HAUNCHING BENDS, GULLIES, ETC. AND THEY SHALL BE ACCURATELY BEDDED ON AND SURROUND BY GRADE-A CONCRETE AT LEAST 150mm THICK.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE GOVERNMENT'S EXISTING DRAINAGE AND RECTIFY IF NECESSARY TO SUIT THE NEW INSTALLATION.
- EVERY ANTI-SIPHONAGE PIPE SHALL BE CONNECTED WITH THE BRANCH SOIL OR WASTE PIPE AT A POINT NOT MORE THAN 300 mm FROM THE TRAP OUTLET.
- THE BUILDER WILL PROVIDE ACCESS DOOR/PANELS FOR PIPE DUCTS & FALSE CEILING FOR INSPECTION AND MAINTENANCE OF THE PIPE. THIS SUB-CONTRACTOR SHALL CO-ORDINATE WITH THE BUILDER ON THESE PROVISIONS.
- UNLESS OTHERWISE STATED, ALL DRAINAGE PIPES SHALL RUN INSIDE FALSE CEILINGS & PIPE DUCTS.

- THE DESIGN AND CONSTRUCTION OF THE DRAINS SHOULD COMPLIED WITH PNAP 53, 99, 173, 201, 211, 230, 238, 251, 272, 183, 205 AND 282, CAP.123, 149(2), 173, 174 AND FRC (1996) 6.4, 6.4, 8.1, 10.5/ 10.6/ 11.3(C) 14.1 AND THE FIRE RESISTANCE ELEMENTS OF CONSTRUCTION OF THE LATEST BUILDING PLAN.
- ASP PIPES FOR SOIL & WASTE SYSTEM AND RAINWATER SYSTEM SHALL BE CONNECTED SEPARATELY.
- ALL WATER CLOSET SHALL HAVE INTERNAL TRAP.
- ALL TRAPS FOR URINAL SHALL BE OF RESEALING (ANTI-SIPHON) TYPE AND WITH WATER SEAL OF NOT LESS THAN 50mm.
- ALL RAIN WATER PIPE DISCHARGE TO SURFACE CHANNEL PROVIDE SHADE AT LOW LEVEL AND NOT MORE THAN 150mm ABOVE FINISHING FLOOR LEVEL.

**ABBREVIATION**

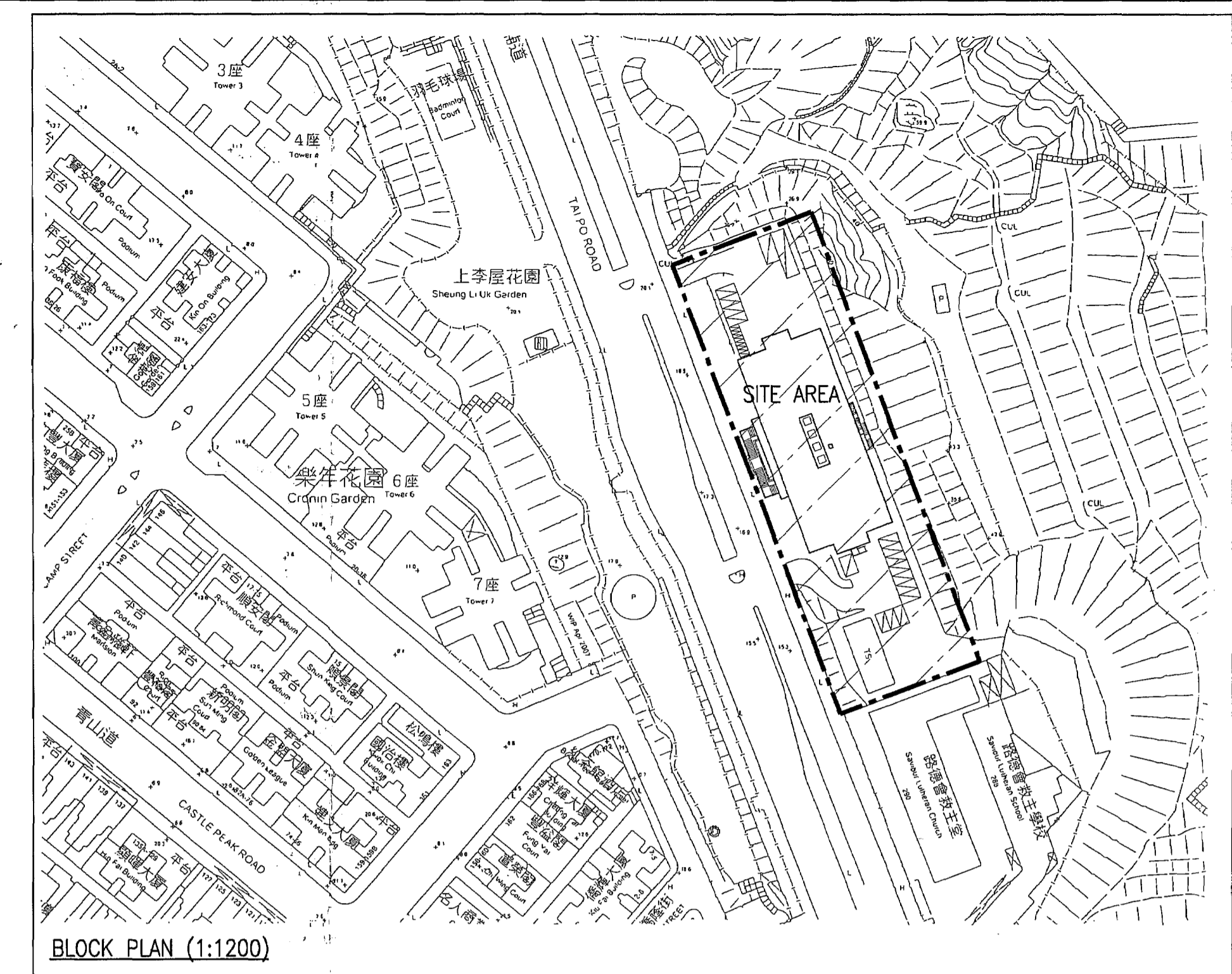
WP	WASTE PIPE	C.I.	CAST IRON
VP	VENT PIPE	G.I.	GALVANIZED IRON
KWP	KITCHEN WASTE PIPE	G.S.	GALVANIZED STEEL
F/A	FROM ABOVE	UPVC	UNPLASTICISED POLYVINYL CHLORIDE
F/B	FROM BELOW	(W)	WIDTH
T/A	TO ABOVE	(D)	DEPTH
T/B	TO BELOW	(H)	HEIGHT
T/G	TO GROUND	(L)	LENGTH
T TO B	TOP TO BOTTOM	C/W	COMPLETE WITH
U/G	UNDER GROUND	W/	WITH
H/L	HIGH LEVEL	F/	FALL
L/L	LOW LEVEL	C/C	CENTRE TO CENTRE
M/L	MIDDLE LEVEL	A.F.F.L.	ABOVE FINISHED FLOOR LEVEL

**DRAWING LIST**

- 0903/D/G01 GENERAL NOTES, DRAWING LIST, MATERIAL SCHEDULE, GENERAL NOTES, SITE PLAN & SCHEMATIC DIAGRAM FOR SOIL & WASTE SYSTEM
- 0903/D/L01 DRAINAGE LAYOUT FOR LOWER GROUND FLOOR PLAN
- 0903/D/L02 DRAINAGE LAYOUT FOR GROUND FLOOR PLAN
- 0903/D/L03 DRAINAGE LAYOUT FOR FIRST FLOOR PLAN
- 0903/D/L04 DRAINAGE LAYOUT FOR SECOND FLOOR PLAN
- 0903/D/L05 DRAINAGE LAYOUT FOR THIRD FLOOR PLAN
- 0903/D/L06 DRAINAGE LAYOUT FOR FOURTH FLOOR PLAN
- 0903/D/L07 DRAINAGE LAYOUT FOR FIFTH FLOOR PLAN
- 0903/D/L08 DRAINAGE LAYOUT FOR ROOF PLAN
- 0903/D/L09 DRAINAGE LAYOUT FOR F.S. & SPRINKLER PUMP ROOM
- 0903/D/M01 STANDARD DETAILS FOR DRAINAGE SYSTEM(I)
- 0903/D/M02 STANDARD DETAILS FOR DRAINAGE SYSTEM(II)

**PIPEWORK MATERIALS**

A. ABOVE GROUND SOIL, SOIL & WASTE, ANTI-SIPHON PIPEWORK	(i) UPVC PIPE AND FITTINGS TO BS4514, BS255 UP TO 40mm DIA. (ii) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES OF 50mm DIA. AND ABOVE.
B. ABOVE GROUND RAIN WATER PIPEWORK	OUTSIDE BUILDING (i) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES INSIDE BUILDING (i) CAST IRON PIPE AND FITTINGS TO EN 877 FOR PIPES
C. UNDERGROUND WASTE, SOIL & WASTE AND RAIN WATER PIPEWORK	CAST IRON PIPE AND FITTINGS TO B.S. 4622 OR TO B.S. 1211
D. CONDENSATE DRAIN PIPE	CAST IRON PIPE AND FITTINGS TO EN877 W/ 25mm CFC & HCFC FREE PHENOLIC FOAM INSULATION TO BS4370-2



The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

**REVISIONS**

CLIENT  
**SCAD.**  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** EST. 1915  
1201 CONNECTICUT AVENUE, N.W., WASHINGTON, DC 20036 USA  
TEL: 202-887-6600 FAX: 202-872-8530  
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL: 2867 4321 FAX: 2865 3007

ARCHITECT  
**LCK ARCHITECTS LTD**  
林陳簡建築師有限公司

M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

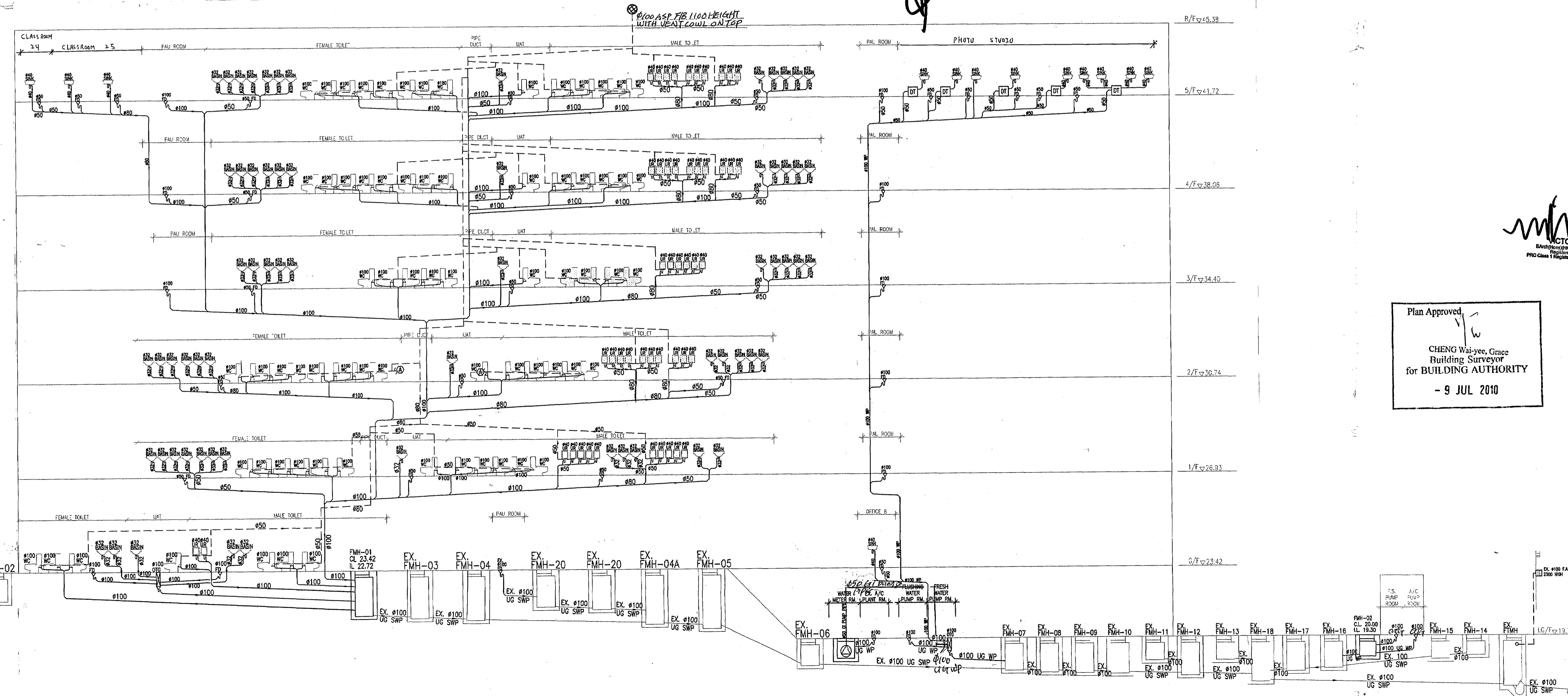
PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE  
LEGEND, ABBREVIATION, DRAWING LIST, MATERIAL SCHEDULE, GENERAL NOTES, SITE PLAN & SCHEMATIC DIAGRAM FOR SOIL & WASTE SYSTEM

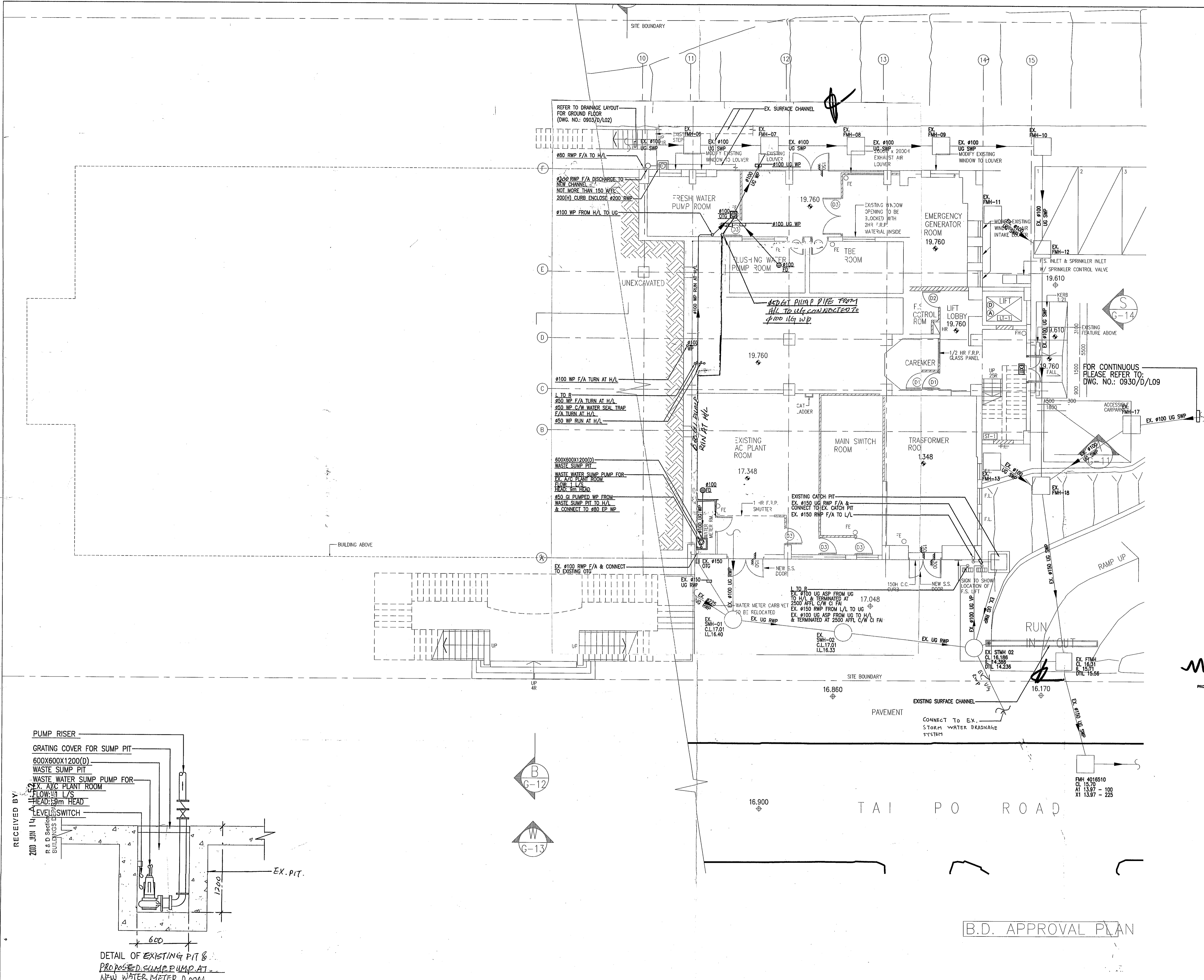
APPROVALS  
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/D/G01		
DRAWN BY	DESIGNED BY	CHECKED BY	
KWL	RL	AT	
SCALE	DATE	ISSUE	
N.T.S.	JULY, 2009	UL	

RECEIVED BY  
2010 JUN 14 A 11:52  
R.S.D Section  
BUILDINGS DEPARTMENT



Plan Approved  
CHENG Wai-ye, Grace  
Building Surveyor  
for BUILDING AUTHORITY  
- 9 JUL 2010



Plan Approved  
 CHENG Wai-see, Grace  
 Building Surveyor  
 for BUILDING AUTHORITY  
 - 9 JUL 2010

The work is to be carried out in accordance with the Building (Control) Regulations.

06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT  
**LCK**  
 VICTOR CHAN  
 LCK ARCHITECTS LTD  
 林陳簡建築師有限公司

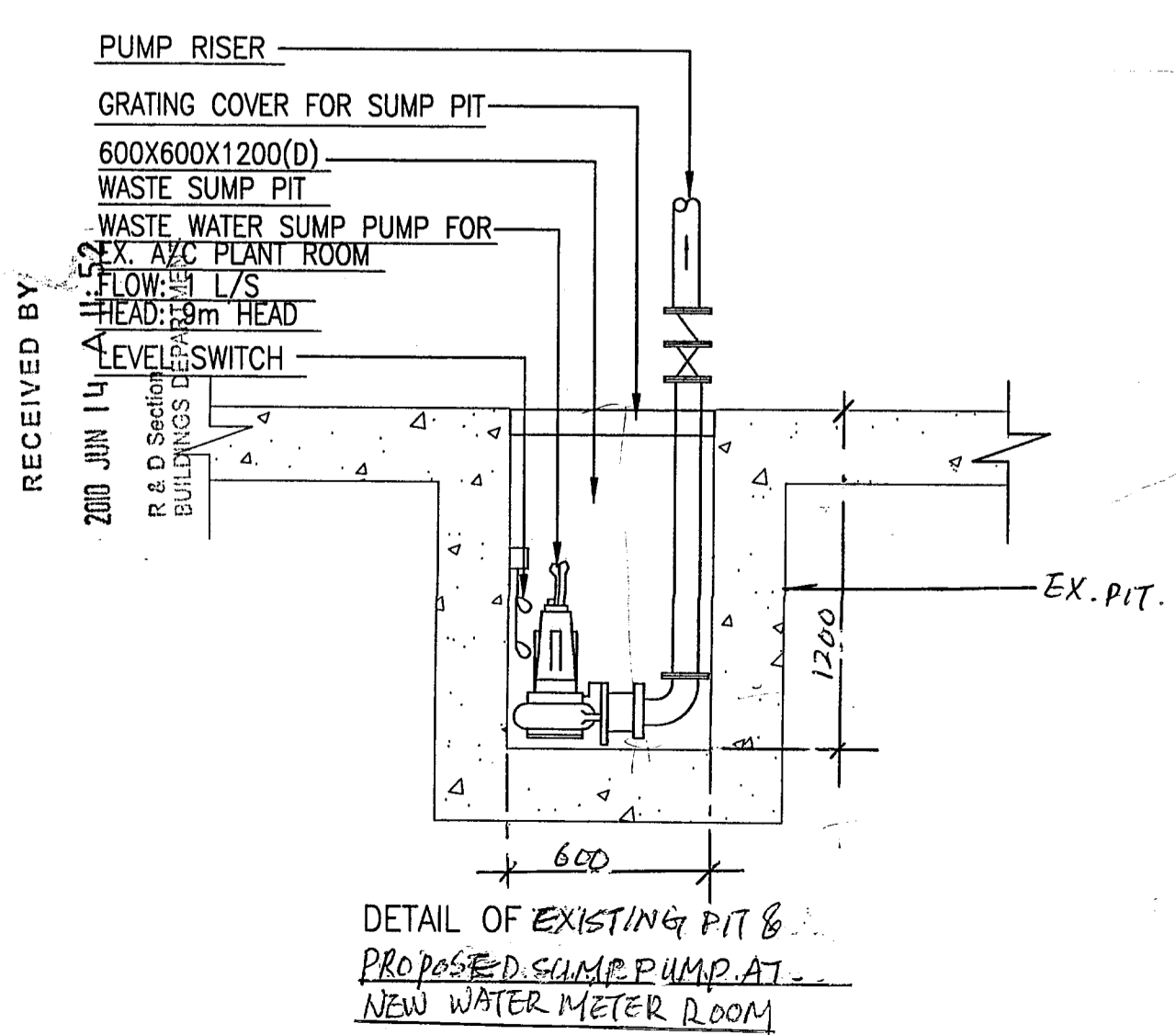
M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

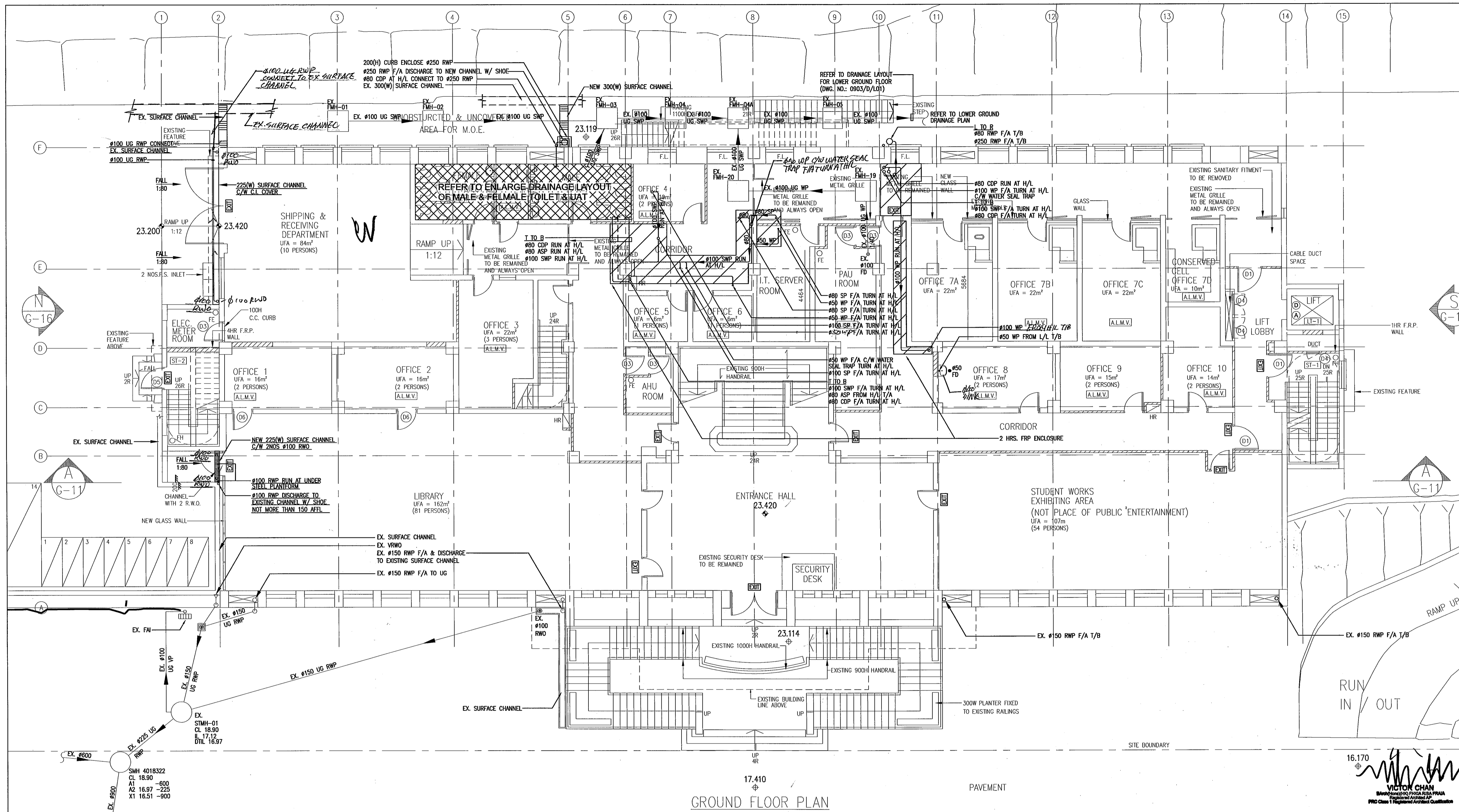
TITLE  
 DRAINAGE LAYOUT FOR  
 LOWER GROUND FLOOR PLAN

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.		0903/D/L01	
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SCALE	DATE	ISSUE	
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B.D. APPROVAL PLAN



GROUND FLOOR PLAN

Plan Approved  
*YU Po-mei, Clarice*  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

DATE	NO	REVISION	BY	CHK
08/10	U2	BD 3RD SUBMISSION	CC	WT
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

ARCHITECT  
**LCK**  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

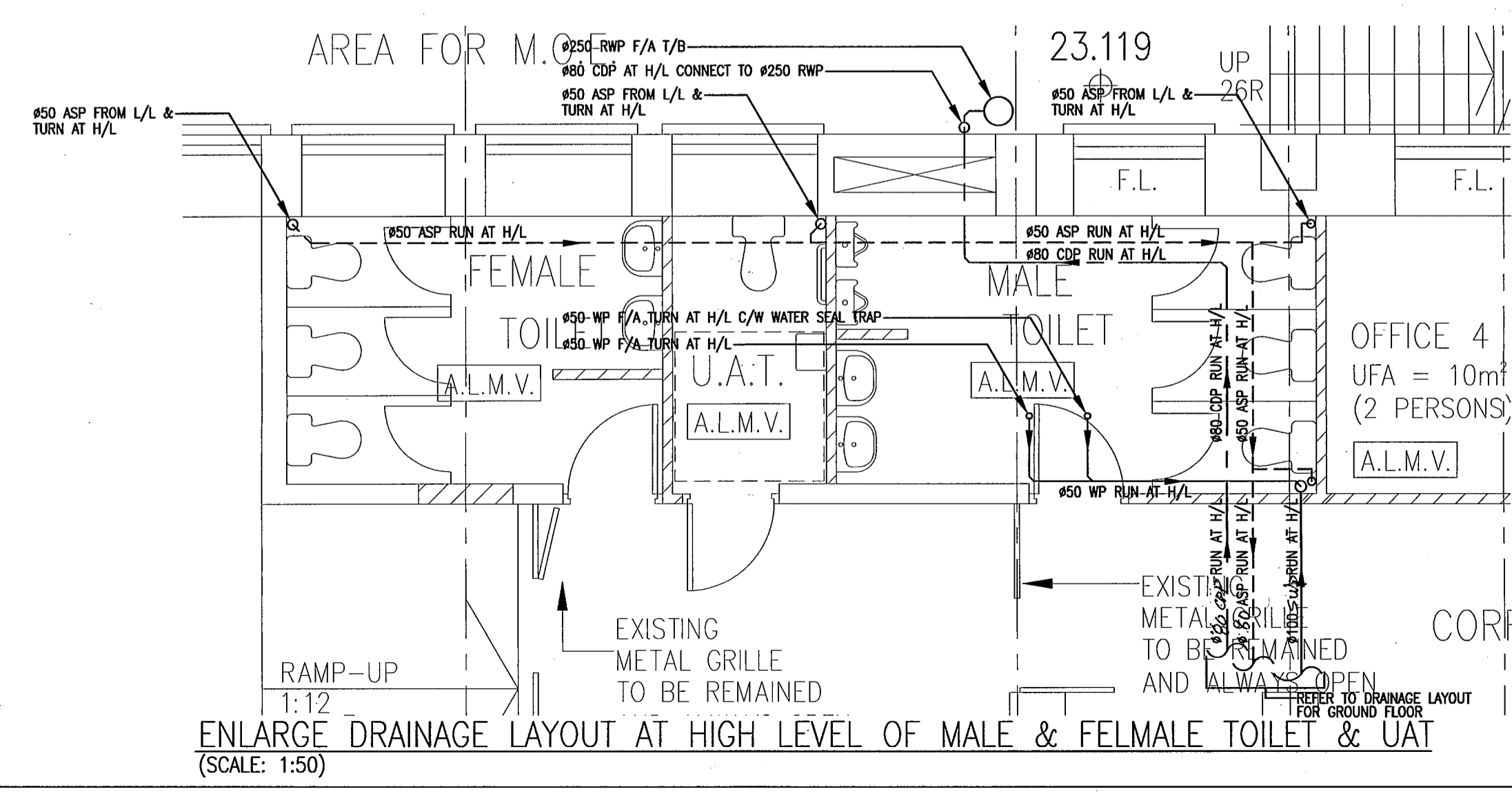
M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

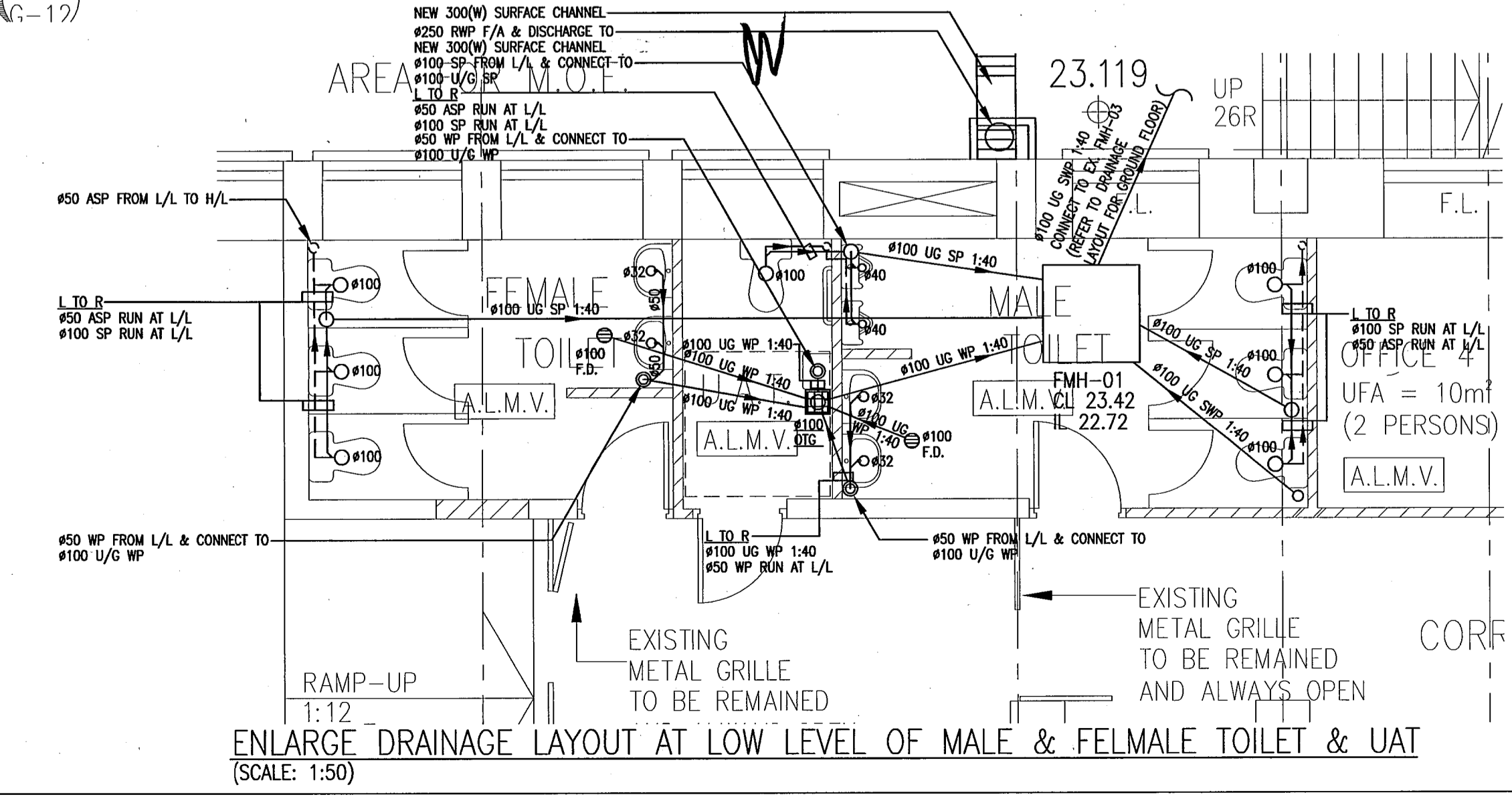
TITLE  
 DRAINAGE LAYOUT FOR  
 GROUND FLOOR PLAN

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/D/L02		
DRAWN BY	DESIGNED BY	CHECKED BY	
KML	CC	AT	
SCALE	DATE	ISSUE	
1:100	JULY, 2009	U2	

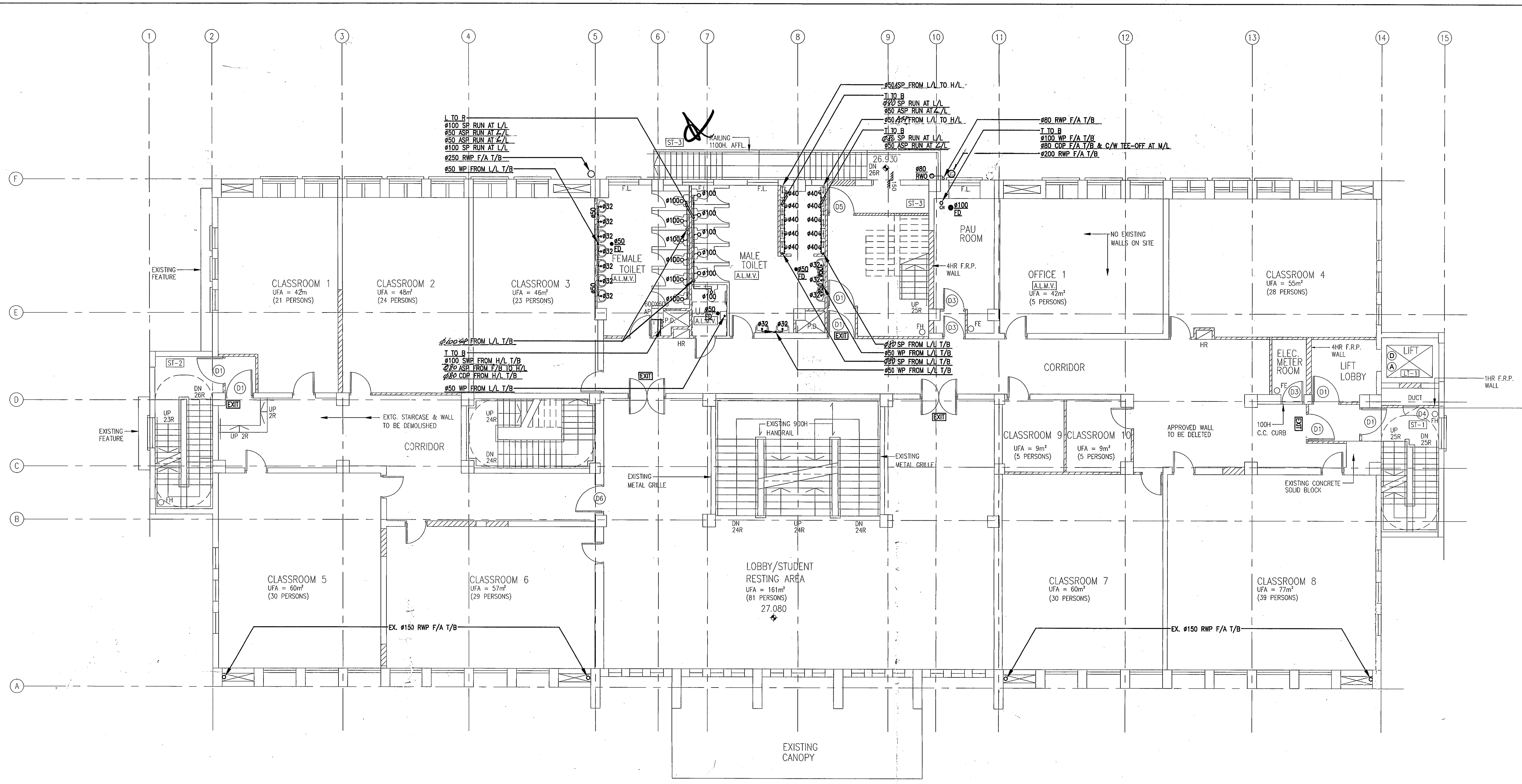


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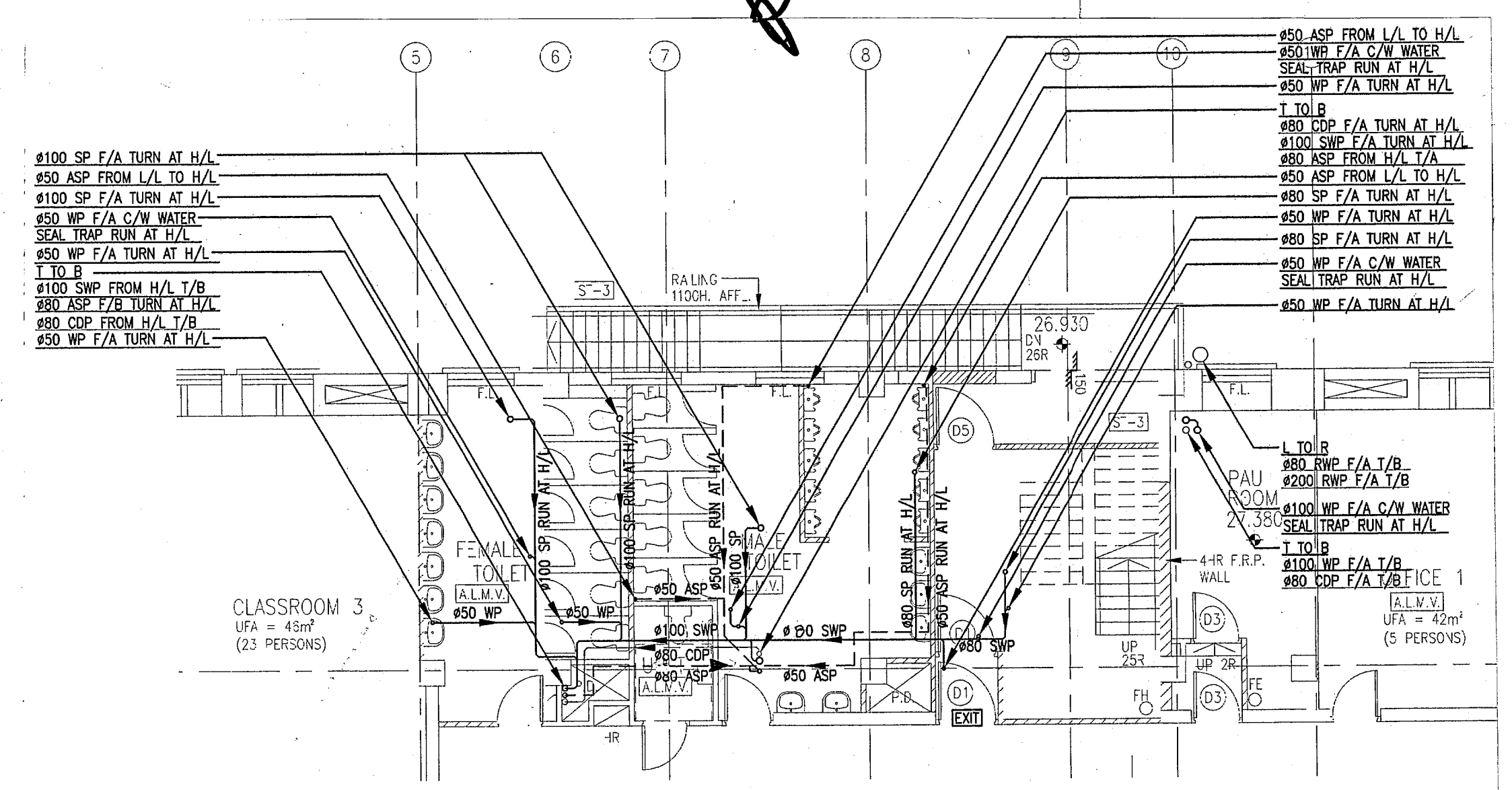


ENLARGE DRAINAGE LAYOUT AT LOW LEVEL OF MALE & FEMALE TOILET & UAT (SCALE: 1:50)

RECEIVED BY  
 2009 SEP 7 A 10:55  
 R & D SECTION  
 BUILDINGS DEPARTMENT



FIRST FLOOR PLAN



FIRST FLOOR HIGH LEVEL PLAN

Plan Approved  
 CHENG Wai-ye, Grace  
 Building Surveyor  
 for BUILDING AUTHORITY  
 - 9 JUL 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

DATE	NO	REVISION	BY	CHK
05/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

REVISIONS

ARCHITECT

VICTOR CHAN  
 林陳簡建築師有限公司

M & E CONSULTANT

THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT

NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE

DRAINAGE LAYOUT FOR  
 FIRST FLOOR PLAN

APPROVALS

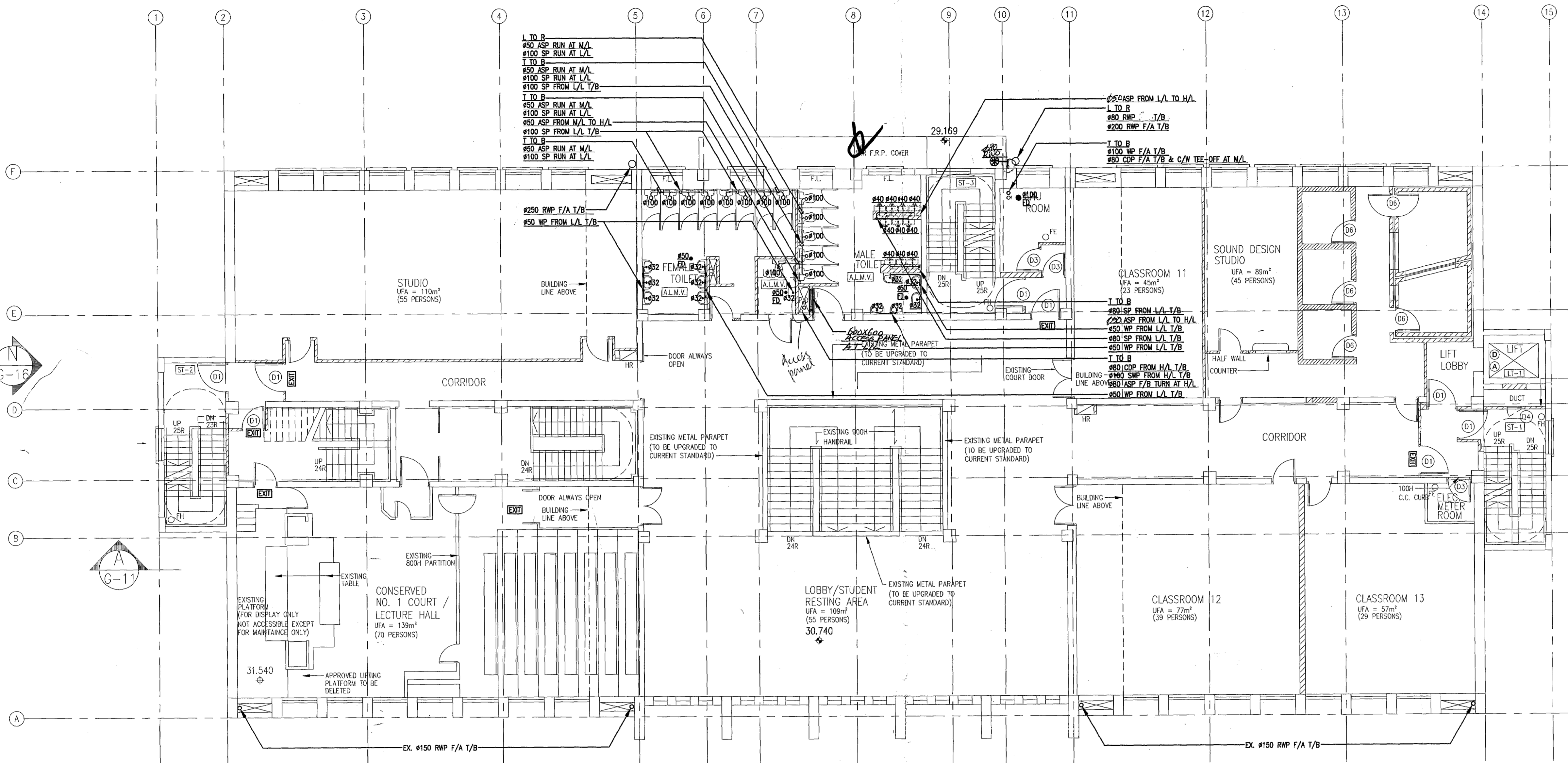
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/D/L03

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SCALE 1:100 DATE JULY, 2009 ISSUE U1

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 2010 JUN 14 A II: 52  
 B & D Section  
 BUILDINGS DEPARTMENT



SECOND FLOOR PLAN

Plan Approved  
 CHENG Wai-ye, Grace  
 Building Surveyor  
 for BUILDING AUTHORITY  
 - 9 JUL 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT  
  
 VICTOR CHAN  
 林陳簡建築師有限公司

M & E CONSULTANT  
  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

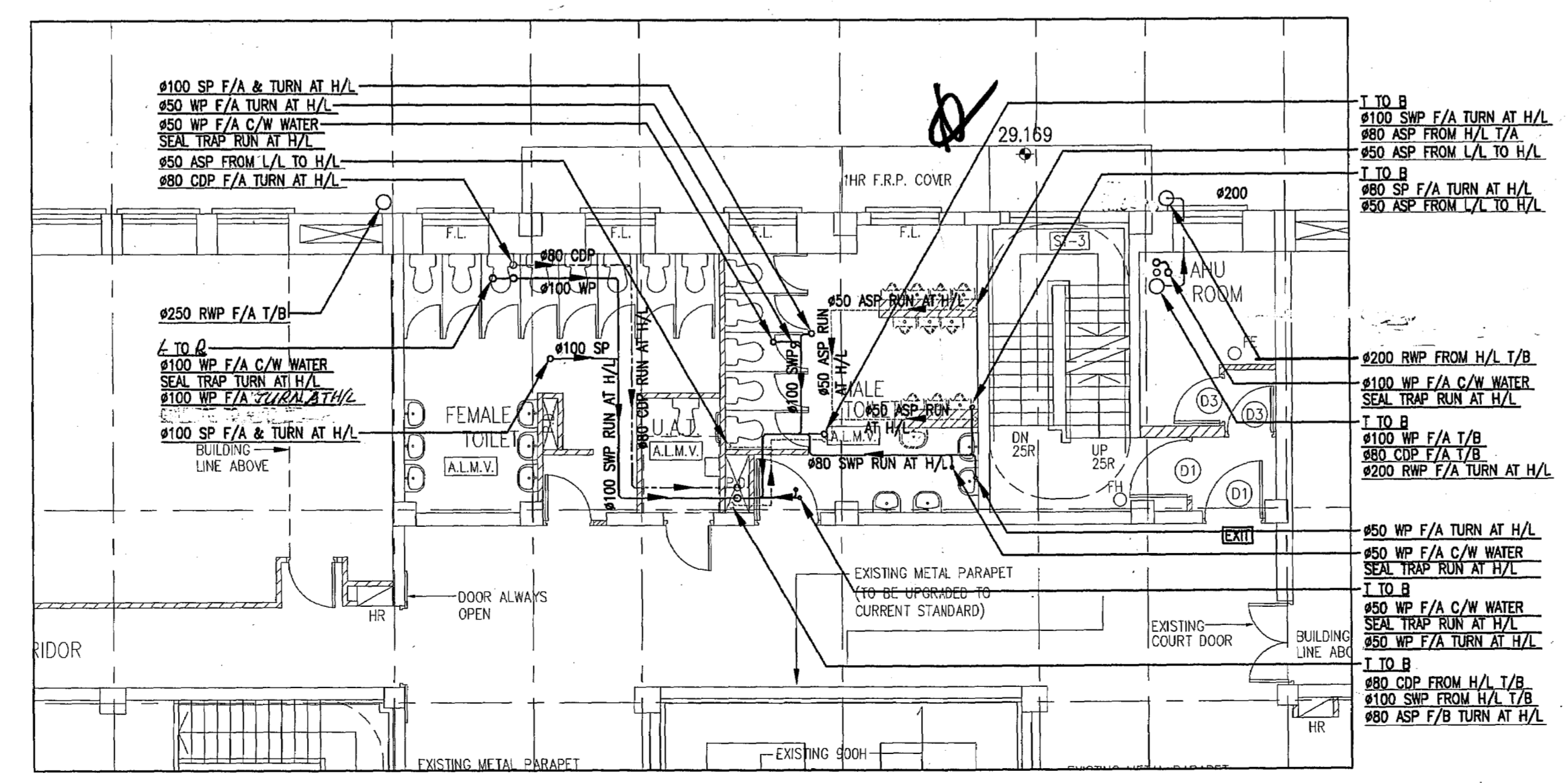
PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE  
 DRAINAGE LAYOUT FOR SECOND FLOOR PLAN

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

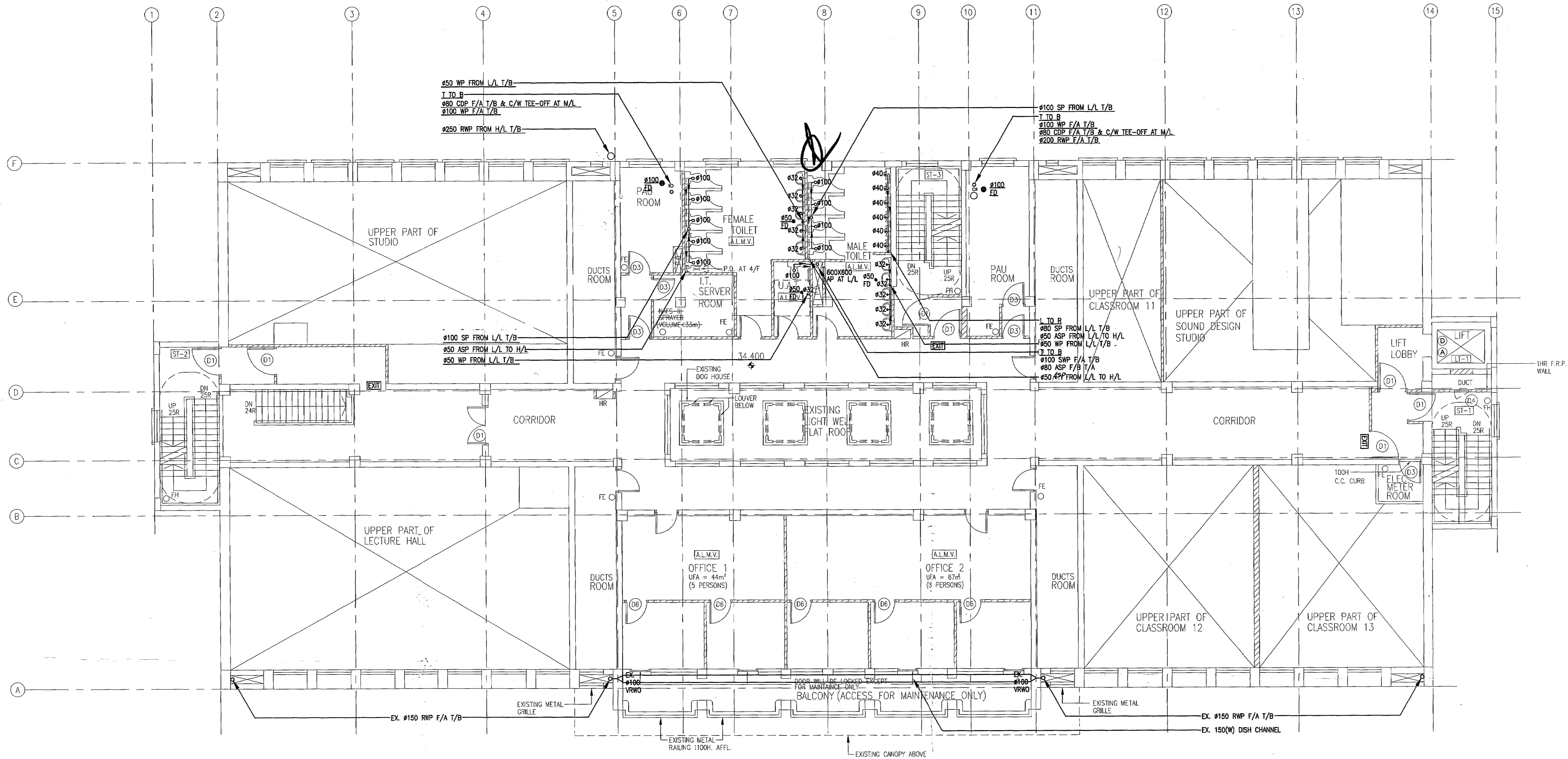
DRAWING NO. 0903/D/L04

DRAWN BY	DESIGNED BY	CHECKED BY
KML	CC	AT
SCALE	DATE	ISSUE
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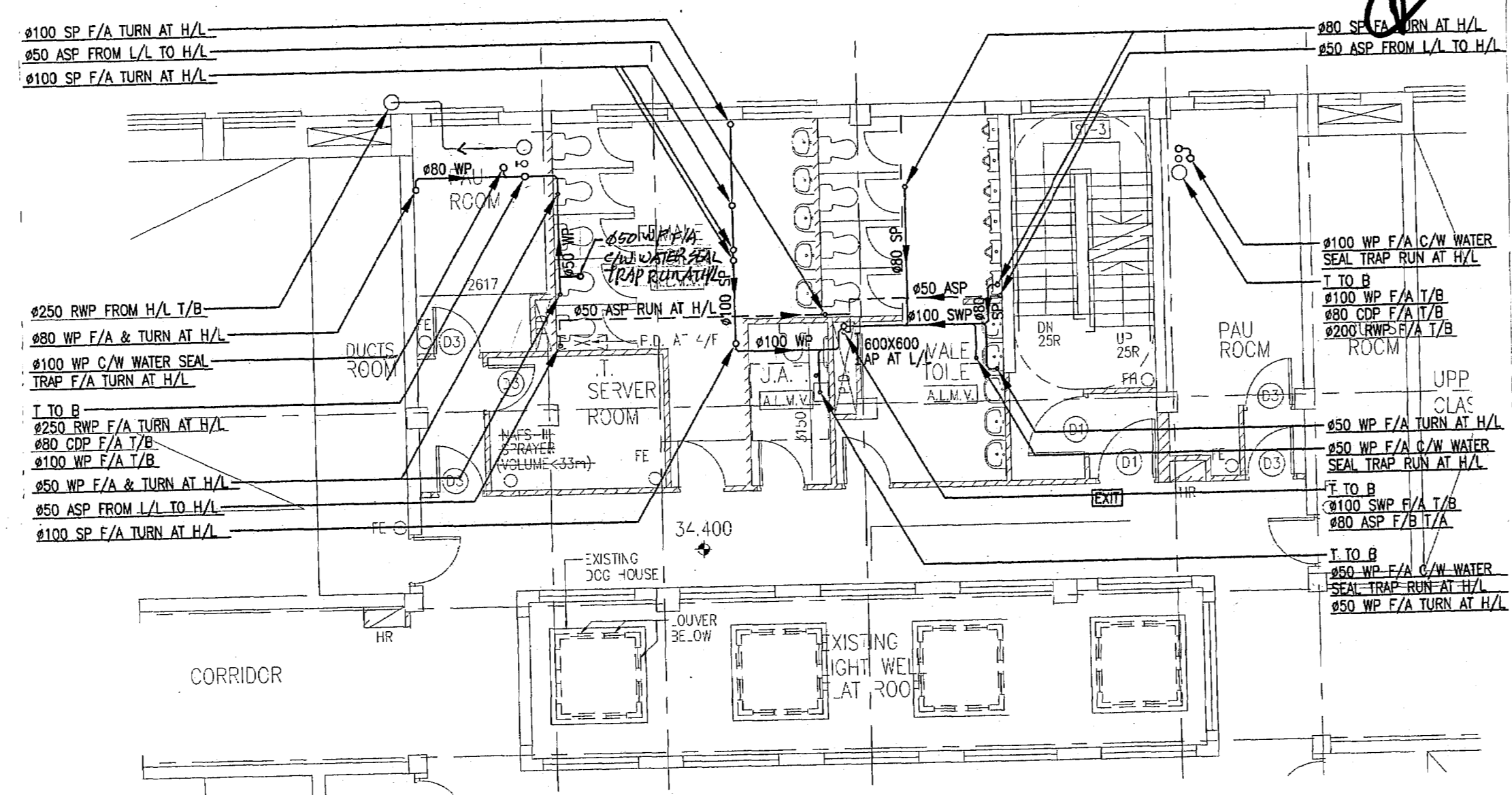


SECOND FLOOR HIGH LEVEL PLAN

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 R & D Section  
 BUILDINGS DEPARTMENT



THIRD FLOOR PLAN



THIRD FLOOR HIGH LEVEL PLAN

Plan Approved  
 CHENG Wai-ye, Grace  
 Building Surveyor  
 for BUILDING AUTHORITY  
 - 9 JUL 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track application under regulation 33 of the Building (Administration) Regulations

05/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT  
**LK ARCHITECTS LTD**  
 VICTOR CHAN  
 林陳簡建築師有限公司

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**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

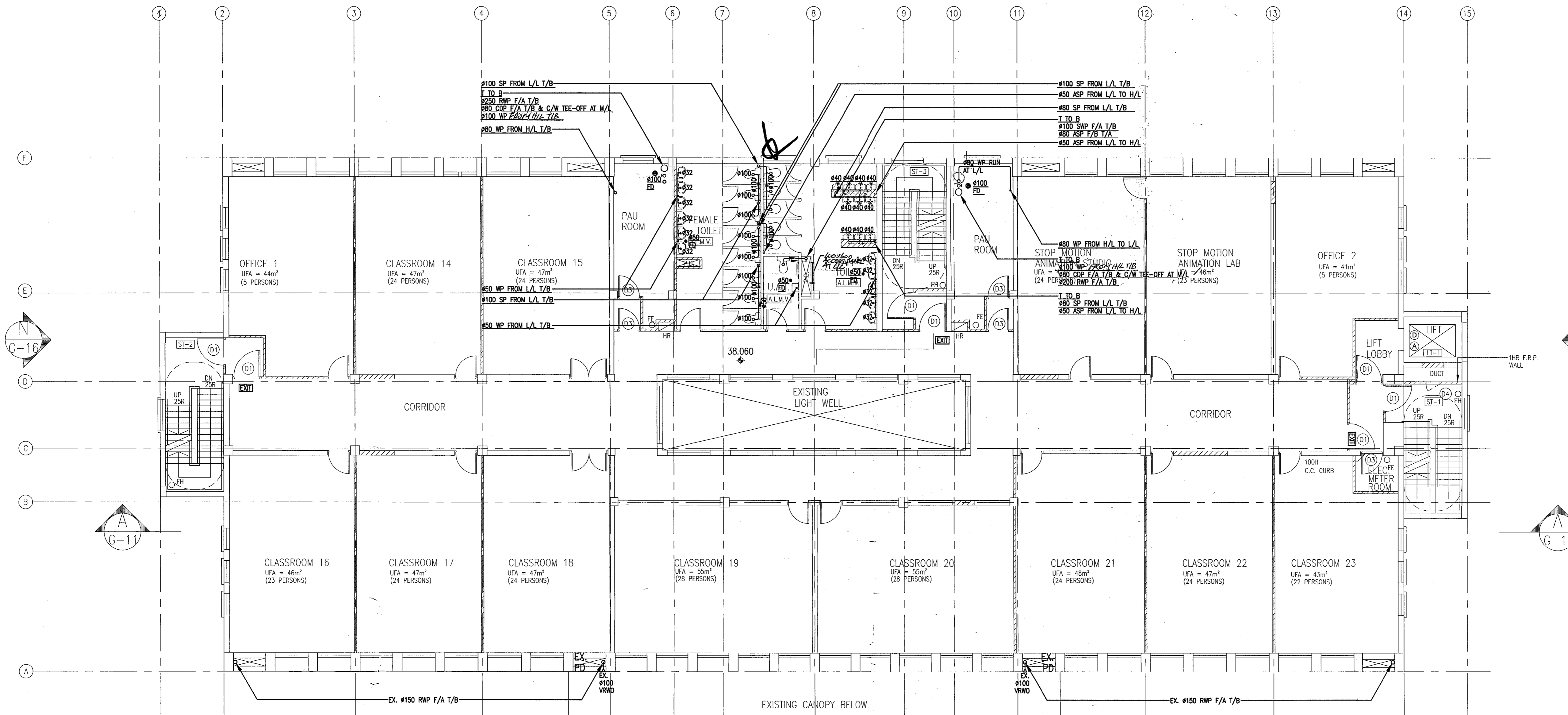
PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE  
 DRAINAGE LAYOUT FOR  
 THIRD FLOOR PLAN

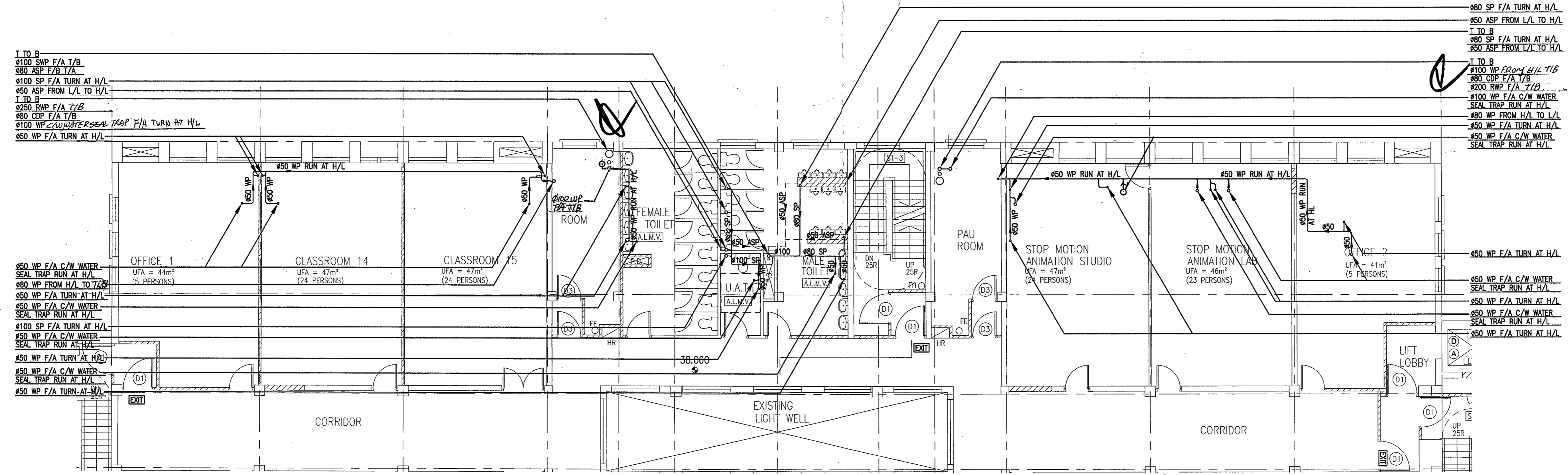
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 BUILDINGS DEPARTMENT



FOURTH FLOOR PLAN



FOURTH FLOOR HIGH LEVEL PLAN

Plan Approved  
 CHENG Wai-ye, Grace  
 Building Surveyor  
 for BUILDING AUTHORITY  
 - 9 JUL 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				

ARCHITECT  
  
 VICTOR CHAN  
 BArch (Hons) from HKU, BSc (Hons) from CUHK, FRIBA  
 Registered Architect  
 PRC Class 1 Registered Architect Qualification  
 林陳簡建築師有限公司

M & E CONSULTANT  
  
 THOMAS ANDERSON &  
 PARTNERS CONSULTING  
 ENGINEERS LTD.

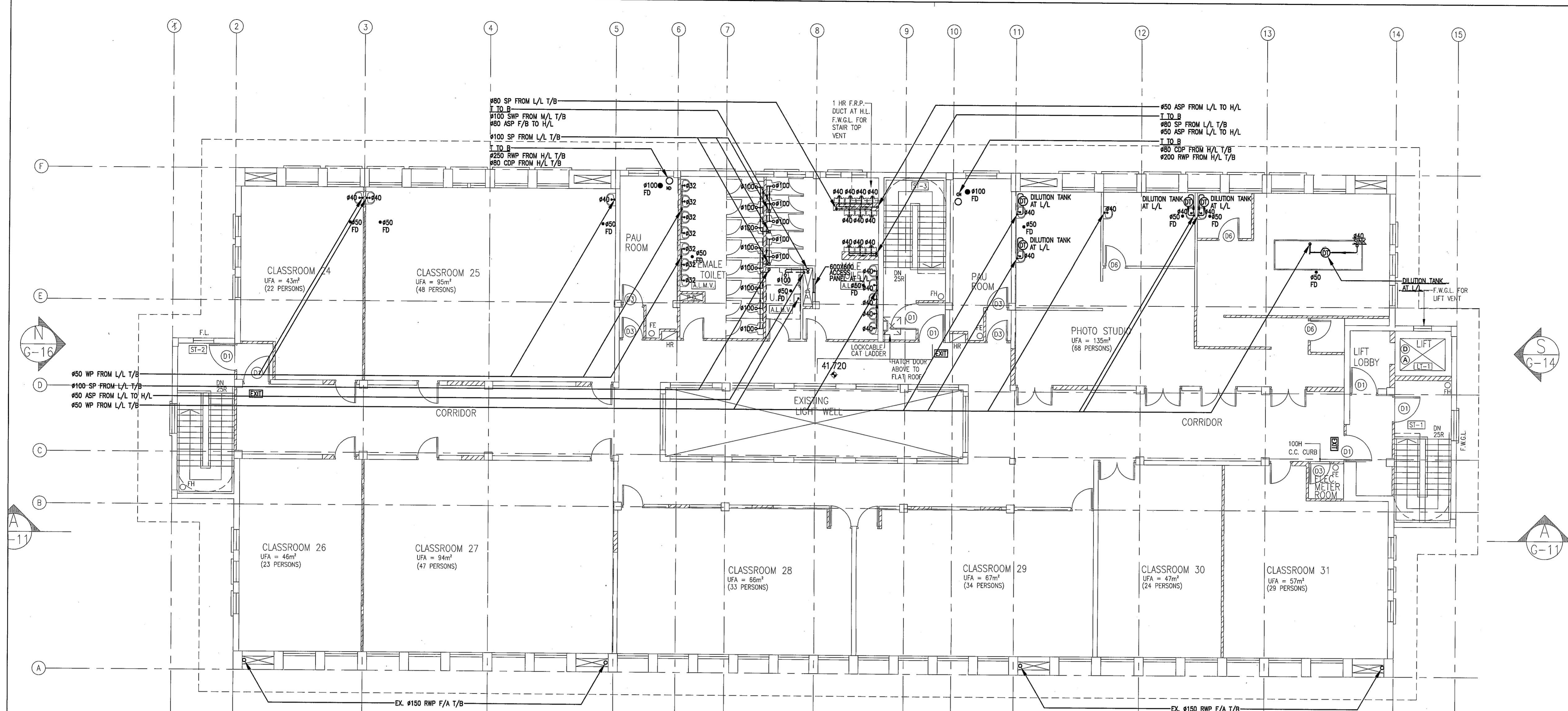
PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO  
 ROAD, KLN

TITLE  
 DRAINAGE LAYOUT FOR  
 FOURTH FLOOR PLAN

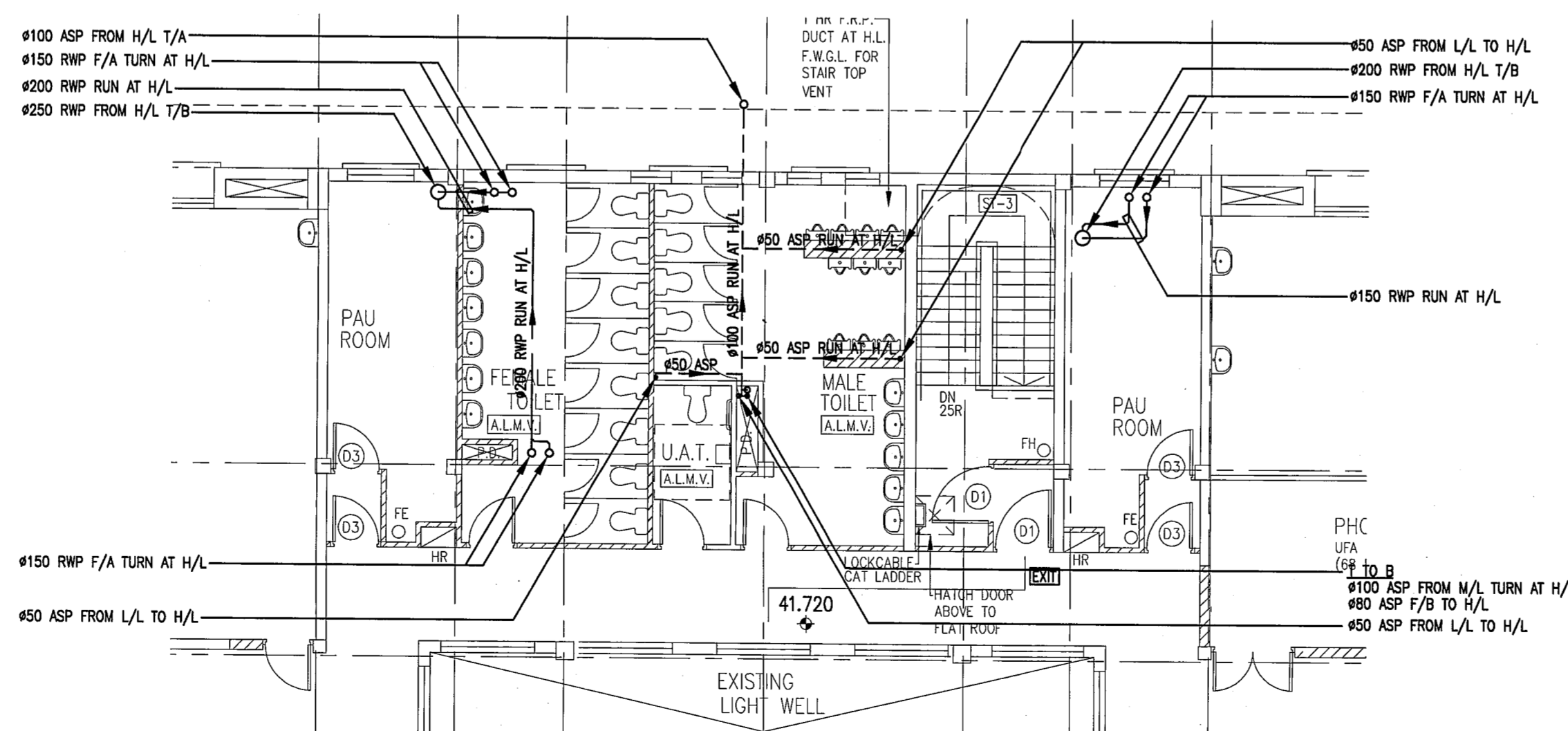
APPROVALS  
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 R.C.D. Section  
 BUILDINGS DEPARTMENT



FIFTH FLOOR PLAN



FIFTH FLOOR HIGH LEVEL PLAN

Plan Approved  
*Clarice*  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Part II of the Building (Administration) Regulations of the Buildings Ordinance.

09/10	U2	BD 3rd SUBMISSION	CC	WT
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK

ARCHITECT

**LCK**  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

M & E CONSULTANT

**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT

NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE

DRAINAGE LAYOUT FOR FIFTH FLOOR PLAN

APPROVALS

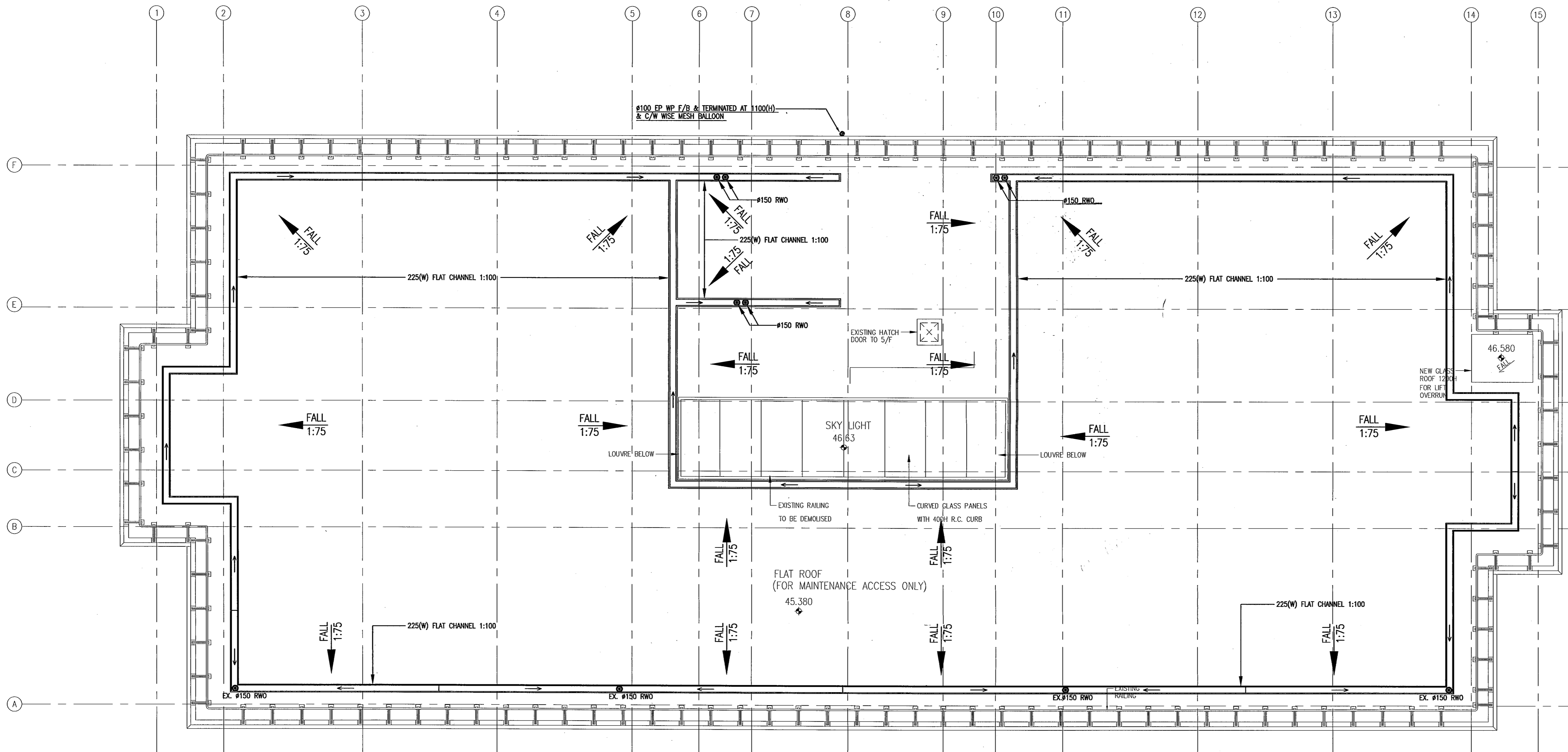
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/D/LO7

DRAWN BY	DESIGNED BY	CHECKED BY
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 BLDG. CONTROL DEPARTMENT





ROOF PLAN

NUMBER OF RAIN WATER PIPE:  
 CATCHMENT AREA = 1230m<sup>2</sup>  
 REQUIREMENT:  $\frac{1230}{10} \times 700 = 86,100\text{mm}^2$   
 RAIN WATER PIPE:  $10 \times \frac{22}{7} \times 150^2 = 707,142\text{mm}^2 > 86,100\text{mm}^2$

Plan Approved  
*YU Po-mei, Clarice*  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

DATE	NO	REVISION	BY	CHK
09/10	U2	BD 3rd SUBMISSION	CC	WT
06/10	U1	BD 2nd SUBMISSION	CC	WT
07/09	U0	BD SUBMISSION	CC	WT

*Victor Chan*  
 VICTOR CHAN  
 Director/Principal/Registered Professional Engineer  
 PRO Class 1 Registered/Control Qualification

ARCHITECT  
  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

M & E CONSULTANT  
  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

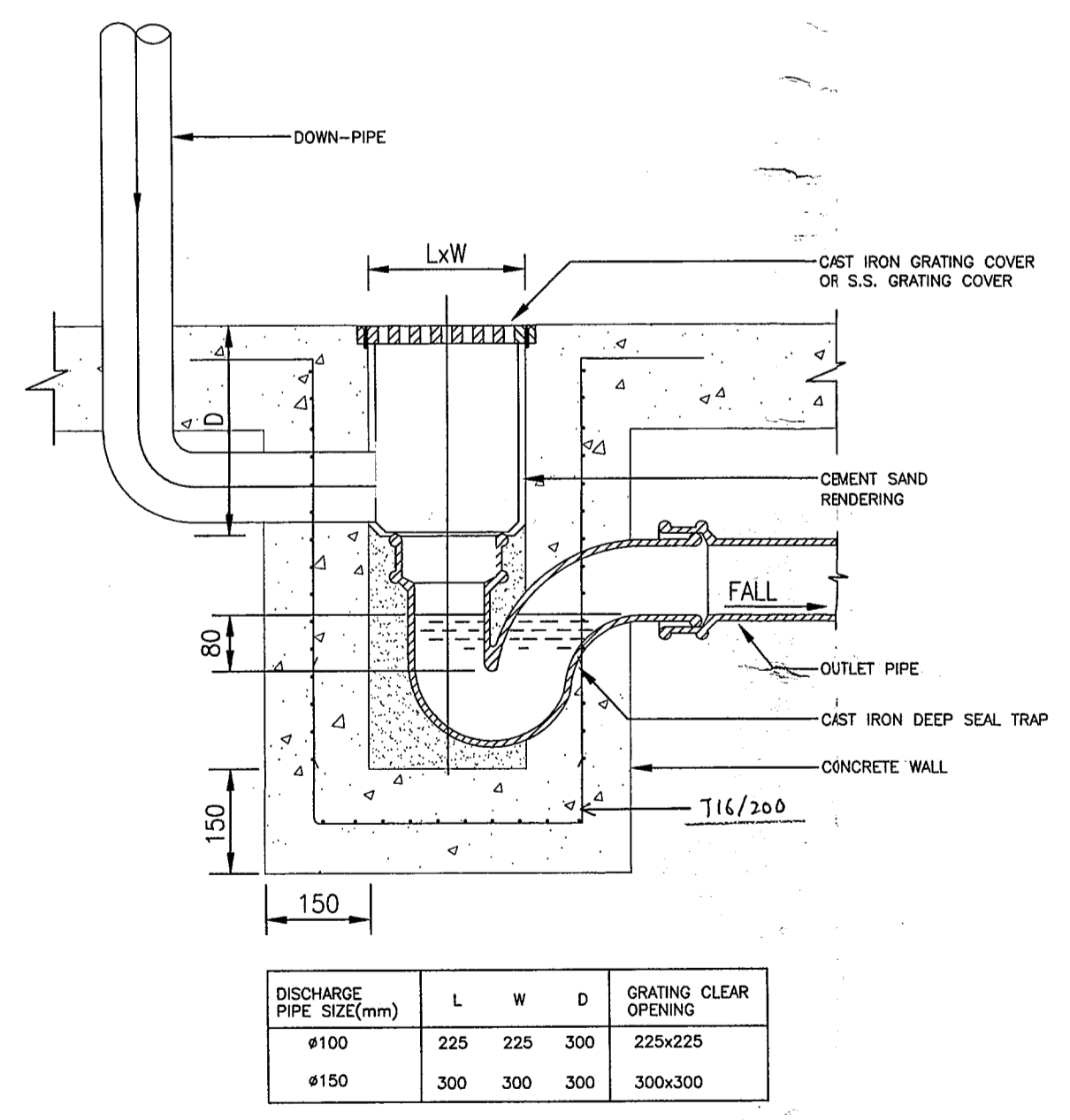
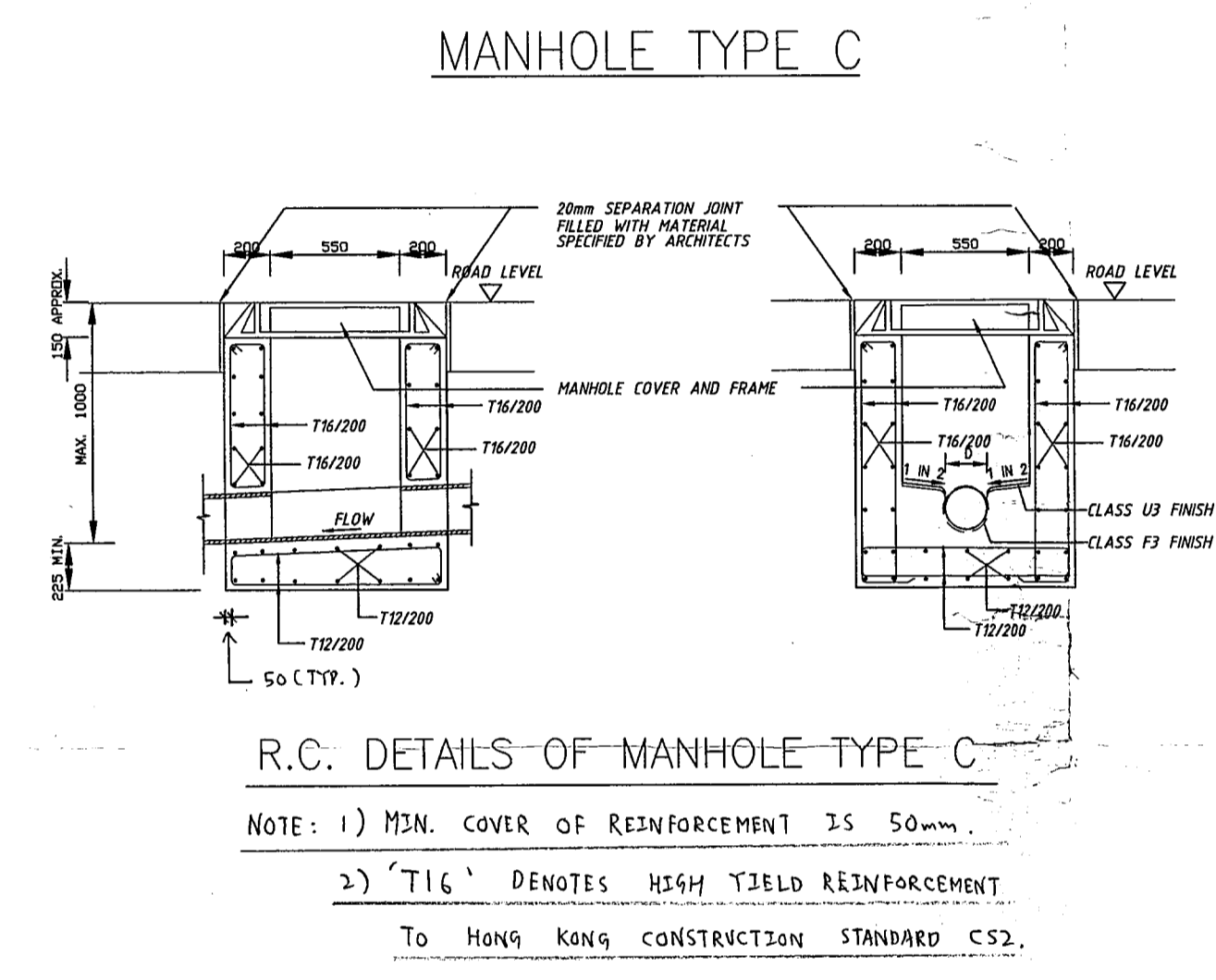
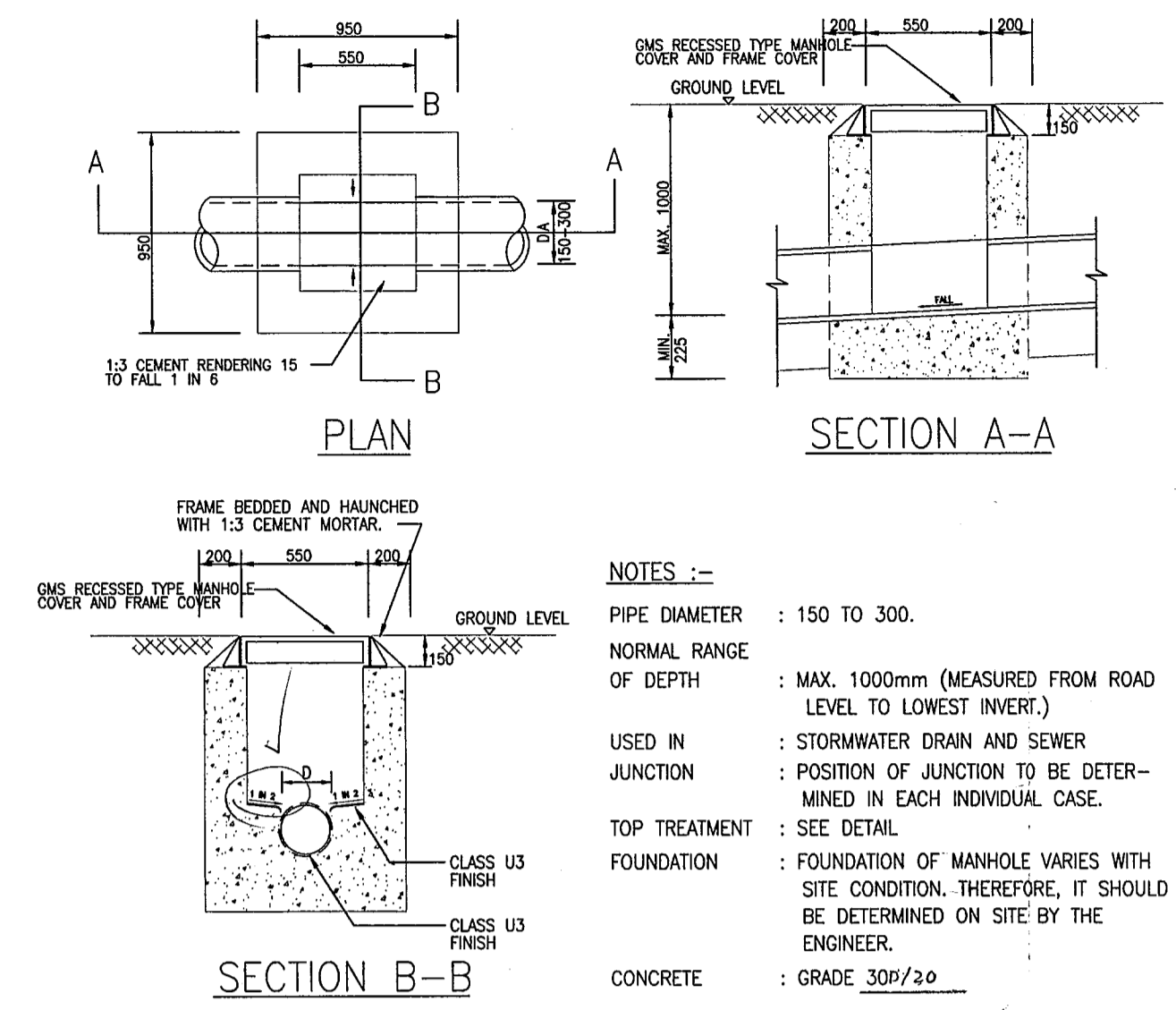
PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE  
 DRAINAGE LAYOUT FOR ROOF PLAN

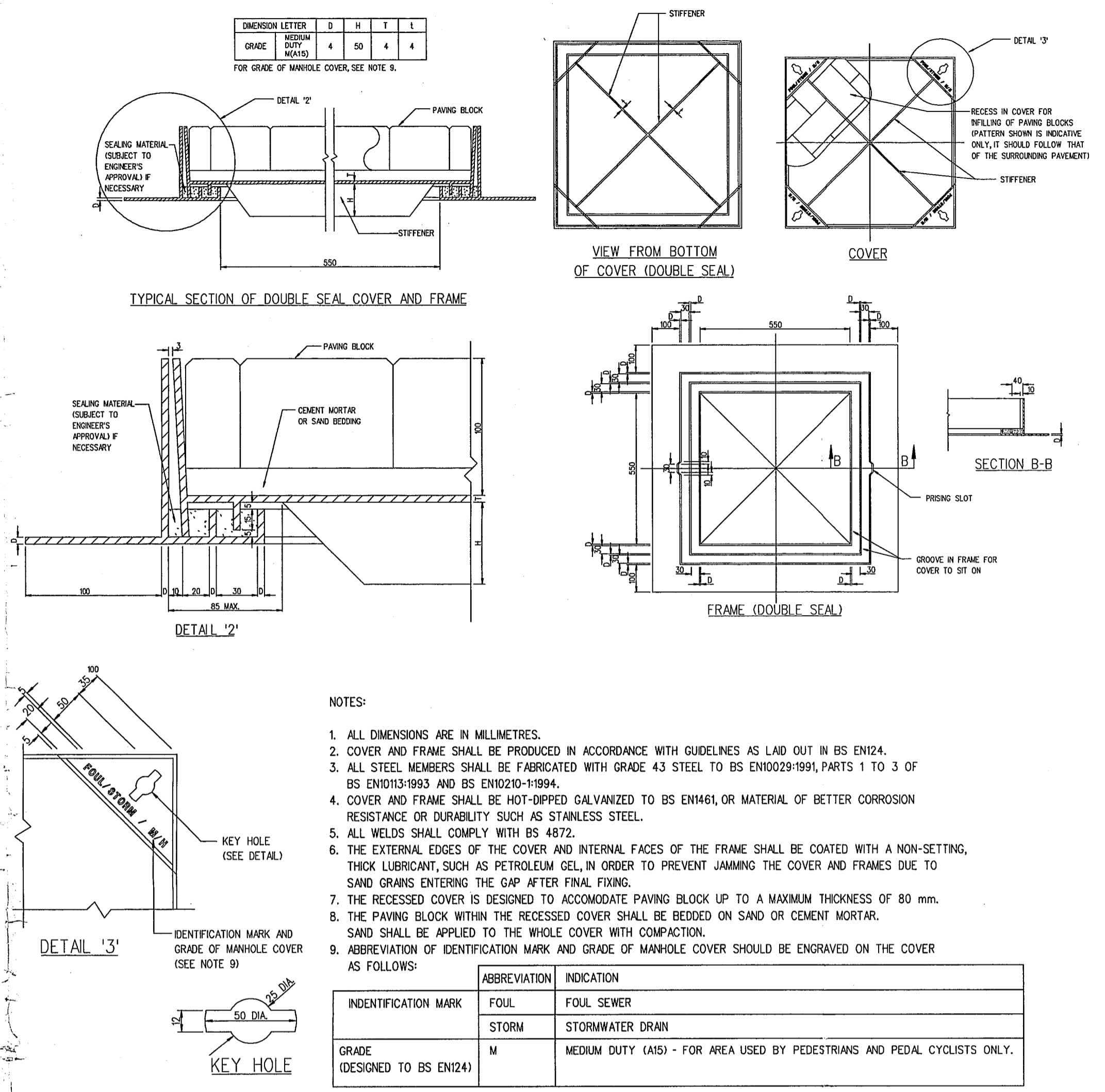
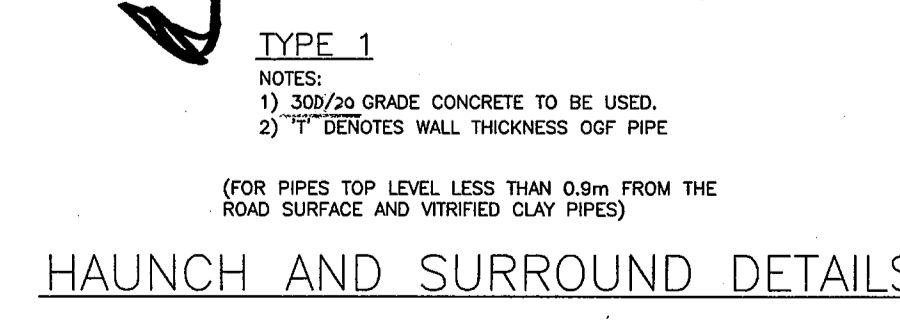
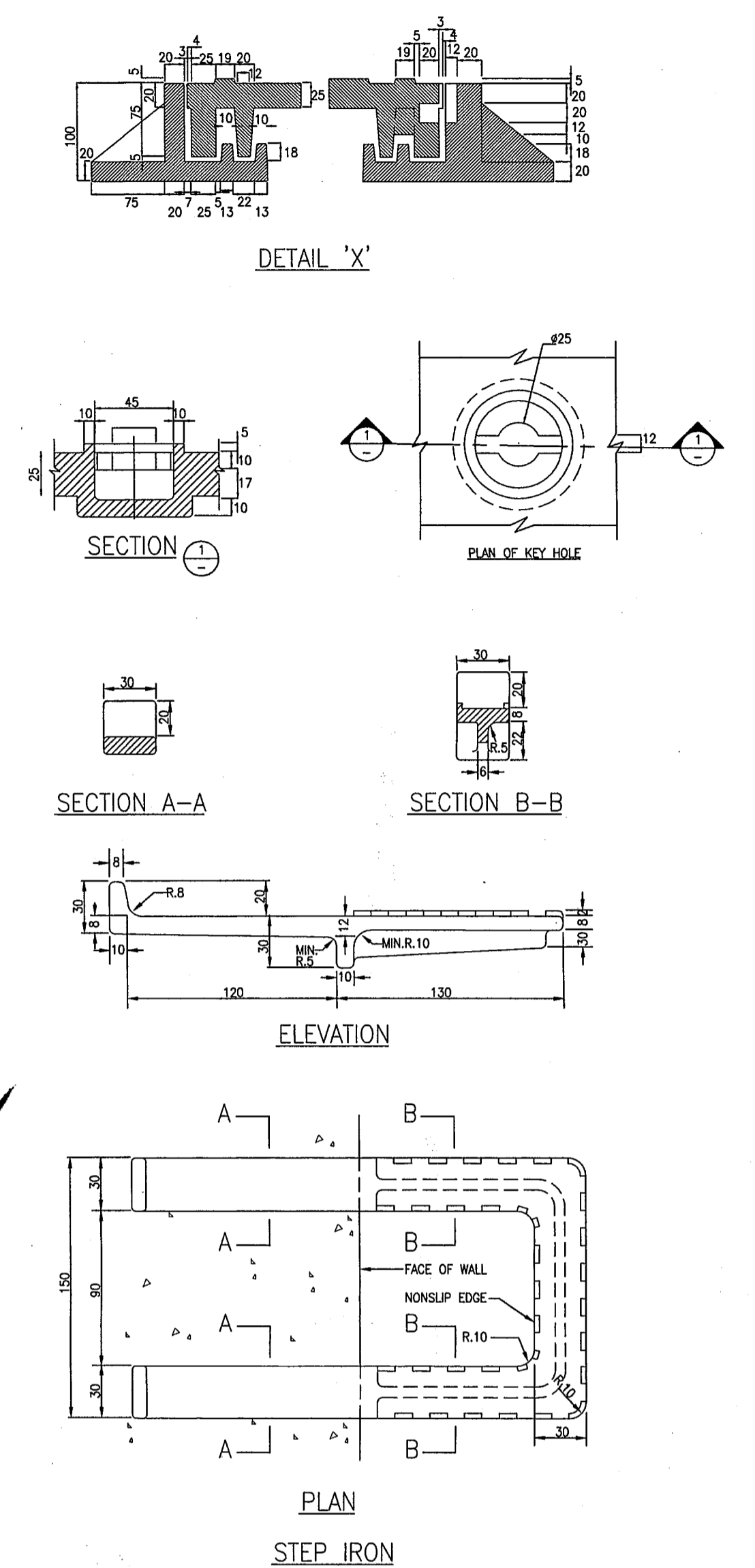
APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

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DRAWN BY KML	DESIGNED BY CC	CHECKED BY AT
SCALE 1:100	DATE JULY, 2009	ISSUE U2

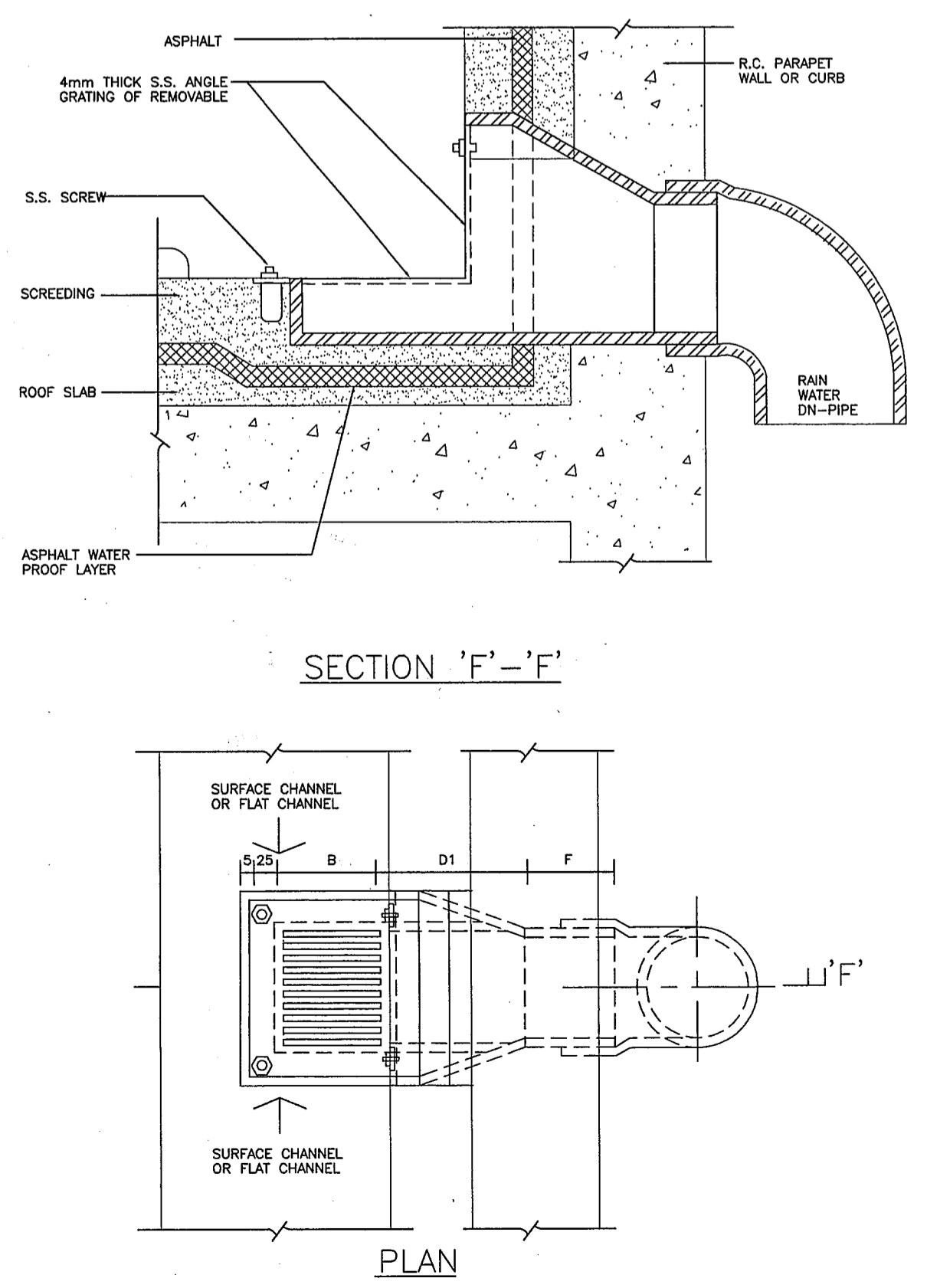
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 BUILDING DEPARTMENT



DISCHARGE PIPE SIZE (mm)	L	W	D	GRATING CLEAR OPENING
Ø100	225	225	300	225x225
Ø150	300	300	300	300x300



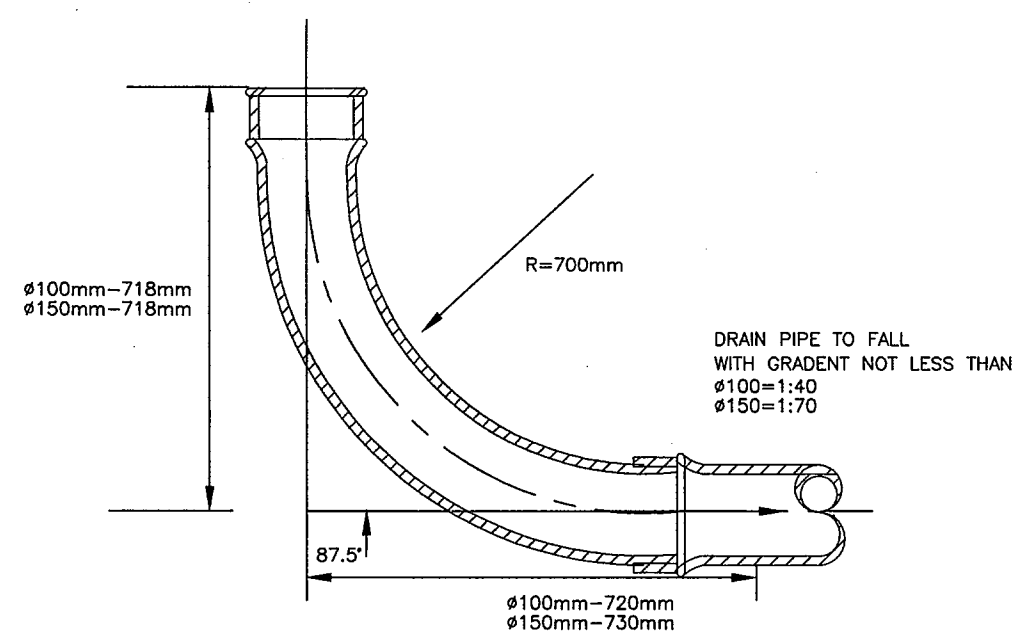
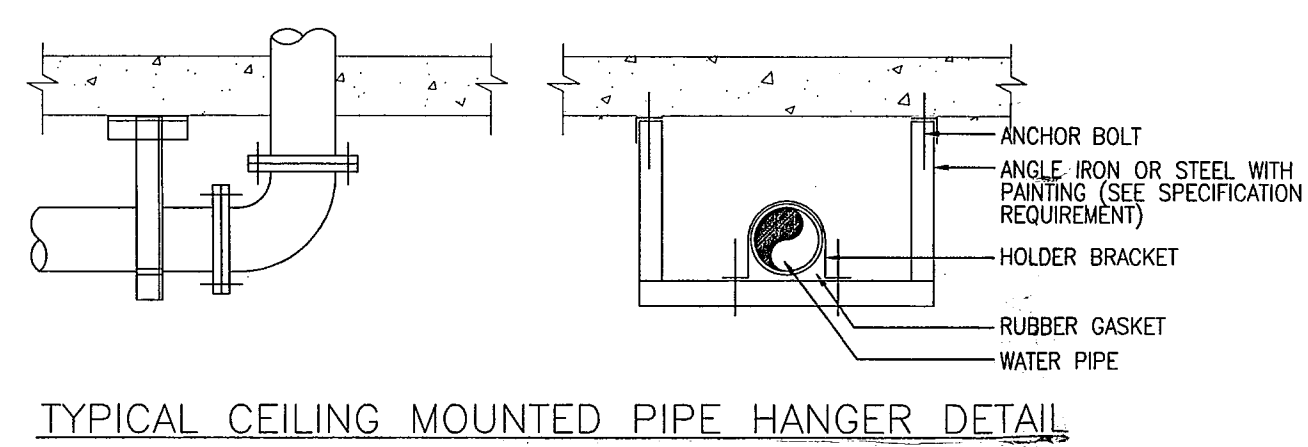
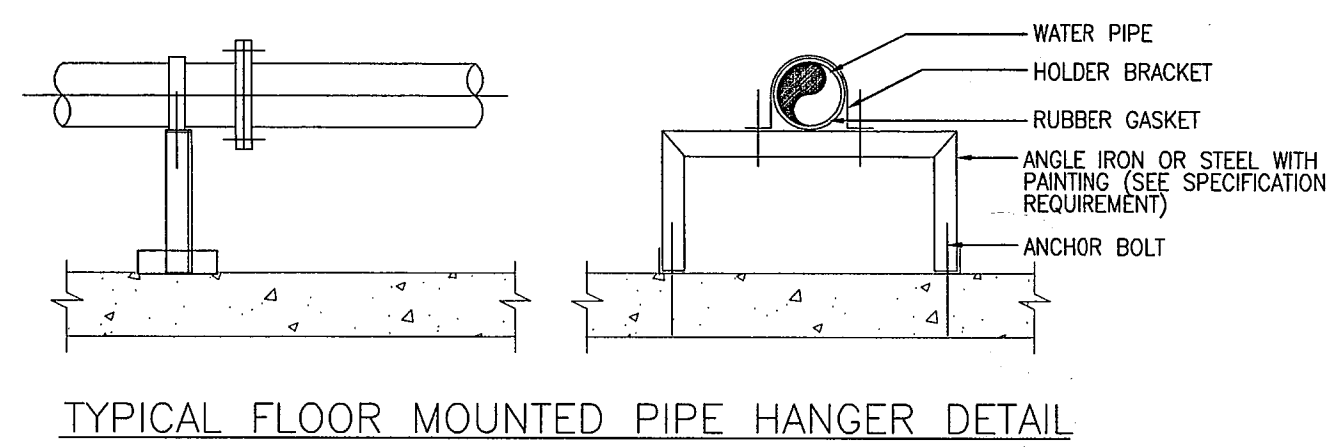
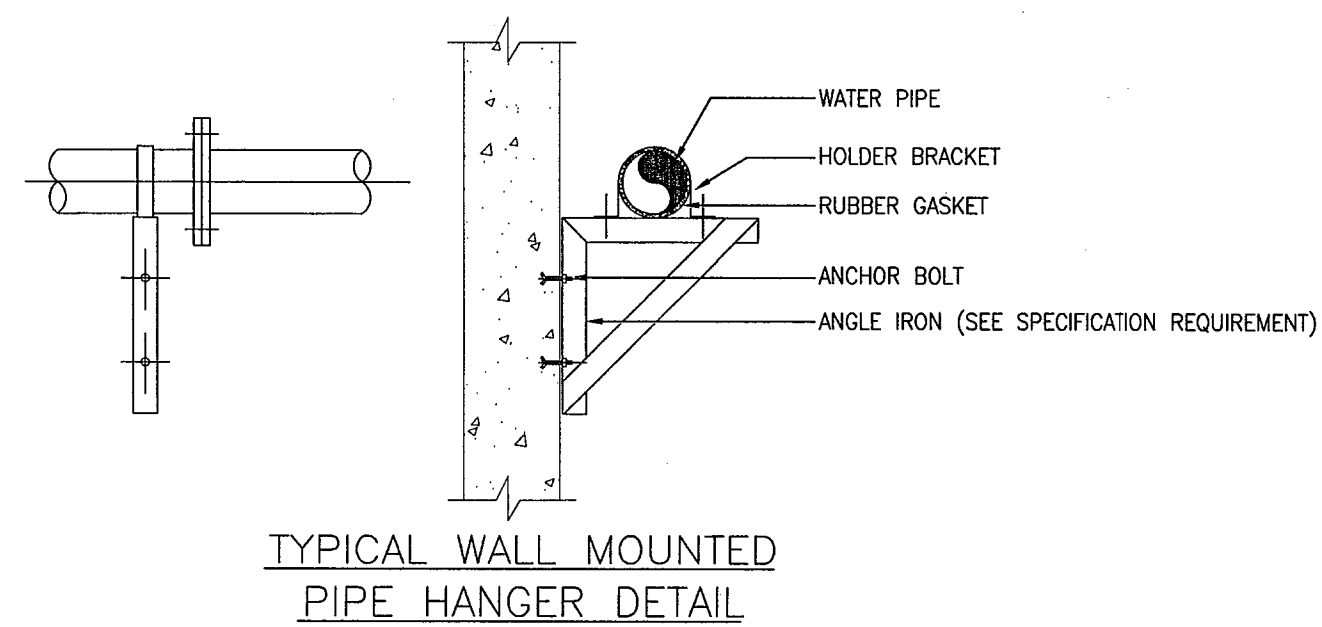
DETAILS FOR RECESSED COVER & FRAME



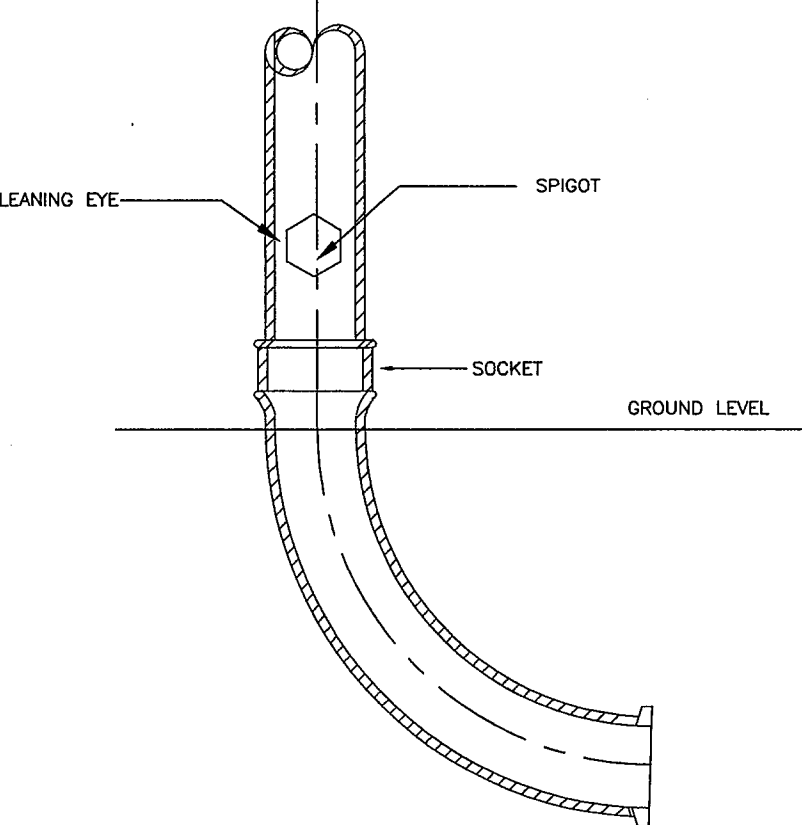
Plan Approved  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 17 SEP 2009

07/09	UO	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				
ARCHITECT				
 VICTOR CHAN ARCHITECT (P) PROFESSIONAL REGULATION AUTHORITY PRC Class 1 Registered Architect Qualification 林陳簡建築師有限公司				
M & E CONSULTANT				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
PROJECT				
NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN				
TITLE				
STANDARD DETAILS FOR DRAINAGE SYSTEM (II)				
APPROVALS				
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
DRAWING NO. 0903/D/M02				
DRAWN BY		DESIGNED BY		CHECKED BY
KML	CC	AT		
SCALE		DATE		ISSUE
N.T.S.		JULY., 2009		UO

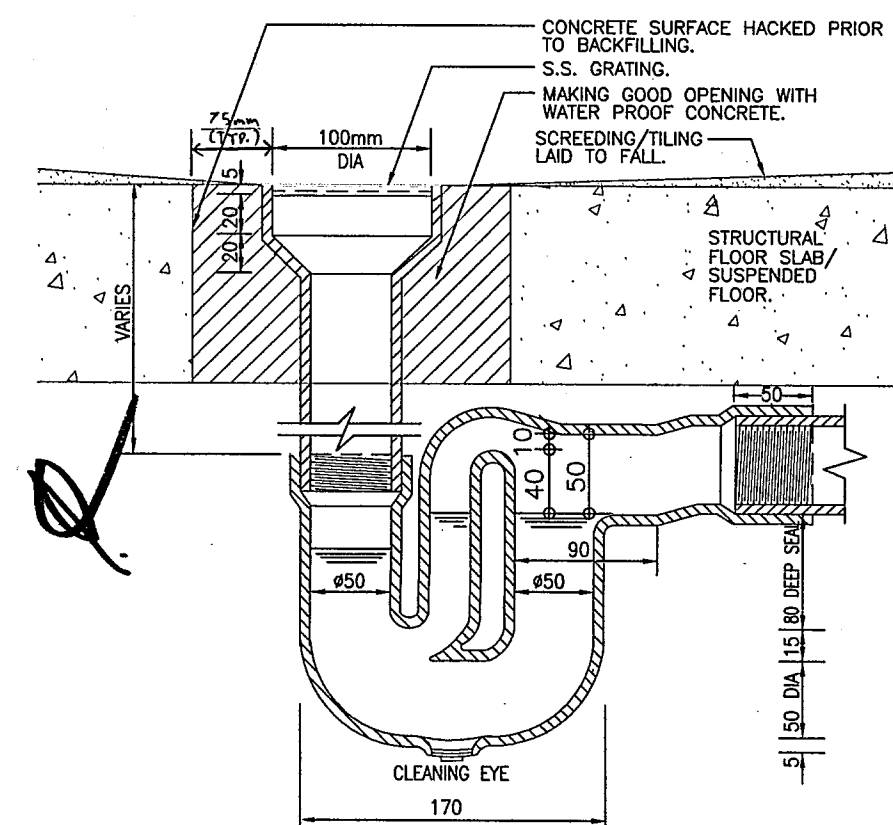
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 R.C.D.S. DIVISION  
 BUILDINGS DEPARTMENT



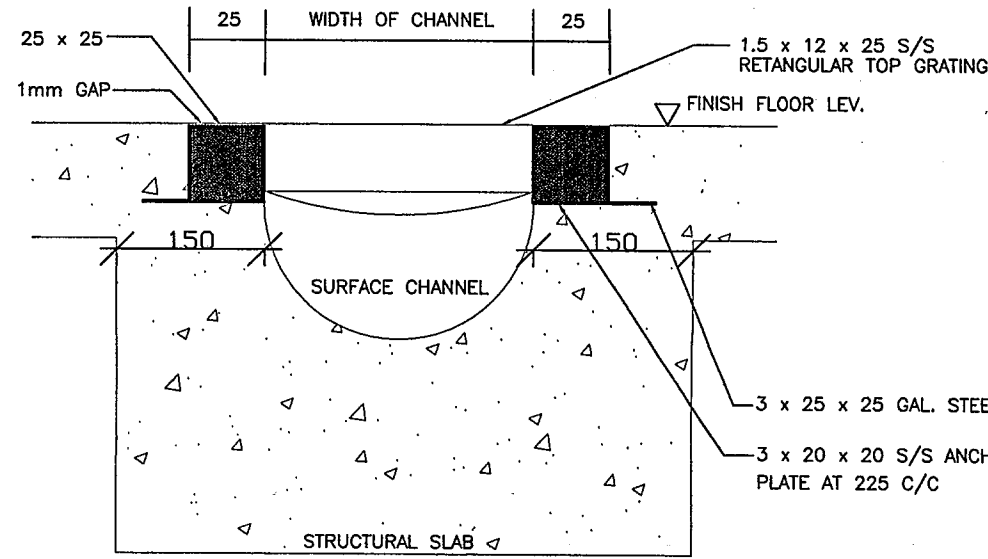
DETAIL OF CAST IRON DRAIN PIPE WITH LARGE RADIUS BEND



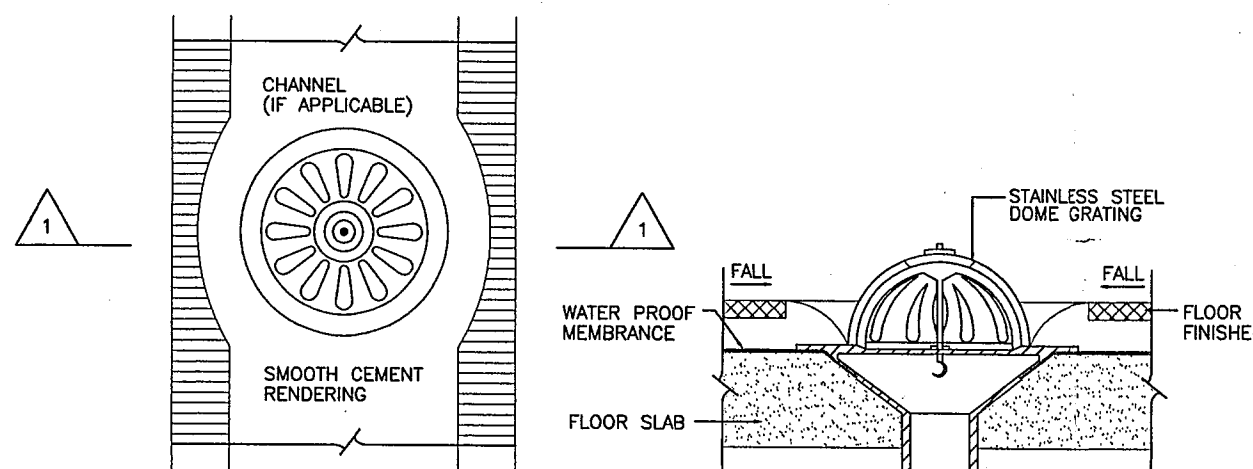
DETAIL OF PIPE CONNECTION FROM ABOVE GROUND TO UNDERGROUND



FLOOR DRAIN WITH ANTI-SYPHON TRAP

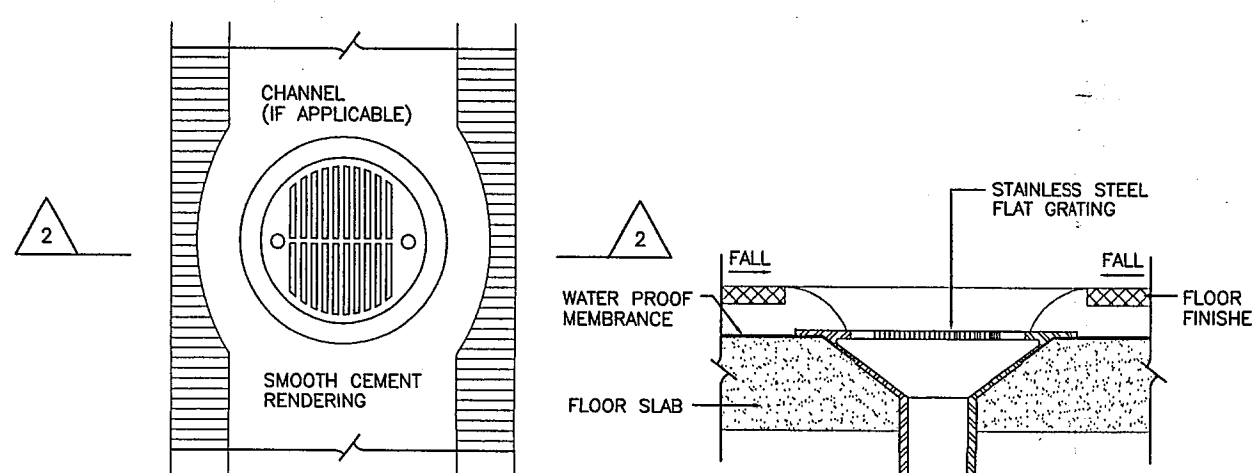


SECTION DETAIL CAST IRON GRATING



PLAN-DOME GRATING

SECTION A



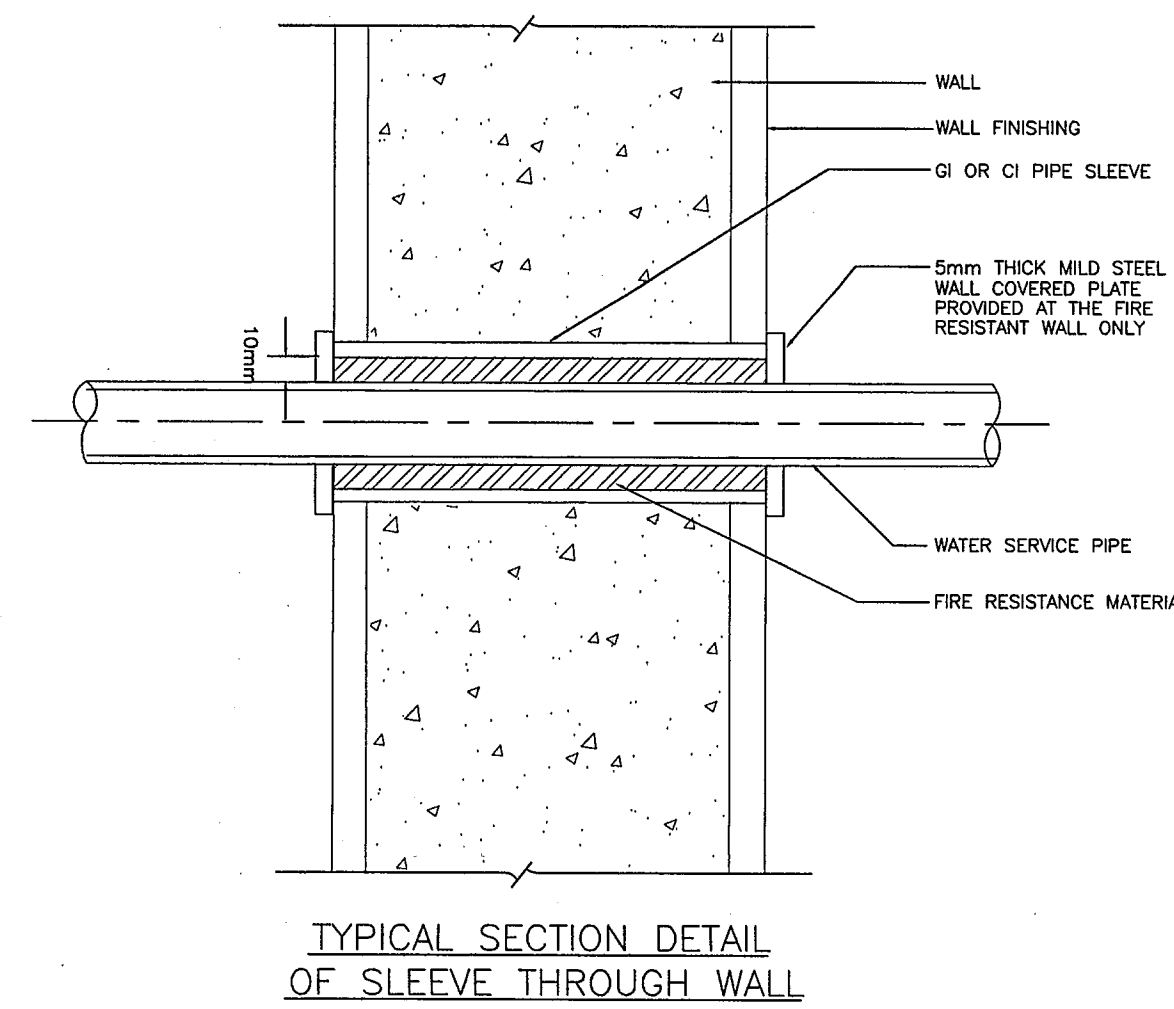
PLAN-FLAT GRATING

SECTION A

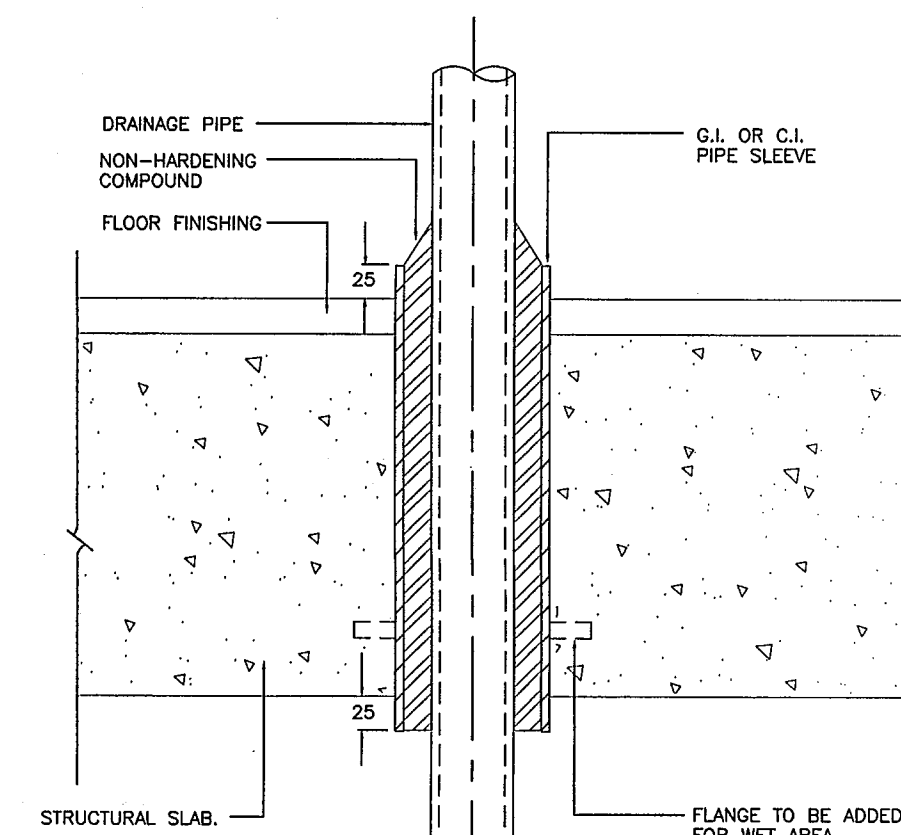
- NOTES:  
RAINWATER OUTLETS SHALL BE COMPLETE WITH:  
1) a) DOME GRATING - INACCESSIBLE FLAT ROOF  
- INSIDE 'U' CHANNEL (PAID CONTRACTOR SHALL CHECK THE DEPTH OF U-CHANNEL IS SUFFICIENT BEFORE ORDER THE MATERIAL)  
OR  
b) FLAT GRATING (MEDIUM DUTY) - WALKWAY (ON SUSPENDED STRUCTURAL SLAB)  
(HEAVY DUTY) - DRIVEWAY (ON SUSPENDED STRUCTURAL SLAB)  
AND OF:  
2) - CAST IRON BODY C/W MEMBRANE CLAMP  
- NICKEL BRONZE, CHROME PLATED BRONZE OR STAINLESS STEEL FLAT GRATING FOR ACCESSIBLE PODIUM ROOF, BALCONIES OR PUBLIC ACCESSIBLE AREA  
- CAST IRON FLAT GRATING FOR OPEN CARPARK, LOADING/UNLOADING AND SERVICES AREA.  
- CAST IRON OR ALUMINIUM DOME GRATING FOR INACCESSIBLE ROOFS, FLAT ROOFS, CANOPIES AND NOT SPECIFIED AREA.

DIAMETER OF RAINWATER PIPE	DIAMETER OF GRATING
65	100
80	150
100	225
150	300

CAST IRON ROUND FLAT & DOME GRATINGS FOR RAINWATER OUTLETS



TYPICAL SECTION DETAIL OF SLEEVE THROUGH WALL

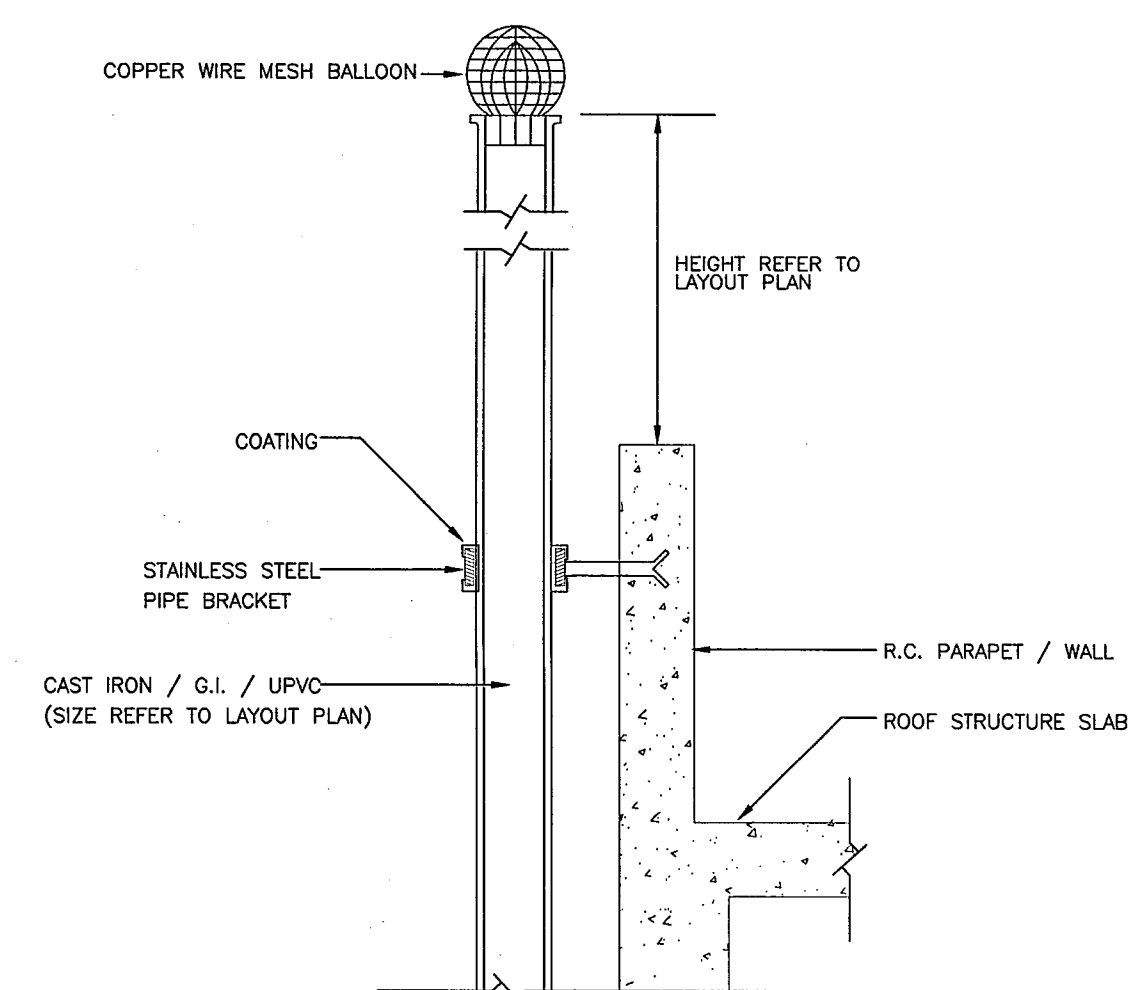


TYPICAL SECTION DETAIL OF SLEEVE THROUGH SLAB

TABLE OF ANGLE GRATING SIZE & OTHERS

A	B	C	D	D1	E	F	REMARKS
67	88	80	65	75	30	50	CONNECTED TO G.I. FITTING
127	150	100	100	110.4	127	127	CONNECTED TO PVC PIPE FITTING
282	150	150	150	166.5	40	103	

ANGLE GRATING RAINWATER OUTLET



TYPICAL DETAIL FOR WALL-MOUNTED VENT PIPE

Plan Approved  
YU Po-mei, Clarice  
Senior Building Surveyor  
for BUILDING AUTHORITY  
17 SEP 2009

07/09	UO	BD SUBMISSION	CC	WT
DATE	NO	REVISION	BY	CHK
REVISIONS				

ARCHITECT

**LK ARCHITECTS LTD**  
VICTOR CHAN  
Principal Architect  
Professional Architect  
PRC Class 1 Registered Architect  
林陳簡建築師有限公司

M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

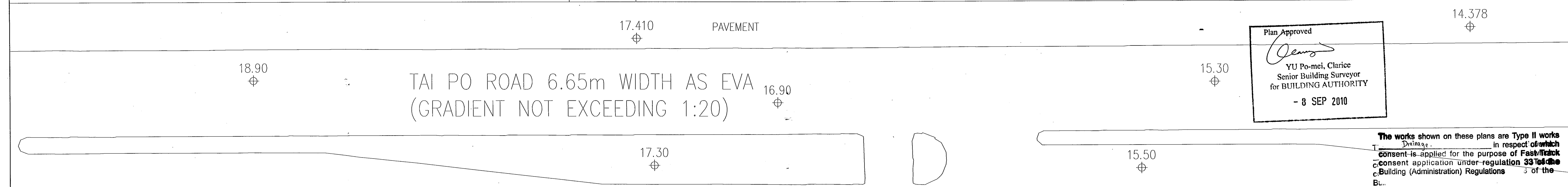
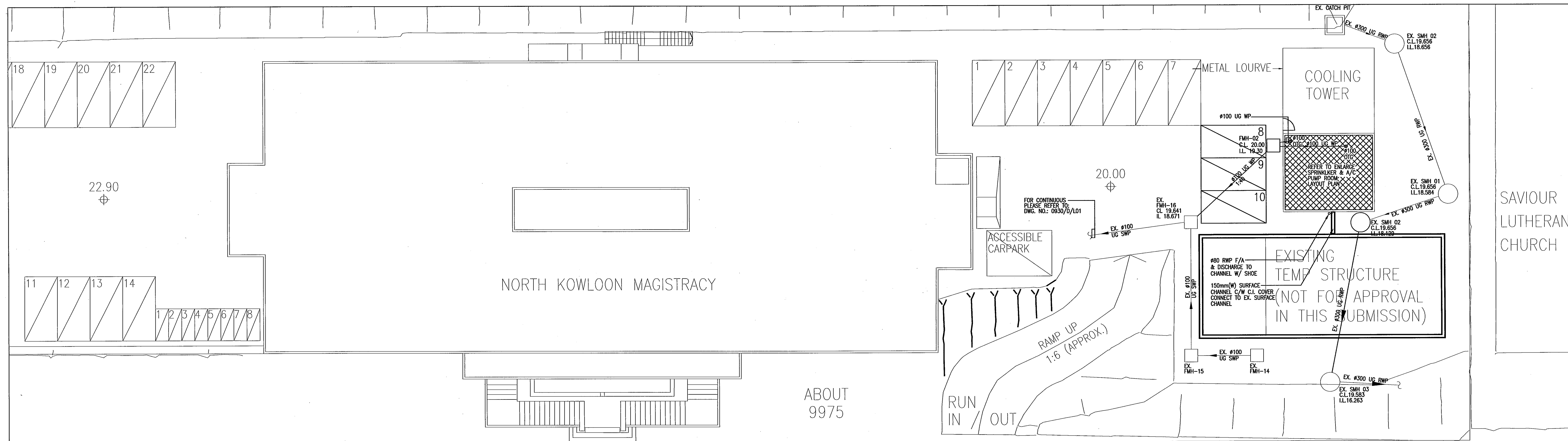
TITLE  
STANDARD DETAILS FOR DRAINAGE SYSTEM (I)

APPROVALS  
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/D/M01

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SCALE	DATE	ISSUE
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BUILDINGS



The works shown on these plans are Type II works in respect of which consent is applied for the purpose of FastTrack consent application under regulation 33 of the Building (Administration) Regulations of the B.L.

DATE	NO.	REVISION	BY	CHK
09/10	U2	2nd BD SUBMISSION	CC	WT
06/10	U0	BD SUBMISSION	CC	WT

VICTOR CHAN  
 ARCHITECT  
 PRC Class 1 Registered Architect

ARCHITECT  
**LCK**  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

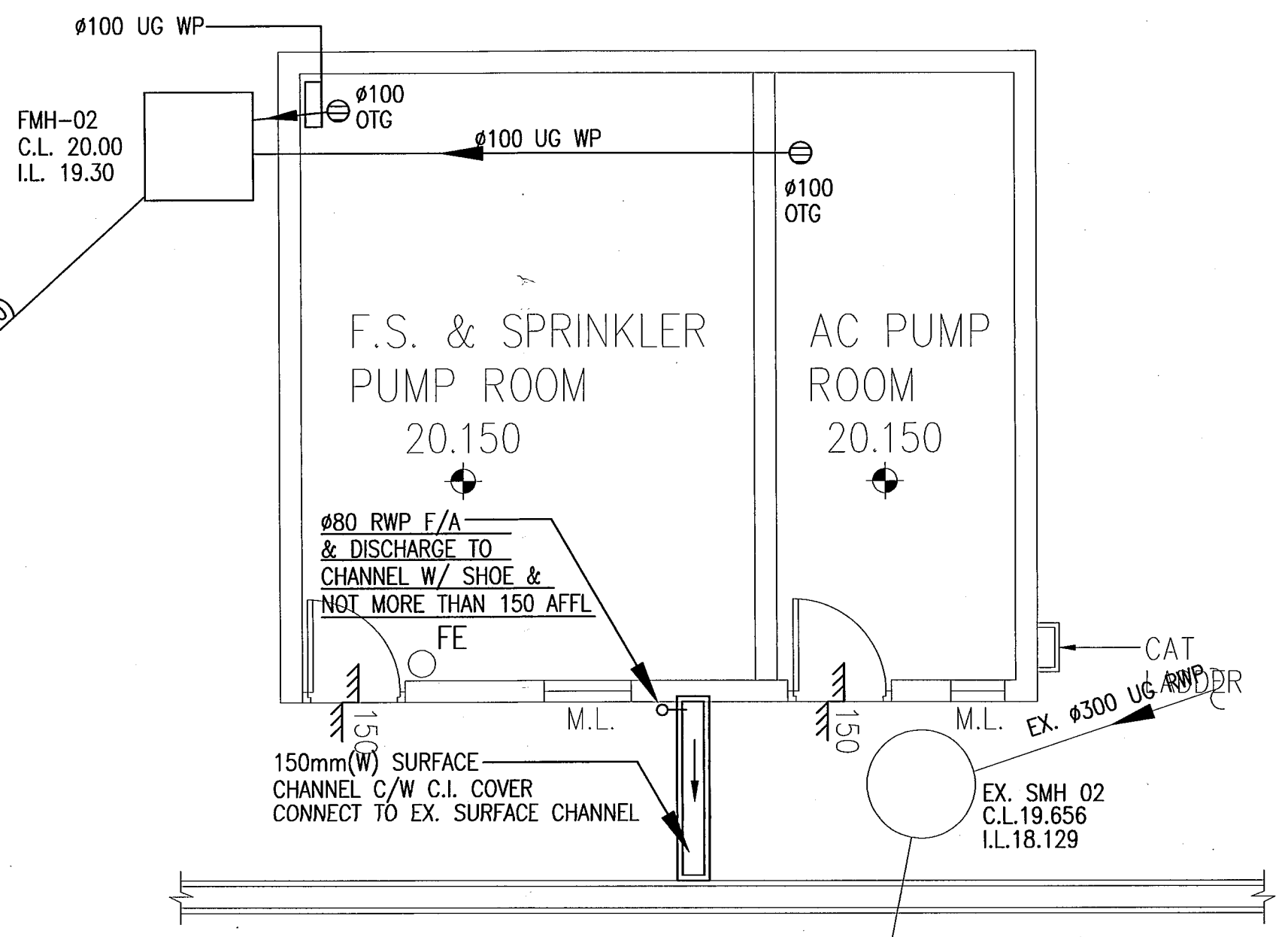
M & E CONSULTANT  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

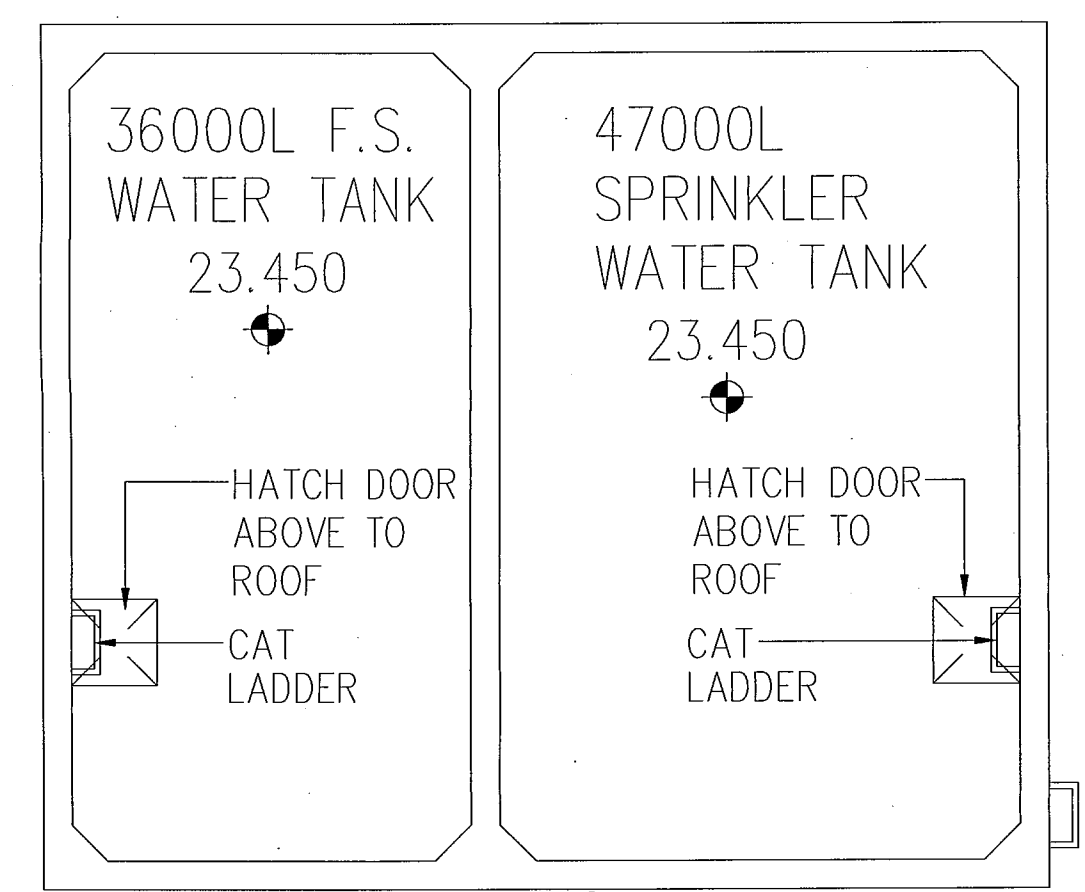
TITLE  
 DRAINAGE LAYOUT FOR  
 F.S. & SPRINKLER PUMP ROOM

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

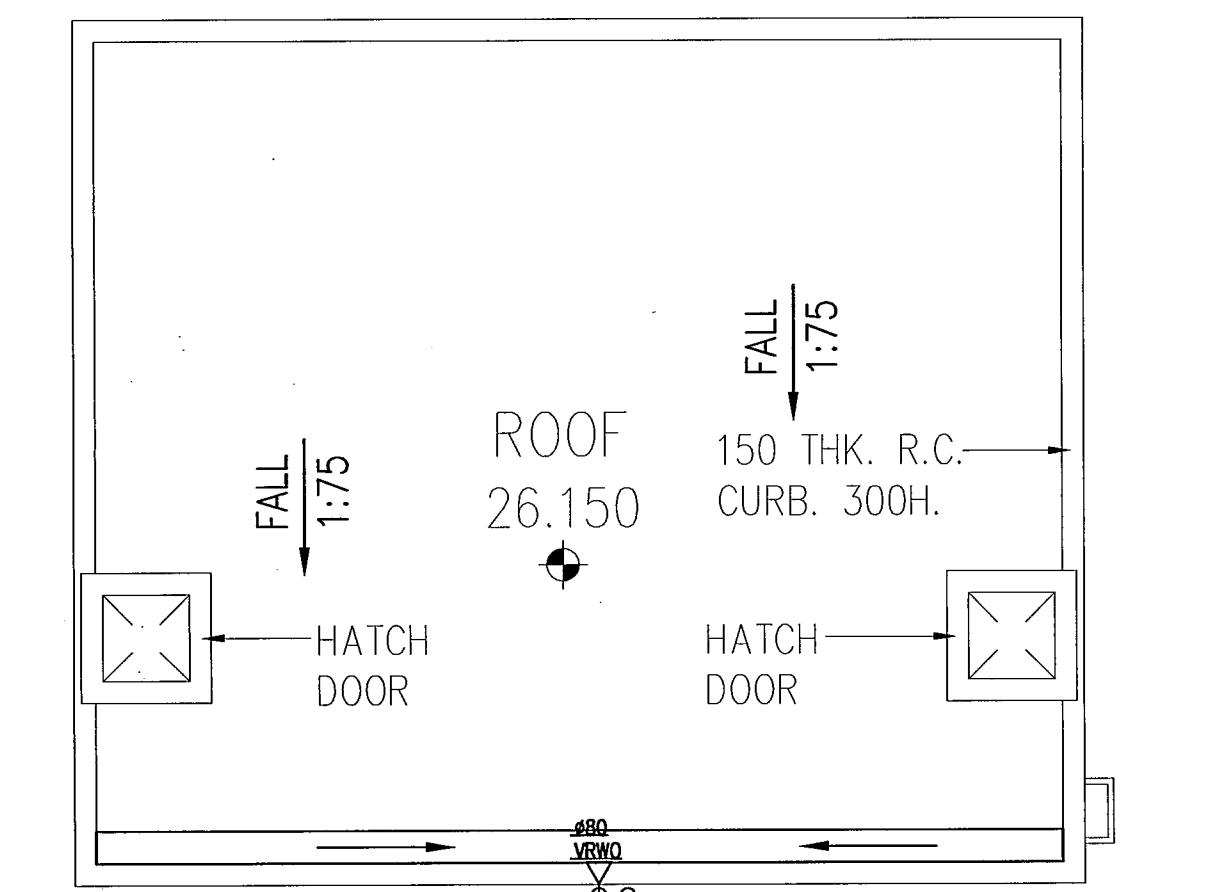
DRAWING NO. 0903/D/L09		
DRAWN BY KML	DESIGNED BY CC	CHECKED BY AT
SCALE 1:100	DATE MAY, 2010	ISSUE U2



GROUND FLOOR PLAN

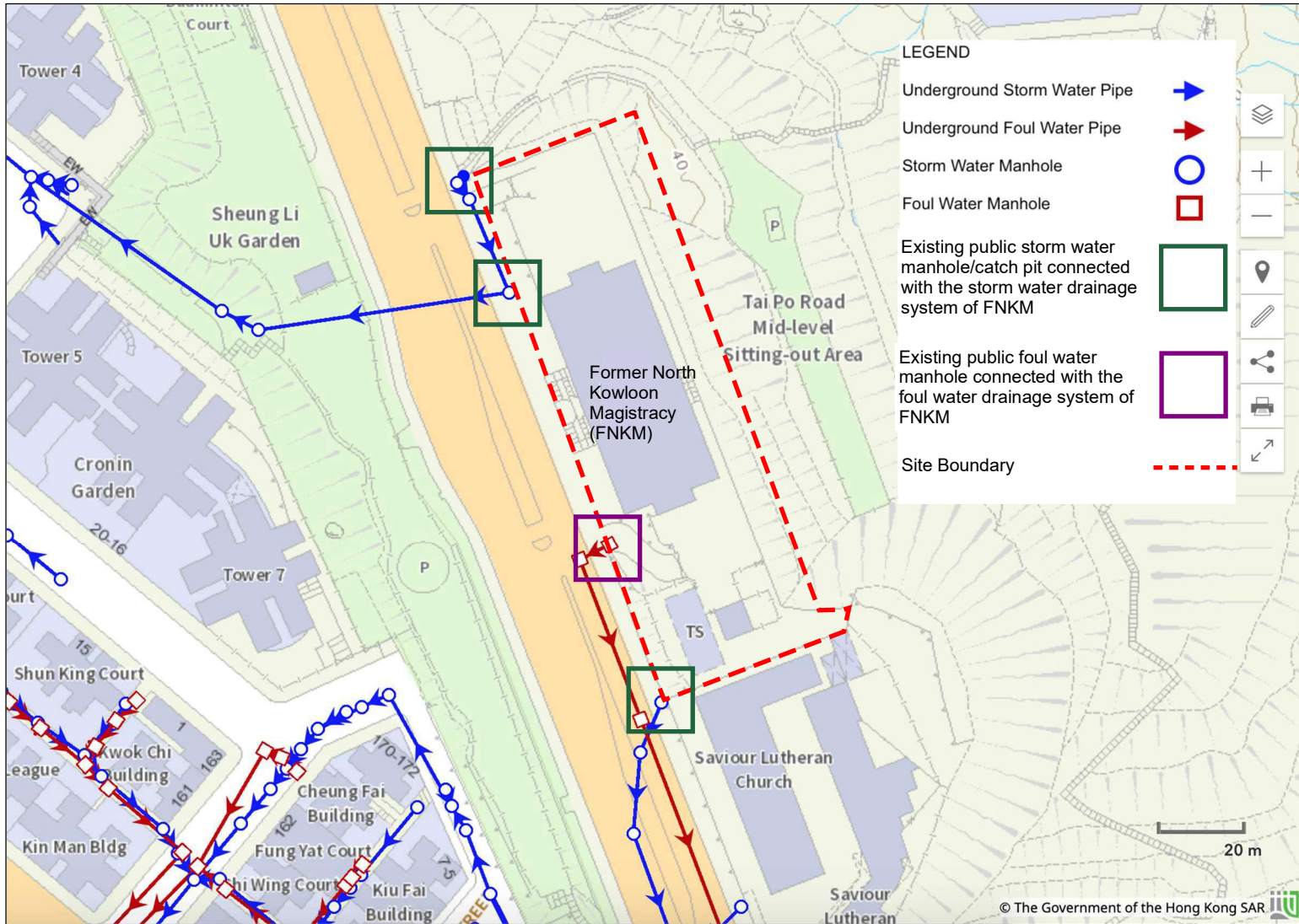


FIRST FLOOR PLAN

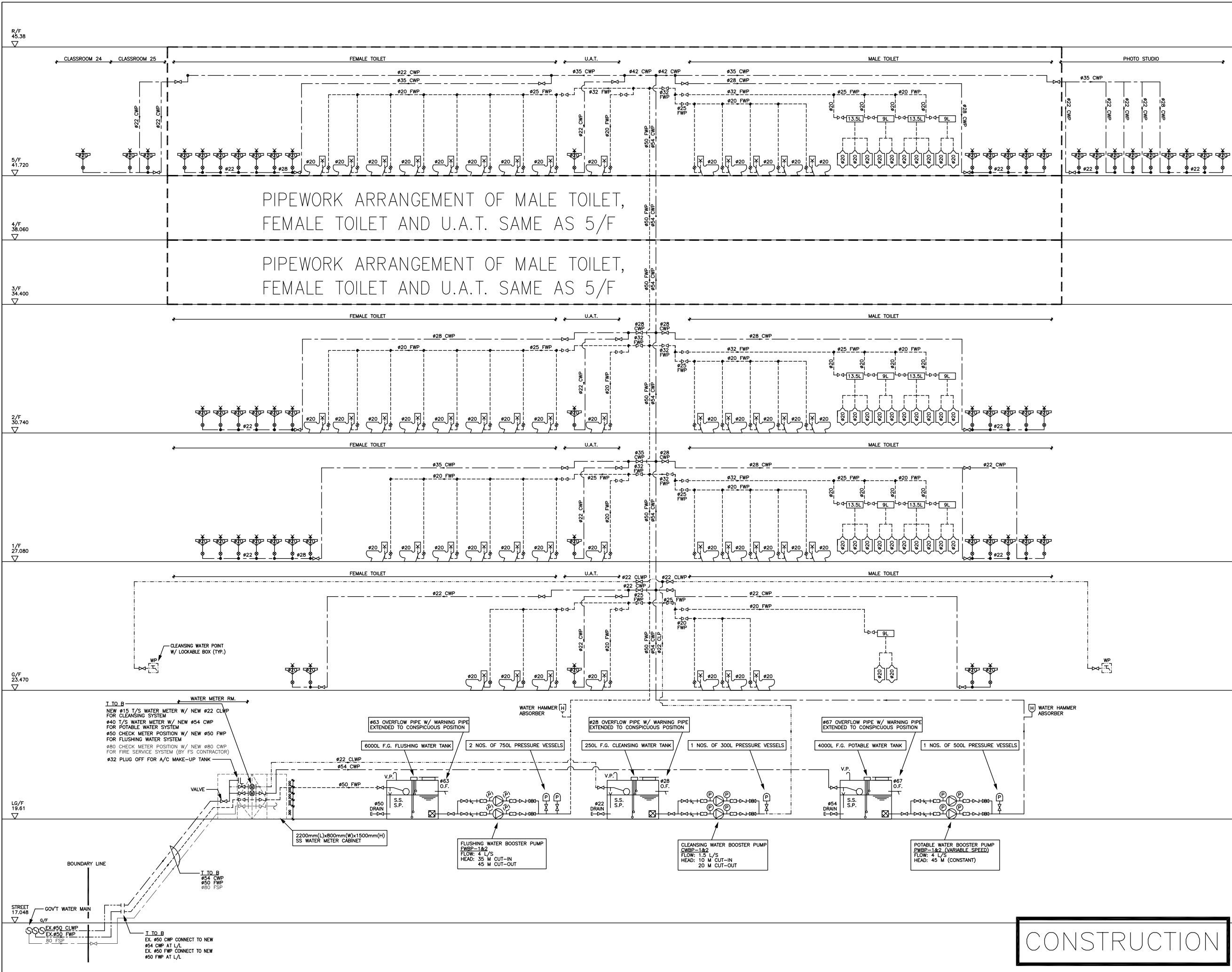


ROOF FLOOR PLAN

RECEIVED BY  
 2010 SEP -1 A 10 59  
 B & B CONSULTANTS



(DSD's record extracted from GeoInfo Map)



PIPEWORK ARRANGEMENT OF MALE TOILET, FEMALE TOILET AND U.A.T. SAME AS 5/F

PIPEWORK ARRANGEMENT OF MALE TOILET, FEMALE TOILET AND U.A.T. SAME AS 5/F

12/09	CO	ISSUE FOR CONSTRUCTION	KML	AT
DATE	NO	REVISION	BY	CHK

CLIENT  
**SCAD.**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** • EST. 1915  
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4600 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WINGLAI, HONG KONG  
 TEL 2567 4321 FAX 2885 3507

ARCHITECT  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

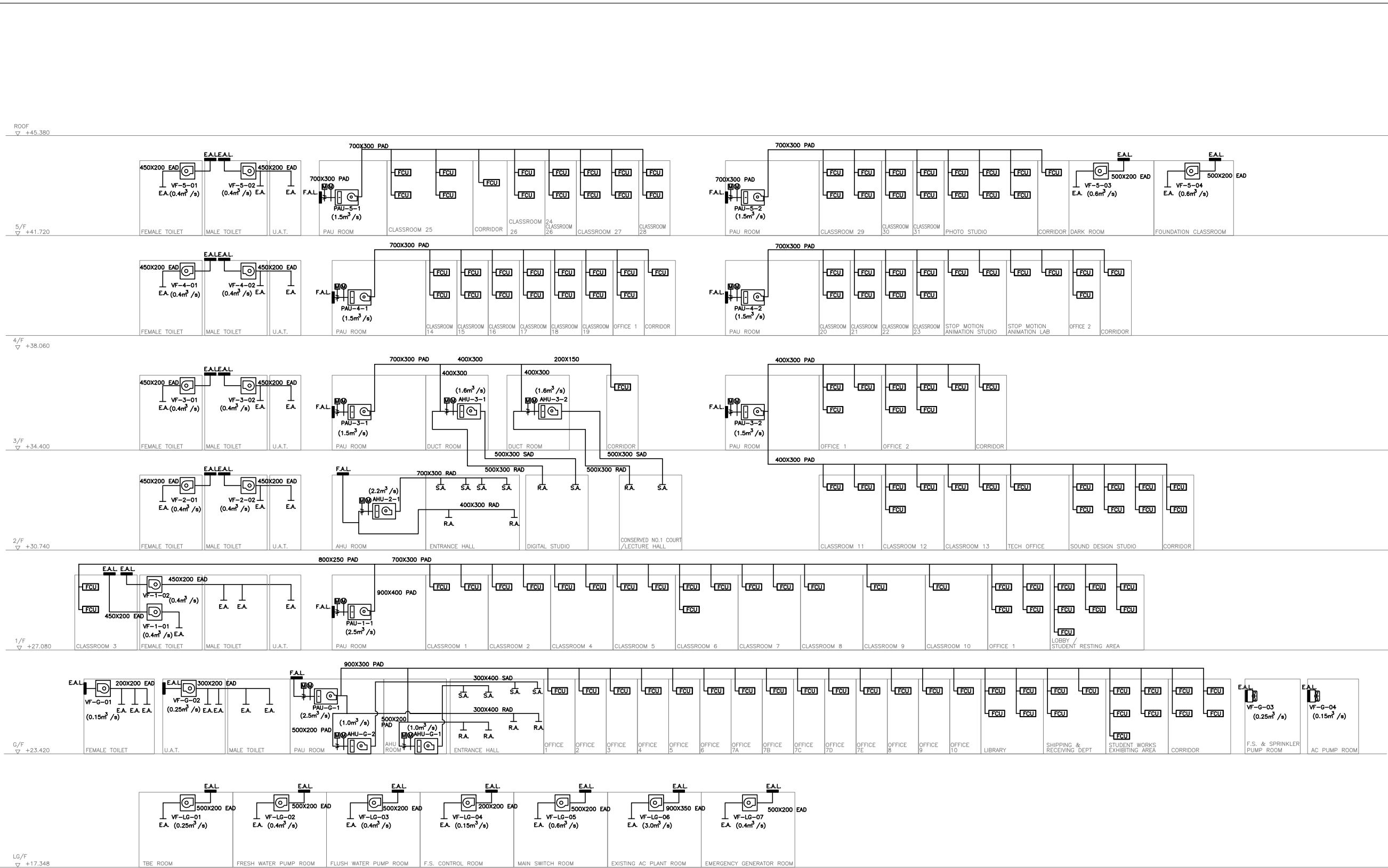
M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS 292 TAI PO ROAD, KLN

TITLE  
 SCHEMATIC DIAGRAM FOR PLUMBING SYSTEM

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/P/S01		
DRAWN BY	DESIGNED BY	CHECKED BY	
KWL	RL	AT	
SCALE	DATE	ISSUE	
N.T.S.	SEP., 2009	CO	



NOTES:  
 SHOULD DISCREPANCY BE FOUND BETWEEN LAYOUT PLANS AND SCHEMATIC DIAGRAMS, AIR DUCT SIZES SHOWN ON LAYOUT SHALL FOLLOW.

12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT
DATE	NO	REVISION	BY	CHK

REVISIONS

CLIENT  
**SCAD.**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** • EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4400 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
 TEL 2867 4321 FAX 2865 3007

ARCHITECT  
**LCK ARCHITECTS LTD**  
 林曉倫建築師有限公司

M & E CONSULTANT  

**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

TITLE  
 ACMV AIR-SIDE DUCTING SCHEMATIC DIAGRAM

APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

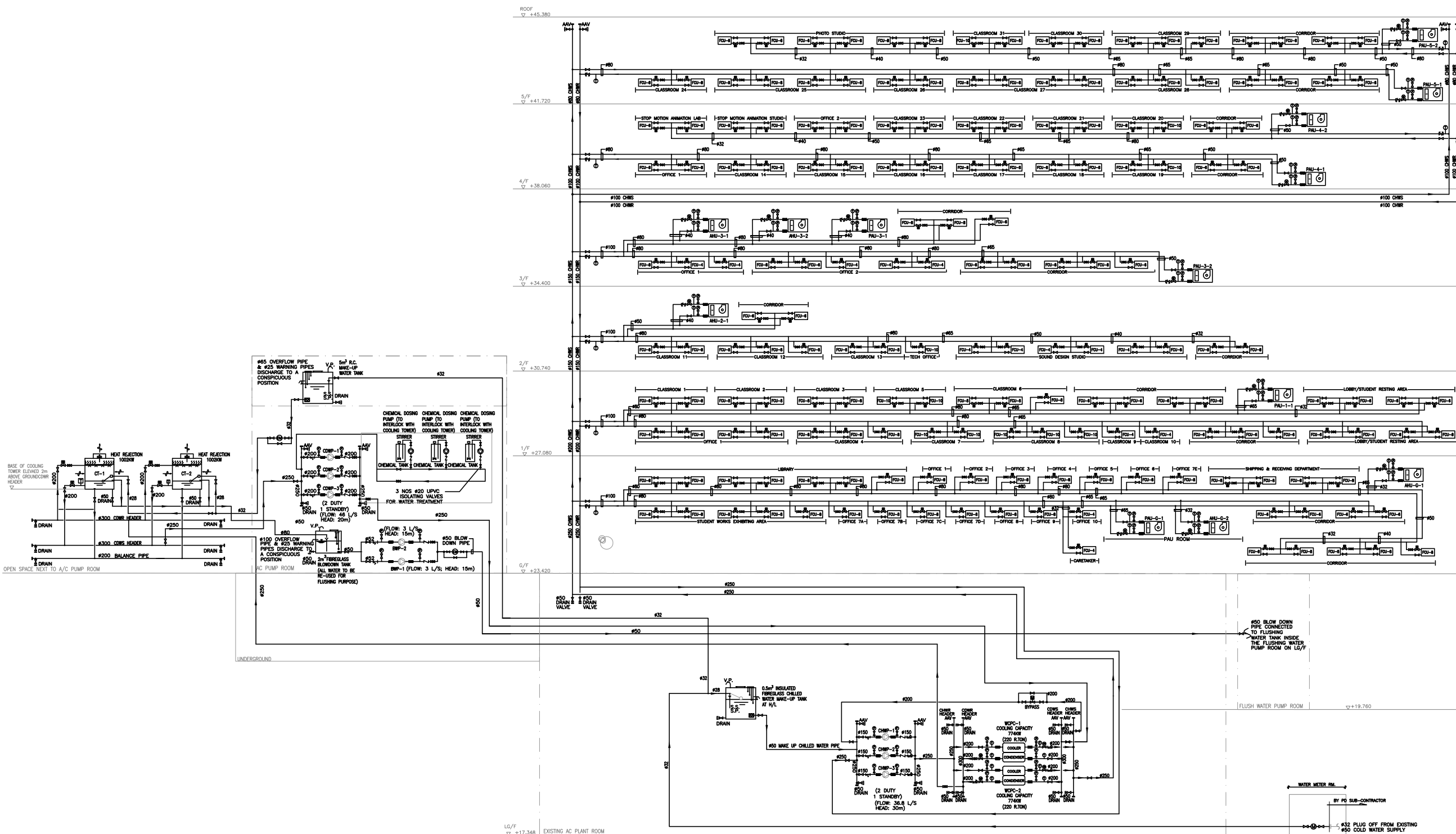
DRAWING NO.		0903/AC/S01	
DRAWN BY	DESIGNED BY	CHECKED BY	
AS	AS	AT	
SCALE	DATE	ISSUE	
N.T.S.	SEP., 2009	CO	

**CONSTRUCTION**

# ACMV AIR-SIDE DUCTING SCHEMATIC DIAGRAM

NOTES:

1. SHOULD DISCREPANCY BE FOUND BETWEEN LAYOUT PLANS AND SCHEMATIC DIAGRAMS, PIPES SIZES SHOWN ON LAYOUT SHALL FOLLOW.



WATER-SIDE PIPING SCHEMATIC DIAGRAM

CONSTRUCTION

DATE	NO	REVISION	BY	CHK
12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT

CLIENT  
**SCAD.**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** • EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4600 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
 TEL 2867 4321 FAX 2885 3507

ARCHITECT  
**LCK ARCHITECTS LTD**  
 林業簡建築師有限公司

M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

TITLE  
 ACMW WATER-SIDE PIPING SCHEMATIC DIAGRAM

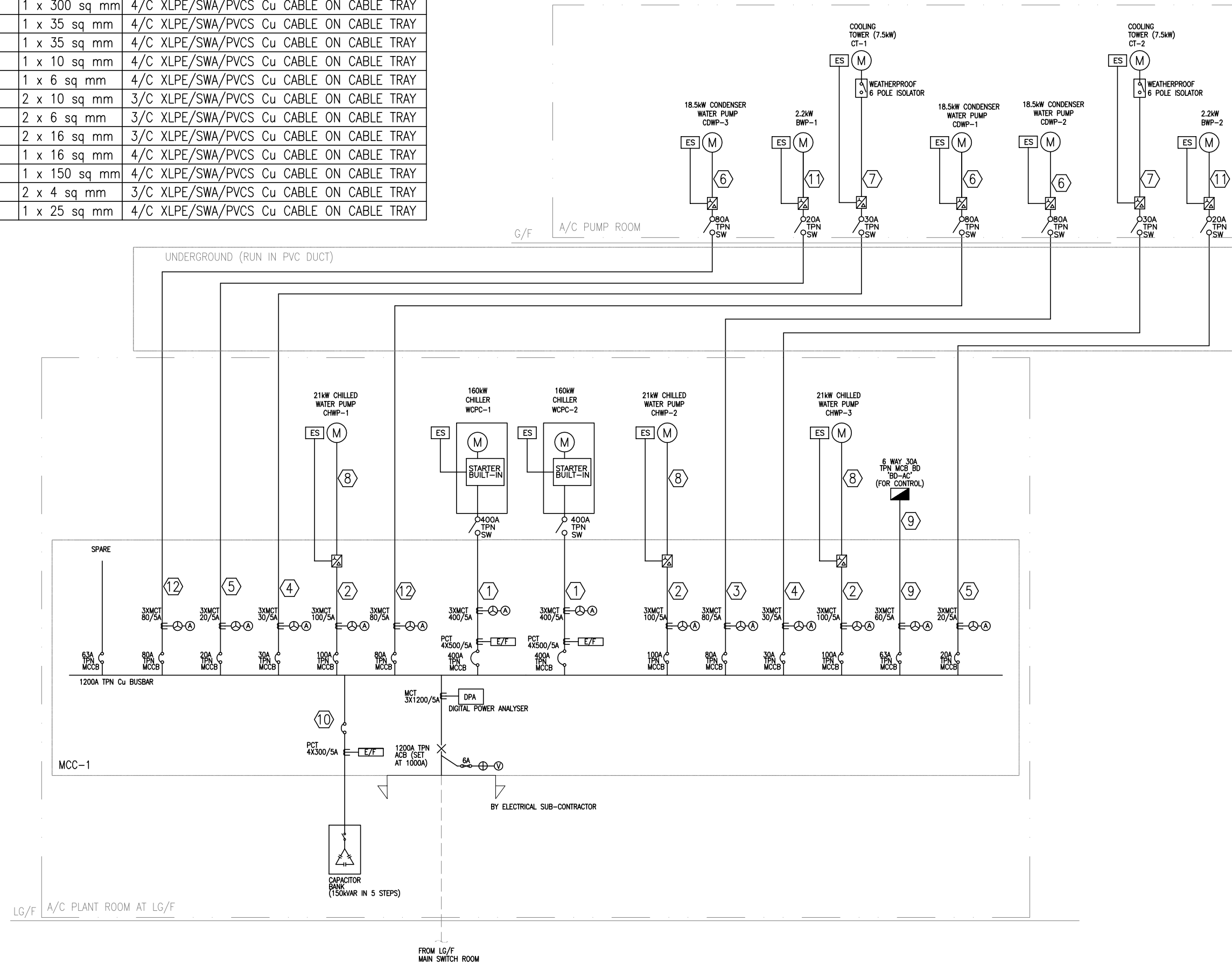
APPROVALS  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO. 0903/AC/S02	
DRAWN BY AS	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009
	ISSUE CO



CABLE SCHEDULE

CABLE NO.	CABLE SIZE	CABLE TYPE
1	1 x 300 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
2	1 x 35 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
3	1 x 35 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
4	1 x 10 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
5	1 x 6 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
6	2 x 10 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
7	2 x 6 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
8	2 x 16 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
9	1 x 16 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
10	1 x 150 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
11	2 x 4 sq mm	3/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY
12	1 x 25 sq mm	4/C XLPE/SWA/PVCS Cu CABLE ON CABLE TRAY



DATE	NO	REVISION	BY	CHK
12/09	CO	ISSUE FOR CONSTRUCTION	AS	AT
10/09	T1	TENDER ADDENDUM	AS	AT
09/09	T0	ISSUE FOR TENDER	AS	AT
		REVISION		

CLIENT  
**SCAD.**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** • EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4400 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
 TEL 2867 4321 FAX 2885 3507

ARCHITECT  
**LQK**  
**LCK ARCHITECTS LTD**  
 林業建築師有限公司

M & E CONSULTANT  

**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

TITLE  
 POWER DISTRIBUTION SCHEMATIC DIAGRAM  
 FOR MOTOR CONTROL CENTRE

APPROVALS  
 \_\_\_\_\_  
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

DRAWING NO.	0903/AC/S05		
DRAWN BY	DESIGNED BY	CHECKED BY	
AS	AS	AT	
SCALE	DATE	ISSUE	
N.T.S.	SEP., 2009	CO	

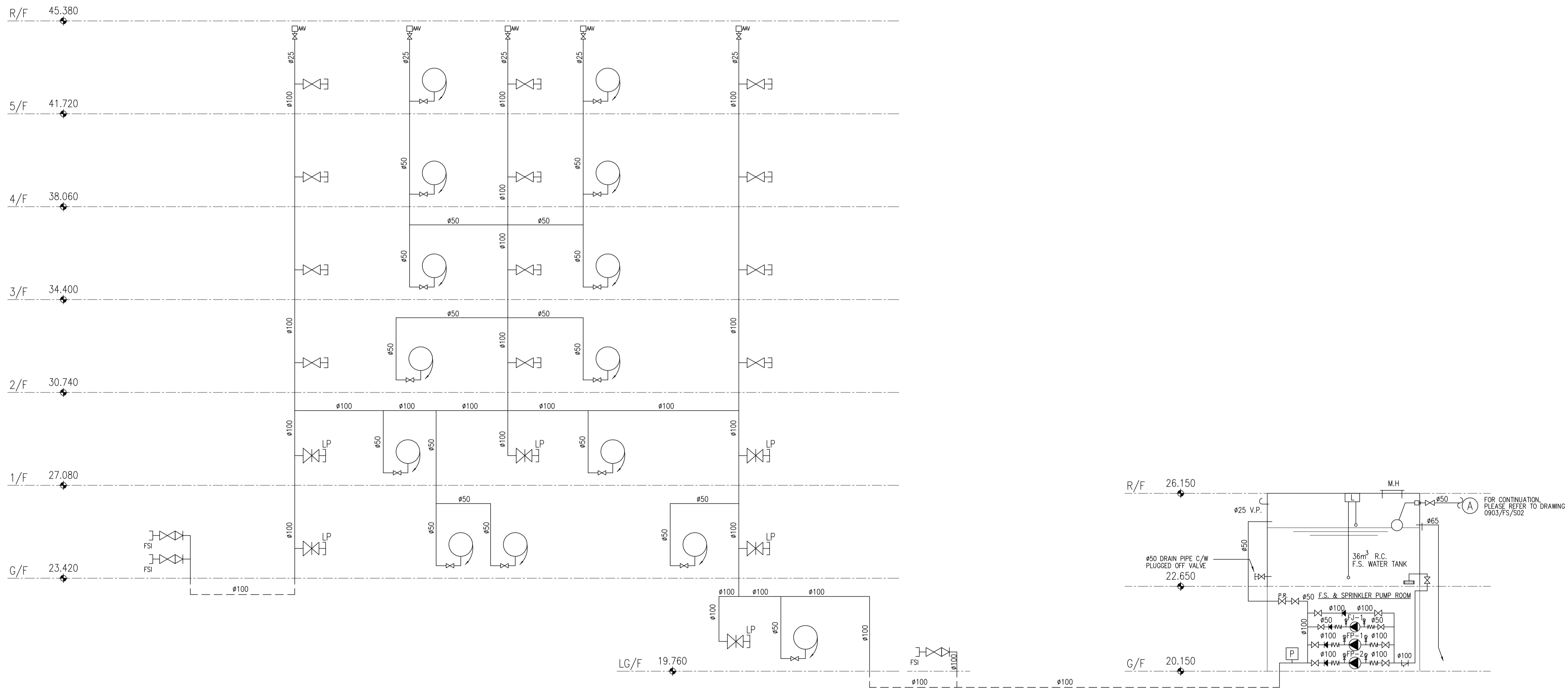
**CONSTRUCTION**

POWER DISTRIBUTION SCHEMATIC DIAGRAM FOR MOTOR CONTROL CENTRE

PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
Ø150mm & BELOW, (ABOVE-GROUND PIPWORK)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) MEDIUM GRADE
ABOVE Ø150mm, (ABOVE-GROUND PIPWORK)	DUCTILE IRON PIPES AND FITTINGS TO BS EN545:2002, CLASS N12 COLD BITUMEN COATED EXTERNALLY AND INTERNALLY TO BS 3416:1991 TYPE II
Ø150mm & BELOW, (UNDERGROUND PIPEWORK OR WORKING PRESSURE >1600KPa)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) HEAVY GRADE
REMARK: ALL UNDERGROUND PIPE SHOULD BE TREATED AND COATED WITH AT LEAST TWO COATS OF BITUMINOUS PAINTS & WRAPPED WITH CORROSION AND WATER RESISTANCE SELF-AMALGAMATING TAPES AND MASTICS.	

PUMP SCHEDULE						
PUMP		PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR	
					SPEED (RPM)	RATING (KW)
FIXED FIRE PUMP	FP-1 FP-2	7.5	900	HORIZONTAL END-SUCTION	2900	37
F.S. JOCKEY PUMP	FJ-1	8	60	VERTICAL MULTI-STAGE	2900	4

REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE  
SYSTEM PRESSURE AND OF MINIMUM 16 BARS.



SCHEMATIC DIAGRAM FOR FIRE HYDRANT AND HOSE REEL SYSTEM

CONSTRUCTION

DATE	NO	REVISION	BY	CHK
12/09	CO	ISSUE FOR CONSTRUCTION	BL	AT
09/09	TO	ISSUE FOR TENDER	BL	AT

REVISIONS

CLIENT  
**SCAD.**  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** EST. 1915  
1201 CONNECTICUT AVENUE, N.W. WASHINGTON, DC 20036 USA  
TEL: 202-861-4600 FAX: 202-872-8530  
SUITE 1306, 249 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL: 2867 4321 FAX: 2885 3507

ARCHITECT  
**LCK ARCHITECTS LTD**  
林陳簡建築師有限公司

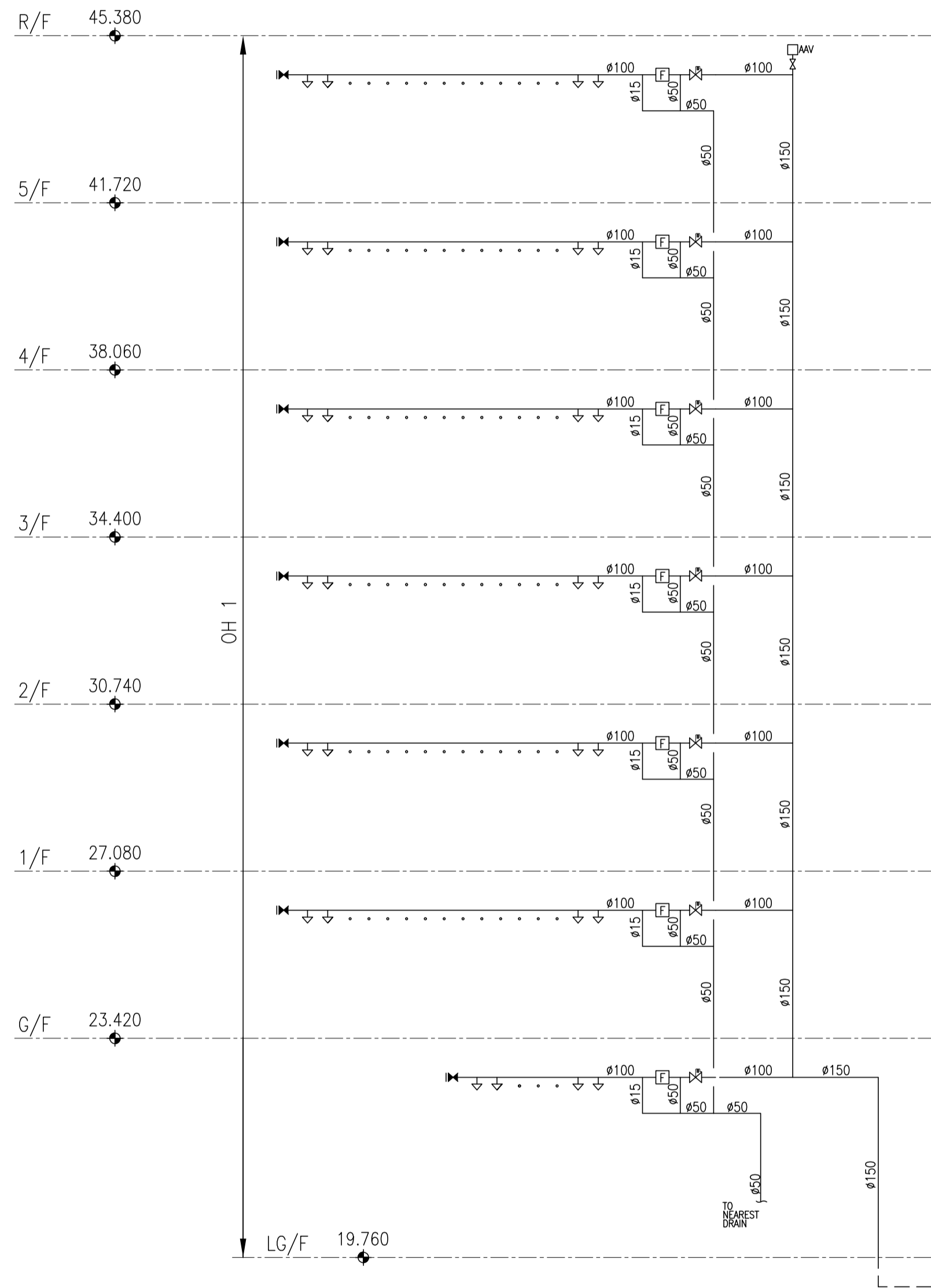
M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS 292 TAI PO  
ROAD, KLN

TITLE  
SCHEMATIC DIAGRAM FOR  
FIRE HYDRANT & HOSE REEL SYSTEM

APPROVALS  
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

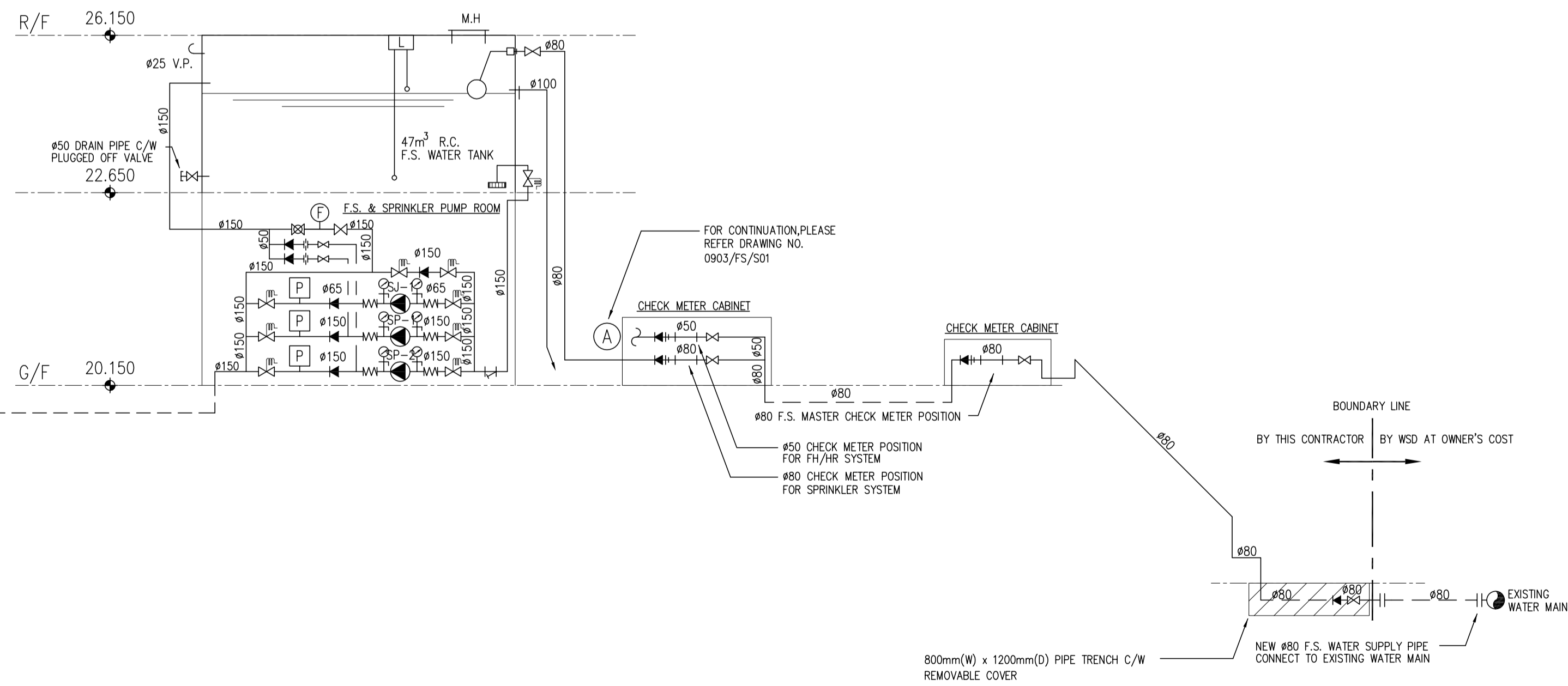
DRAWING NO. 0903/FS/S01		
DRAWN BY YKC	DESIGNED BY BL	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009	ISSUE CO



PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
ø150mm & BELOW, (ABOVE-GROUND PIPWORK)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) MEDIUM GRADE
ABOVE ø150mm, (ABOVE-GROUND PIPWORK)	DUCTILE IRON PIPES AND FITTINGS TO BS EN545:2002, CLASS K12, COLD BITUMEN COATED EXTERNALLY AND INTERNALLY TO BS 3416:1991 TYPE II
ø150mm & BELOW, (UNDERGROUND PIPEWORK OR WORKING PRESSURE >1600KPa)	G.I. PIPE TO BS EN 10255:2004 (BS 1387) HEAVY GRADE
REMARK: ALL UNDERGROUND PIPE SHOULD BE TREATED AND COATED WITH AT LEAST TWO COATS OF BITUMINOUS PAINTS & WRAPPED WITH CORROSION AND WATER RESISTANCE SELF-AMALGAMATING TAPES AND MASTICS.	

PUMP SCHEDULE						
PUMP		PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR	
					SPEED (RPM)	RATING (KW)
SPRINKLER PUMP	SP-1 SP-2	1.9/4.2/4.5	1150/540/375	HORIZONTAL END-SUCTION	2900	15
SPRINKLER JOCKEY PUMP	SJ-1	5.0	45	VERTICAL MULTI-STAGE	2900	2.2

REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE SYSTEM PRESSURE AND OF MINIMUM 16 BARS.



SCHMATIC DIAGRAM FOR SPRINKLER SYSTEM

CONSTRUCTION

DATE	NO	REVISION	BY	CHK
12/09	C0	ISSUE FOR CONSTRUCTION	BL	AT
09/09	T0	ISSUE FOR TENDER	BL	AT

REVISIONS

CLIENT  
**SCAD.**  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

DESIGN ARCHITECT  
**LEO A DALY** EST. 1915  
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
TEL 202-861-4600 FAX 202-872-8530  
SUITE 1306, 249 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL 2867 4321 FAX 2885 3507

ARCHITECT  
**LCK ARCHITECTS LTD**  
林陳簡建築師有限公司

M & E CONSULTANT  
**THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.**

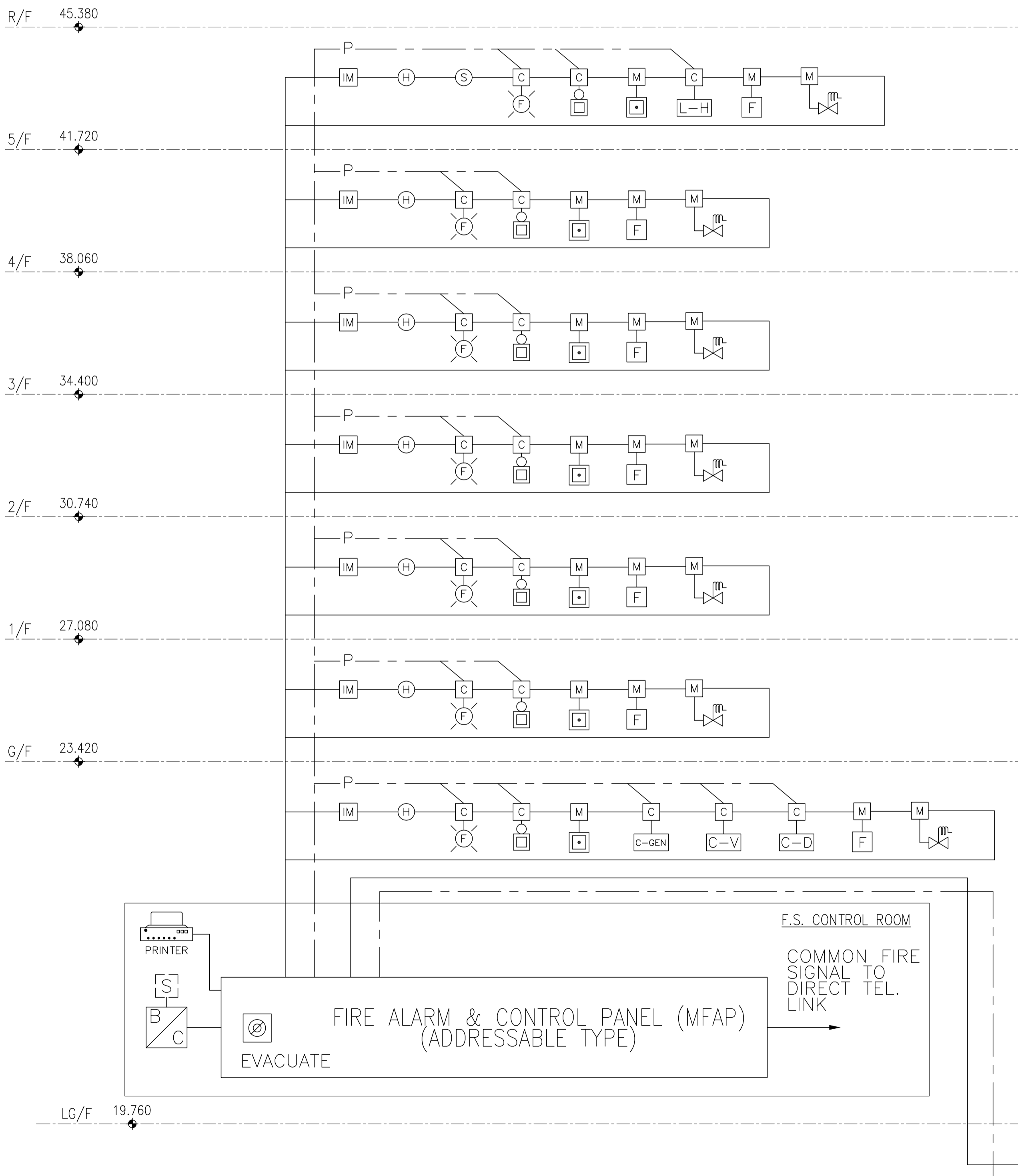
PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS 292 TAI PO  
ROAD, KLN

TITLE  
SCHEMATIC DIAGRAM FOR  
SPRINKLER SYSTEM

APPROVALS  
THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.

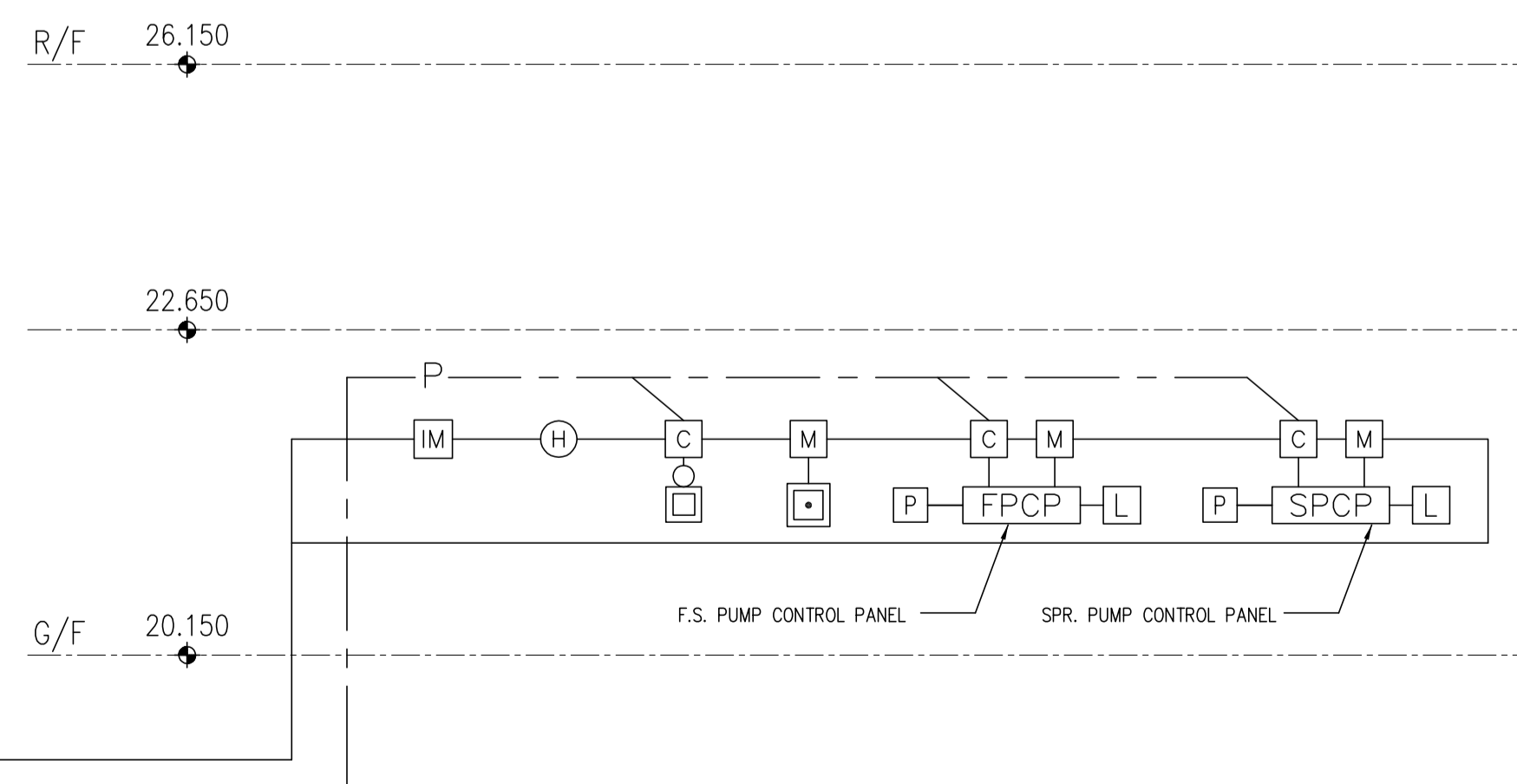
DRAWING NO. 0903/FS/S02		
DRAWN BY YKC	DESIGNED BY BL	CHECKED BY AT
SCALE N.T.S.	DATE SEP., 2009	ISSUE C0

LED/LCD DISPLAY POINT SCHEDULE FOR MFAP (ADDRESSABLE TYPE)																							
BREAKGLASS UNIT		FIRE DETECTOR		FLOW SWITCH		SUBSIDIARY VALVE		FIRE PUMP (FP/FJ)		SPRINKLER PUMP (SP/SJ)			SPRINKLER / F.S. WATER TANK		EMERGENCY GENERATOR								
ONE ZONE FOR EACH POINT		ONE ZONE FOR EACH DETECTOR		ONE ZONE FOR EACH SWITCH		ONE ZONE FOR EACH VALVE		ONE ZONE FOR EACH PUMP		ONE ZONE FOR EACH PUMP			ONE ZONE FOR EACH TANK		ONE ZONE FOR EACH GENERATOR								
FIRE	FAULT	FIRE	FAULT	FIRE	FAULT	CLOSE	OPEN	POWER SUPPLY ON	POWER SUPPLY FAILURE	PUMP FAILED	PUMP RUNNING	POWER SUPPLY ON	POWER SUPPLY FAILURE			PUMP FAILED	PUMP RUNNING	OVERFLOW ALARM	EMPTY ALARM	POWER SUPPLY FAILURE	GENERATOR FAILED	GENERATOR RUNNING	MCB FAULT
													L1 PHASE	L2 PHASE	L3 PHASE								



**NOTES**

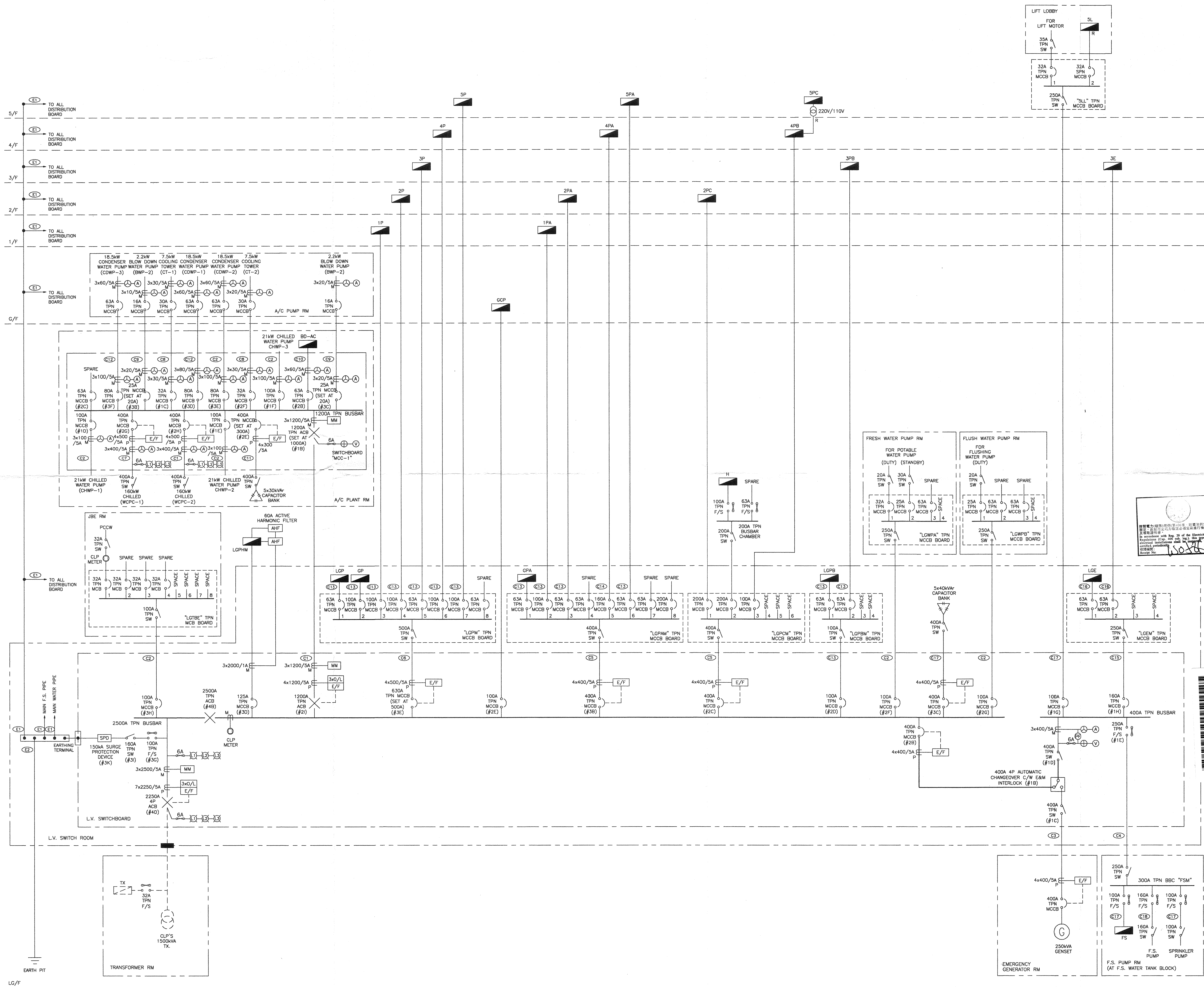
1. THE SYSTEM SHALL BE MICROPROCESSOR BASED ANALOGUE AND ADDRESSABLE TYPE FIRE DETECTION AND ALARM SYSTEM. THIS SCHEMATIC SHOWS CONCEPTUAL DESIGN. THE DETAILED LAYOUT AND WIRING DESIGN SHALL BE PROVIDED BY THIS CONTRACTOR ACCORDING TO MANUFACTURER'S DESIGN AND INSTALLATION MANUAL.
2. ALL SYSTEM COMMUNICATION CABLE WIRING AND 24V D.C. POWER LINES SHALL BE LSHF & FIRE RESISTANT GRADE. ie TO BS6387 CAT CWZ
3. FAULT ISOLATOR MODULES SHALL BE PLACED EVERY 25 SENSING DEVICES TO LIMIT THE NUMBER LOST IN THE EVENT OF A SHORT CIRCUIT.
4. FOR EXACT NUMBERS OF EQUIPMENT INCLUDING BREAKGLASS UNIT AND ALARM BELLS. REFER TO INSTALLATION LAYOUT PLANS.
5. ALL ADDRESSABLE LOOPS SHALL BE BASED ON 4-WIRE CLOSE LOOP CONFIGURATION.
6. THE 24V D.C. POWER SUPPLY LINES FOR CONTROL MODULES/ALARM BELLS/DRY CONTACTS SHALL BE 4-WIRE RING LOOP CIRCUIT ARRANGED IN SUCH A WAY THAT SHORT CIRCUITS, DISCONNECTION OR CIRCUIT FAULT AT A SINGLE POINT IN THE WIRING LOOP SHALL NOT RESULT IN LOSS OF POWER SUPPLY SHALL BE SUPERVISORY MONITORED WITH BUZZER ALARM AT MAIN FIRE ANNUNCIATOR PANEL(S).
7. MONITORING MODULE OR CONTROL MODULE SHALL BE PROVIDED AND CONNECTED TO THE CONVENTIONAL EQUIPMENT OR CONTROLS WHICH ARE NOT ANALOGUE AND ADDRESSABLE TYPE.
8. THE VISUAL FIRE ALARM SIGNALS SHALL BE IN FORM OF WALL-MOUNTED/CEILING MOUNTED STROBES LABELLED 'FIRE ALARM' IN BOTH ENGLISH & CHINESE. THE HEIGHT OF ENGLISH AND CHINESE CHARACTERS SHALL NOT BE LESS THAN 10mm AND 15mm RESPECTIVELY.



SCHEMATIC DIAGRAM FOR MANUAL AND AUTOMATIC FIRE ALARM SYSTEM

**CONSTRUCTION**

12/09	CO	ISSUE FOR CONSTRUCTION	BL	AT
09/09	TO	ISSUE FOR TENDER	BL	AT
DATE	NO	REVISION	BY	CHK
REVISIONS				
CLIENT				
 HONG KONG CAMPUS NORTH KOWLOON MAGISTRACY BUILDING				
DESIGN ARCHITECT				
 EST. 1915 <small>1201 CONNECTICUT AVENUE, N.W. WASHINGTON, DC 20036 USA          TEL: 202-861-4600 FAX: 202-872-8530          SUITE 1306, 249 QUEEN'S ROAD, WANCHAI, HONG KONG          TEL: 2867 4321 FAX: 2885 3507</small>				
ARCHITECT				
 林陳簡建築師有限公司				
M & E CONSULTANT				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
PROJECT				
NORTH KOWLOON MAGISTRACY NEW SCAD CAMPUS 292 TAI PO ROAD, KLN				
TITLE				
SCHEMATIC DIAGRAM FOR MANUAL & AUTOMATIC FIRE ALARM SYSTEM				
APPROVALS				
 THOMAS ANDERSON & PARTNERS CONSULTING ENGINEERS LTD.				
DRAWING NO. 0903/FS/S03				
DRAWN BY	DESIGNED BY	CHECKED BY		
YKC	BL	AT		
SCALE	DATE	ISSUE		
N.T.S.	SEP., 2009	CO		



CABLE NO.	CABLE SIZE
C1	2x400mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C2	1x35mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C3	1x240mm <sup>2</sup> 4/C XLPE/SWA/PVC FIRE RESISTING CABLE
C4	1x120mm <sup>2</sup> 4/C XLPE/SWA/PVC FIRE RESISTING CABLE
C5	1x240mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C6	1x400mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C7	1x300mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C8	1x10mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C9	1x6mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C10	1x16mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C11	1x150mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C12	1x25mm <sup>2</sup> 4/C XLPE/SWA/PVC CABLE
C13	4x35mm <sup>2</sup> 1/C XLPE/PVC CABLE
C14	4x95mm <sup>2</sup> 1/C XLPE/PVC CABLE
C15	4x95mm <sup>2</sup> 1/C XLPE/PVC FIRE RESISTING CABLE
C16	4x25mm <sup>2</sup> 1/C XLPE/PVC FIRE RESISTING CABLE
C17	4x35mm <sup>2</sup> 1/C XLPE/PVC FIRE RESISTING CABLE
C18	4x70mm <sup>2</sup> 1/C XLPE/PVC FIRE RESISTING CABLE
E1	25x3mm EARTHING TAPE
E2	25x6mm EARTHING TAPE

LEGEND:

	ISOLATOR		GENERATOR
	SWITCH		CHECK METER
	MCCB		CHANGEOVER SWITCH
	FUSE		MANUAL CHANGEOVER SWITCH
	FUSE SWITCH		CAPACITOR BANKS
	ACB		TRANSFORMER
	PCT		EARTH FAULT INDICATOR LIGHT
	MCT		OVER LOAD INDICATOR
	AMMETER SELECTOR		MULTI PURPOSE METER
	AMMETER		MCCB/MCCB BOARD
	VOLTMETER SELECTOR		MCCB PLUG-IN UNIT
	VOLTMETER		
	LINK BOX		

REV	DESCRIPTION	DATE
A	PITC AS-FITTED	JUN 2015

CLIENT  
**SCAD**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

CONSULTANT ENGINEERS

PROJECT  
 PERIODIC INSPECTION, TESTING AND  
 CERTIFICATION OF FIXED ELECTRICAL  
 INSTALLATION FOR SCAD HONG KONG CAMPUS,  
 NORTH KOWLOON BUILDING, SHAMSHUIPO

**GTL** 金門科技有限公司  
**GAMMON TECHNOLOGY LTD.**  
 RM 10, 11/F EASTERN HARBOUR CENTRE  
 28 HOI CHAK STREET, QUARRY BAY, HONG KONG  
 TEL: 28906350 FAX: (852)28823709

TITLE  
 MAIN SCHEMATIC WIRING DIAGRAM  
 OF SCAD HONG KONG CAMPUS

DRAWN BY ALAN CHU	SCALE NIL
CHECKED BY ALFEE YEUNG	DATE JUN 2015
DRAWING NO. GTL/SCAD/MS	

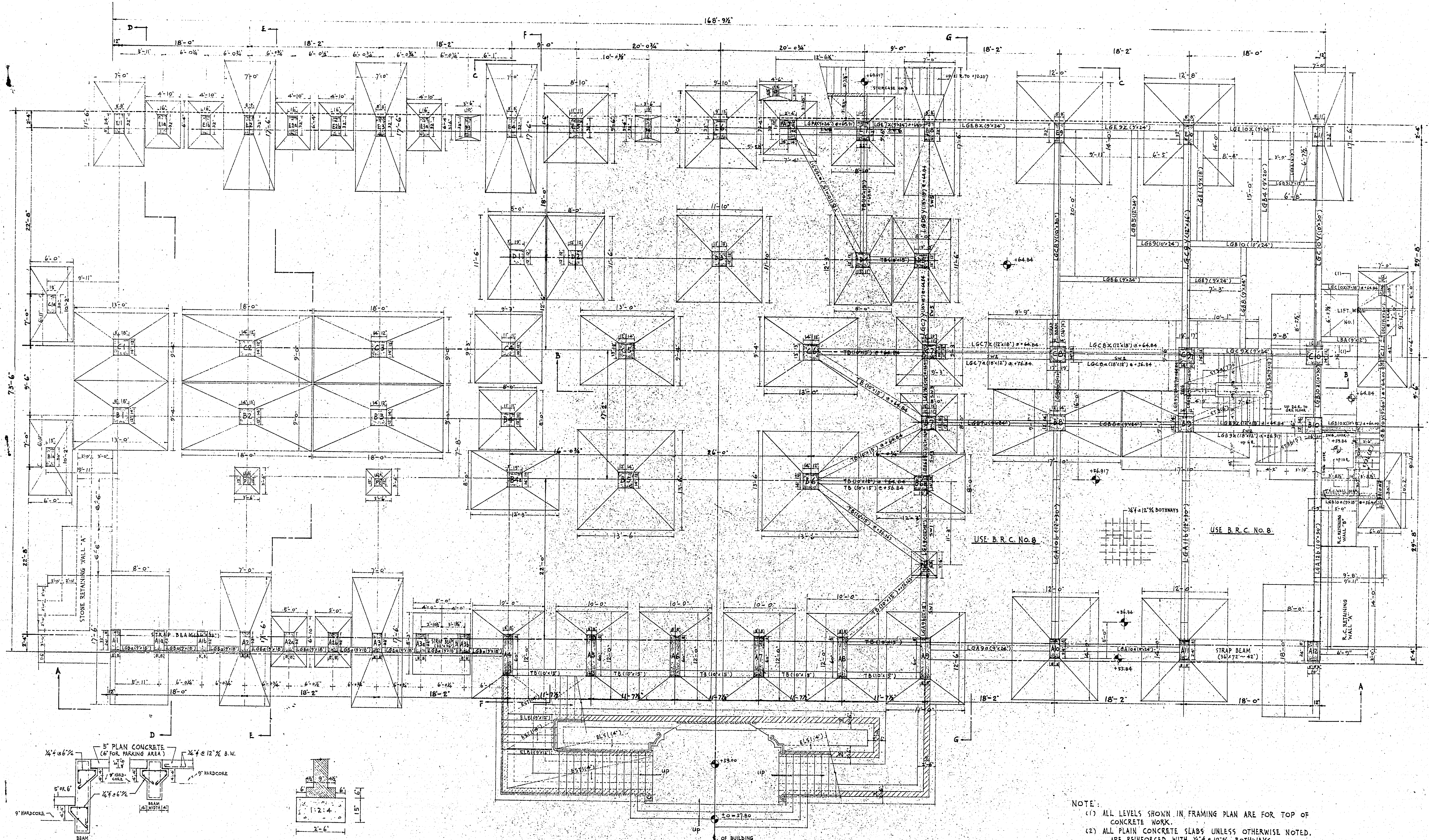
附錄 VI(C)

結構記錄圖則

## 附錄 VI(C) – 結構記錄圖則

### 圖則清單

	圖則編號	圖則名稱
結構平面圖		
1.	S004051	地下低層結構平面圖
2.	S004052	地下結構平面圖
3.	S004053	一樓結構平面圖
4.	S004054	二樓結構平面圖
5.	S004055	三樓結構平面圖
6.	S004056	四樓結構平面圖
7.	S004057	五樓結構平面圖
8.	S004057A	天台結構平面圖
9.	0907/AFR/01	地下低層加建及改建結構平面圖
10.	0907/AFR/02	地下加建及改建結構平面圖
11.	0907/AFR/03	一樓加建及改建結構平面圖
12.	0907/AFR/04	二樓加建及改建結構平面圖
13.	0907/AFR/05	三樓加建及改建結構平面圖
14.	0907/AFR/06	四樓加建及改建結構平面圖
15.	0907/AFR/07	五樓加建及改建結構平面圖
16.	0907/AFR/08	天台加建及改建結構平面圖



TYPICAL DETAILS SHOWING BRACKETS SUPPORTING GROUND FLOOR AND LOWER GROUND FLOOR PLAIN CONCRETE SLAB

TYPICAL SECTION OF 9" BRICK WALL FOOTING

**S004051**

- NOTE:
- (1) ALL LEVELS SHOWN IN FRAMING PLAN ARE FOR TOP OF CONCRETE WORK.
  - (2) ALL PLAIN CONCRETE SLABS UNLESS OTHERWISE NOTED, ARE REINFORCED WITH  $\frac{3}{4}$ "  $\phi$  12% BOTHWAYS.
  - (3) ALL PLAIN CONCRETE SLABS ARE TO BE SUPPORTED BY BRACKETS AS SHOWN IN TYPICAL DETAILS.
  - (4) SW1, SW2, ..... SW6 DENOTE R.C. SCREEN WALLS.
  - (5) ALL CEMENT CONC. WORKS TO BE 1:2:4 MIX, UNLESS OTHERWISE NOTED.
  - (6) REFER TO ARCHITECTURAL DRAWINGS FOR:
    - (a) POSITIONS OF HOLES FOR ALL PLUMBING SERVICES.
    - (b) POSITIONS OF DUCTS FOR ELECTRIC CABLES.

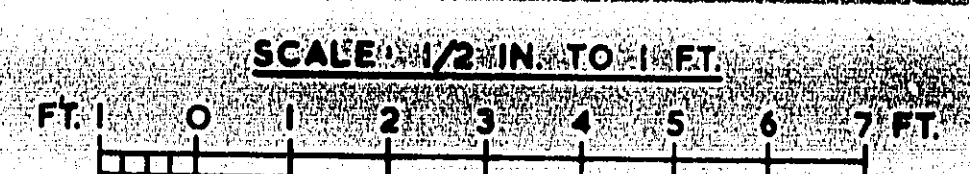
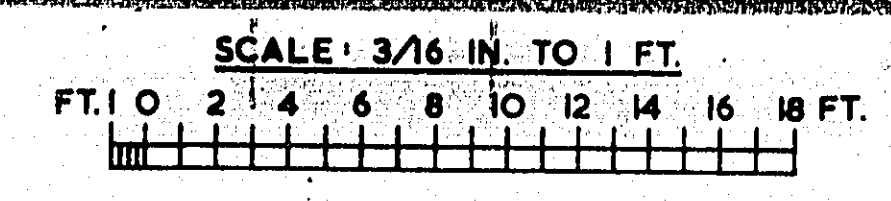
NORTH KOWLOON MAGISTRACY - TAI PO ROAD

LOWER GROUND FLOOR R.C.C. FRAMING PLAN

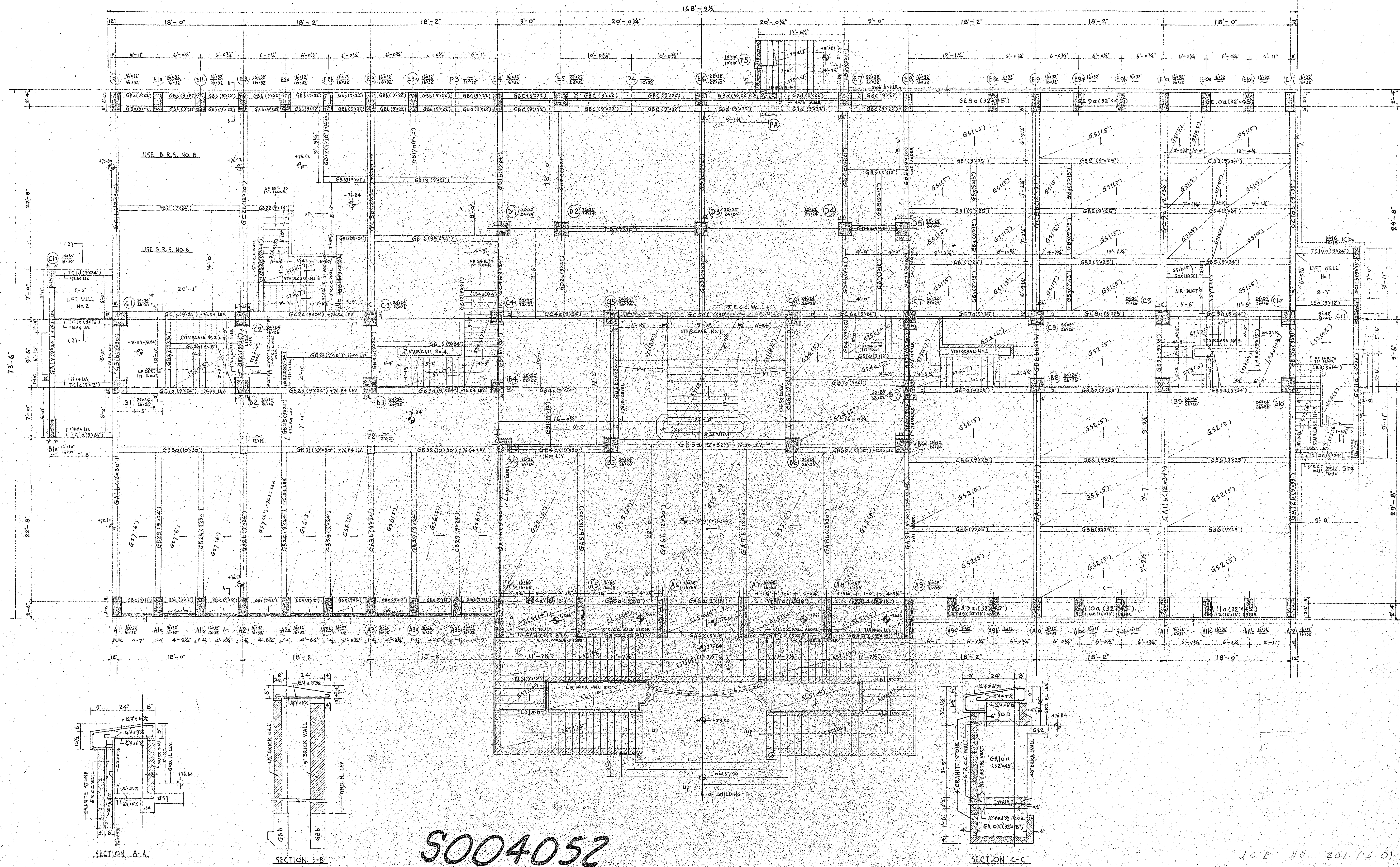
SCALE:  $\frac{3}{16}" = 1'-0"$   
 $\frac{1}{2}" = 1'-0"$

PALMER & TURNER  
 ARCHITECTS & ENGINEERS  
 HONG KONG

APPROVED	DRAWN	DATE	DRG. NO.
CHECKED	ARCHITECT	JULY 1958	119
DESIGNED	DATE		E1







5004052

NORTH KOWLOON MAGISTRACY — TAI PO ROAD

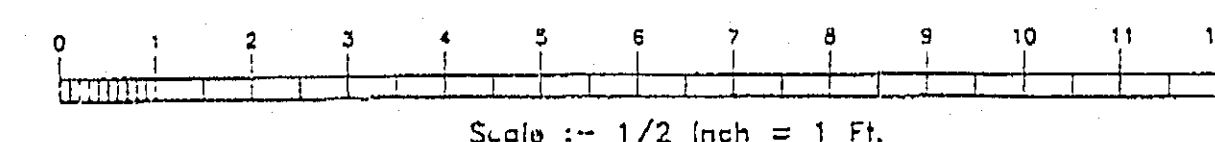
GROUND FLOOR R. C. C. FRAMING PLAN

SCALE: 3/16" = 1'-0"  
1/2" = 1'-0"

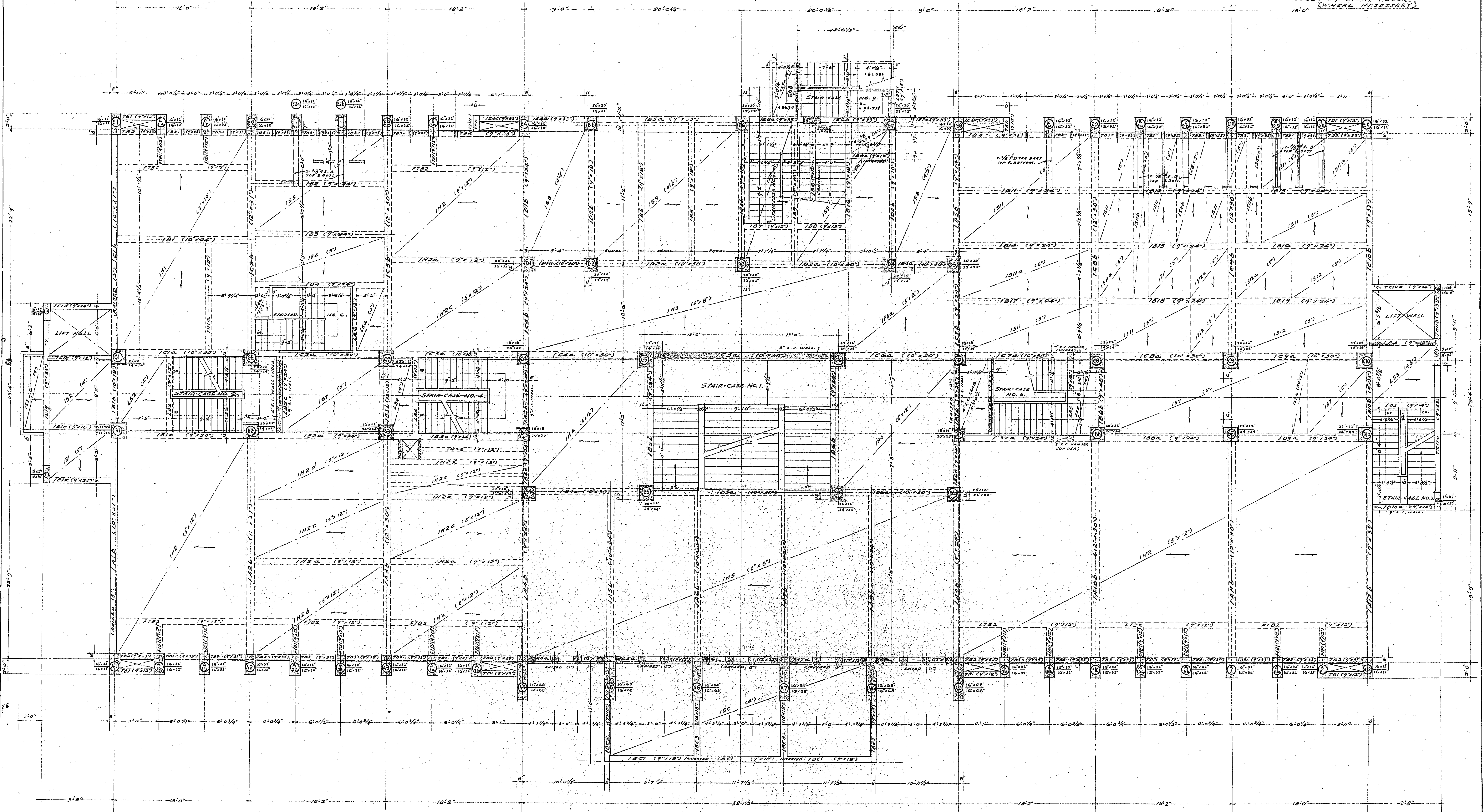
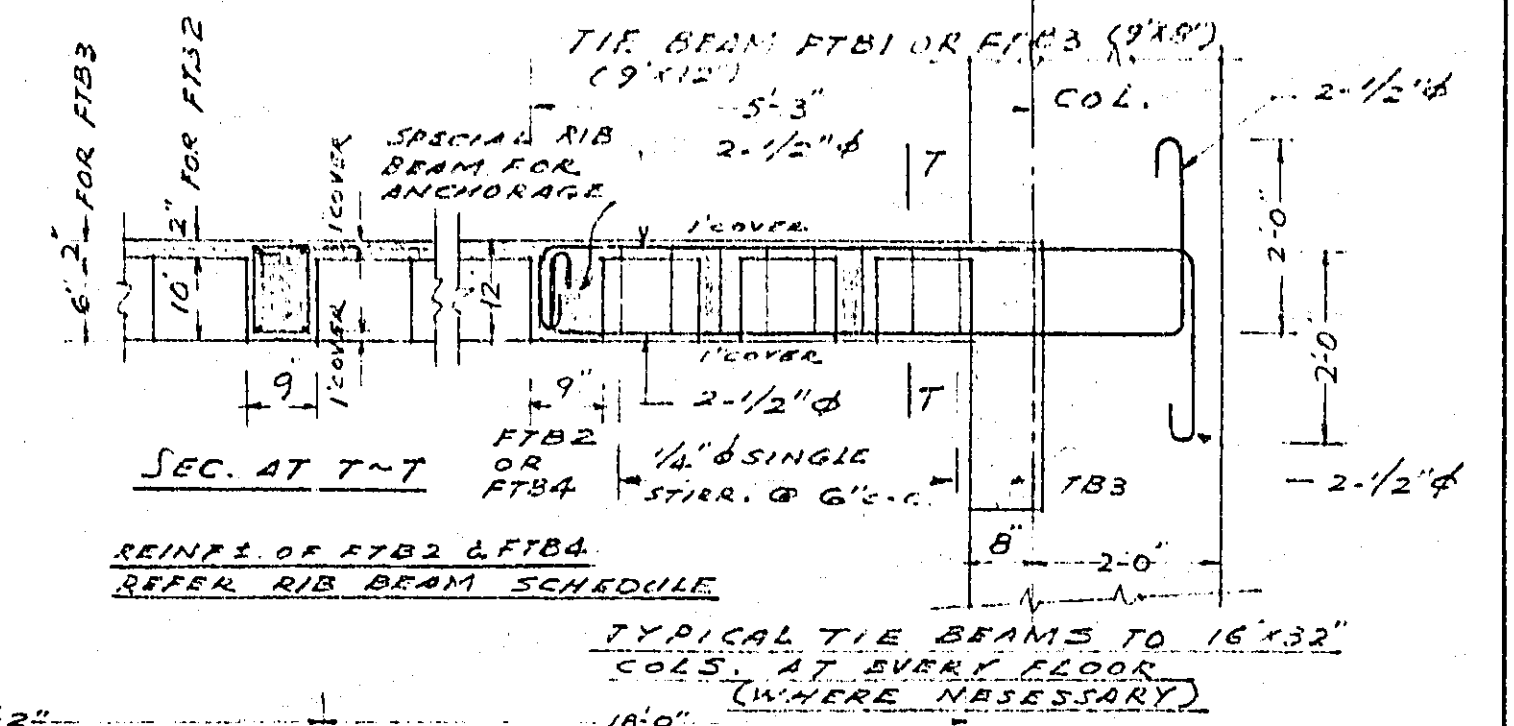
PALMER & TURNER  
ARCHITECTS & ENGINEERS  
HONG KONG

APPROVED  
CHECKED  
DESIGNED

DRAWN: J.S. Koo  
DATE: JULY 1958  
DRG. NO.: 119  
E.P.

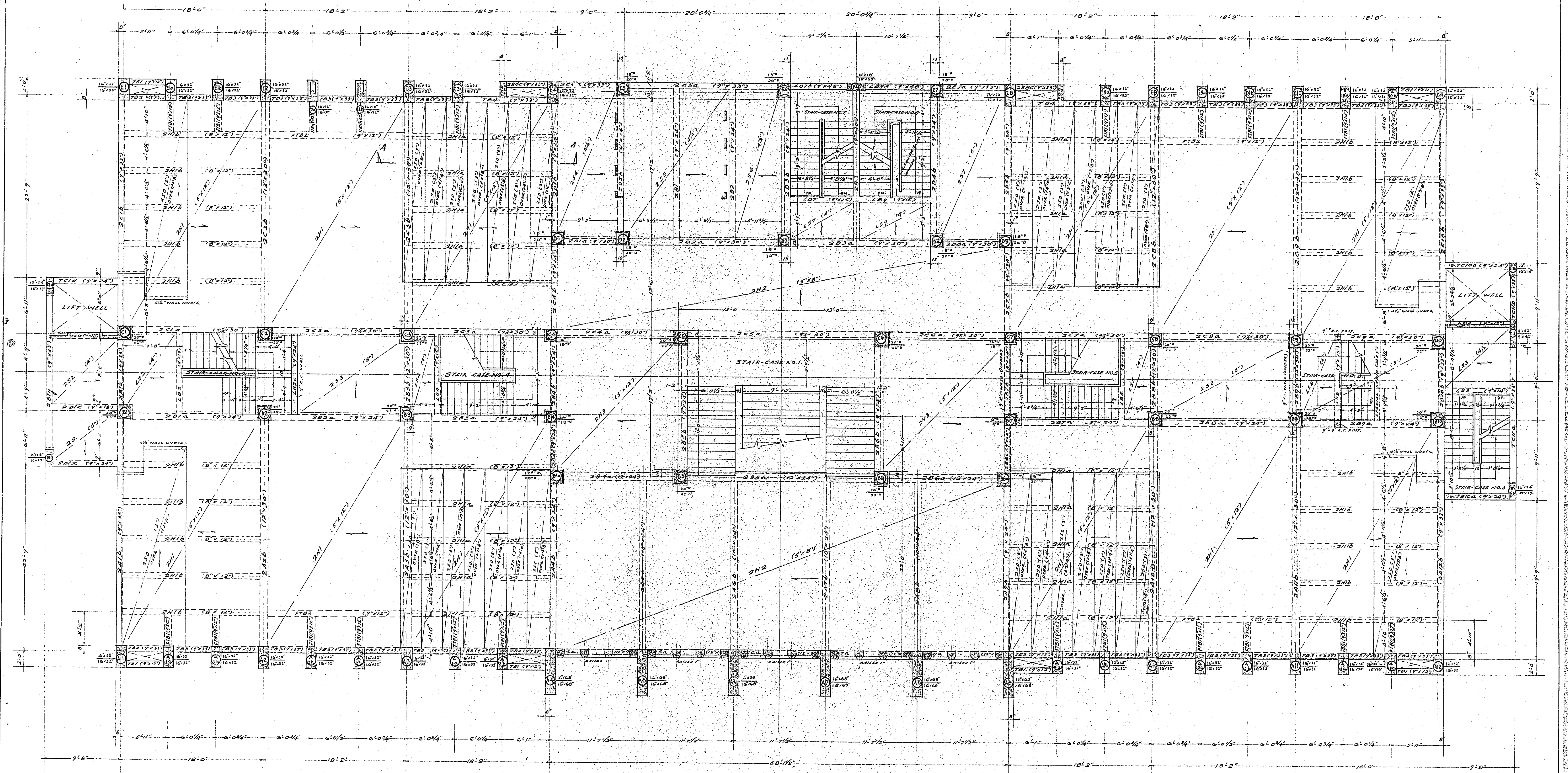
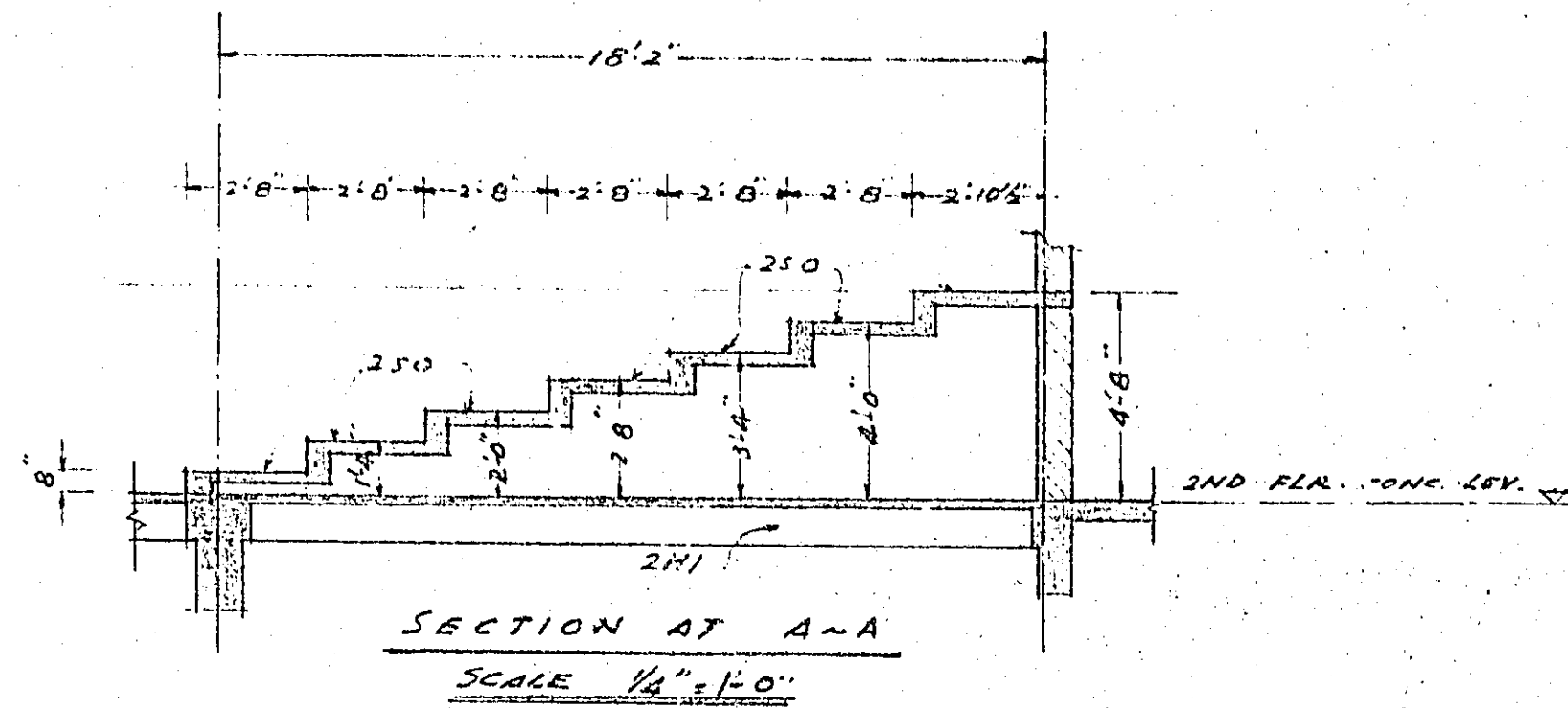


5004053



103 NO. 201 (A.O)

NORTH KOWLOON MAGISTRACY TAI PO ROAD FIRST FLOOR R. C. C. FRAMING PLAN.	SCALE 3/16" = 1'-0"	PALMER & TURNER ARCHITECTS & ENGINEERS HONG KONG	APPROVED	DRAWN	J. S. Au	DRG. NO.	
			CHECKED	ARCHITECT		119/	
			DESIGNED	DATE	28-8-58	1/E3	



5004054

NORTH KOWLOON MAGISTRACY TAI PO ROAD

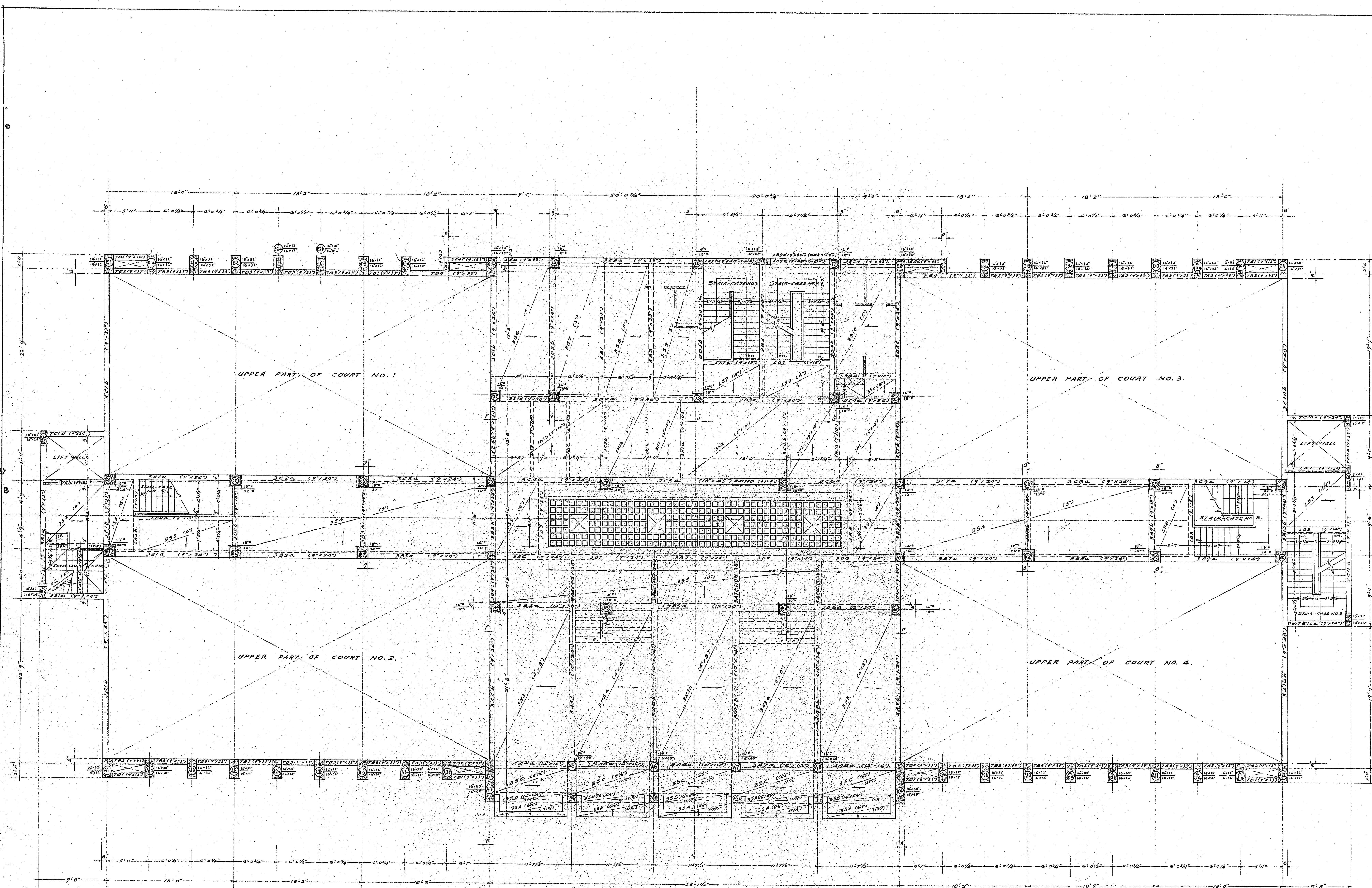
SECOND FLOOR R.C.C. FRAMING PLAN.

SCALE 3/16" = 1'-0"

PALMER & TURNER  
ARCHITECTS & ENGINEERS  
HONG KONG.

JOB NO. 401 (A.O.)

APPROVED	DRAWN	Y.S. Au	DRG. NO.
CHECK'D	ARCHITECT		119/EA
DESIGNED	DATE	9-9-58.	



5004055

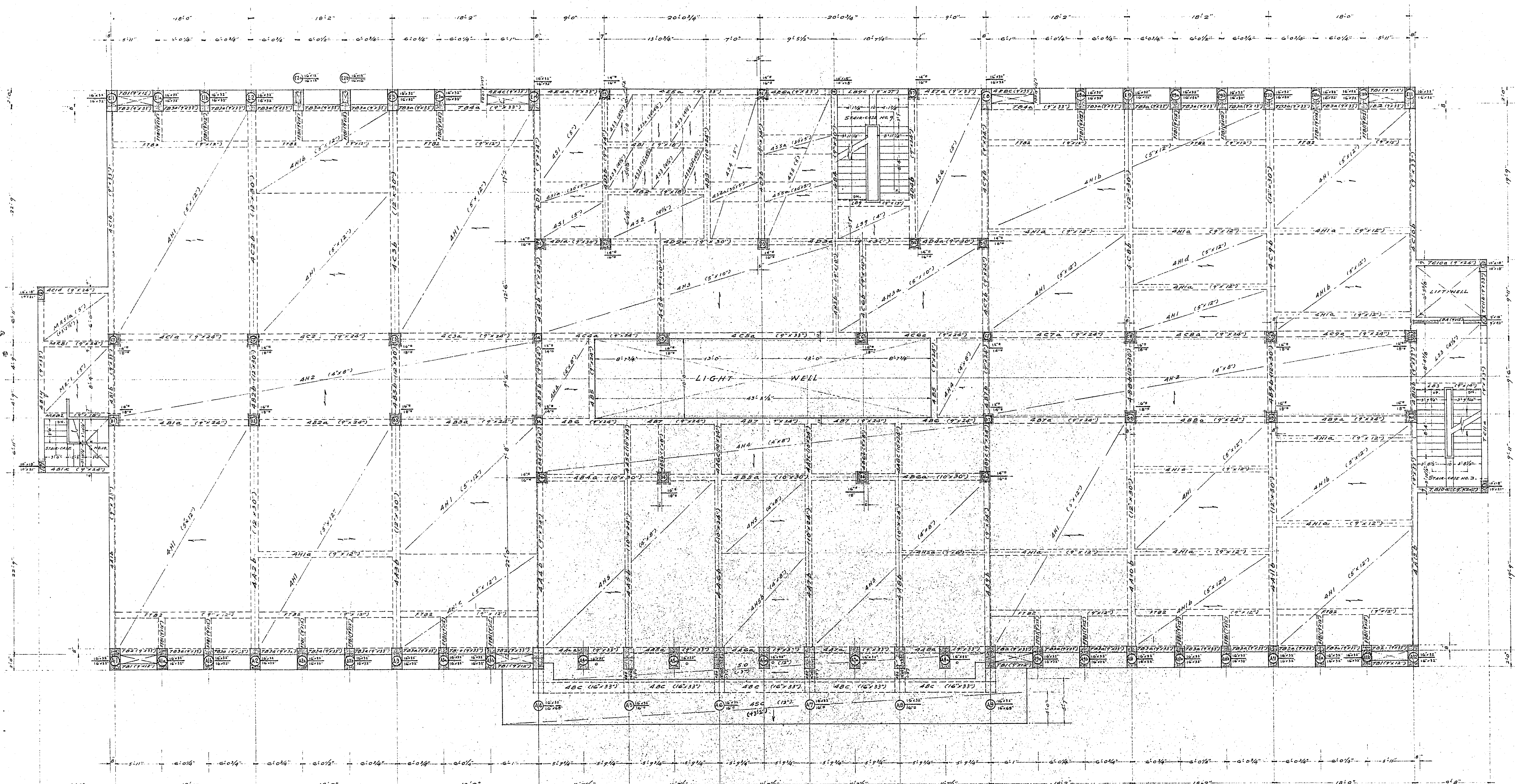
NORTH KOWLOON MAGISTRACY TAI PO ROAD THIRD FLOOR R. C. C. FRAMING PLAN.

SCALE 3/16" = 1'-0"

PALMER & TURNER  
ARCHITECTS & ENGINEERS  
HONG KONG.

APPROVED	DRAWN	J.S. Q.	DRG. NO.
CHECKED	ARCHITECT		119/E5
DESIGNED	DATE	9-58.	

JOB NO. 451 (A.O.)



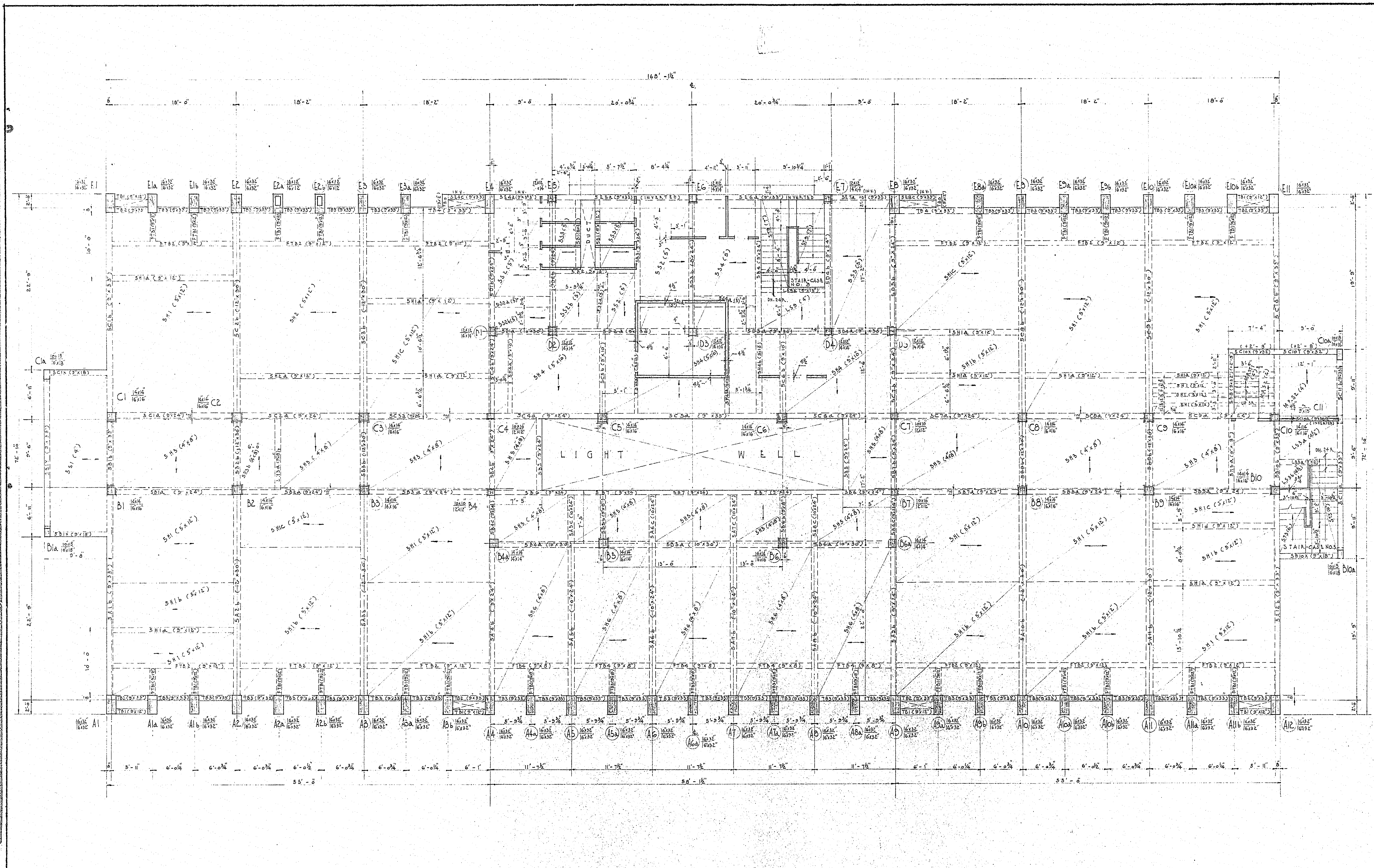
5004056

JOB NO. 401 (A.C.)

NORTH KOWLOON MAGISTRACY TAI PO ROAD FOURTH FLOOR R. C. C. FRAMING PLAN.

SCALE 3/16" = 1'-0"

PALMER & TURNER		APPROVED	DRAWN	Y.S. CHAN	DRG. NO.
ARCHITECTS & ENGINEERS		CHECKED	ARCHITECT		117/E6
HONG KONG.		DESIGNED	DATE	9-58	



S004057

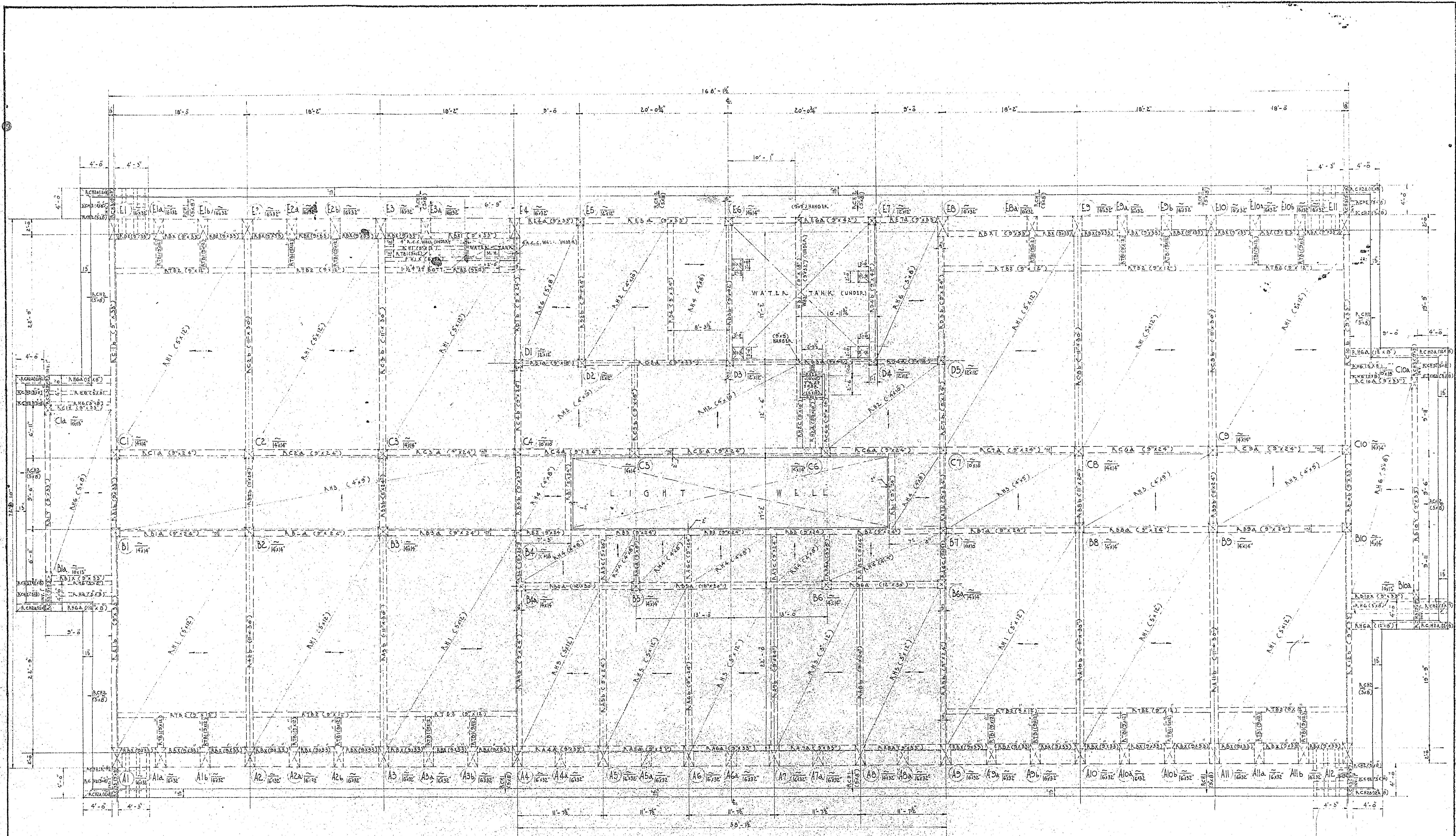
NORTH KOWLOON MAGISTRACY TAI PO ROAD 5TH FLOOR R.C.C. FRAMING PLAN

SCALE: 3/16" = 1'-0"

YALMER & TURNER ARCHITECTS & ENGINEERS HONG KONG

APPROVED	DATE	16 SEPT - 50	DRG. NO.	119/ET
CHECKED	ARCHITECT			
DESIGNED	DATE			

JOB NO. 401 (A.O.)



S004057A

JOB NO 401 (A.O.)

NORTH KOWLOON MAGISTRACY TAI PO ROAD ROOF R.C.C. FRAMING PLAN

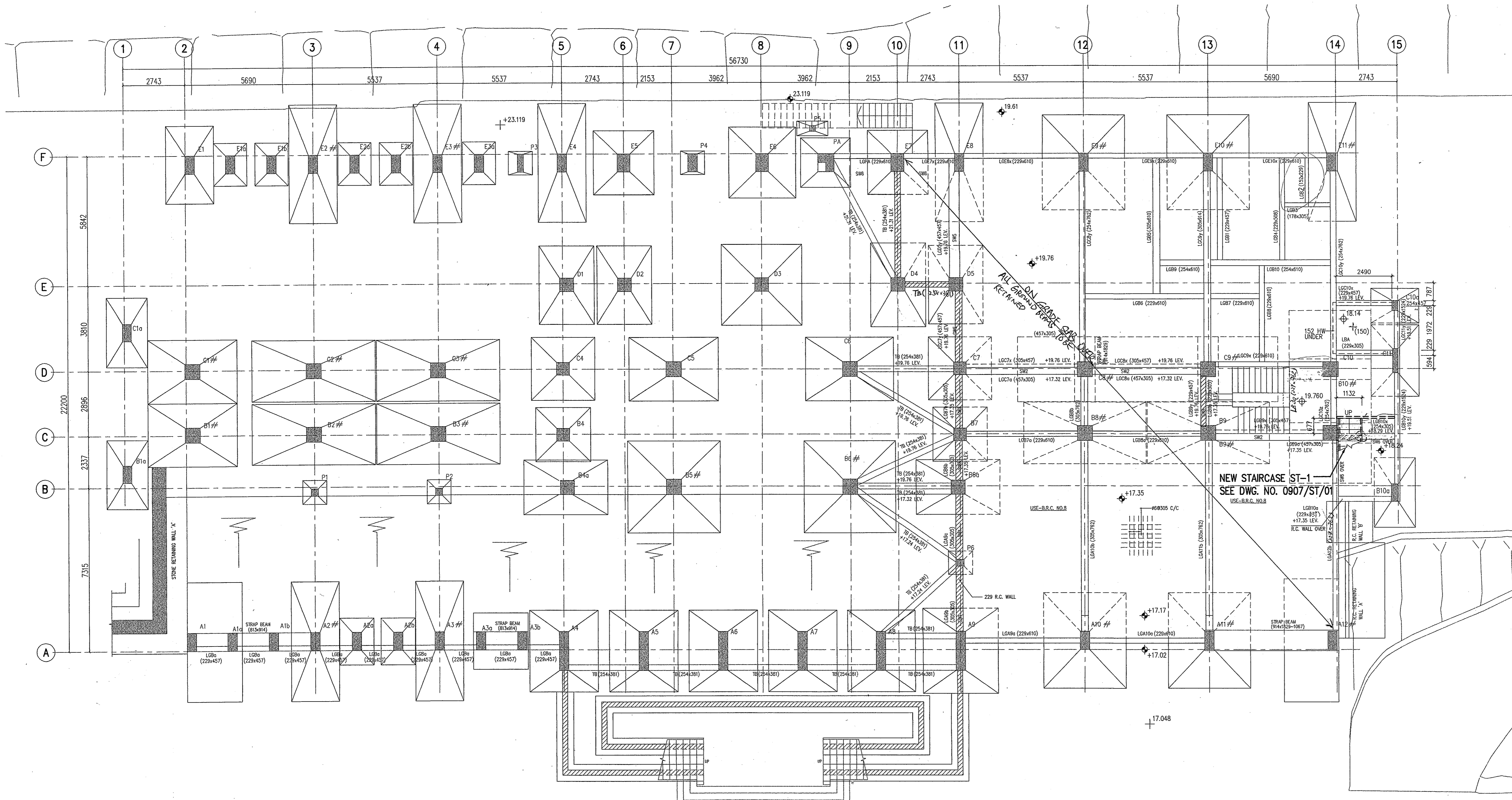
SCALE: 3/8" = 1'-0"

PALMER & TURNER  
ARCHITECTS & ENGINEERS  
HONG KONG

APPROVED	DRAWN	DWG NO.
CHECKED	ARCHITECT	119
DESIGNED	DATE	8-SEPT-59
		E.B.

Notes:  
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- Notes:
1. Framing plan for approval of new works - coloured area only.
  2. All existing structural information are for reference only which dimensions shall be verified on site in later submission.
  3. Imposed Load for new works (STAIRCASE) 3.0 kPa.



LG/F FRAMING PLAN

Plan Approved  
  
 LEE Yun-choi  
 Chief Structural Engineer  
 for BUILDING AUTHORITY  
 19 OCT 2009

Revision	Date	Description	By	Checked

Client  
 SCAD FOUNDATION (HK) LTD

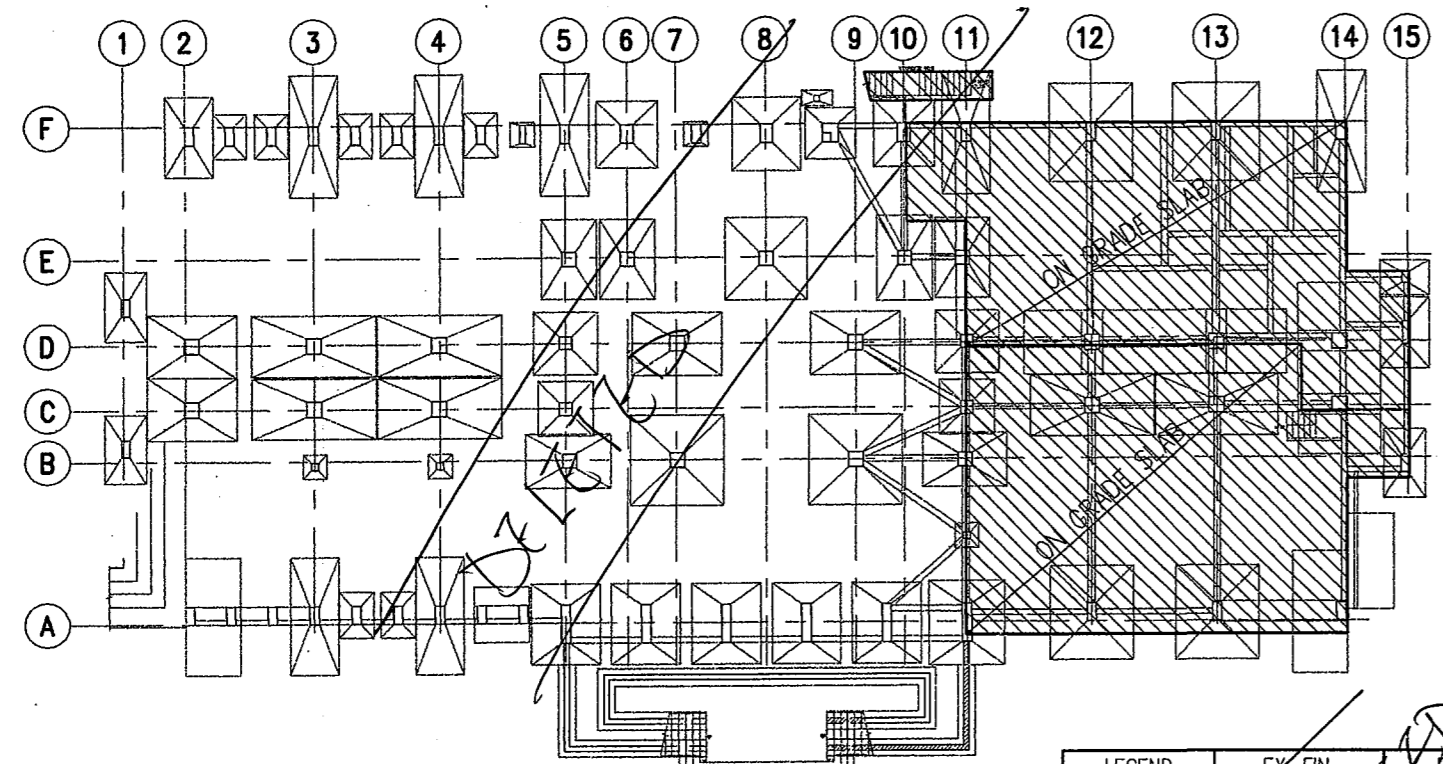
Architect  
 LCK ARCHITECTS LTD

Project  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

Title  
 A & A FRAMING PLAN  
 FOR LG/F  
 (FOR NEW WORKS).

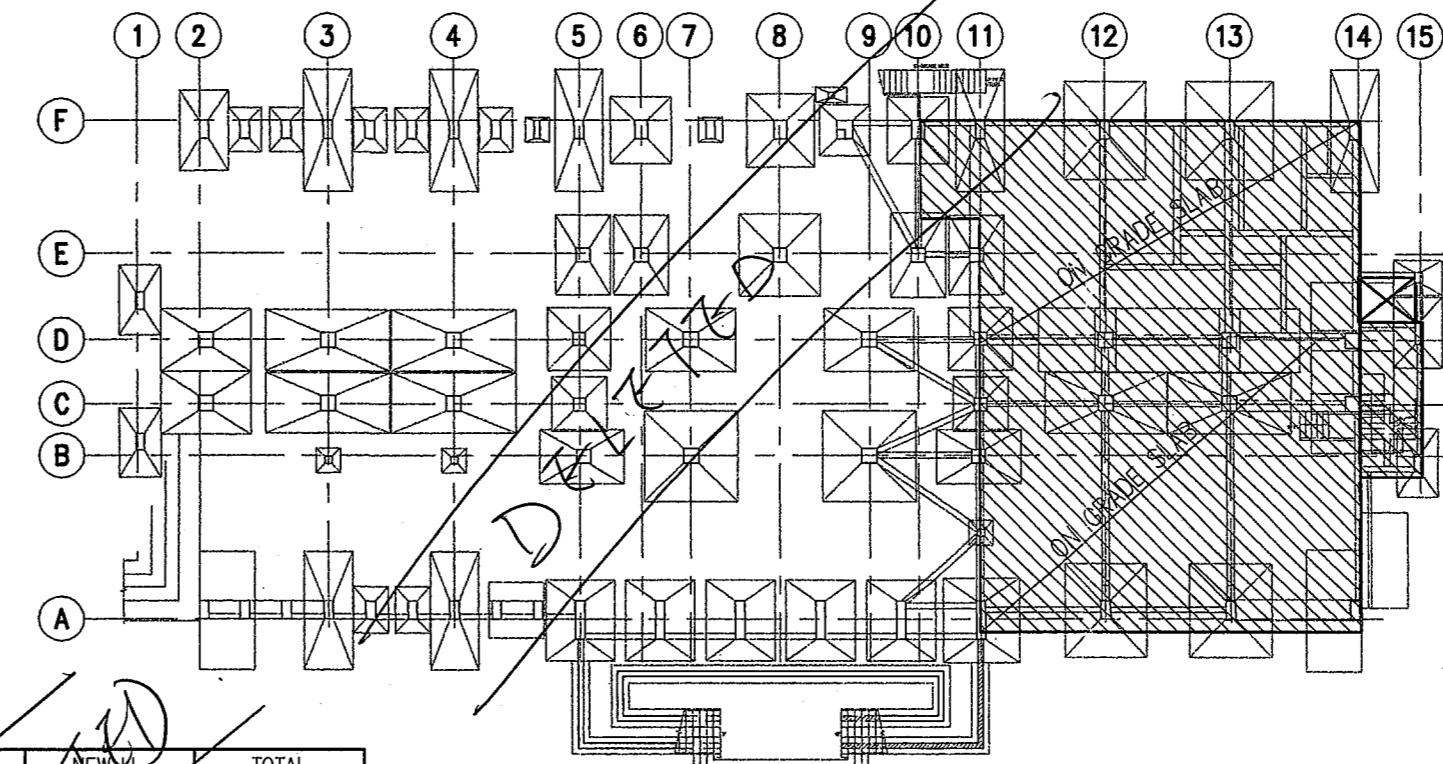
Draw. No.  
 0907/AFR/01

JMK CONSULTING ENGINEERS LTD.



EXISTING LG/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. I.L.		TOTAL
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	
	18	0.86	100	4.79	5.65



NEW LG/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW I.L.		TOTAL
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	
	0.84	0.04	5.0	0.24	5.80

Helen Kwan Po Jen  
 B.Sc. Eng. CEng. FStruct. E, FHKIE,  
 RPE, Registered Structural Engineer

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 2009 AUG 21 P 5:19  
 R.D. SECTION  
 BUILDINGS DEPARTMENT  
 A1 841x594  
 PLOT SCALE: 1:100

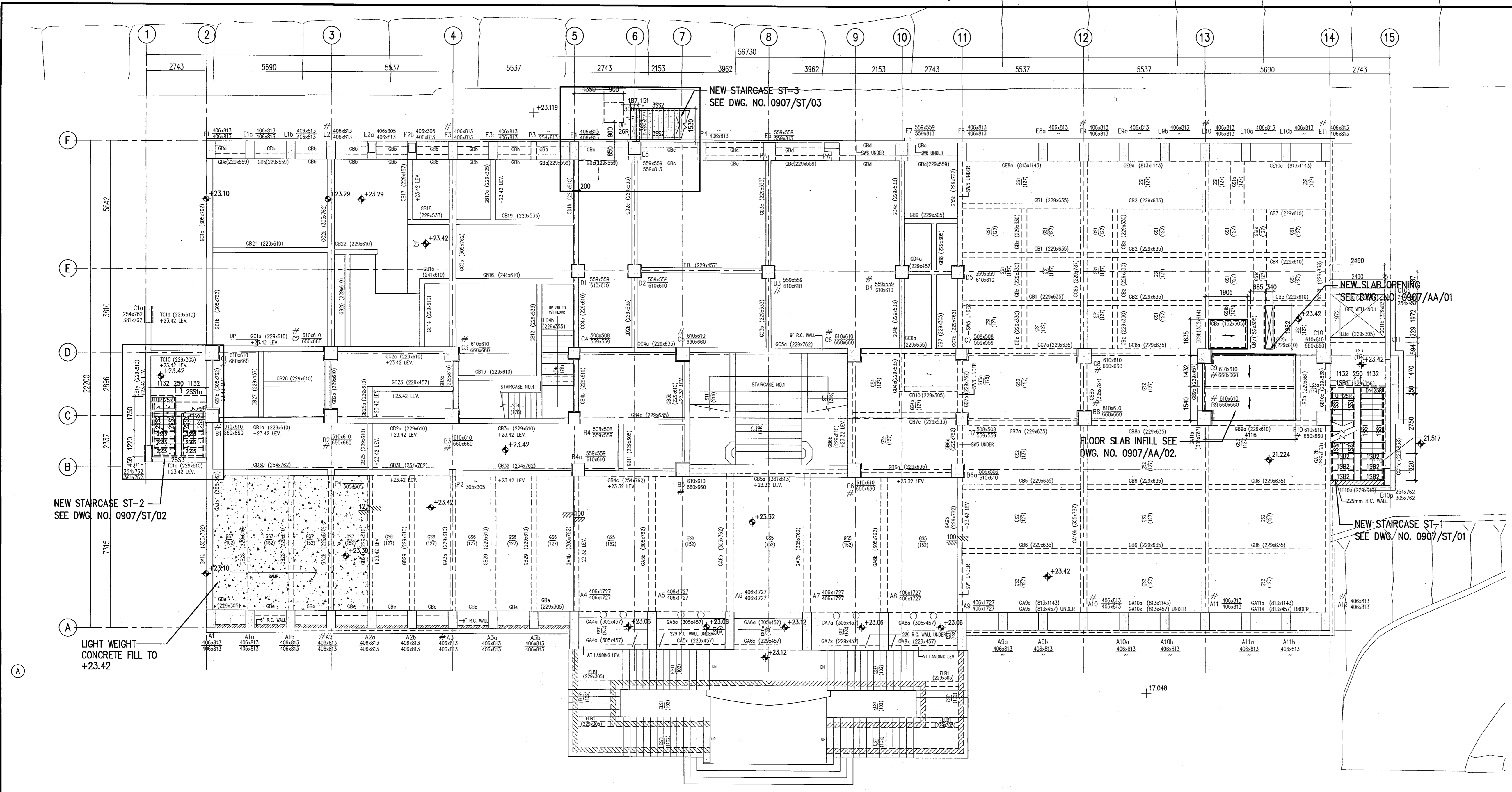


Notes:  
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- NOTES:**
- FRAMING PLAN FOR APPROVAL OF NEW WORKS  
- COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - IMPOSED LOAD FOR NEW WORKS (STAIRCASE) 3.0 kPa.

**LEGEND:**

LIGHT WEIGHT CONCRETE FILL FOR ST2 (DENSITY = 7kg/m³)



G/F FRAMING PLAN

Revision	Date	Description	By	Checked
B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
A	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Name	Initial
In Charge	H.KWAN
Design Checked	H.KWAN
Designed	N. LAM
Drawn	F. WONG

Date: APR 2009    Scale: 1:100    CAD. Ref.: 0907AFR02B

Client  
**SCAD**  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect  
**LEO A DALY** EST. 1915  
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
TEL 202-861-4800 FAX 202-872-8530  
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL 2567 4321 FAX 2885 3507

Executive Architect  
**LCK ARCHITECTS LTD**  
林陳簡建築師有限公司

Project  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

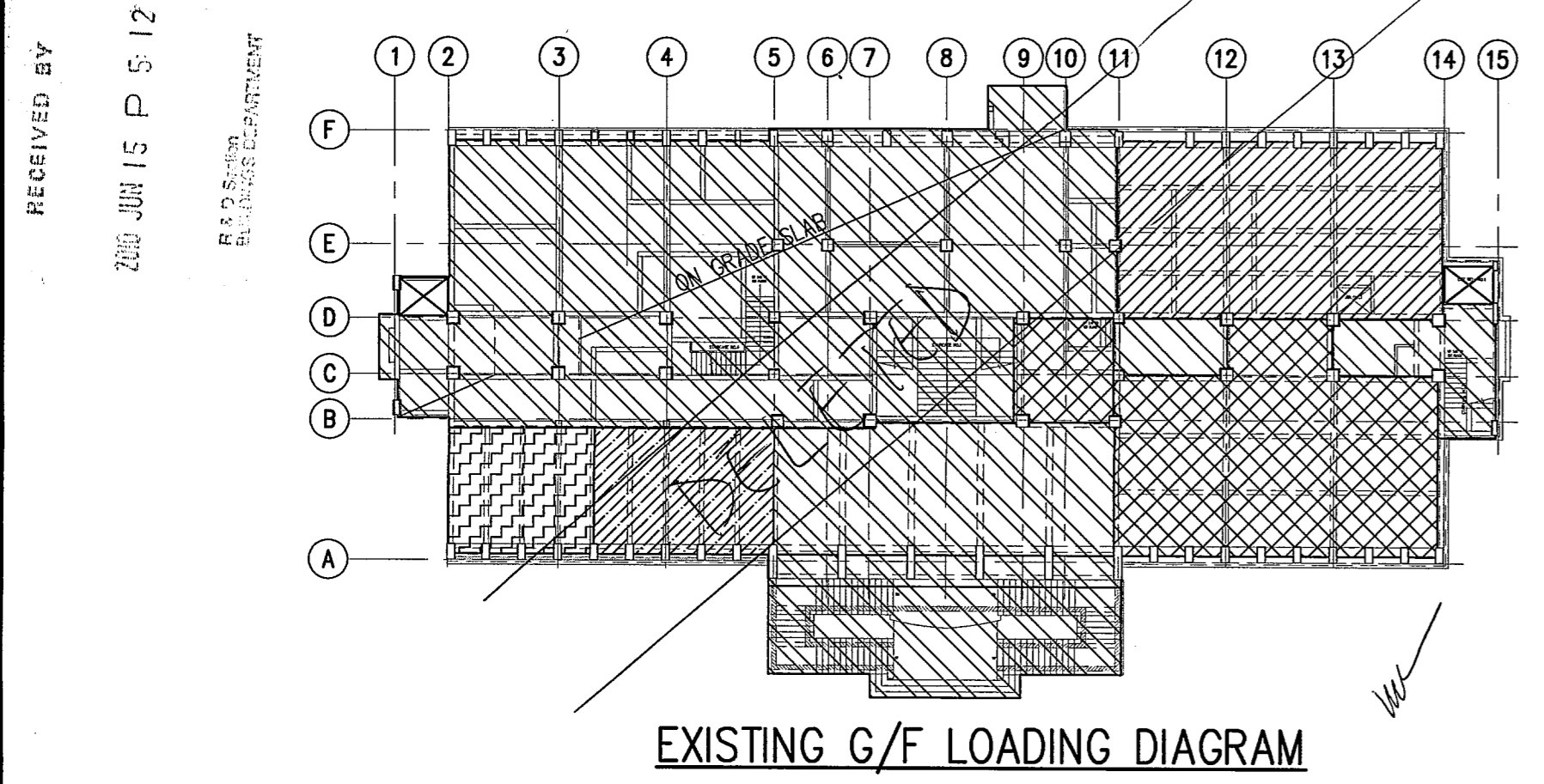
Title  
A & A FRAMING PLAN FOR LG/F (FOR NEW WORKS)

AMENDED PLAN

"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

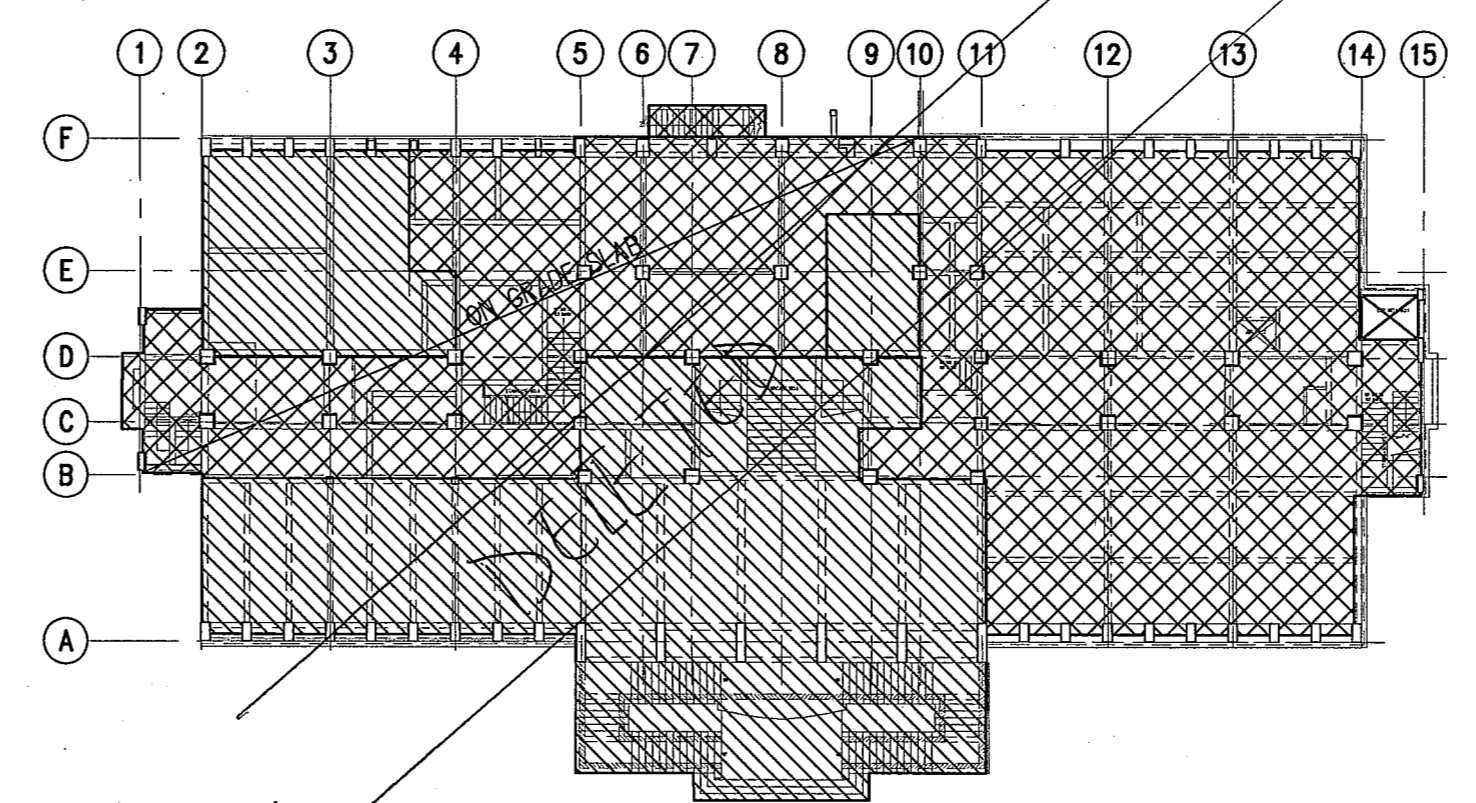
Rev. No. 0907/AFR/02    Rev. B

**JMK**  
JMK CONSULTING ENGINEERS LTD.



EXISTING G/F LOADING DIAGRAM

LEGEND	EX. FIN.	EX. LL.	TOTAL
	lb/ft² kPa	lb/ft² kPa	lb/ft² kPa
	18 0.86	150 7.28	118 5.65
	18 0.86	50 2.40	68 3.26
	18 0.86	55 2.63	73 3.49
	19 0.86	135 6.42	153 7.28
	18 0.86	470 22.5	488 23.36



NEW G/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.	NEW LL.	TOTAL
	(kPa)	(kPa)	(kPa)
	0.80	5.6	5.65
	0.80	2.0	3.26

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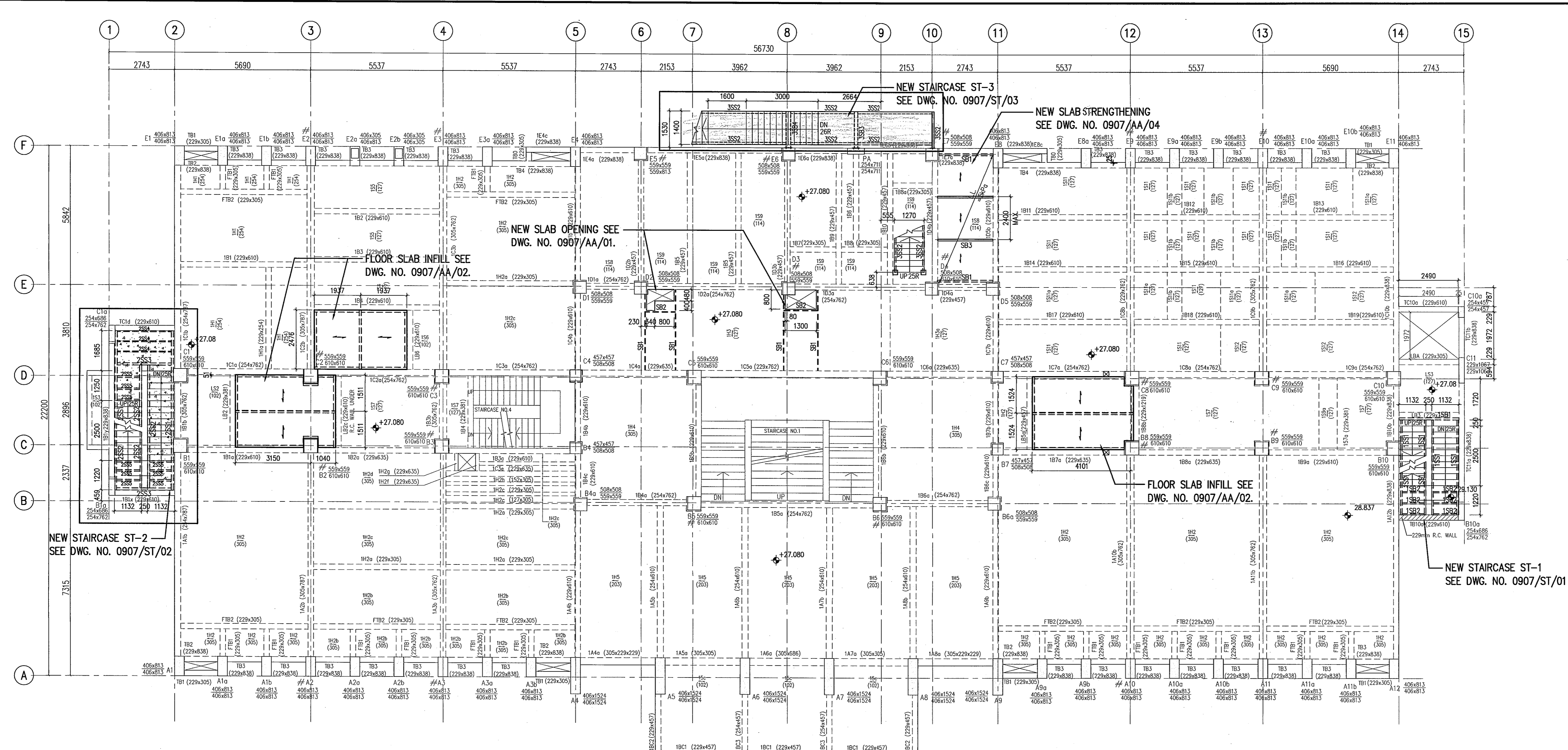
PLOT SCALE: 1: 252 TAI PO ROAD, KLN

*Helmut Kwan Po Jun*  
Helmut Kwan Po Jun  
B.A.Sc., P.Eng., C.Eng., F.I.S.T.R.U.C.E., F.H.K.E.  
R.P.E. Registered Structural Engineer

Notes:  
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- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.

LEGEND:  
LIGHT WEIGHT CONCRETE FILL FOR ST2 (DENSITY = 7kg/m<sup>3</sup>)



1/F FRAMING PLAN

Plan Approved  
CHAN Wai-tai  
Senior Structural Engineer  
for BUILDING AUTHORITY  
12 JUL 2010

B	JUN 2010	TALLY WITH CBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

In Charge	H.KWAN	Name		Initial
Design Checked	H.KWAN			
Designed	N. LAM			
Draw Checked	K.YEUNG			
Drawn	F. WONG			
Date	APR 2009	Scale	1:100	CAD. Ref. 0907AFR03B

Client: SCAD  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect: LEO A DALY  
EST. 1915  
1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
TEL 202-861-4600 FAX 202-872-8530  
SUITE 1308, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL 2567-4321 FAX 2585-3507

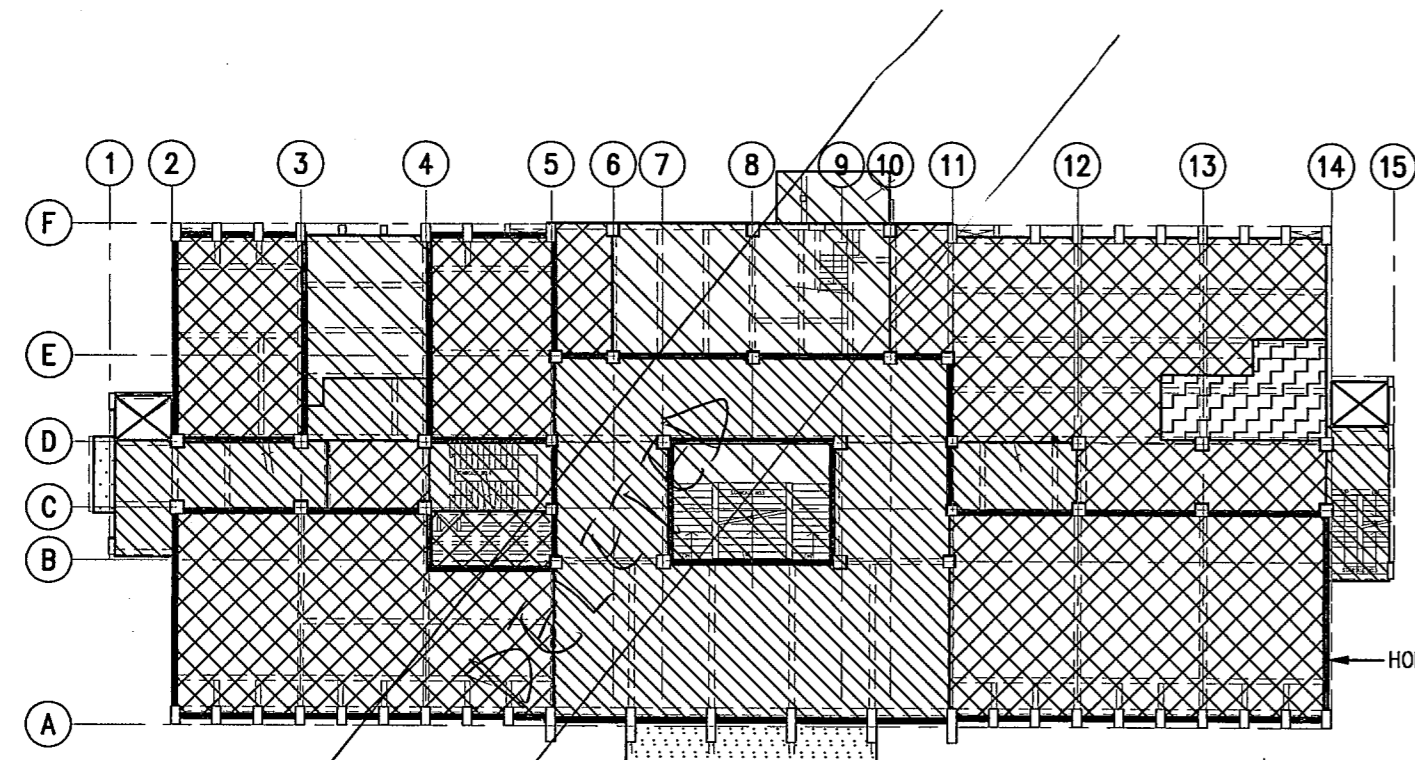
Executive Architect: LCK ARCHITECTS LTD  
林陳簡建築師有限公司

Project: NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

Title: A & A FRAMING PLAN FOR 1/F (FOR NEW WORKS)

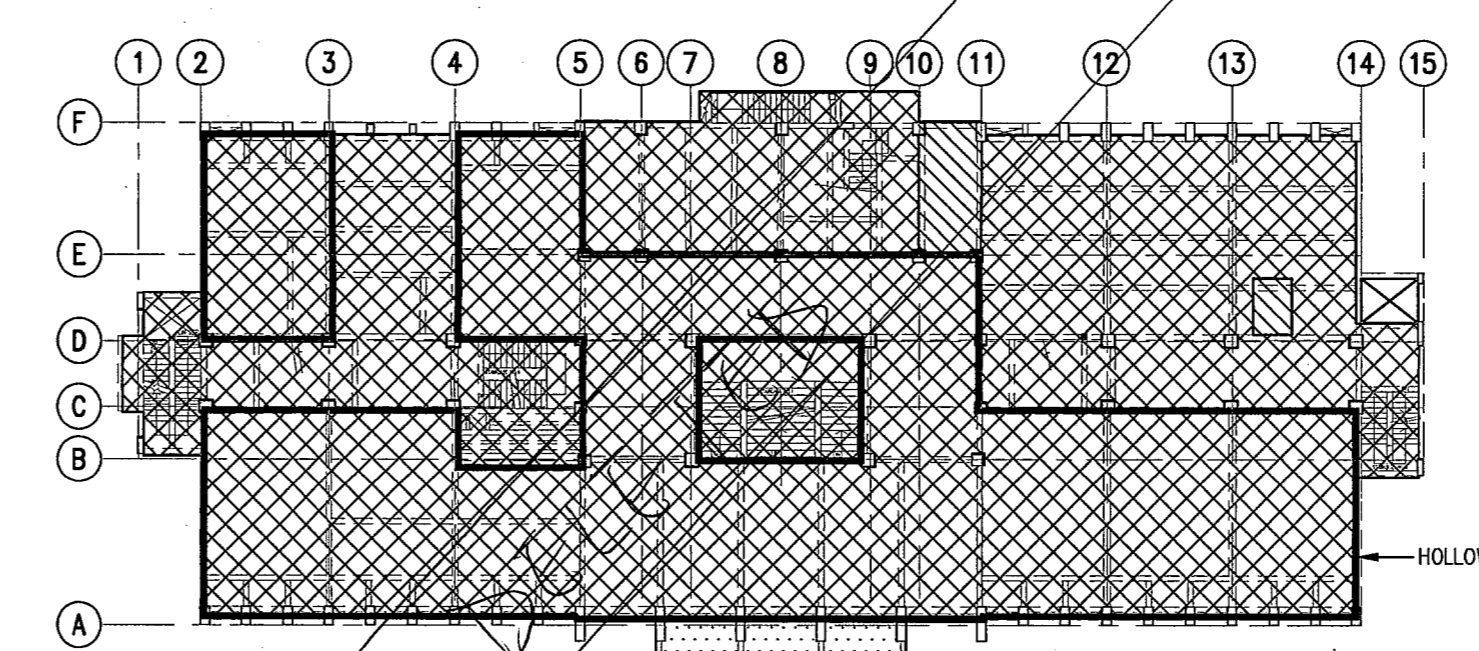
Dwg. No.	0907/AFR/03	Rev.	B
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JMK CONSULTING ENGINEERS LTD.



EXISTING 1/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/r <sup>2</sup>	kPa	lb/r <sup>2</sup>	kPa	lb/r <sup>2</sup>	kPa
[Hatching]	18	0.86	150	7.18	168	8.04
[Hatching]	18	0.86	100	4.79	118	5.65
[Hatching]	18	0.86	50	2.40	68	3.26
[Hatching]	18	0.86	15	0.72	33	1.58
[Hatching]	18	0.86	7	0.34	25	1.20



NEW 1/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	(kPa)	(kPa)	(kPa)	(kPa)	(kPa)	(kPa)
[Hatching]	0.80	3.80	5.0	3.0	5.65	3.26
[Hatching]	0.80	3.80	0.72	0.34	1.58	1.20

AMENDED PLAN

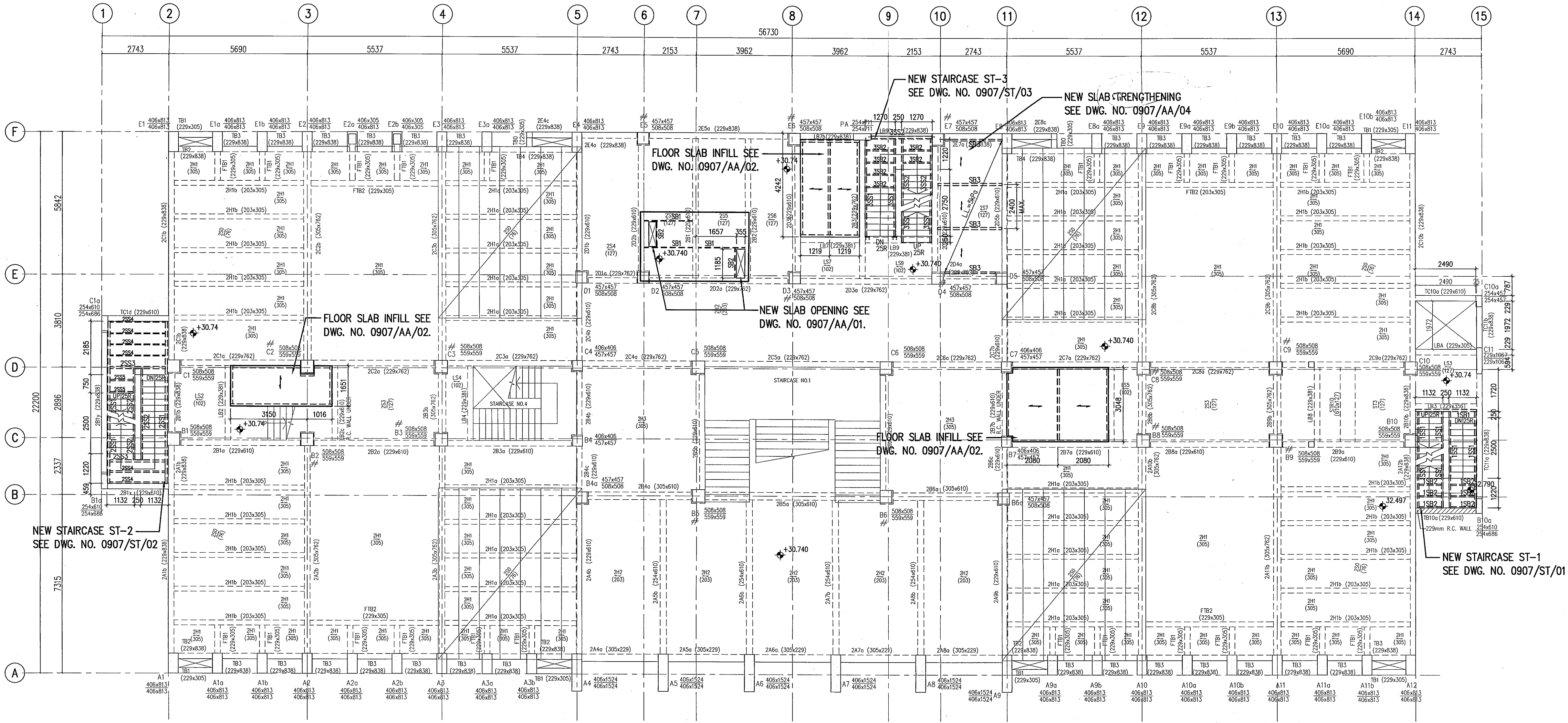
"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

Helene Kwan Po Yan  
RASC, PEng, CEng, FIStructE, PHKIE  
RPE, Registered Structural Engineer

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R & D SECTION  
SUPERVISOR'S DEPARTMENT

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  2. ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  3. UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



2/F FRAMING PLAN

Plan Approved  
*AZ*  
CHAN Wai-tai  
Senior Structural Engineer  
for BUILDING AUTHORITY  
12 JUL 2010

B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

Name	Initial
In Charge	H.KWAN
Design Checked	H.KWAN
Designed	N. LAM
Draw Checked	K.YEUNG
Drawn	F. WONG

Date: APR 2009 Scale: 1:100 CAD Ref: 0907AFR04B

Client  
**SCAD**  
HONG KONG CAMPUS  
NORTH KOWLOON MAGISTRACY BUILDING

Design Architect  
**LEO A DALY** EST. 1915  
1201 CONNECTICUT AVENUE, N.W. WASHINGTON, DC 20036 USA  
TEL 202-861-4800 FAX 202-872-8530  
SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
TEL 2567 4321 FAX 2885 3507

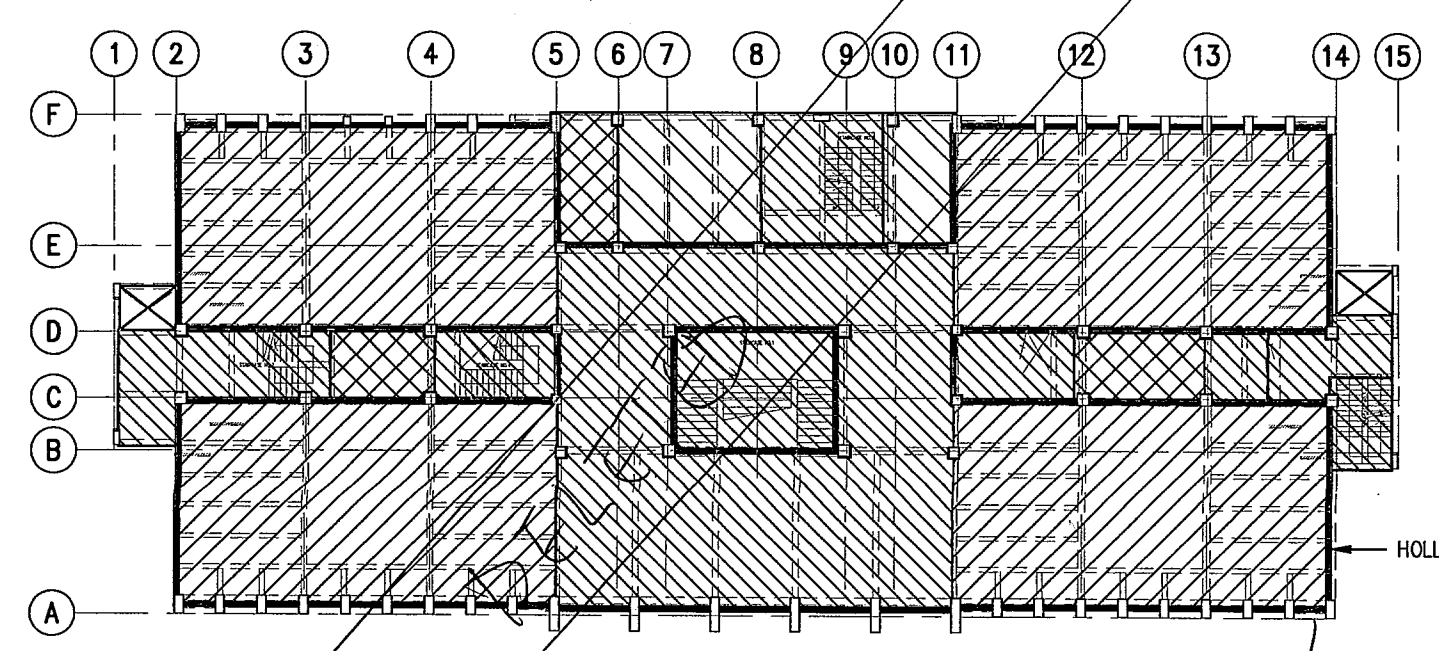
Executive Architect  
**LCK ARCHITECTS LTD**  
林陳簡建築師有限公司

Project  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

Title  
A & A FRAMING PLAN  
FOR 2/F  
(FOR NEW WORKS)

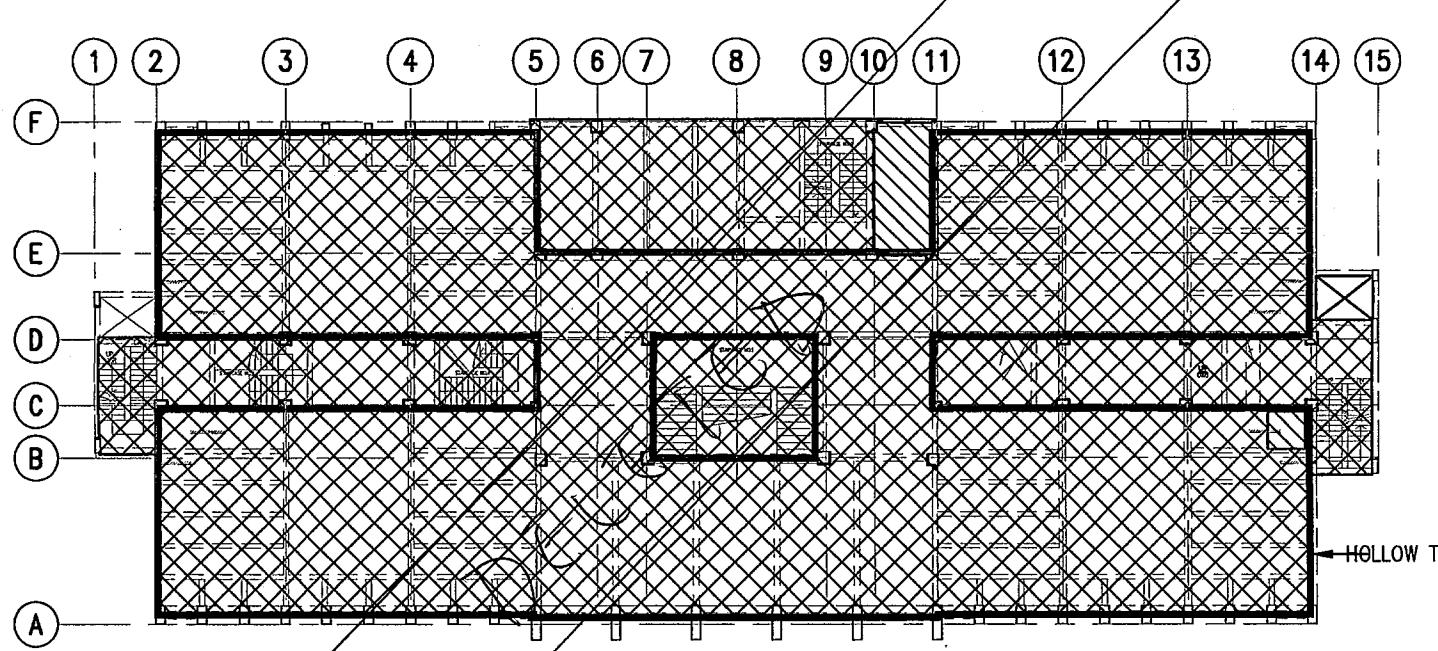
Dwg. No. 0907/AFR/04 Rev. B

**JMK**  
JMK CONSULTING ENGINEERS LTD.



EXISTING 2/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa
	18	0.86	0	0	18	0.86
	18	0.86	90	4.79	108	5.65
	18	0.86	50	2.40	68	3.26
	18	0.86	5.7	2.73	75	3.59



NEW 2/F LOADING DIAGRAM

LEGEND	ACTUAL FIN. (kPa)	NEW FIN. (kPa)	TOTAL (kPa)
	0.80	0	0.80
	0.80	3.0	3.80

AMENDED PLAN

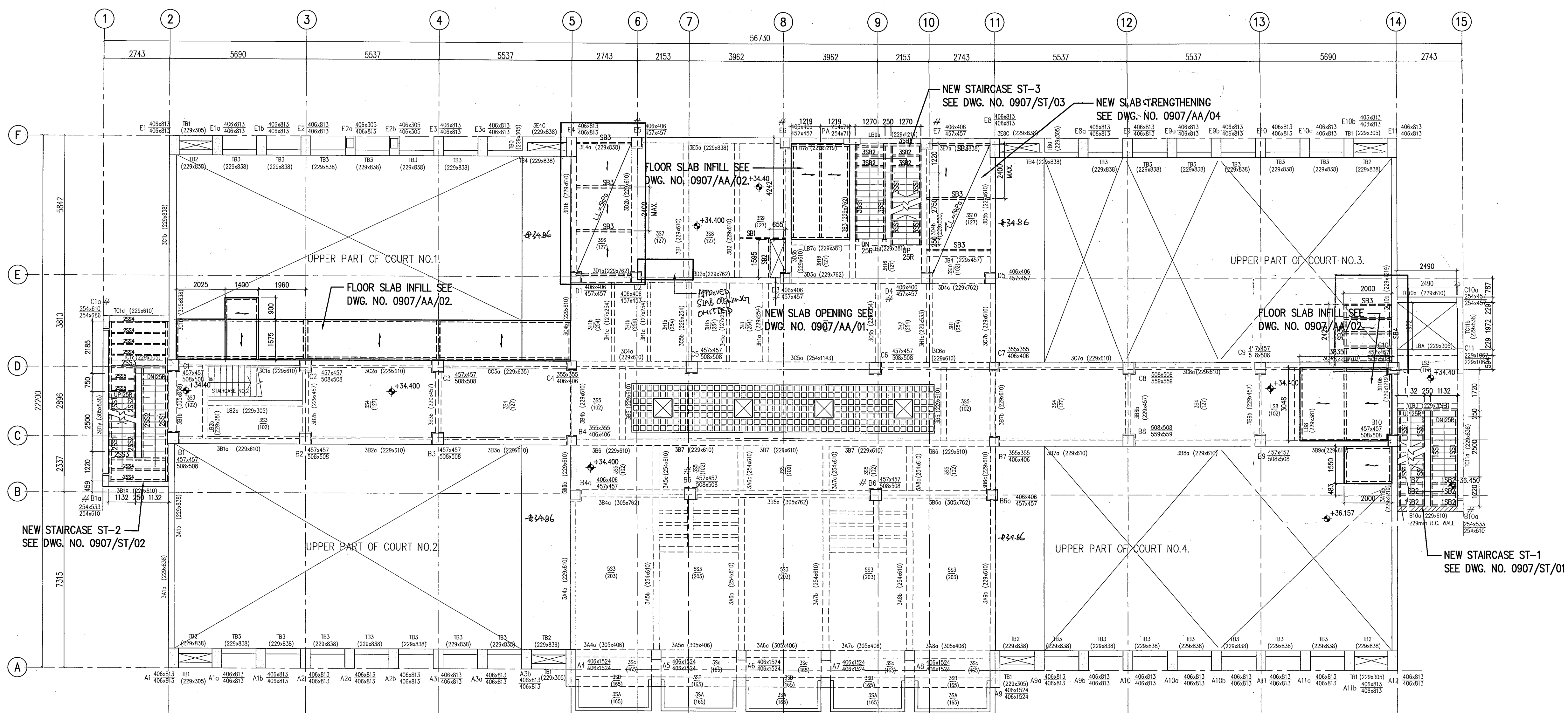
"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

*Helen Kwan Po Jen*  
Helen Kwan Po Jen  
B.A.Sc. P.Eng. C.Eng. F.R.S.M.C. F.H.K.I.E.  
R.P.E. Registered Structural Engineer

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2010 JUN 15 P 5:12  
B.L.D. SECTION  
BUILDING DEPARTMENT  
PLOT SCALE: 292 TAI PO ROAD, KLN

Notes:  
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- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



3/F FRAMING PLAN

Plan Approved  
 CHAN Wai-tai  
 Senior Structural Engineer  
 for BUILDING AUTHORITY  
 12 JUL 2010

B	JUN 2010	TALLY WITH CRP SUBMITTED ON 04/06/2010	
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)	
	DEC 2009	LOADING DIAGRAM REVISED	
A	SEP 2009	MINI REVISION	

Revision	Date	Description	By	Checked

In Charge	H.KWAN	Initial			
Design Checked	H.KWAN				
Designed	N. LAM				
Draw Checked	K.YEUNG				
Drawn	F. WONG				
Date	APR 2009	Scale	1:100	CAD. Ref.	0907AFR05B

Client  
**SCAD**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

Design Architect  
**LEO A DALY** • EST. 1915  
 1201 CONNORCOURT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-891-4600 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCAI, HONG KONG  
 TEL 2567 4321 FAX 2885 3507

Executive Architect  
**LCK**  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

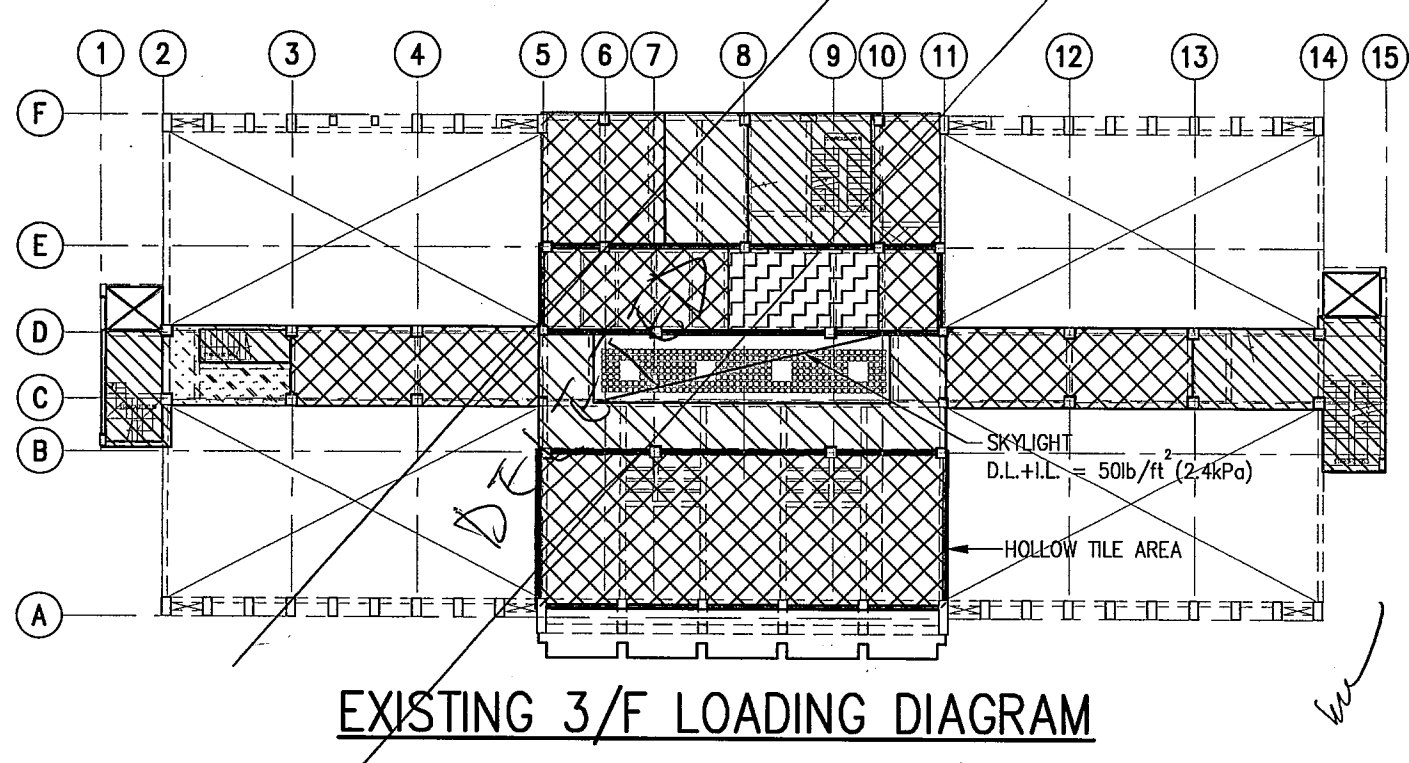
Project  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

Title  
**A & A FRAMING PLAN FOR 3/F (FOR NEW WORKS)**

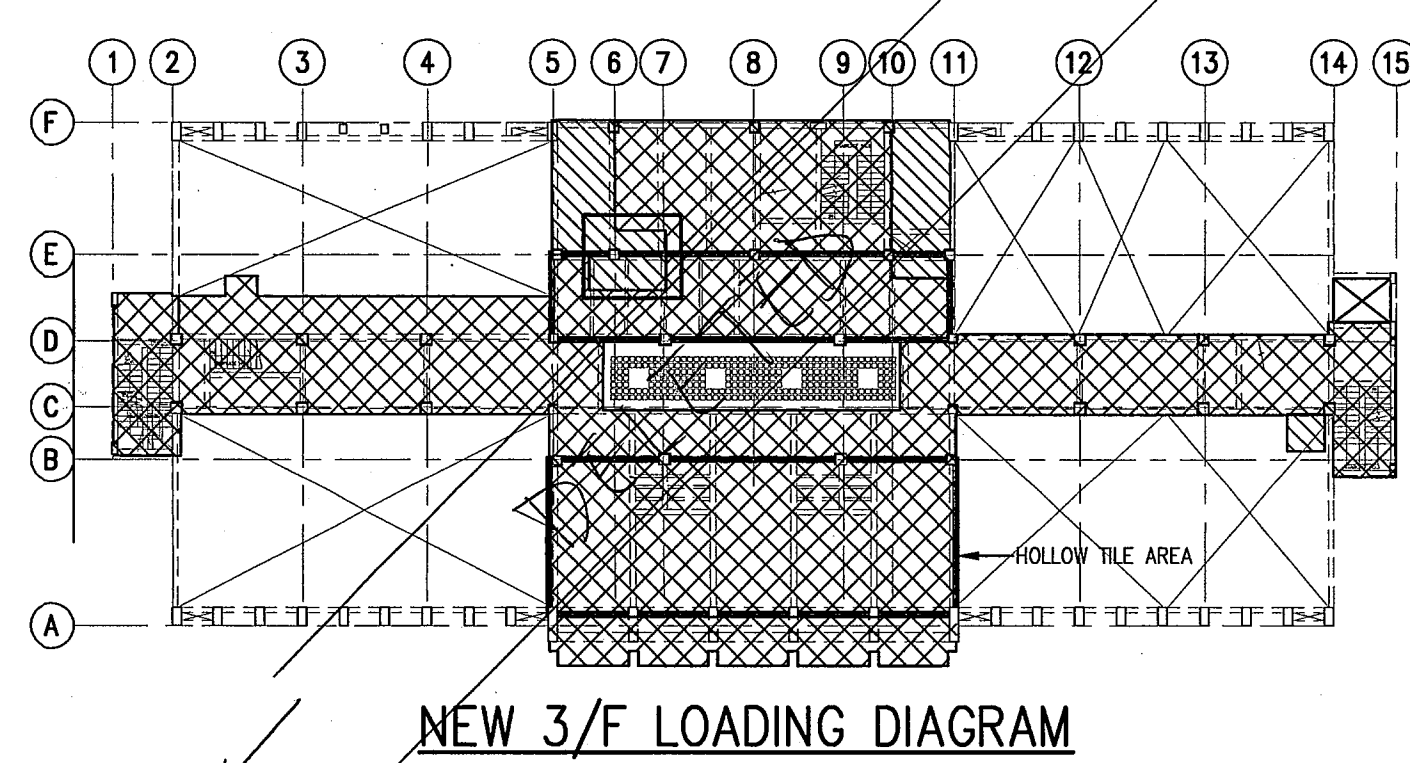
Rev. No. 0907/AFR/05

Rev. **B**

JMK CONSULTING ENGINEERS LTD.



EXISTING 3/F LOADING DIAGRAM



NEW 3/F LOADING DIAGRAM

AMENDED PLAN

"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

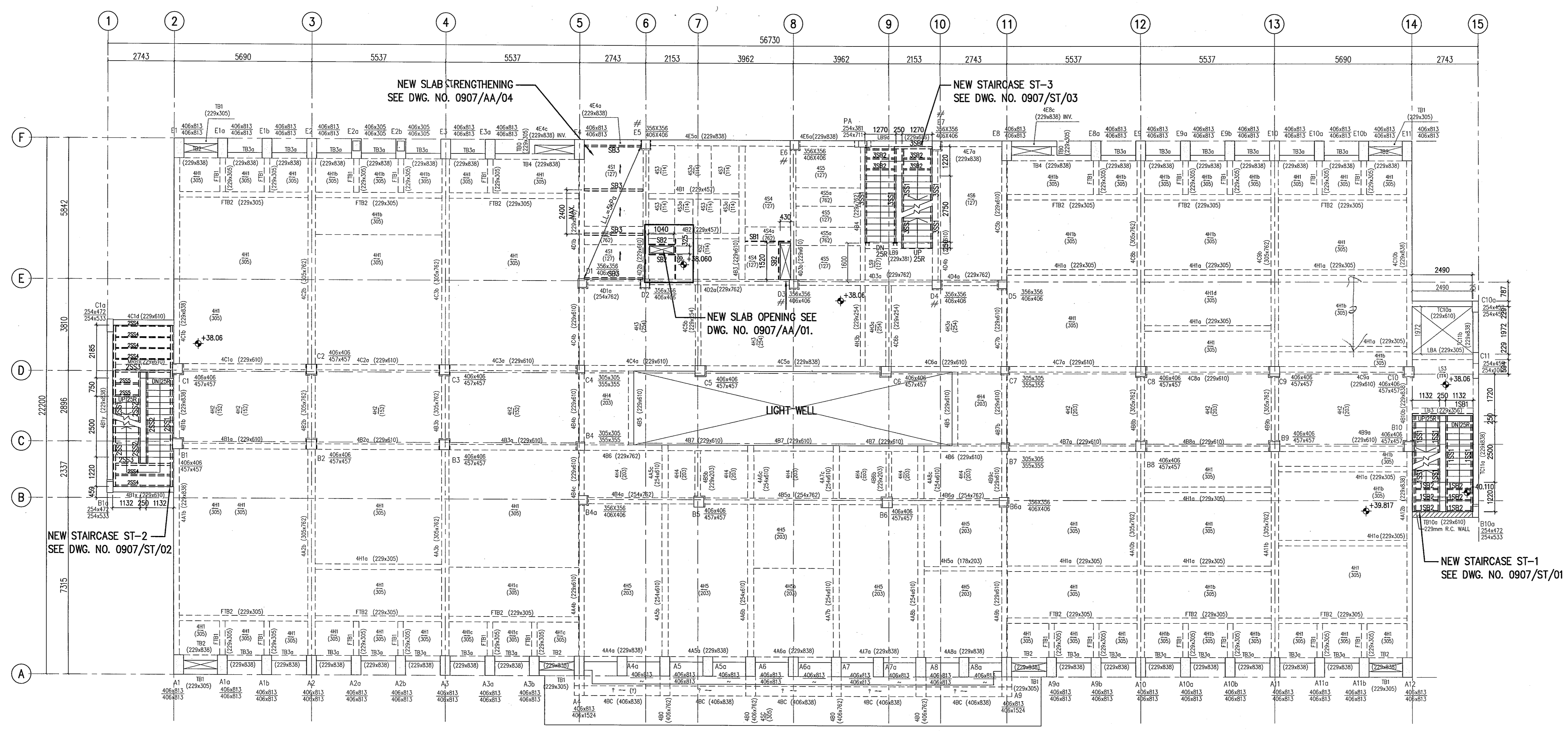
Helen Ryan Po Jun  
 B.A.Sc. P.Eng. C.Eng. F.R.S.M. F.H.K.E.  
 R.P.E., Registered Structural Engineer

RECEIVED BY  
 2010 JUN 15 P 5:12  
 B.D. CHAN  
 BUILDING DEPARTMENT

PLAT SCALE: 292 TAI PO ROAD, KLN

Notes:  
Do not scale drawings. All dimension must be verified at the work by the contractor. This drawing & design are copyright and no portion may be reproduced without the written permission of JMK Consulting Engineers Ltd.

- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



4/F FRAMING PLAN

Plan Approved  
  
 CHAN Wai-tai  
 Senior Structural Engineer  
 for BUILDING AUTHORITY  
 12 JUL 2010

B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Revision	Date	Description	By	Checked

Name	Initial
In Charge	H.KWAN
Design Checked	H.KWAN
Designed	N. LAM
Draw Checked	K.YEUNG
Drawn	F. WONG

Date	Scale	CAD. Ref.
APR 2009	1:100	0907AFR06B

Client  
**SCAD**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

Design Architect  
**LEO A DALY** EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4600 FAX 202-872-8530  
 SUITE 1308, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
 TEL 2567 4321 FAX 2865 3507

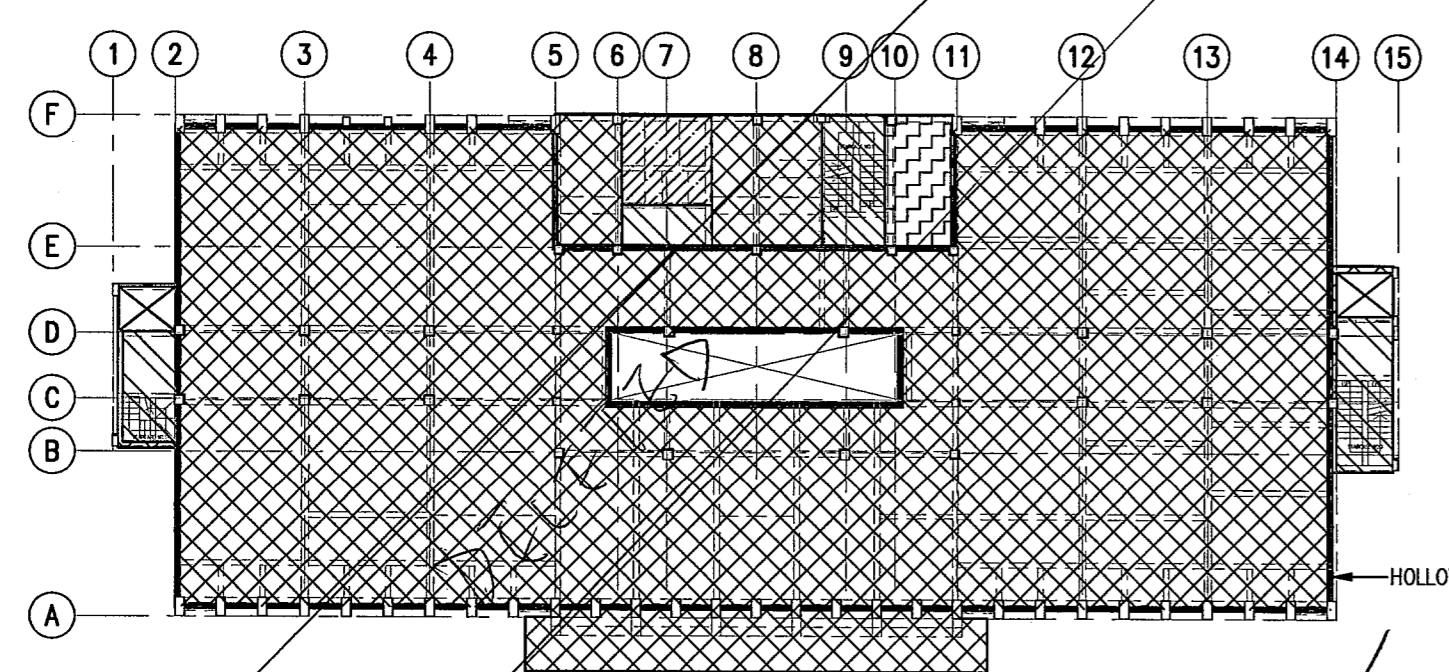
Executive Architect  
  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

Project  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

Title  
 A & A FRAMING PLAN  
 FOR 4/F  
 (FOR NEW WORKS)

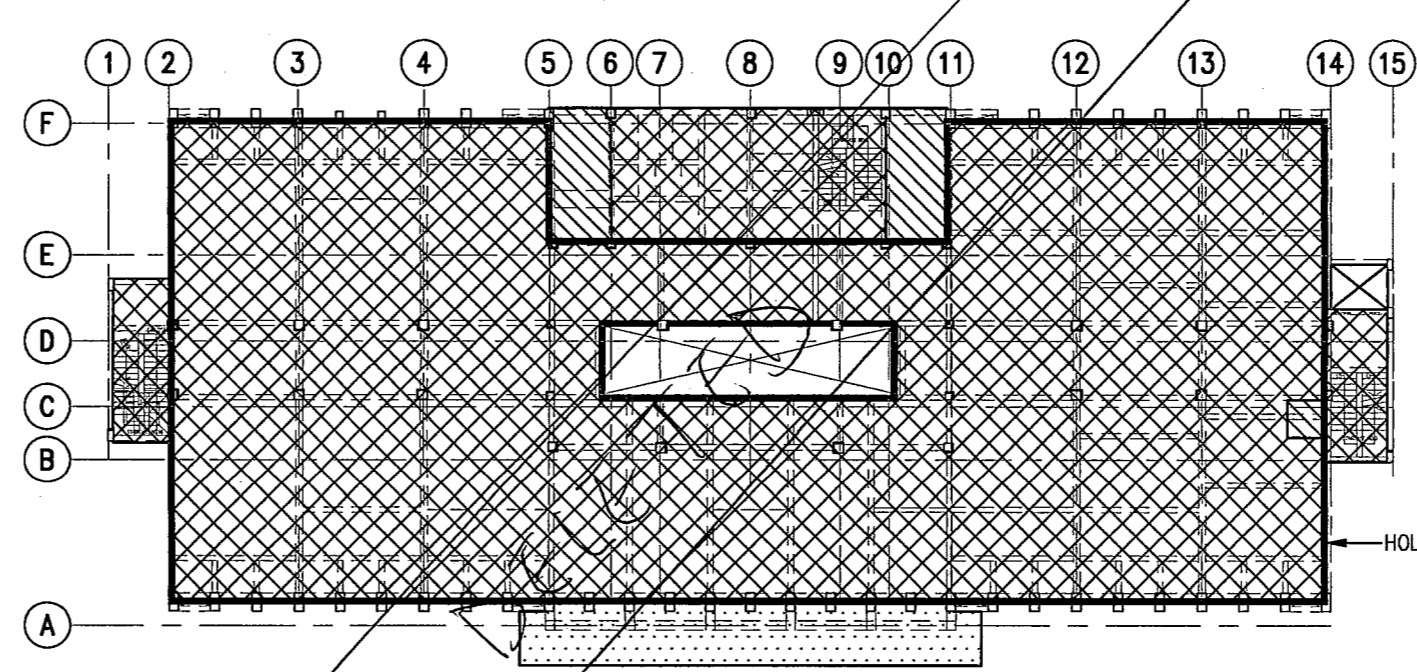
Drw. No. 0907/AFR/06

JMK CONSULTING ENGINEERS LTD.



EXISTING 4/F LOADING DIAGRAM

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa
	18	0.86	130	7.18	168	8.04
	18	0.86	100	4.79	118	5.65
	18	0.86	50	2.40	68	3.26
	18	0.86	67	3.21	85	4.07
	18	0.86	62	2.97	80	3.83



NEW 4/F LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa
	0.80	0.39	3.0	1.42	3.80	1.81
	0.80	0.39	3.0	1.42	3.80	1.81
	0.86	0.41	0.75	0.36	1.61	0.77

AMENDED PLAN

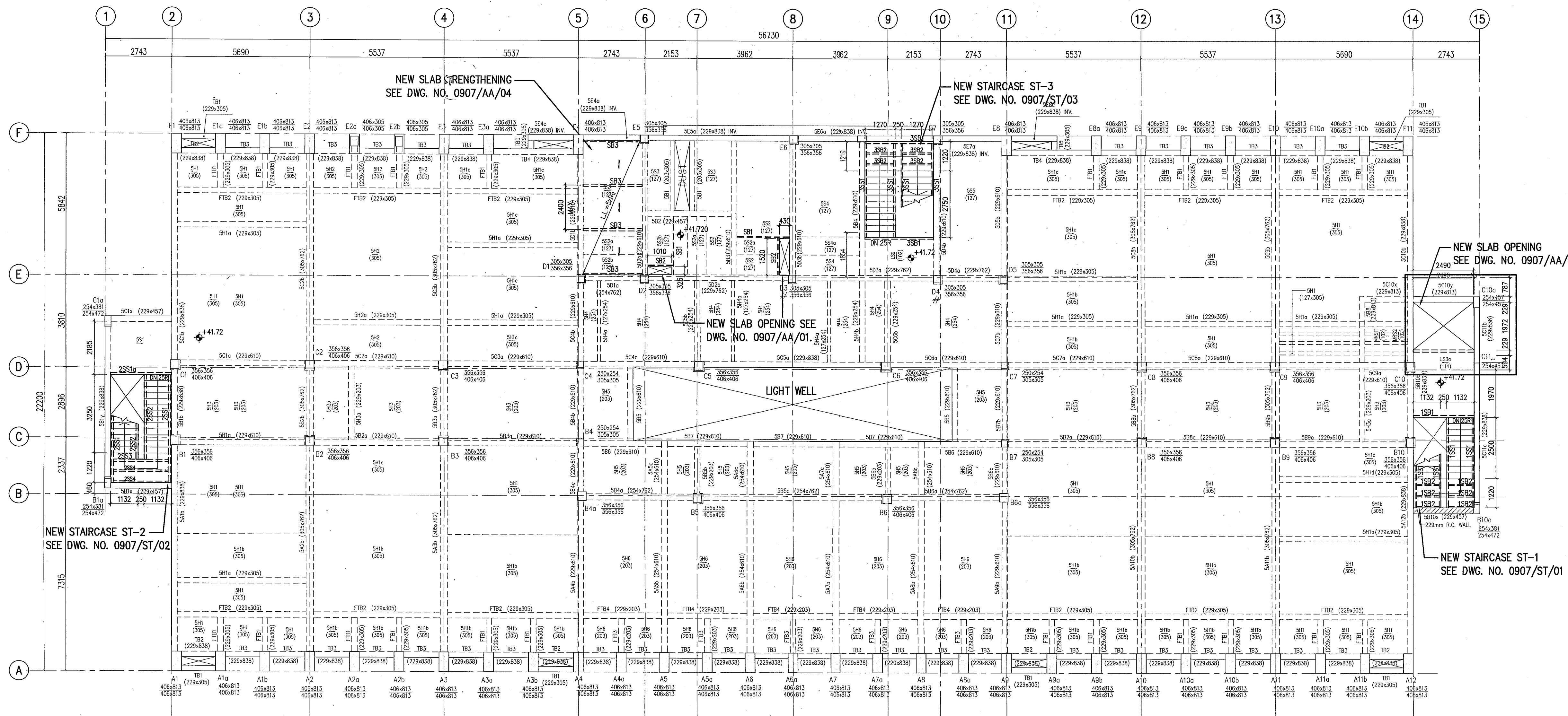
"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

Helen Kwan Po Jun  
 RASc, PEng, CEng, FStructE, FHKIE,  
 RPE Registered Structural Engineer

RECEIVED BY  
 2009 JUN 15 P 5:12  
 R.A.D. DESIGN AND CONSULTANTS

Notes:  
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- NOTES:
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 3.0 kPa.



5/F FRAMING PLAN

Plan Approved  
  
 CHAN Wai-tai  
 Senior Structural Engineer  
 for BUILDING AUTHORITY  
 12 JUL 2010

B	JUN 2010	TALLY WITH GBP SUBMITTED ON 04/06/2010		
	JAN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
	DEC 2009	LOADING DIAGRAM REVISED		
A	SEP 2009	MINI. REVISION		

Revision	Date	Description	By	Checked
		Name		Initial
		In Charge	H.KWAN	
		Design Checked	H.KWAN	
		Designed	N. LAM	
		Draw Checked	K.YEUNG	
		Drawn	F. WONG	
	Date	Scale	1:100	CAD. Ref. 0907AFR07B

Client  
**SCAD**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

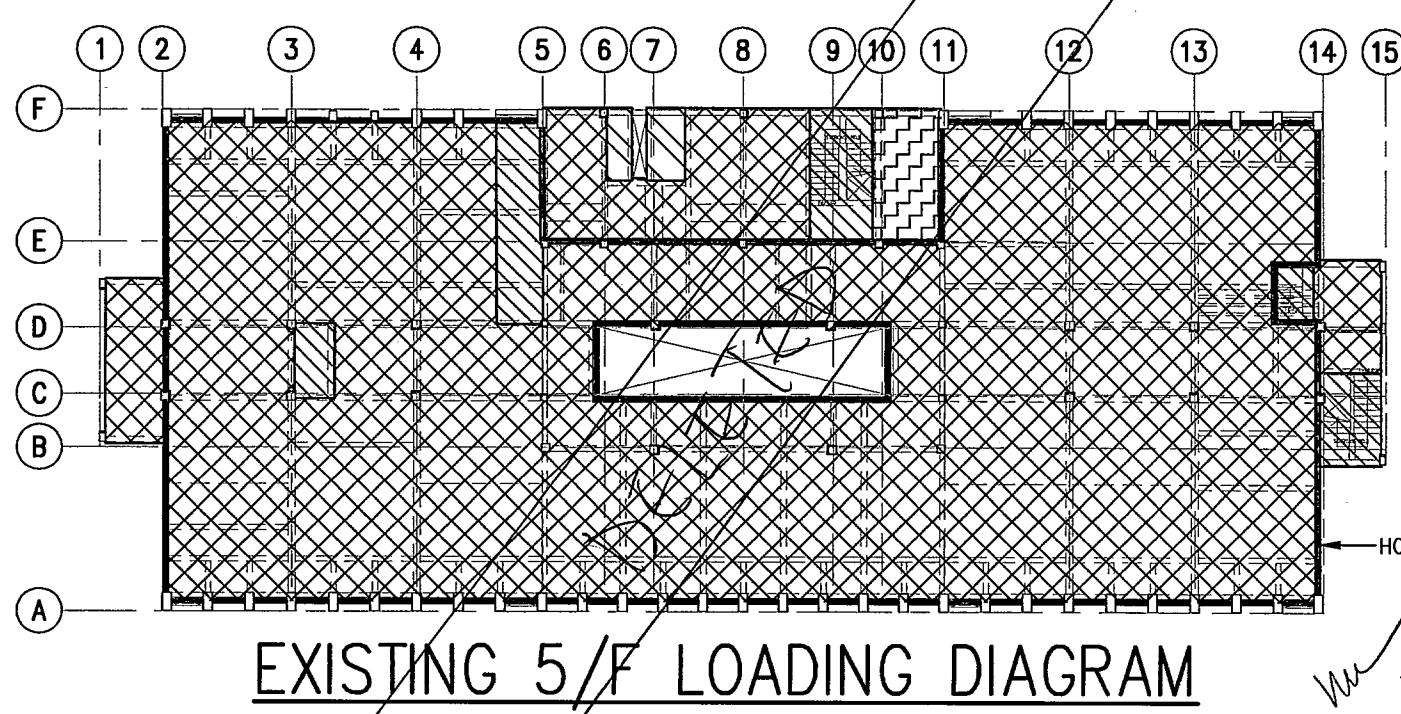
Design Architect  
**LEO A DALY** EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4600 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCHAI, HONG KONG  
 TEL 2567 4321 FAX 2885 3507

Executive Architect  
  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

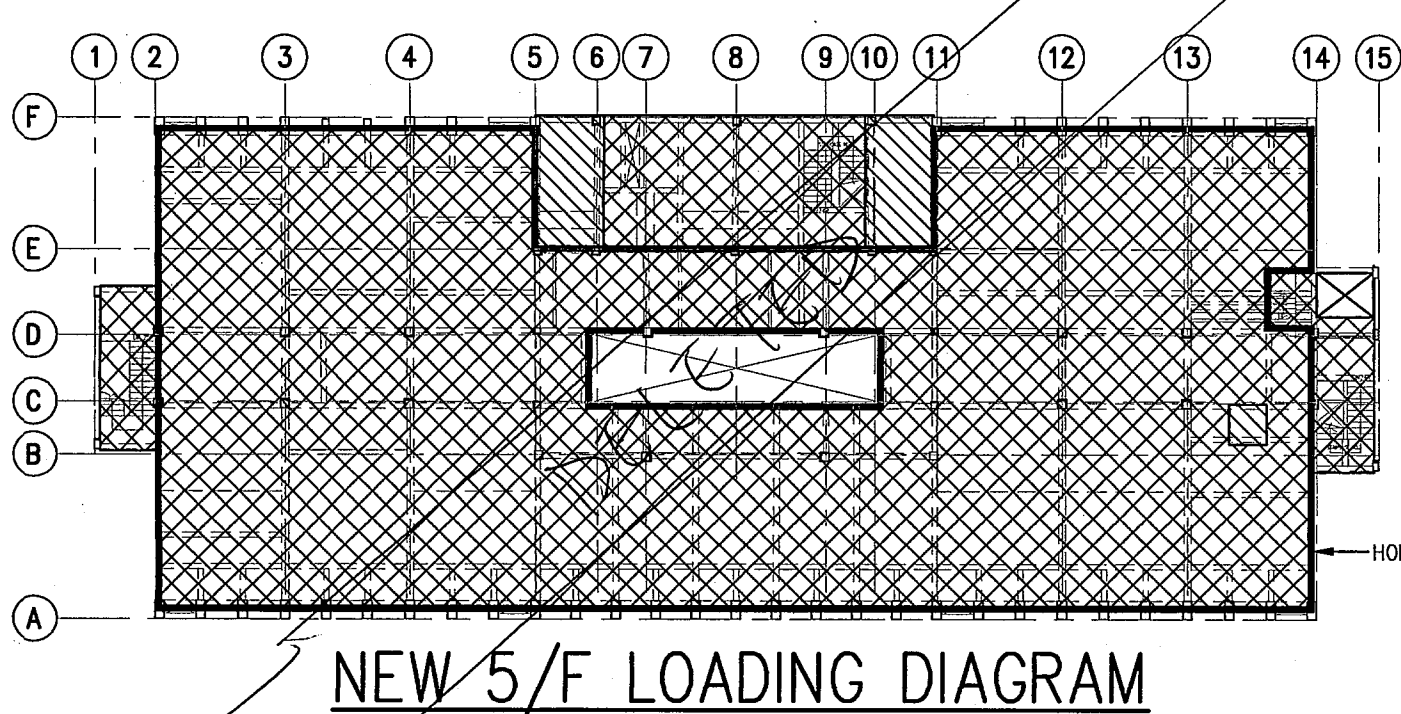
Project  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

Title  
**A & A FRAMING PLAN FOR 5/F (FOR NEW WORKS)**

Dwg. No. 0907/AFR/07  
 Rev. B  
  
 JMK CONSULTING ENGINEERS LTD.



LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa
	18	0.86	150	7.18	168	8.04
	18	0.86	108	5.27	126	6.13
	18	0.86	90	4.41	108	5.27
	18	0.86	67	3.21	85	4.07



LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	kPa	kPa	kPa	kPa	kPa	kPa
	0.80	0.80	5.0	5.0	5.65	5.65
	0.80	0.80	3.0	3.0	3.26	3.26

AMENDED PLAN

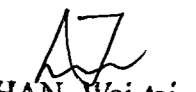
"The works shown on these plans are Type II works (ALTERATION AND ADDITION WORKS) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations."

Helen Kwan P.Eng.  
 B.Eng., P.Eng., C.Eng., F.I.M.S.E., F.H.K.E.  
 R.P.E. Registered Structural Engineer

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 2010 JUN 15 P 5:12  
 R.I.P. Section  
 B.L.V. ENGINEERING DEPARTMENT  
 PLOT SCALE: 292 TAI PO ROAD, KLN

Notes:  
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- NOTES:**
- FRAMING PLAN FOR APPROVAL OF NEW WORKS - COLOURED AREA ONLY.
  - ALL EXISTING STRUCTURAL INFORMATION AREA FOR REFERENCE ONLY WHICH DIMENSIONS SHALL BE VERIFIED ON SITE IN LATER SUBMISSION.
  - UNLESS OTHERWISE STATED, ALL IMPOSED LOAD SHOULD BE 0.75 kPa.

Plan Approved  
  
 CHAN Wai-tai  
 Senior Structural Engineer  
 for BUILDING AUTHORITY  
 12 JUL 2010

B	JUN 2010	TALLY WITH CSP SUBMITTED ON 04/05/2010		
	JUN 2010	INCORPORATING B.D. COMMENTS (APPROVAL DATE: 19 OCT 2009)		
A	SEP 2009	MINI REVISION		

Revision	Date	Description	By	Checked

In Charge	Name	Initial
Design Checked	H.KWAN	
Designed	N. LAM	
Draw Checked	K.YEUNG	
Drawn	F. WONG	

Date	Scale	CAD. Ref.
APR 2009	1:100	0907AFR08B

Client  
**SCAD**  
 HONG KONG CAMPUS  
 NORTH KOWLOON MAGISTRACY BUILDING

Design Architect  
**LEO A DAILY** EST. 1915  
 1201 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20036 USA  
 TEL 202-861-4600 FAX 202-872-8530  
 SUITE 1306, 248 QUEEN'S ROAD, WANCAL, HONG KONG  
 TEL 2867 4321 FAX 2885 3597


Executive Architect  
  
**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

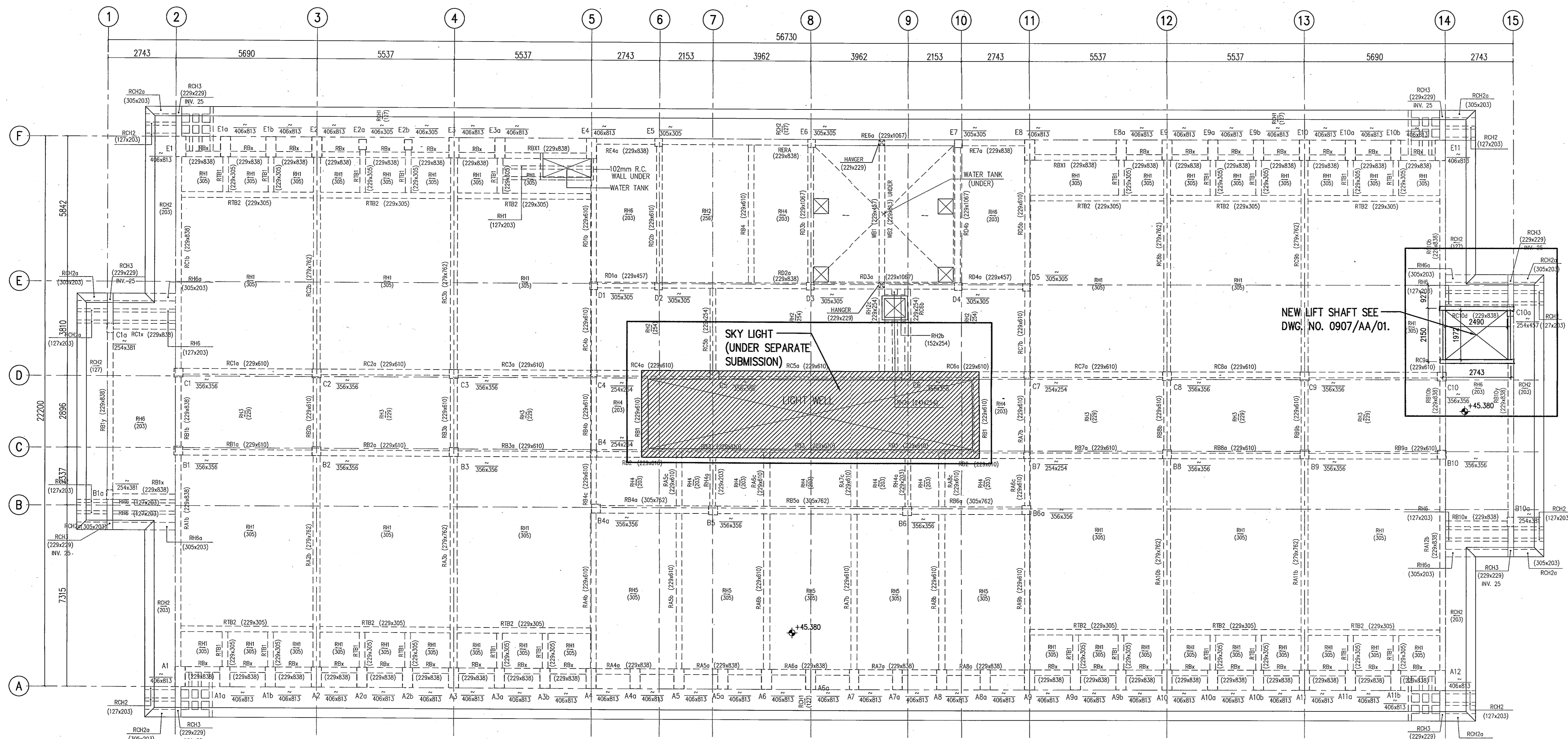
Project  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

Title  
**A & A FRAMING PLAN FOR ROOF (FOR NEW WORKS)**

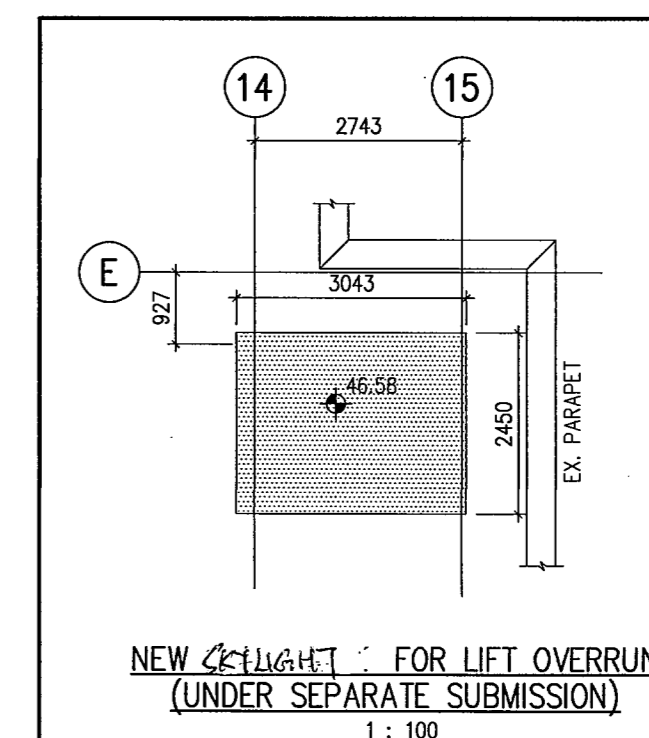
Dwg. No. 0907/AFR/08

Rev. B

  
 JMK CONSULTING ENGINEERS LTD.

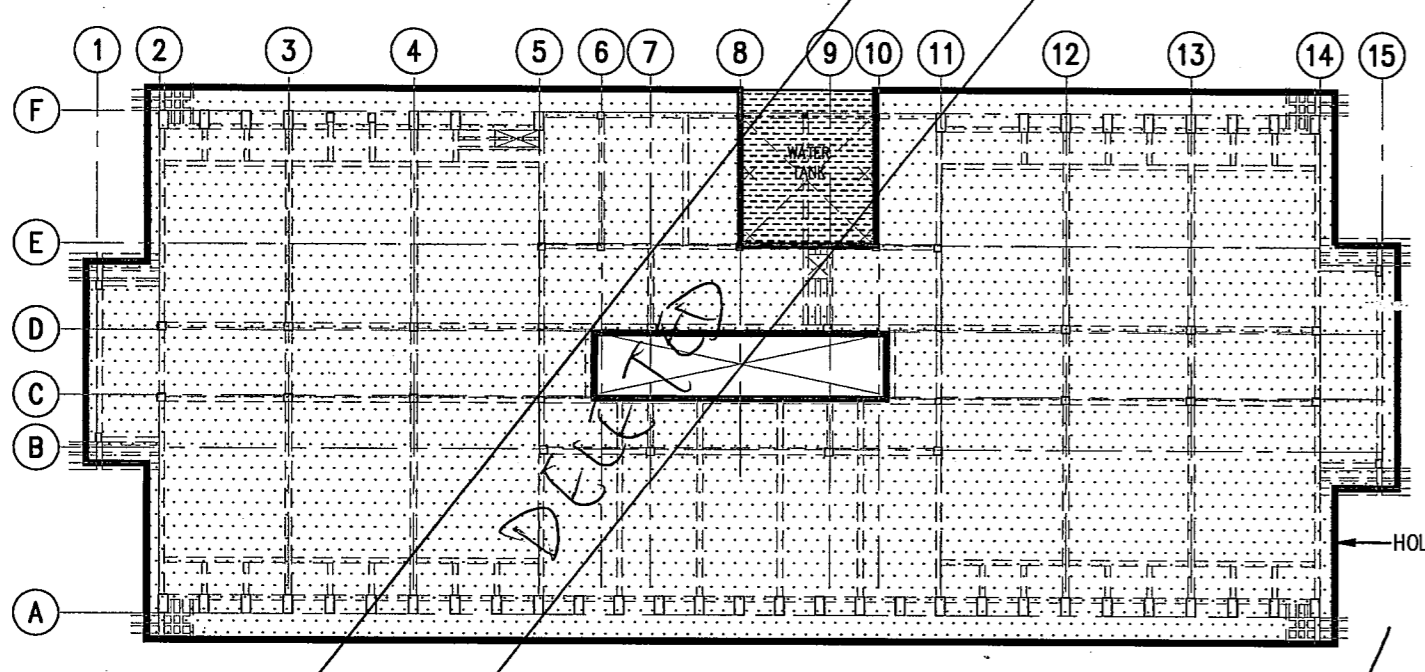


ROOF FRAMING PLAN

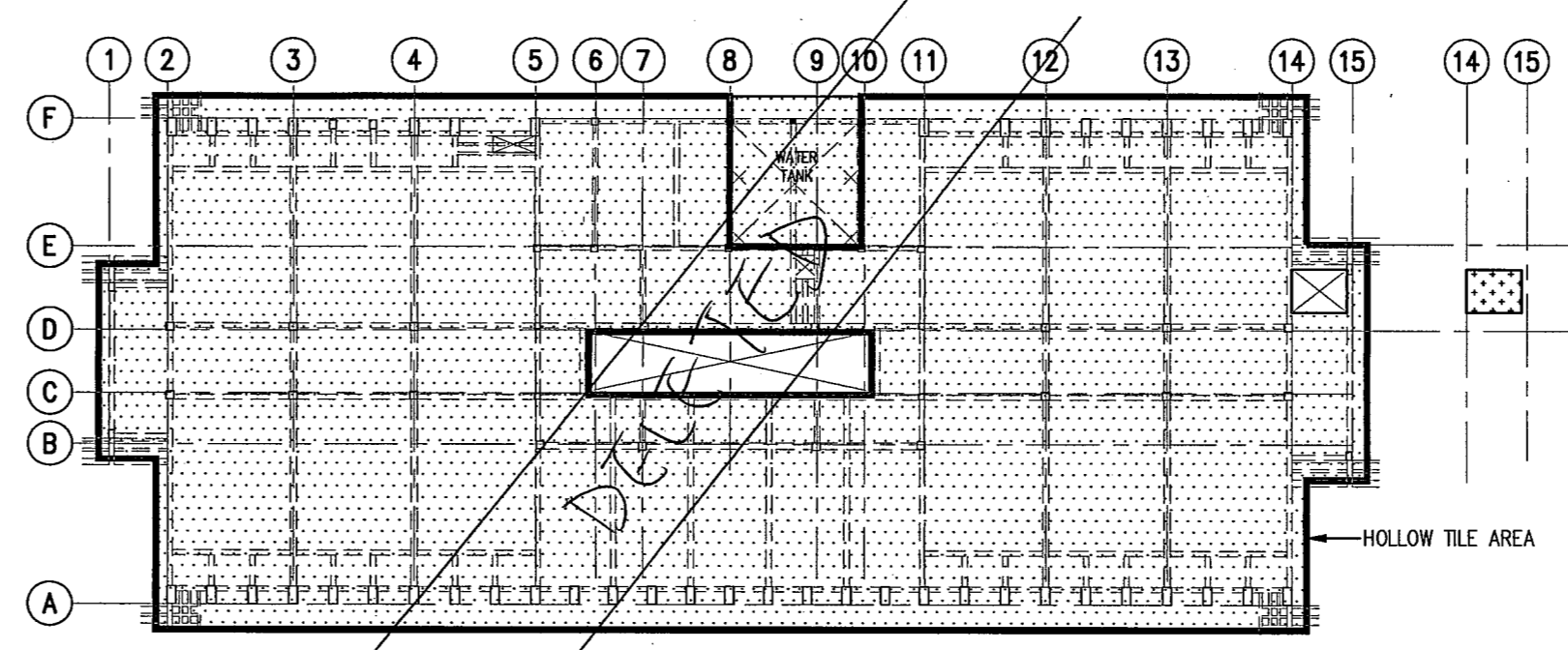


NEW SKYLIGHT FOR LIFT OVERRUN (UNDER SEPARATE SUBMISSION)  
 1:100

LEGEND	EX. FIN.		EX. LL.		TOTAL	
	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa	lb/ft <sup>2</sup>	kPa
	40	1.87	15	0.72	55	2.64
	15	0.86	50	1.44	48	2.3



EXISTING ROOF LOADING DIAGRAM




NEW ROOF LOADING DIAGRAM

LEGEND	ACTUAL FIN.		NEW LL.		TOTAL	
	kPa	kPa	kPa	kPa	kPa	kPa
	1.87	0.86	0.75	1.50	2.64	2.30

AMENDED PLAN

"The works shown on these plans are Type II works ( ALTERATION AND ADDITION WORKS ) in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building ( Administration ) Regulations."

  
 Helei Kwan Po Jan  
 B.A.S.C., P.E.N.G., C.E.N.G., F.I.S.T.R.U.C.T.E., F.I.K.I.E.  
 R.P.S. Registered Structural Engineer

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 2009 JUN 15 P 5:12  
 BUILDING DEPARTMENT

附錄 VI(D)

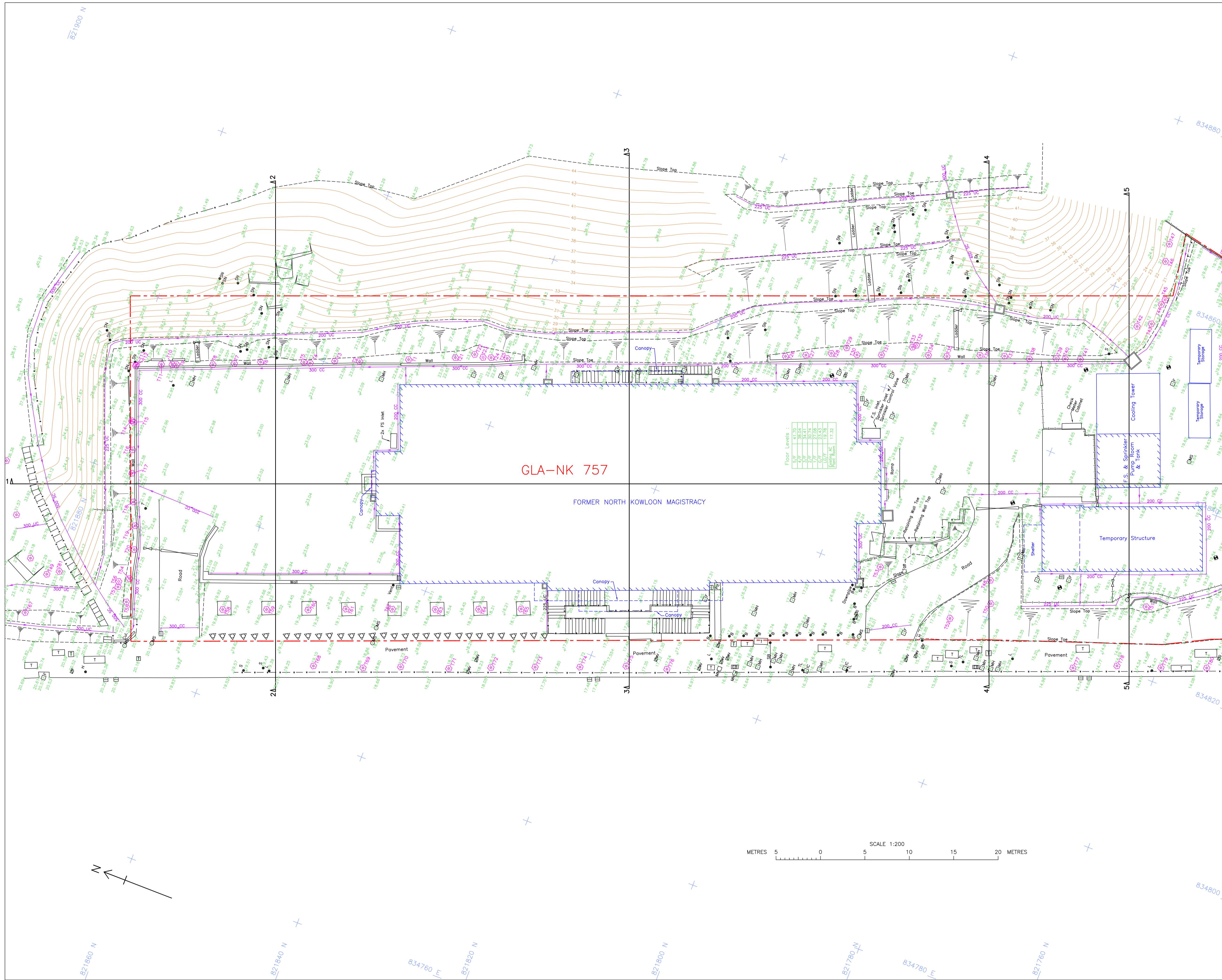
地形測量圖



## 附錄 VI(D) – 地形測量圖

### 圖則清單

	圖則編號	圖則名稱
1.	HC-15181/01 Sheet 1	九龍大埔道前北九龍裁判法院地形測量圖
2.	HC-15181/01 Sheet 2	九龍大埔道前北九龍裁判法院地形測量圖
3.	HC-15181/01 Sheet 3	九龍大埔道前北九龍裁判法院地形測量圖
4.	HC-15181/02	九龍大埔道前北九龍裁判法院用地平面圖



Notes : -

- All levels are in meters above P.D.
- Grid lines are in H.K. Metric Grid 1980.
- Elevations of kerb are referred to the bottom of kerb.
- Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

- Legend :
- Foul Water Manhole
  - Storm Water Manhole
  - Manhole
  - Covered Channel And Invert Level
  - U-Channel And Invert Level
  - Stepped Channel And Invert Level
  - Gully/Grating
  - Catch Pit
  - Fire Hydrant
  - Valve Fire
  - Valve Water
  - Valve Gas
  - Concrete Bollard
  - Telecom Manhole
  - Pit
  - Slope
  - Tree & Tree Number
  - Lamp Post
  - Sign Pole
  - Telephone Pole
  - Soil Nail
  - Sign Board
  - Borehole
  - Gate
  - Fence
  - Railing
  - Pipeline
  - Retaining Wall
  - Building Line
  - GLA Boundary

Floor Levels :

5/F	41.00
4/F	38.04
3/F	35.08
2/F	32.12
1/F	29.16
LG/F	26.20
Basement	23.24
Basement	20.28
Basement	17.32

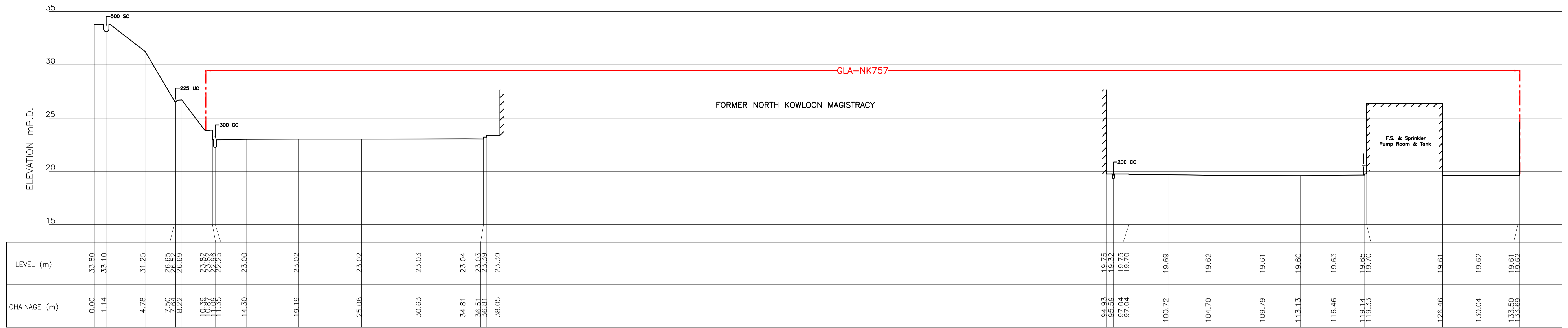
Drawing title  
 Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon.

Drawing no. HC-15181/01	Date May 2020	Scale 1:200 A1 Street
	Checked by KO C C	Drawn by A KONG

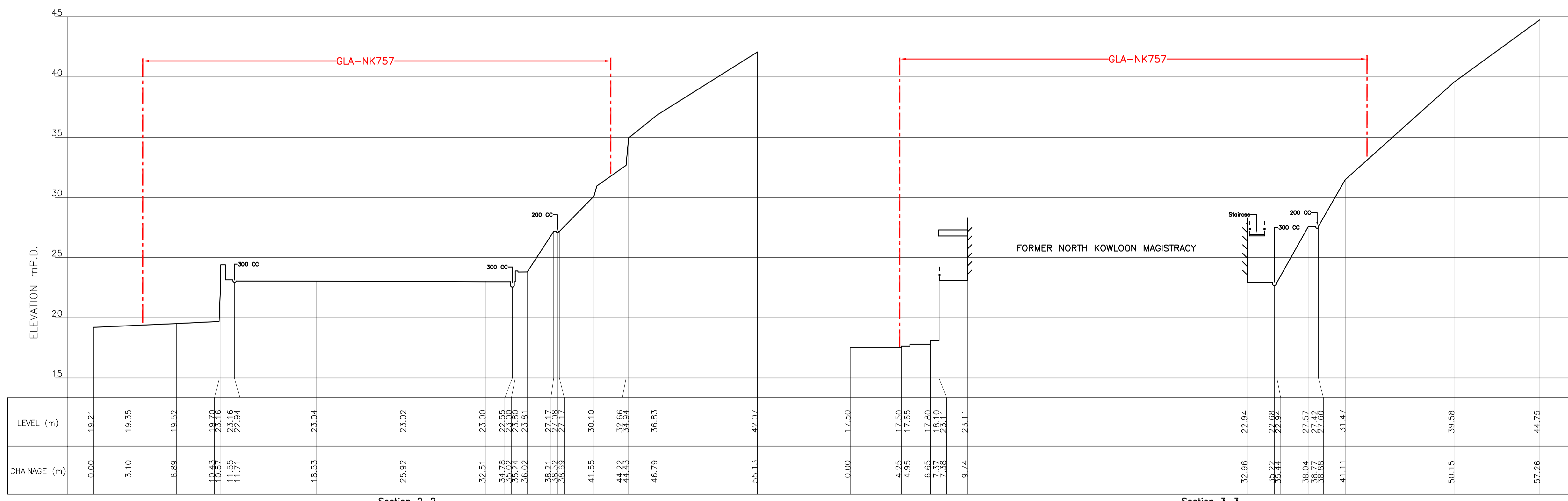
Sheet 1 of 3

Government Department  
 ARCHITECTURAL SERVICES DEPARTMENT

Surveyor  
 HENRY CHAN SURVEYORS LTD.  
 Authorized Land & Hydrographic Surveyors  
 Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.  
 Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netigator.com

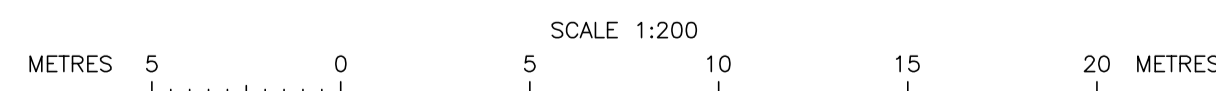


Section 1-1



Section 2-2

Section 3-3



- Notes : -
- All levels are in meters above P.D.
  - Grid lines are in H.K. Metric Grid 1980.
  - Elevations of kerb are referred to the bottom of kerb.
  - Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

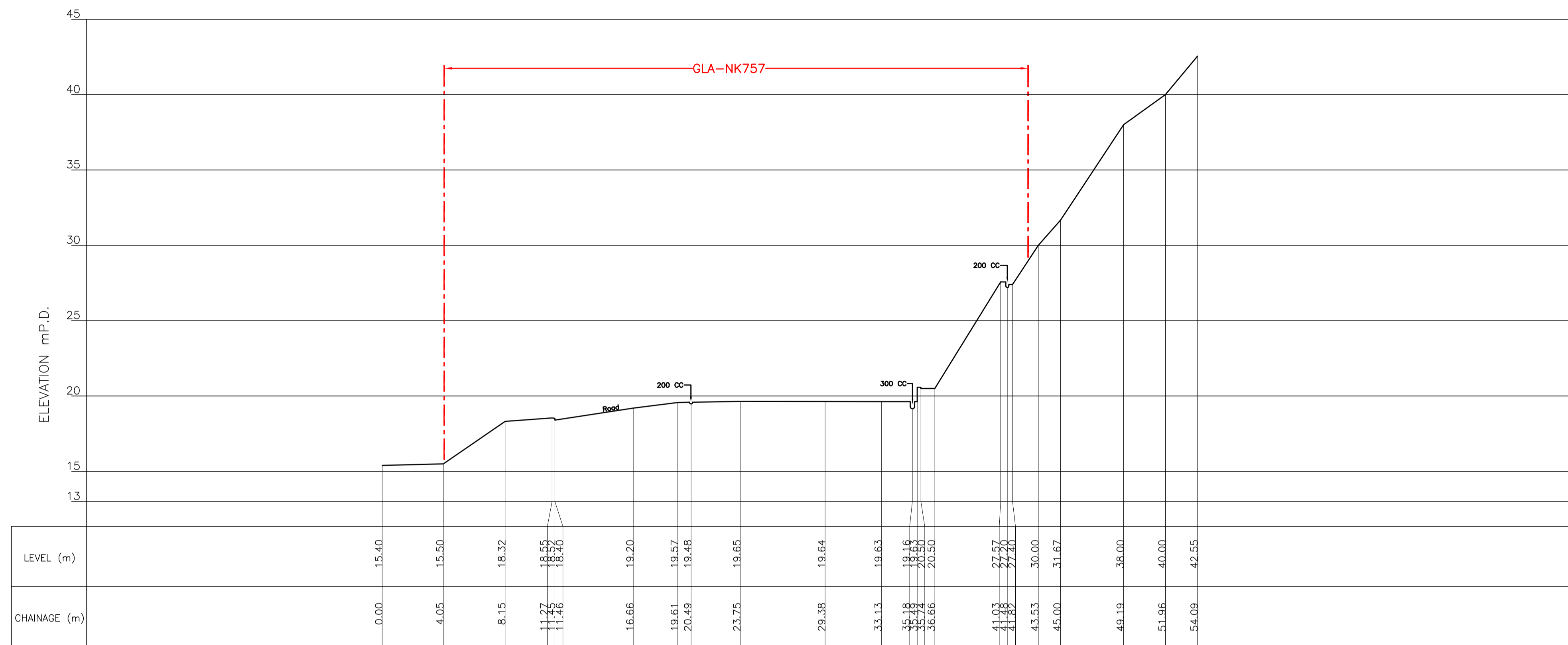
--- GLA Boundary

Drawing title  
 Topographical Survey Plan of  
 Former North Kowloon  
 Magistracy, Tai Po Road,  
 Kowloon.

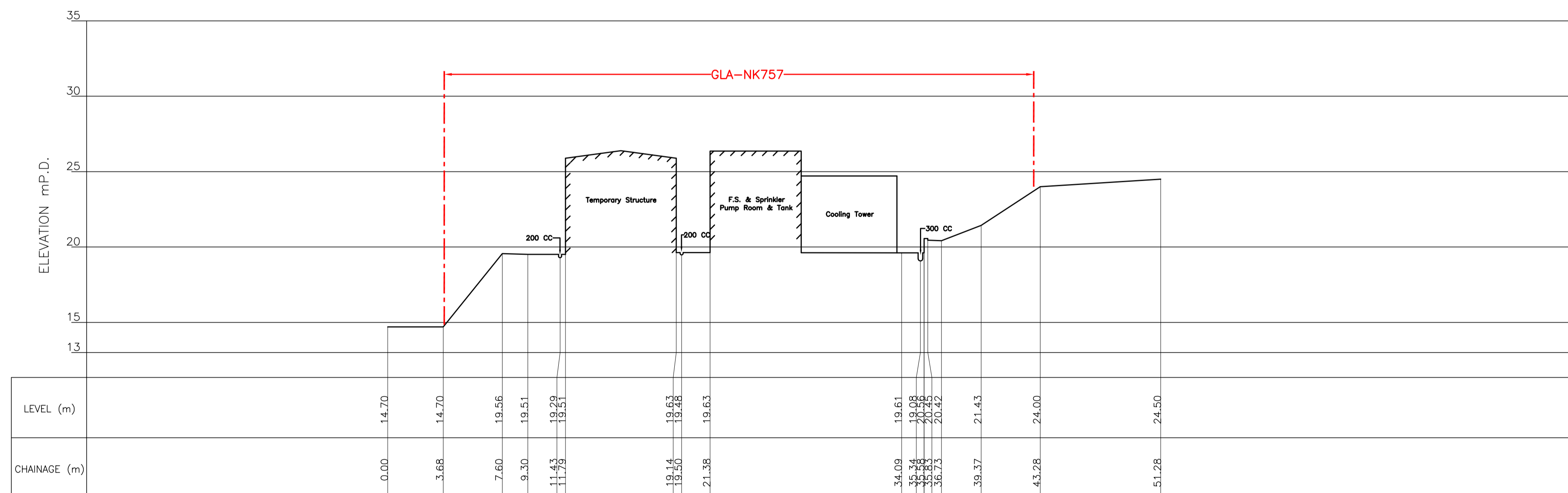
Drawing no.	Date	Scale
HC-15181/01	May 2020	1 : 200
	Checked by KO C C	A1 Sheet A KONG

Government Department  
 ARCHITECTURAL SERVICES DEPARTMENT

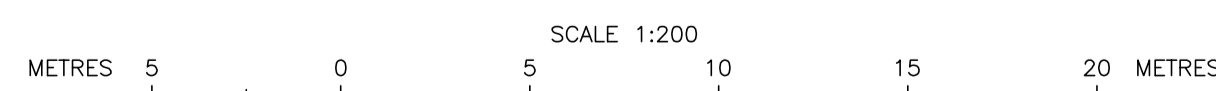
Surveyor  
 HENRY CHAN SURVEYORS LTD.  
 Authorized Land & Hydrographic Surveyors  
 Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.  
 Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com



Section 4-4



Section 5-5



Notes : -

- All levels are in meters above P.D.
- Grid lines are in H.K. Metric Grid 1980.
- Elevations of kerb are referred to the bottom of kerb.
- Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

--- GLA Boundary

Drawing title

Topographical Survey Plan of Former North Kowloon Magistracy, Tai Po Road, Kowloon.

Drawing no.	Date	Scale
HC-15181/01	May 2020	1 : 200 A1 Sheet
Sheet 3 of 3	Checked by KO C C	Drawn by A KONG

Government Department

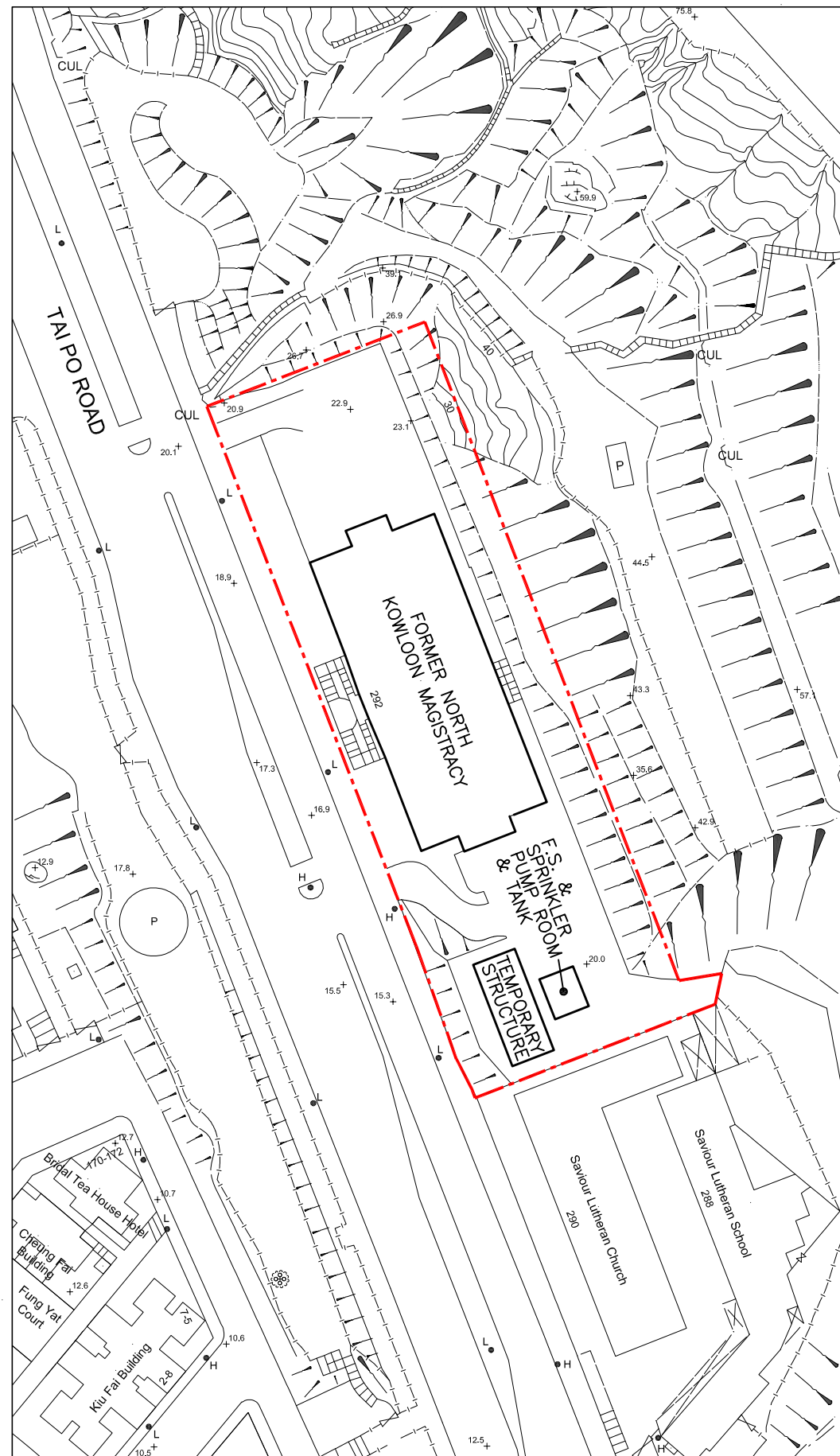
ARCHITECTURAL SERVICES DEPARTMENT

Surveyor

HENRY CHAN SURVEYORS LTD.  
Authorized Land & Hydrographic Surveyors

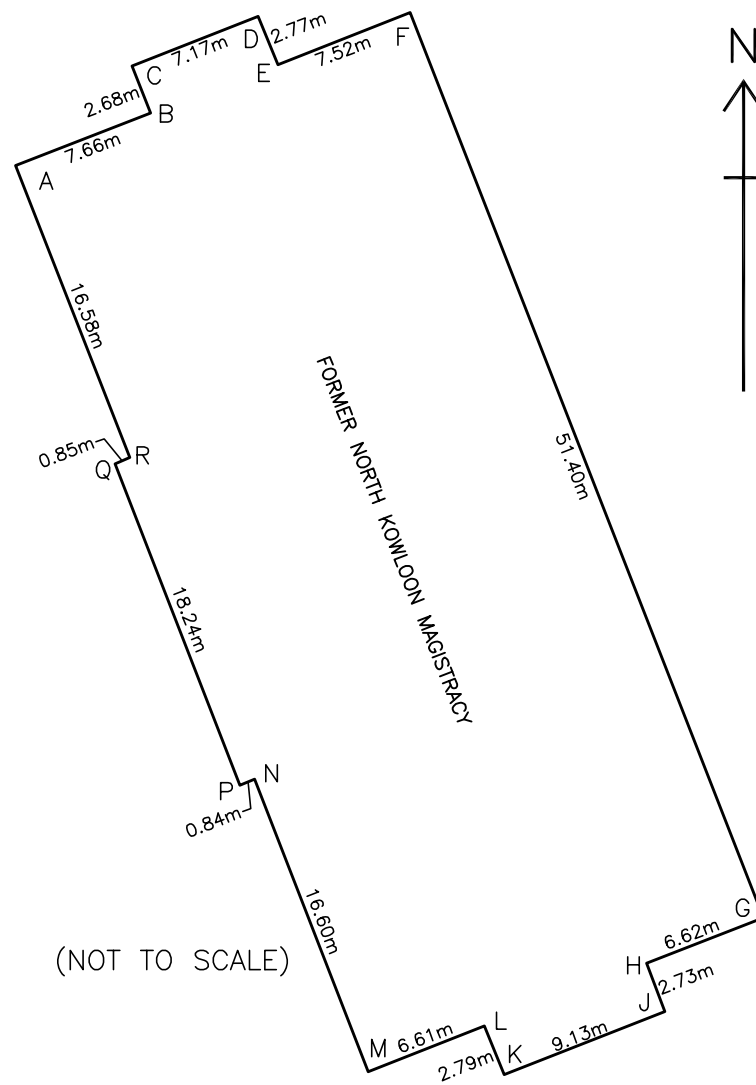
Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.  
Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com

Henry H K Chan  
BS: FHKIS RPS(LSD)  
Authorized Land Surveyor

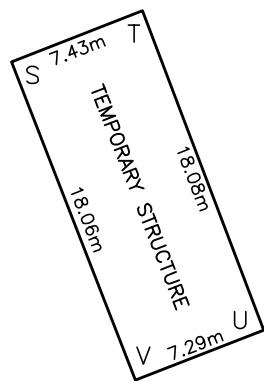


BLOCK PLAN (SCALE 1:1,000)

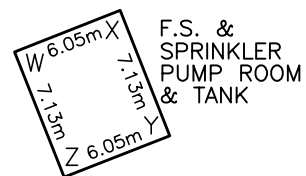
METRES 10 0 10 20 30 40 50 METRES



(NOT TO SCALE)



(NOT TO SCALE)



(NOT TO SCALE)

**FORMER NORTH KOWLOON MAGISTRACY**

Pt.	N	E
A	821 842.99	834 799.76
B	821 845.75	834 806.91
C	821 848.25	834 805.93
D	821 850.87	834 812.61
E	821 848.31	834 813.66
F	821 851.08	834 820.66
G	821 803.19	834 839.34
H	821 800.79	834 833.17
J	821 798.23	834 834.13
K	821 794.89	834 825.64
L	821 797.47	834 824.58
M	821 795.05	834 818.43
N	821 810.52	834 812.42
P	821 810.21	834 811.64
Q	821 827.21	834 805.03
R	821 827.55	834 805.81

**TEMPORARY STRUCTURE**

Pt.	N	E
S	821 776.04	834 827.09
T	821 778.76	834 834.00
U	821 761.87	834 840.43
V	821 759.21	834 833.64

**F.S. & SPRINKLER PUMP ROOM**

Pt.	N	E
W	821 773.66	834 838.11
X	821 775.87	834 843.74
Y	821 769.25	834 846.36
Z	821 767.04	834 840.73

Notes : -

1. All levels are in meters above P.D.
2. Grid lines are in H.K. Metric Grid 1980.
3. Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

--- GLA Boundary

Drawing title

Block Plan of  
Former North Kowloon  
Magistracy, Tai Po Road,  
Kowloon.

Drawing no. <b>HC-15181/02</b>	Date May 2020	Scale As Shown (A3 Sheet)
	Checked by KO C C	Drawn by D POON

Government Department

ARCHITECTURAL SERVICES DEPARTMENT

Surveyor

**HENRY CHAN SURVEYORS LTD.**  
Authorized Land & Hydrographic Surveyors

Shop 7, G/F, Mei Hing Mansion, 1-17 Yan Hing Street, Tai Po, N.T.  
Tel : 2638-1313 Fax : 2638-1328 e-mail : hcsurvey@netvigator.com

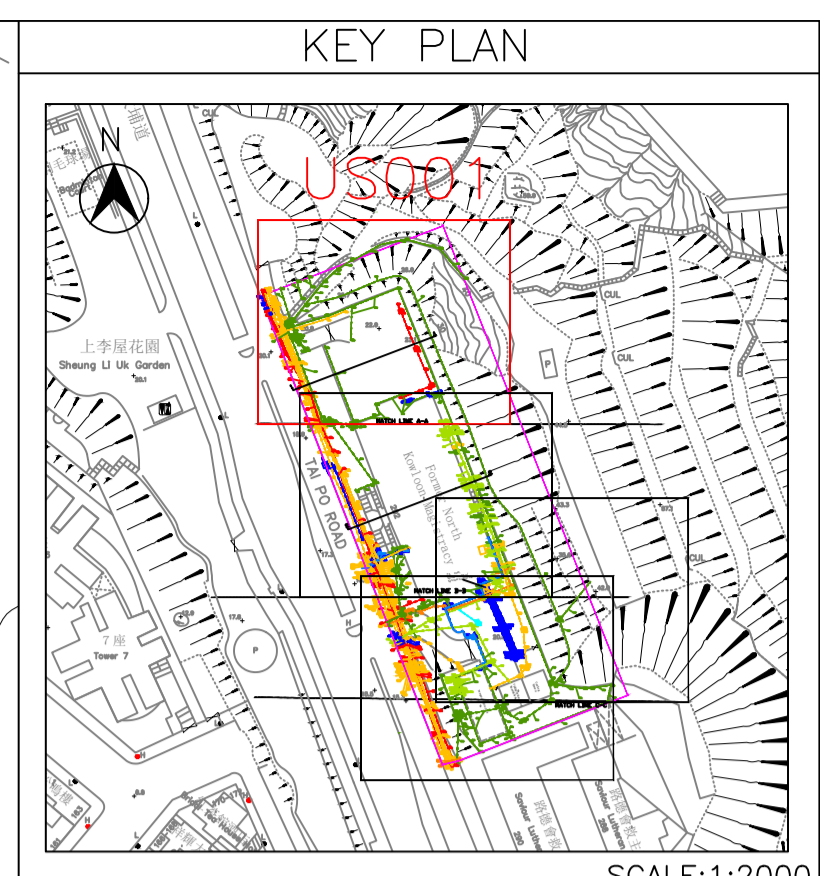
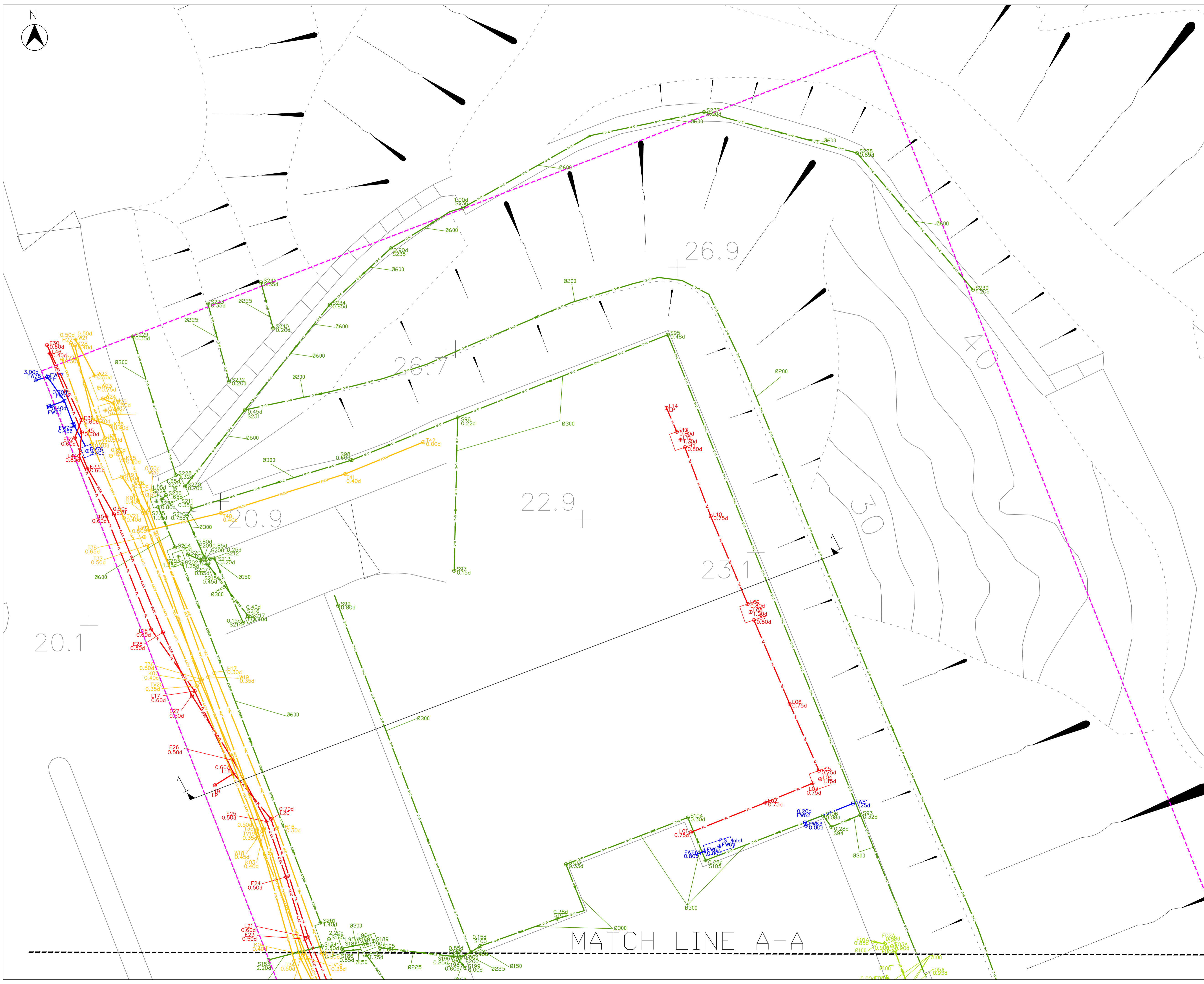
附錄 VI(E)

地下公用設施測量圖則

## 附錄 VI(E) – 地下公用設施測量圖則

### 圖則清單

	圖則編號	圖則名稱
1.	FS/SPJ-168-20/US001	前北九龍裁判法院地下公用設施測量圖則
2.	FS/SPJ-168-20/US002	前北九龍裁判法院地下地下公用設施測量圖則
3.	FS/SPJ-168-20/US003	前北九龍裁判法院地下地下公用設施測量圖則
4.	FS/SPJ-168-20/US004	前北九龍裁判法院地下地下公用設施測量圖則
5.	FS/SPJ-168-20/US005	前北九龍裁判法院地下地下公用設施測量圖則
6.	FS/SPJ-168-20/US006	前北九龍裁判法院地下地下公用設施測量圖則



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  3. CO-ORDINATES ARE RELATED TO HONG KONG METRIC GRID 1980.
  4. LEVELS ABOVE P.D. ARE SHOWN AS POSITIVE.
  5. LEVELS BELOW P.D. ARE SHOWN AS NEGATIVE.
  6. THE DEPTHS ARE MEASURED ON THE TOP OF THE UNDERGROUND UTILITIES, EXCEPT THE DEPTHS OF DRAINAGE AND SEWERAGE PIPELINE ARE MEASURED FROM COVER LEVEL TO INVERT LEVEL.
  7. UTILITIES ARE NOT SHOWN TO SCALE AND THE CENTRE LINES OF THE UTILITIES ARE SHOWN.

Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility  
 Point Ref. No. and Depth to Invert Level  
 Fresh Water Main  
 Soil Water Pipe  
 Electric Cable  
 Public Lighting Cable  
 ATC (E&M) Cable  
 Gas Pipe  
 Foul Water Sewer  
 Storm Water Drain  
 Telecom Cable  
 Cable TV Cable  
 U-Channel  
 Step Channel  
 Line Identity  
 GPR Transverse  
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER  
 STORM WATER MANHOLE COVER  
 FOUL WATER MANHOLE CHAMBER  
 FOUL WATER MANHOLE COVER

Client:

**John HY Yip Surveyors Ltd.**

Drawing Title:

**Underground Utilities Survey  
Drawing at Former North  
Kowloon Magistracy**

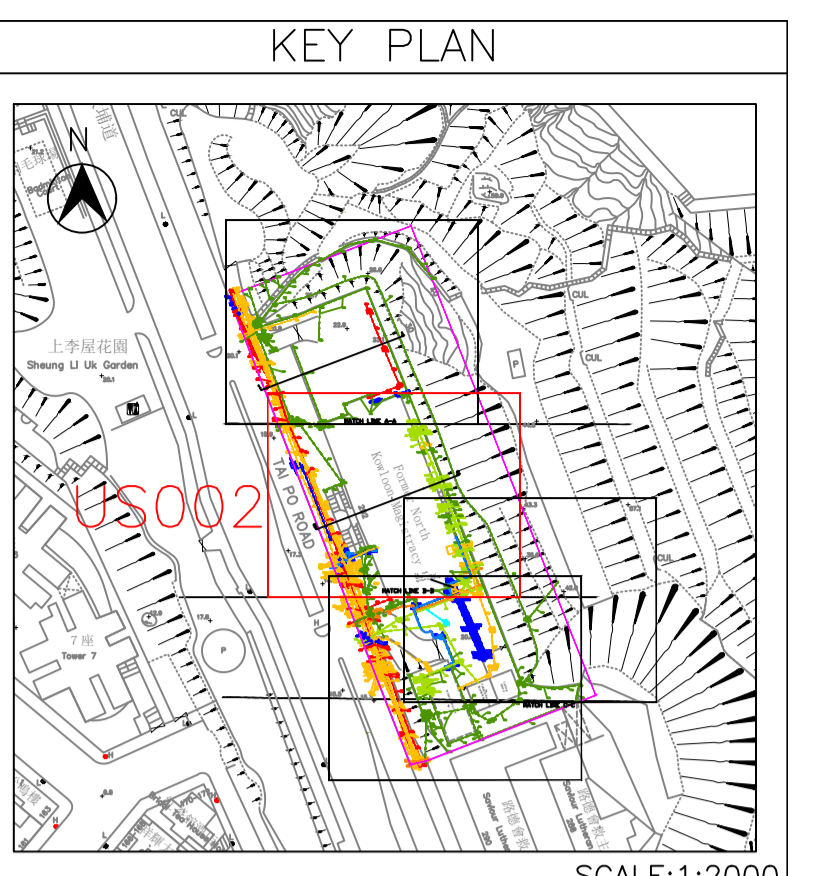
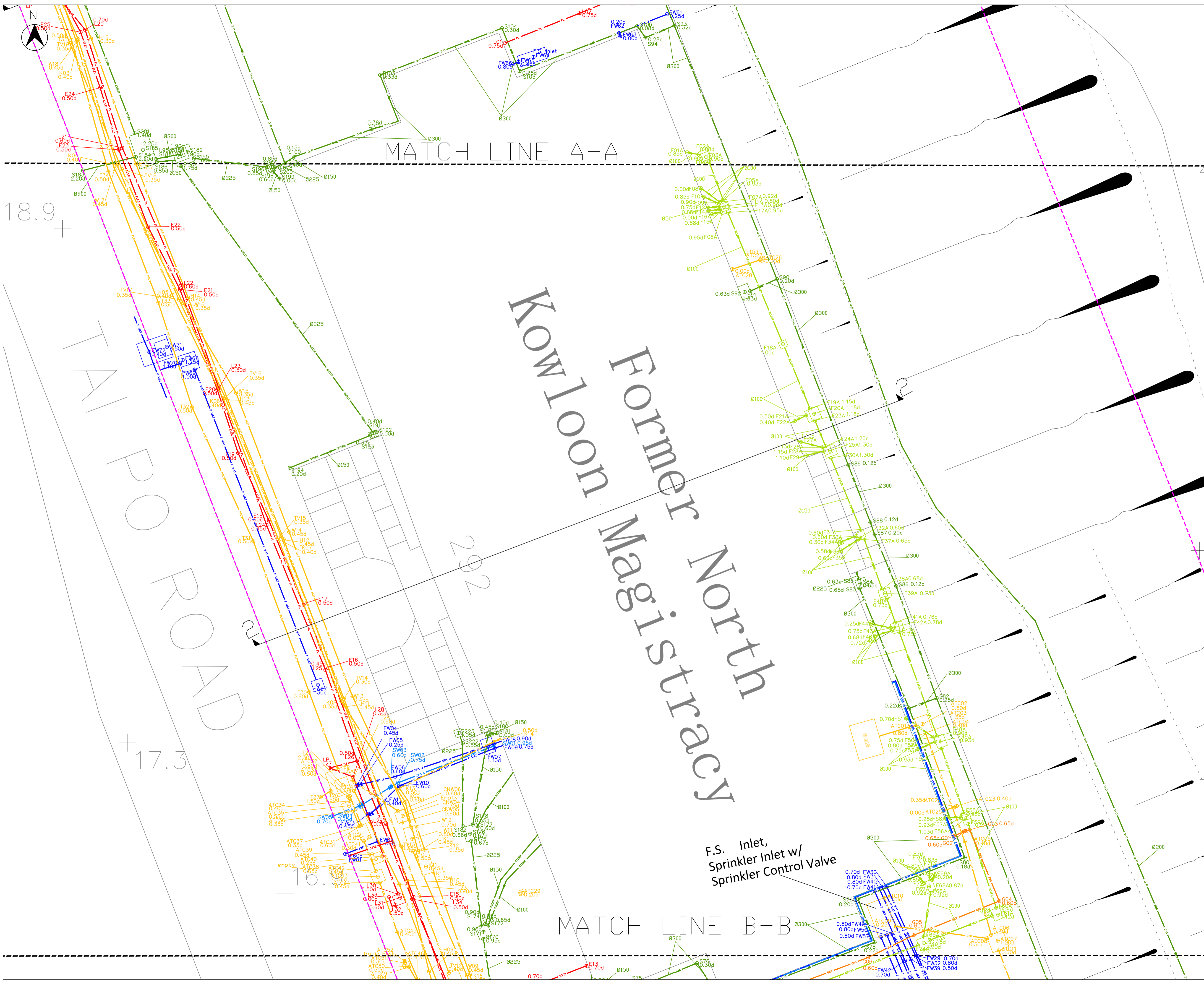
Prepared By:

**FORWIN** FORWIN Site Investigation  
Engineering Ltd.

DRG. NO. 圖紙編號	FS/SPJ-168-20/US001	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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Legends :

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	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility  
 Point Ref. No. and Depth to Invert Level

	Fresh Water Main
	Soil Water Pipe
	Electric Cable
	Public Lighting Cable
	ATC (E&M) Cable
	Gas Pipe
	Foul Water Sewer
	Storm Water Drain
	Telecom Cable
	Cable TV Cable
	U-Channel
	Step Channel
	Utility Boundary
	GPR Transverse
	Contract Survey Boundary

	STORM WATER MANHOLE CHAMBER
	STORM WATER MANHOLE COVER
	FOUL WATER MANHOLE CHAMBER
	FOUL WATER MANHOLE COVER

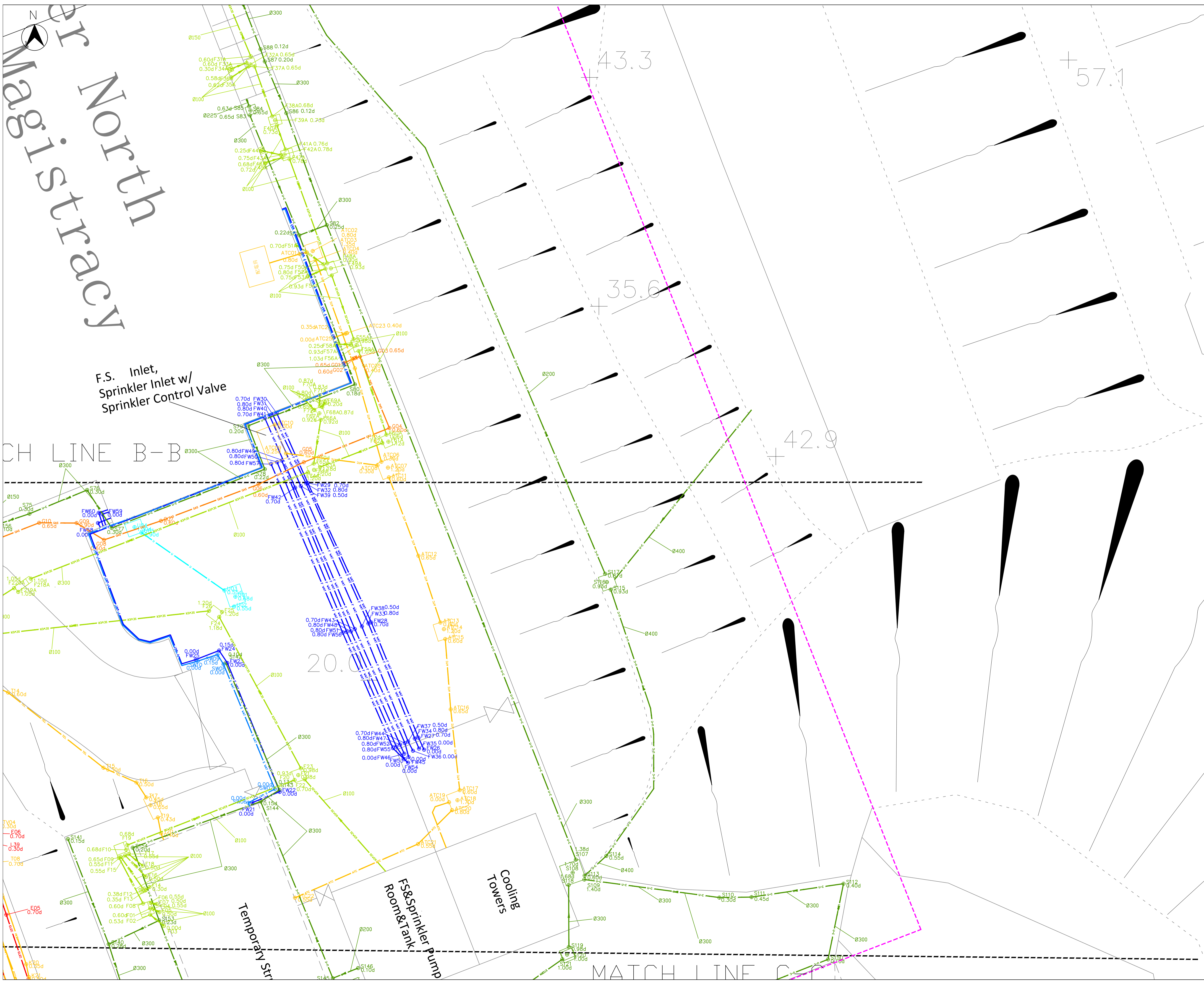
Client:  
**John HY Yip Surveyors Ltd.**

Drawing Title:  
**Underground Utilities Survey  
Drawing at Former North  
Kowloon Magistracy**

Prepared By:  
**FORWIN FORWIN Site Investigation  
Engineering Ltd.**

DRG. NO. 圖紙編號	FS/SPJ-168-20/US002	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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Legends :

	TRAFFIC BOLLARD		GAS VALVE
	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKBN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HCC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	U-CHANNEL		FENCE LINE / RAILING
	RETAINING WALL		FREE STANDING WALL
	SLOPE		SLOPE

Point Ref. No. and Depth to Top of Utility  
 Point Ref. No. and Depth to Invert Level

Fresh Water Main  
 Soil Water Pipe  
 Electric Cable  
 Public Lighting Cable  
 ATC (E&M) Cable  
 Gas Pipe  
 Foul Water Sewer  
 Storm Water Drain  
 Telecom Cable  
 Cable TV Cable  
 U-Channel  
 Step Channel  
 Utility Boundary  
 GPR Transverse  
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER  
 STORM WATER MANHOLE COVER  
 FOUL WATER MANHOLE CHAMBER  
 FOUL WATER MANHOLE COVER

Client:  
**John HY Yip Surveyors Ltd.**

Drawing Title:  
**Underground Utilities Survey  
Drawing at Former North  
Kowloon Magistracy**

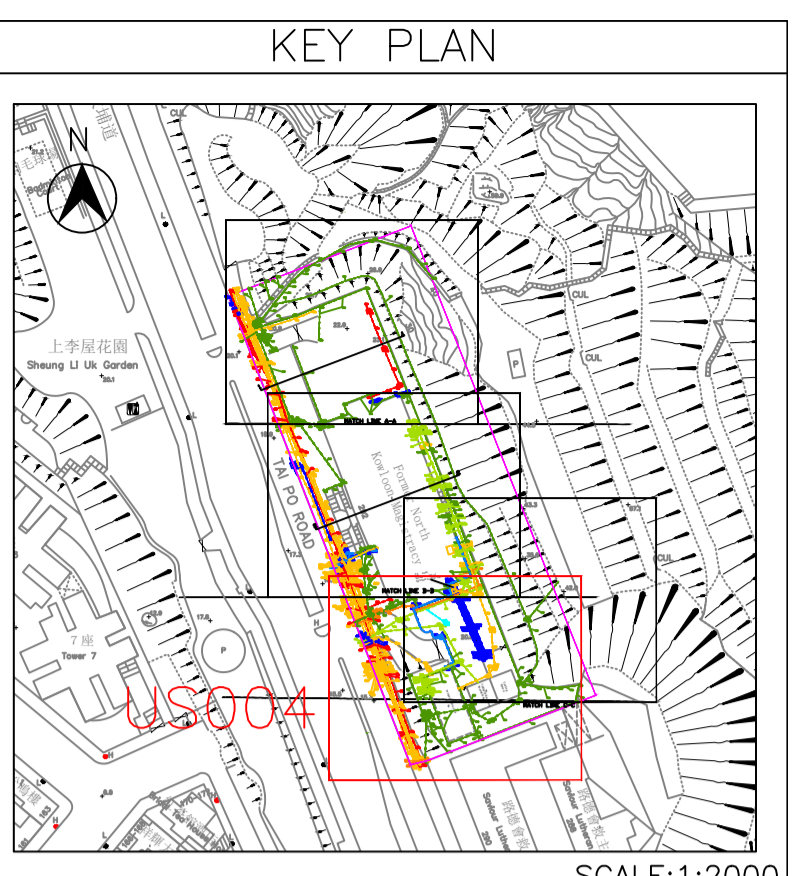
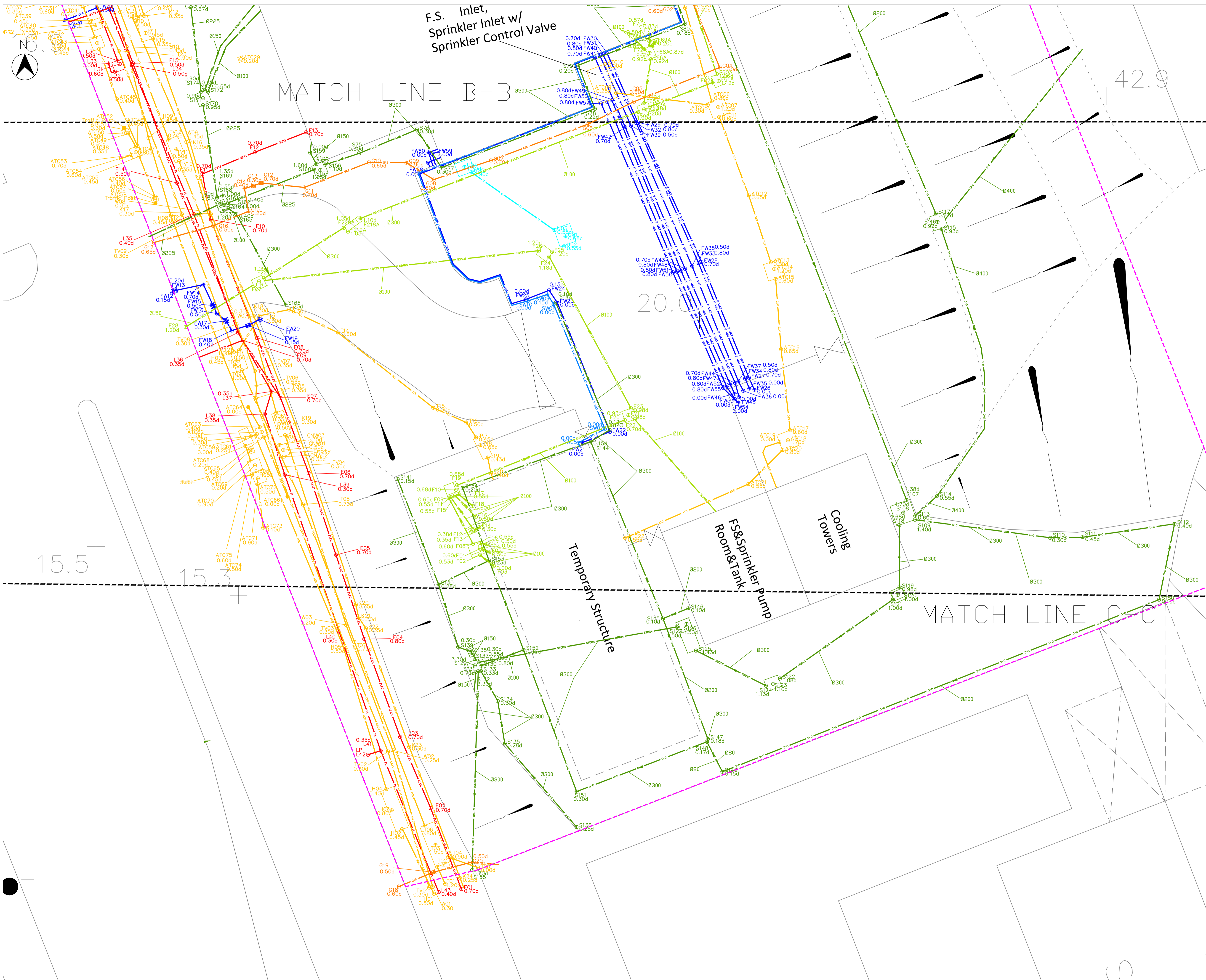
Prepared By:  
**FORWIN FORWIN Site Investigation  
Engineering Ltd.**

DRG. NO. / 圖紙編號: FS/SPJ-168-20/US003  
 REV. 03

APPROVED BY	DESIGNATION	INITIAL	Date
Simon Cheung, Project Manager			02-07-2020
Lin Xiao Qiang (CP01455)			02-07-2020
Kenny Au, Assistant Engineer			02-07-2020

SCALE: 1:100 (A1)  
 DATE OF DRAWING ISSUE: 02-07-2020

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	CATV PIT		WATER METER
	HKEN PIT		WATER POINT
	HKCC PIT		LAMP POST
	HGC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
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	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	U-CHANNEL		FREE STANDING WALL
	RETAINING WALL		SLOPE

Point Ref. No. and Depth to Top of Utility  
 Point Ref. No. and Depth to Invert Level  
 Fresh Water Main  
 Soil Water Pipe  
 Electric Cable  
 Public Lighting Cable  
 ATC (E&M) Cable  
 Gas Pipe  
 Foul Water Sewer  
 Storm Water Drain  
 Telecom Cable  
 Cable TV Cable  
 U-Channel  
 Step Channel  
 Line Identity  
 GPR Transverse  
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER  
 STORM WATER MANHOLE COVER  
 FOUL WATER MANHOLE CHAMBER  
 FOUL WATER MANHOLE COVER

Client: **John HY Yip Surveyors Ltd.**

Drawing Title: **Underground Utilities Survey Drawing at Former North Kowloon Magistracy**

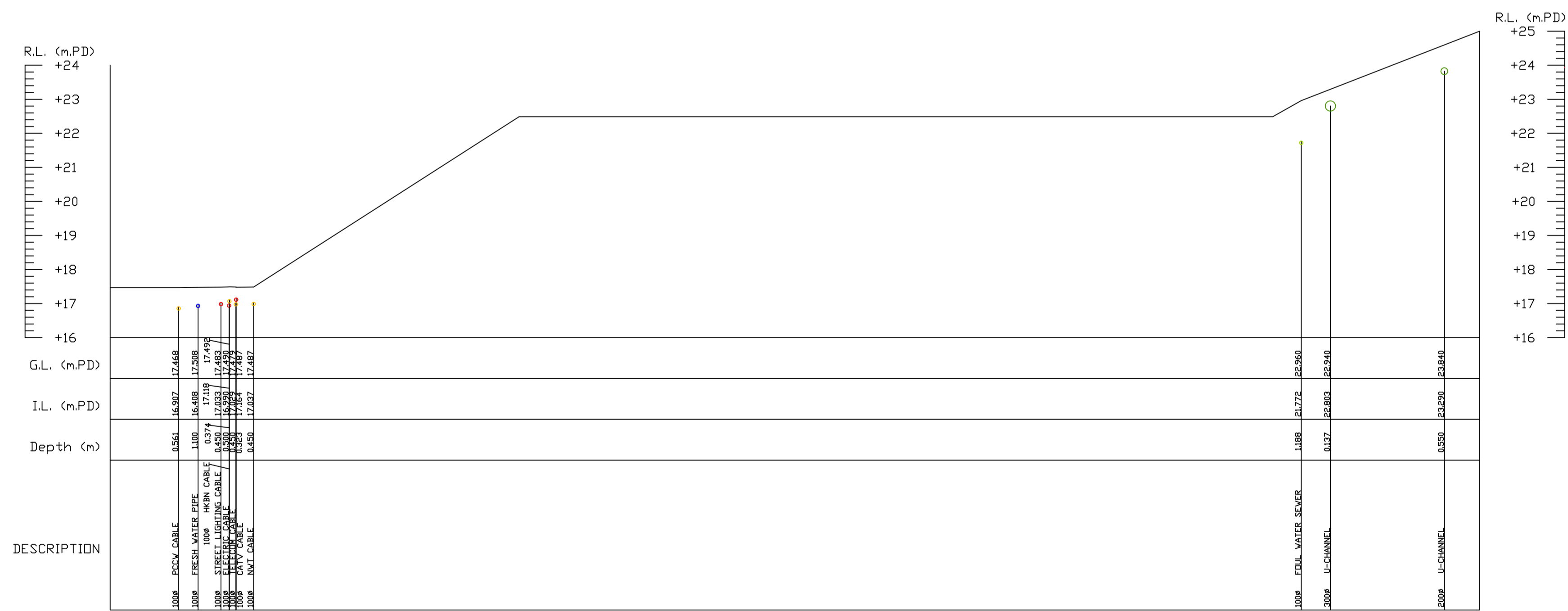
Prepared By: **FORWIN FORWIN Site Investigation Engineering Ltd.**

DRG. NO. 圖紙編號	FS/SPJ-168-20/US004	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY	Simon Cheung, Project Manager	02-07-2020
CHECKED BY	Lin Xiao Qiang (CP01455)	02-07-2020
DRAWN BY	Kenny Au, Assistant Engineer	02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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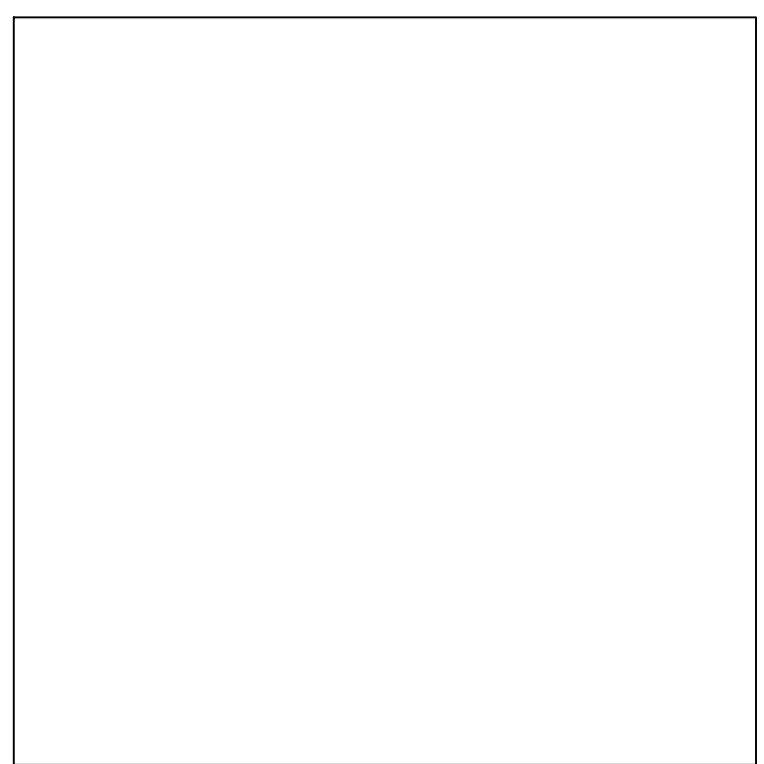


SECTION 1-1  
SCALE 1 : 100



SECTION 2-2  
SCALE 1 : 100

KEY PLAN



- NOTES :
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
  - ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
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	CLP PIT		FIRE HYDRANT
	ATC PIT		VALVE
	HKTC PIT		WATER PIT
	PCCW PIT		VALVE PIT
	CATV PIT		WATER METER
	HKN PIT		WATER POINT
	HKEC PIT		LAMP POST
	HGC PIT		ELECTRIC POST
	NWT PIT		TELEPHONE POST
	WT&T PIT		TRAFFIC LIGHT
	TELEPHONE KIOSK		ENFORCEMENT CAMERA/ RED LIGHT CAMERA
	TRAFFIC CONTROLLER		ELECTRIC METER
	STORM WATER MANHOLE		ELECTRIC CABLE PIT
	FOUL WATER MANHOLE		ELECTRIC BOX
	SEPTIC TANK		PUBLIC LIGHTING CABLE PIT
	GULLY		LAMP POST BOX
	CATCH PIT		UNCLASSIFIED PIT
	GATE		INVERT LEVEL OF EXISTING U-CHANNEL
	TRIAL PIT LINE		FENCE LINE / RAILING
	RETAINING WALL		FREE STANDING WALL
			SLOPE

Point Ref. No. and Depth to Top of Utility  
 Point Ref. No. and Depth to Invert Level  
 Fresh Water Main  
 Salt Water Pipe  
 Electric Cable  
 Public Lighting Cable  
 ATC (E&M) Cable  
 Gas Pipe  
 Foul Water Sewer  
 Storm Water Drain  
 Telecom Cable  
 Cable TV Cable  
 U-Channel  
 Step Channel  
 Un-identify  
 GPR Transverse  
 Contract Survey Boundary

STORM WATER MANHOLE CHAMBER  
 STORM WATER MANHOLE COVER  
 FOUL WATER MANHOLE CHAMBER  
 FOUL WATER MANHOLE COVER

Client: **John HY Yip Surveyors Ltd.**

Drawing Title: **Underground Utilities Survey Drawing at Former North Kowloon Magistracy**

Prepared By: **FORWIN FORWIN Site Investigation Engineering Ltd.**

DRG.NO. 圖紙編號	FS/SPJ-168-20/US005	REV. 03
DESIGNATION	INITIAL	Date
APPROVED BY: Simon Cheung, Project Manager		02-07-2020
CHECKED BY: Lin Xiao Qing (CP01455)		02-07-2020
DRAWN BY: Kenny Au, Assistant Engineer		02-07-2020
SCALE 比例	DATE OF DRAWING ISSUE 發出日期	
1:100 (A1)	02-07-2020	

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KEY PLAN

Drain Water Main (DW) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Public Lighting Cable (C) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Telecom Cable (T) table with columns: Point, Company, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Foot Water Sewer (F) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Storm Water Drain (S) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

ATC Cable (ATC) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Electric Cable (E) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Gas Pipe (G) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

CATV Cable (V) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

Unsketchy Utility (U) table with columns: Point, Depth (m), Diameter (mm), Northing, Easting, G.L. (mPD)

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- LEGENDS: TRAFFIC BOLLARD, GAS VALVE, FIRE HYDRANT, ATC PIT, WATER PIT, WATER METER, WATER POINT, LAMP POST, ELECTRIC POST, TELEPHONE POST, TRAFFIC LIGHT, TELEPHONE KIOSK, TELEPHONE CONTROLLER, STORM WATER MANHOLE, ELECTRIC BOX, SEPTIC TANK, PUBLIC LIGHTING CABLE PIT, LAMP POST BOX, UNCLASSIFIED PIT, INVERT LEVEL OF EXISTING U-CHANNEL, FENCE LINE / RAILING, FREE STANDING WALL, SLOPE, Point Ref. No. and Depth to Top of Utility, Point Ref. No. and Depth to Invert Level, Fresh Water Main, Sewer, Electric Cable, Public Lighting Cable, ATC (CATV) Cable, Foul Water Sewer, Storm Water Drain, Telecom Cable, Storm Water Cable, U-Channel, Siphon, GFR Transverse, Contract Survey Boundary, STORM WATER MANHOLE COVER, FOUWL WATER MANHOLE COVER, FOUWL WATER MANHOLE COVER

Client: John HY Yip Surveyors Ltd. Drawing Title: Underground Utilities Survey Drawing at Former North Kowloon Magistracy. Prepared By: FORWIN FORWIN Site Investigation Engineering Ltd. Scale: 1:500. Date: 02-07-2020.

附錄 VI(F)

屋宇署建築物記錄圖則

## 附錄 VI(F) – 屋宇署建築物記錄圖則

### 圖則清單

	圖則編號	圖則名稱
1.	G-1	位置圖、說明及列表
2.	G-2	用地平面圖及緊急車輛通道圖
3.	G-3	地下低層平面圖
4.	G-4	地下平面圖
5.	G-5	一樓平面圖
6.	G-6	二樓平面圖
7.	G-7	三樓平面圖
8.	G-8	四樓平面圖
9.	G-9	五樓平面圖
10.	G-10	天台平面圖
11.	G-11	剖面圖 A-A
12.	G-12	剖面圖 B-B
13.	G-13	西面立面圖
14.	G-14	南面立面圖
15.	G-15	東面立面圖
16.	G-16	北面立面圖
17.	G-17	計算 (上蓋面積百分率、地積比率和防火分隔)

備註：

此附錄內的圖則均為 2010 年第一期活化計劃中由屋宇署所核准之圖則。有關圖則可能與現場環境不符，只作參考之用，

PROVISION OF EXIT DOORS & EXIT ROUTES FROM ROOM OR STOREY																		
LOCATION	USE	USABLE FLOOR AREA (m²)	FACTOR (m²/PERSON)	CAPACITY OF ROOM OR STOREY		MIN. NO. OF DOORS FROM ROOMS OR EXIT ROUTES FROM STOREYS				MIN. TOTAL WIDTH IN mm				MIN. WIDTH IN mm OF EACH				
				STUDENT	STAFF	REQ'D	PROV'D	EXIT DOOR	EXIT ROUTE	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	
000 FL	OFFICE 1	15.992	9	2														
	OFFICE 2	16.445	9	2														
	OFFICE 3	21.917	9	3														
	OFFICE 4	9.198	9	2			1					750						
	OFFICE 5	6.246	9	1														
	OFFICE 6	6.246	9	1														
	CONSERVED CELL OFFICE 7D, OFFICE 7 (A+B+C)	80.147	9	9	1	1						750	750	1050	1050			
	OFFICE 8	16.685	9	2														
	OFFICE 9	14.738	9	2			1						750					
	OFFICE 10	9.599	9	2														
	LIBRARY	161.781	2	81														
STUDENT WORKS EXHIBING AREA	105.231	2	54		2	2	1750	1750	2100	2100	850	850	1050	1050				
SUB TOTAL				135	25	2	3	1750	2550	2100	3300	850	850	1050	1050	1200 x 1	1050 x 2	
1ST FL	CLASSROOM 1	41.998	2	21														
	CLASSROOM 2	47.521	2	24														
	CLASSROOM 3	45.739	2	23														
	CLASSROOM 4	54.452	2	28														
	CLASSROOM 5	59.849	2	30														
	CLASSROOM 6	57.191	2	29														
	CLASSROOM 7	59.542	2	30														
	CLASSROOM 8	77.033	2	39														
	OFFICE 1	41.971	9	5	1	1						750	750	1050	1050			
	LOBBY/STUDENT RESTING AREA	160.224	2	81			2	1750	1750	2100	2100	850	850	1050	1050			
	CLASSROOM 9	8.464	2	5			1	1				750	750	1050	1050			
CLASSROOM 10	8.629	2	5															
SUB TOTAL				315	5	2	3	3000	3150	3000	3300	1050	1050	1050	1200 x 1	1050 x 2		
2ND FL	CLASSROOM 11	44.533	2	23														
	CLASSROOM 12	77.284	2	39			2	2	1750	1750	2100	2100	850	850	1050	1050		
	CLASSROOM 13	56.418	2	29			1	1										
	CONSERVED NO. 1 COURT / LECTURE HALL	139.356	2	70														
	LOBBY/STUDENT RESTING AREA	108.147	2	55			2	2	1750	1750	2100	2100	850	850	1050	1050		
	STUDIO	109.704	2	55														
	SOUND DESIGN STUDIO	88.784	2	45			2	2	1750	1750	2100	2100	850	850	1050	1050		
	SUB TOTAL				316	5	2	3	3000	3150	3000	3300	1050	1050	1050	1200 x 1	1050 x 2	
	3RD FL	OFFICE 1	43.978	9	5			1	1				750	750	1050	1050		
		OFFICE 2	68.831	9	8													
	SUB TOTAL				13	2	2	3	1750	2550	2100	3300	850	850	1050	1200 x 1	1050 x 2	
4TH FL	OFFICE 1	43.708	9	5			1	1				750	750	1050	1050			
	OFFICE 2	41.073	9	5														
	STOP MOTION ANIMATION STUDIO	46.613	2	24														
	STOP MOTION ANIMATION LAB	45.947	2	23														
	CLASSROOM 14	46.554	2	24														
	CLASSROOM 15	46.613	2	24														
	CLASSROOM 16	45.998	2	23														
	CLASSROOM 17	46.554	2	24														
	CLASSROOM 18	46.613	2	24			1	1					750	750	1050	1050		
	CLASSROOM 19	54.794	2	28														
	CLASSROOM 20	54.794	2	28														
	CLASSROOM 21	47.954	2	24														
	CLASSROOM 22	46.554	2	24														
CLASSROOM 23	42.697	2	22															
SUB TOTAL				292	10	2	3	3000	3150	3000	3300	1050	1050	1050	1200 x 1	1050 x 2		
5TH FL	CLASSROOM 24	43.427	2	22			1	1				750	750	1050	1050			
	CLASSROOM 25	94.104	2	48			2	2	1750	1750	2100	2100	850	850	1050	1050		
	CLASSROOM 26	45.998	2	23			1	1										
	CLASSROOM 27	93.865	2	47			2	2	1750	1750	2100	2100	850	850	1050	1050		
	CLASSROOM 28	66.021	2	34														
	CLASSROOM 29	66.929	2	34			2	2	1750	1750	2100	2100	850	850	1050	1050		
	CLASSROOM 30	46.647	2	24														
	CLASSROOM 31	58.285	2	29			1	1					750	750	1050	1050		
	PHOTO STUDIO	135.344	2	68			2	2	1750	1750	2100	2100	850	850	1050	1050		
	SUB TOTAL				329	14	2	3	3000	3150	3000	3300	1050	1050	1050	1200 x 1	1050 x 2	
	TOTAL				1387	25	1441											

GENERAL NOTES:

- All brick and masonry works shall be built in 1:3 cement mortar.
- All R.C.C. works shall be built in designed mix to comply with (C) R 1990 unless otherwise stated.
- Structural plans and calculation will be submitted separately.
- Drainage plans and details to be submitted separately.
- Clear height between structural floor level to the underside of beam shall be 2300mm minimum.
- Clear height between structural floor level to the underside of slab (soffit) shall be 3000mm minimum for new classrooms and 2500mm minimum for other area unless otherwise denoted.
- Clear height between finished floor level to the underside of beam in staircases and protected lobbies shall be 2000mm minimum.
- All staircases of 1050mm wide or more shall be provided with handrails on both sides.
- All risers of staircases shall be not more than 150mm Treads not less than 250mm.
- Building planning regulation 72 and design manual barrier free access 2008 to be complied with.
- All works to comply with current building (construction) regulation.
- All dimensions shown on all drawings are measured from structural surface unless otherwise specified.
- Water Authority requirements to be complied with.
- Education Ordinance and regulations to be complied with.
- All toilets shall be provided with cement or glazed tile dado to not less than 1200mm high and shall be paved with cement or mosaic tile flooring.
- The fire resisting walls to rooms which are classified as special hazards shall have an F.R.P. of 2hrs. or 4 hrs. where adjoining required staircases.
- Artificial lighting and mechanical ventilation shall be provided for toilets without windows to the satisfaction of building authority, the mechanical ventilation being capable of supplying fresh air at a rate of not less than 10 changes of air per hour and comply with requirements in PNAP 30.
- Every part of an exit route shall be provided with artificial lighting providing a horizontal illuminance at floor level of not less than 30 lux and backed up by an emergency lighting system providing a horizontal illuminance at floor level of not less than 2 lux. The design of the emergency lighting system should comply with the Code of Practice for Minimum Fire Service Installations and Equipment.
- All windows shall be upgraded to current standard.
- All steel staircases having a minimum 1 HR, F.R.P. to comply with FRC 1995

FIRE SERVICES NOTES: (FOR MAGISTRACY BUILDING)

All existing F.S. systems to be renewed as stated below:-

A. FH/HR system

- FH/HR system consisting of hydrants and hose reel at position indicated on plan will be installed in accordance with H.K.F.S.D. Code of Practice as effective from July 2005 to serve the entire building.
- One no. of new 36,000 litres FH/HR tank will be provided as indicated on plan to serve the FH/HR system.
- Two fixed fire pumps (Duty / Standby) will be provided at F.S. and sprinkler pump room as indicated on plan.
- Three nos. of F.S. inlet shall be provided as indicated on plan.
- Fire hydrant shall be single outlet type and provided at position as indicated on plan, the pressure at any fire hydrant outlet shall be between 350KPa to 850KPa.
- Fire hose reel and hydrants will be installed at a position so that every part of premises except the F.S. and sprinkler pump room can be reached by length of not more than 30m of hose reel tubing or fire services hose.

B. Automatic sprinkler system

- An automatic sprinkler system will be provided in accordance with the L.P.C. rules BS EN 12845 2003 and FSD C.L. 3/2006 to protect the entire building except all E/M plant rooms, lift shaft, pipe ducts and electrical ducts.
- One no. of new 47,000 litre water tank will be provided to serve the automatic sprinkler system. The classification of occupancies to be Ordinary Hazard 1.
- One no. of sprinkler control valve c/w one no. of sprinkler inlet will be provided as indicated on LG/F plan.
- Direct line to FSCC shall be provided.

C. Fire alarm and detection system

- Manual fire alarm system will be provided in accordance with circular letter no. 1/2002 and BS 5839 : Part 1 : 1988. Manual call point will only be provided as follows :-  
i) At each hose reel point;  
ii) Adjacent to storey exits (exit point to each staircase);  
iii) Adjacent to all exits to open air (at G/F only).
- Fire detection system will be provided in accordance with FSD circular letter no. 1/2002 and BS 5839 : Part 1 : 1988 to cover all area not covered by sprinkler, such as E/M plant rooms and I.T. Server Rooms (with sprinkler). Fire detection system will not be provided for lift shaft, pipe ducts and electrical ducts.

- Visual fire alarm system in accordance with COP : Design Manual for barrier free access 2008 will be provided.
- Main manual fire alarm panel will be provided at the Fire Control Centre at LG/F. All fire alarm signals will be connected to FSCC/Chubb centre through direct telephone link.

D. Portable fire extinguishers

- Portable fire extinguishers will be provided as indicated on plan.

E. Other Requirement

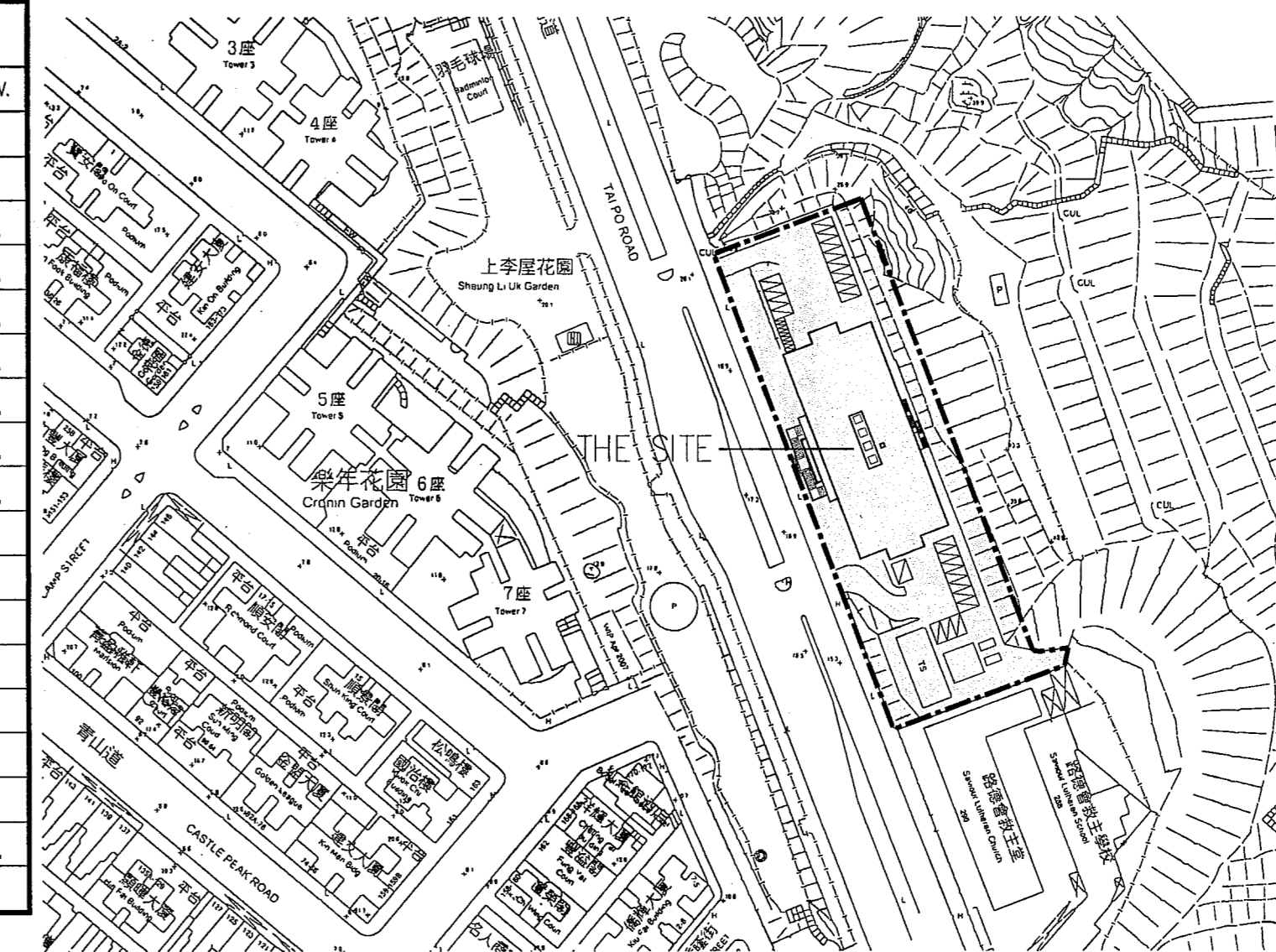
- Any intended storage of use of the dangerous goods as defined in Chapter 295 of the Laws of Hong Kong will be notified to the Director of Fire Services.
- When a ventilation / air conditioning control system to a building is provided, it shall be stop mechanically induced air movement within a designated fire compartment.
- A secondary electrical supply from emergency generator of sufficient capacity will be provided to maintain all essential services such as operation of fire service system and fireman's lifts in the event of normal power failure.
- Emergency Generator Room will be provided as indicated on plan and standard requirements shall be fully complied with.
- All electrical circuits are to be protected by miniature circuit breakers in lieu of conventional re-wireable fuses.
- Emergency lighting will be provided and complied with BS 5266: Part 1 and BS EN 1838.
- Sufficient exit sign and direction signs to ensure that all exit routes from any floor within the buildings are clearly indicated as required by the configuration of staircase serving the buildings.
- Lift marked 'A' will be arranged as fireman's lift. Such lift is to be provided with suitable switch to enable the FSD personnel to obtain complete control in the event of emergency and to be clearly indicated on the outside.
- Audio / visual advisory system will not be provided.
- All linings for acoustic and thermal insulation purposes in ductings and concealed locations shall be of Class 1 or 2 Rate of Surface Spread of Flame as per British Standard 476: Part 7 or its international equivalent, or be brought up to that standard by use of an Approved fire retardant product.
- All linings for acoustic, thermal insulation and decorative purposes within protected means of escape shall be of Class 1 or 2 Rate of Surface Spread of Flame as per British Standard 476: part 7 or its international equivalent, or be brought up to that standard by use of an Approved fire retardant product.
- A 12kg MFC - 100 Extinguisher to be provided in the IT Service Room on G/F.
- A 1500 KVA Dry type or Silicon fluid-filled type transformer to be used in LG/F Transformer Room.
- 1 HR FRP Fire Damper to be activated by signal from fire detection system.

F. E.S. Notes: (For F.S. & Sprinkler Pump Room and AC Plant Room)

- Fire detection system will be provided in accordance with FSD circular letter no. 1/2002 and BS 5839 : Part 1:1988. All fire alarm signals to be transmitted to the main manual fire alarm panel at the Fire Control Centre at LG/F of the main building and via the D.T.L. to FSCC/Chubb centre.
- Portable fire extinguishers will be provided as indicated on the plan.
- Emergency lighting to be provided.
- When ventilation for conditioning control system is provided, it shall stop mechanically induced air movement within a designated fire compartment.
- Any intended storage or use of dangerous goods as defined in chapter 295 of the laws of Hong Kong shall be notified to the director of fire services.

SCHEDULE OF DRAWINGS

DRAWING NO.	DRAWING TITLE	REV.
G-1	LOCATION PLAN, NOTES & SCHEDULES	E
G-2	BLOCK PLAN & E.V.A. PLAN	B
G-3	LOWER GROUND FLOOR PLAN	E
G-4	GROUND FLOOR PLAN	G
G-5	FIRST FLOOR PLAN	E
G-6	SECOND FLOOR PLAN	E
G-7	THIRD FLOOR PLAN	E
G-8	FOURTH FLOOR PLAN	E
G-9	FIFTH FLOOR PLAN	B
G-10	ROOF PLAN	B
G-11	SECTION A-A	A
G-12	SECTION B-B	B
G-13	WEST ELEVATION (FRONT)	A
G-14	SOUTH ELEVATION	A
G-15	EAST ELEVATION (REAR)	D
G-16	NORTH ELEVATION	B
G-17	CALCULATIONS (SITE COVERAGE, PLOT RATIO & COMPARTMENTATION)	D

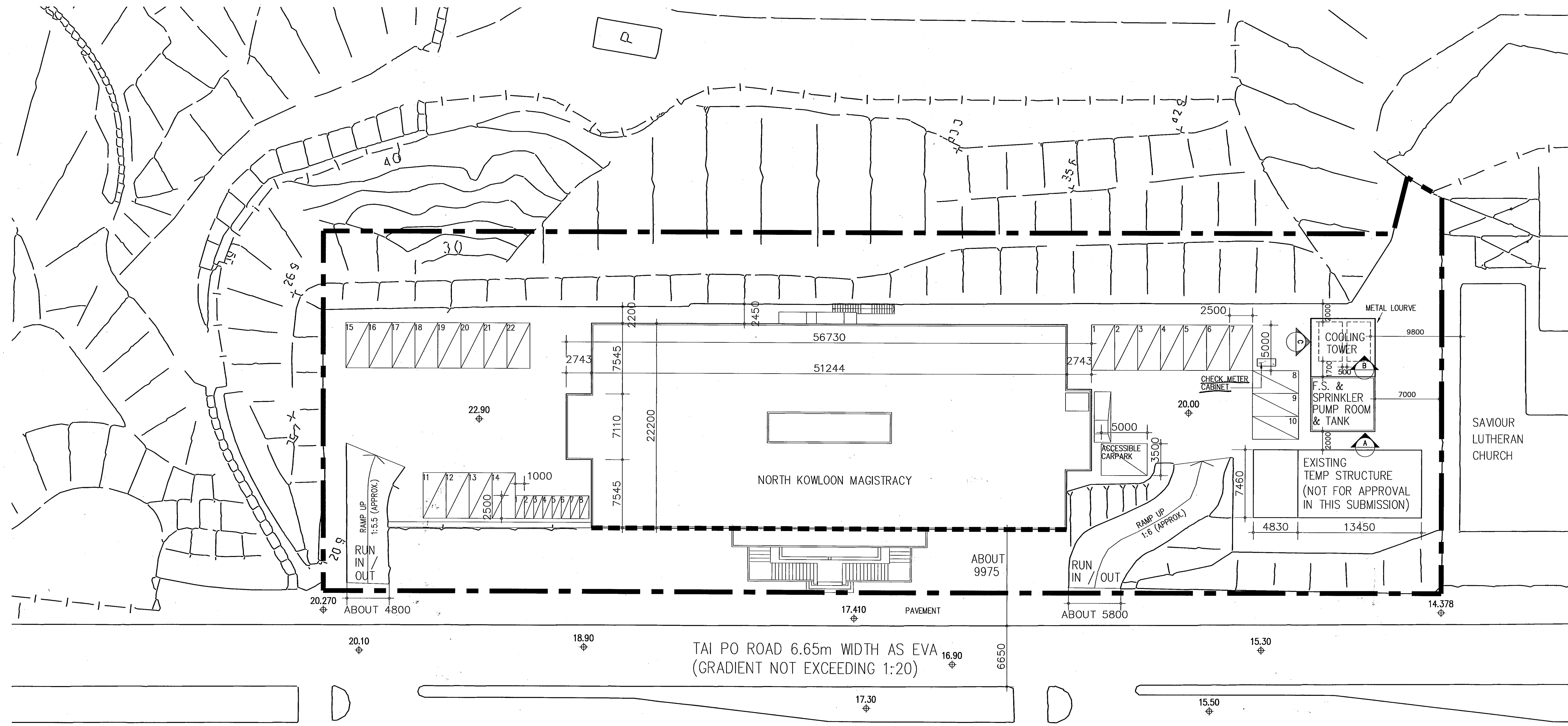


LOCATION PLAN 1:1500

LEGEND / ABBREVIATION

- (D1) 1/2 HR. F.R.P. SELF-CLOSING DOOR W/ W.G. VISION PANEL
- (D2) 1/2 HR. F.R.P. SELF-CLOSING DOOR
- (D3) 1 HR. F.R.P. SELF-CLOSING DOOR
- (D4) 1/2 HR. F.R.P. ACCESS PANEL
- (D5) DOOR W/ PANIC BOLT
- (D6) DOOR W/ PLAIN GLASS UPPER PANEL
- (A) DIRECTION OF ARROW ON ALL STAIRCASES TO SHOW 'UP' EXCEPT OTHERWISE SPECIFIED
- (F) EXISTING/PROPOSED FINISHED LEVEL
- (S) PROPOSED STRUCTURAL LEVEL
- (F.L.) FIREMAN'S LIFT (MIN. NET CLR. HGT = 1.35m W/ MIN. RATED LOAD OF 500kg)
- (A.L.) ACCESSIBLE LIFT (MIN. NET CLR. HGT = 1.2m x 1.1m W/ CLEAR DOOR WIDTH = 750mm)
- F.H. ○ FIRE HYDRANT
- H.R. □ HOSE REEL
- EXT. □ EXIT SIGN
- F.E. ○ 4.5kg CO2 FIRE EXTINGUISHER
- W.C. □ WATER CLOSET
- UR. □ URINAL
- BS. □ BASIN
- AL.M.V. □ ARTIFICIAL LIGHTING & MECHANICAL VENTILATION
- C.D. □ CABLE DUCT
- P.D. □ PIPE DUCT
- F.W.G.L. □ FIXED WIRED GLASS LOUVRE
- M.L. □ METAL LOUVRE
- F.L. □ 1/2 HR. F.R.P. FIXED CLEAR GLASS WINDOW WITH INSULATION
- U.A.T. □ UNI-SEX ACCESSIBLE TOILET





B.D. REF.	22-3 / 3021 / 09(HU)PTII
F.S.D. REF.	FPB
W.G.O. REF.	

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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
C	BD 8TH AMENDMENT	6.9.10	R.M.	W.T.
B	BD 5TH AMENDMENT APPROVAL	10.5.10		
B	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
BD	3RD AMENDMENT APPROVED	16.11.09		
A	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

FOR B.D. USE ONLY

Plan Approved  
*YU Po-mei*  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 BLOCK PLAN & E.V.A. PLAN

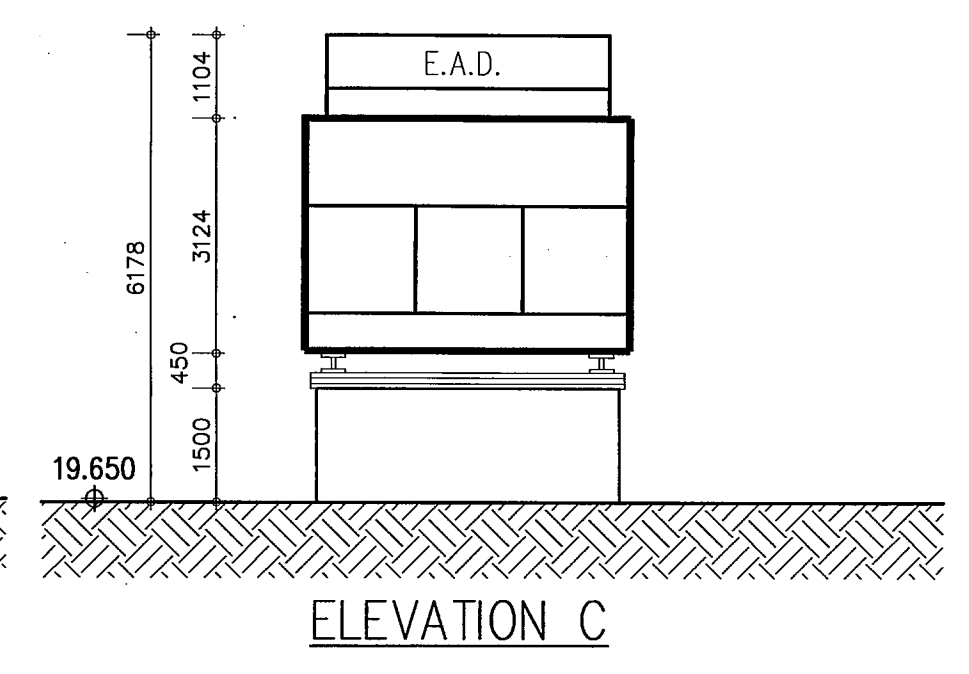
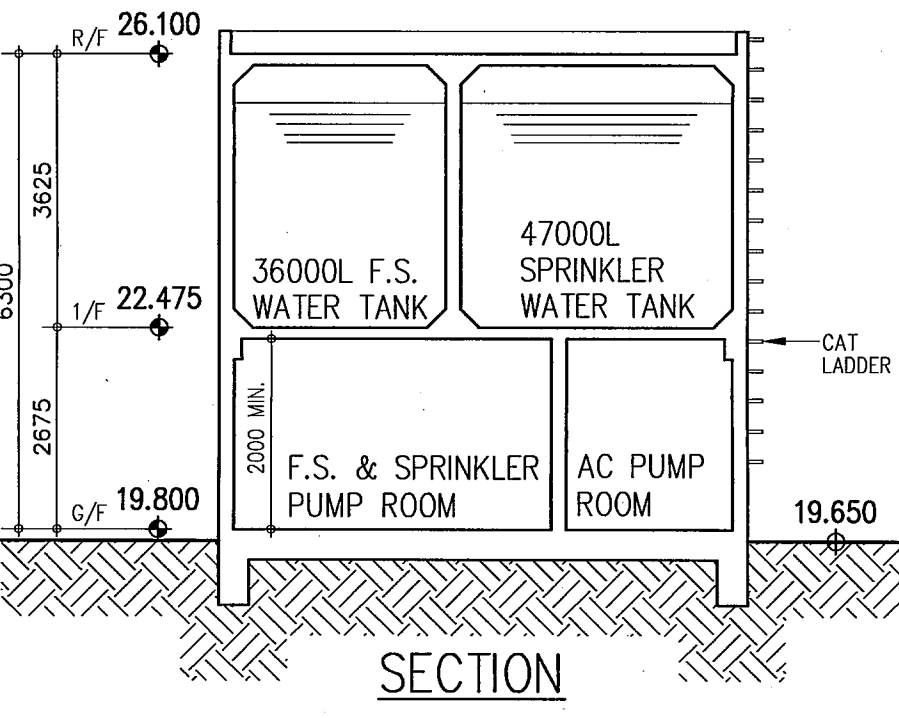
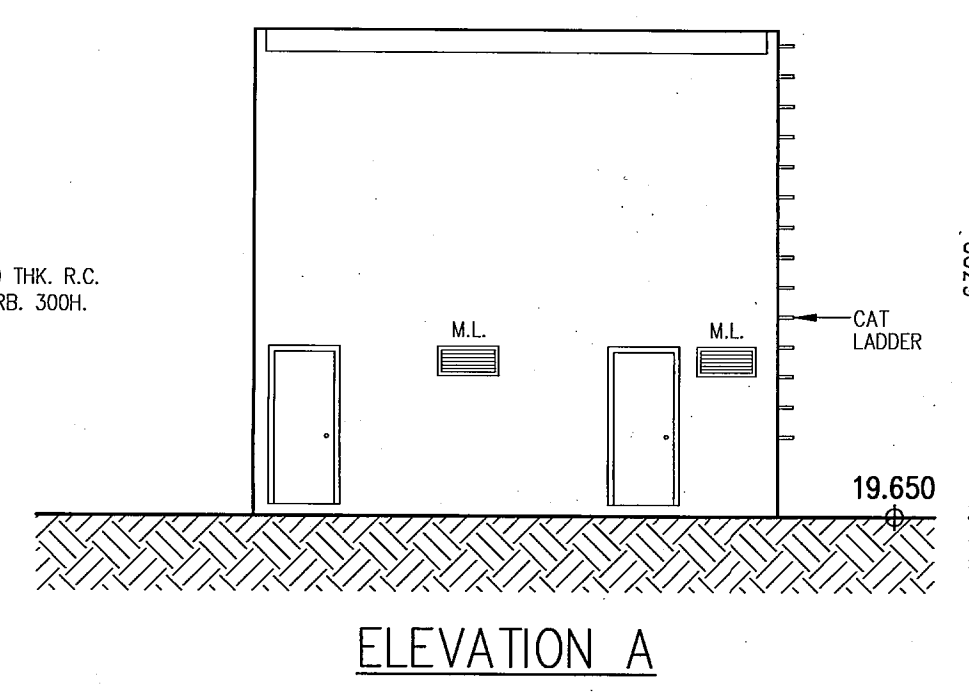
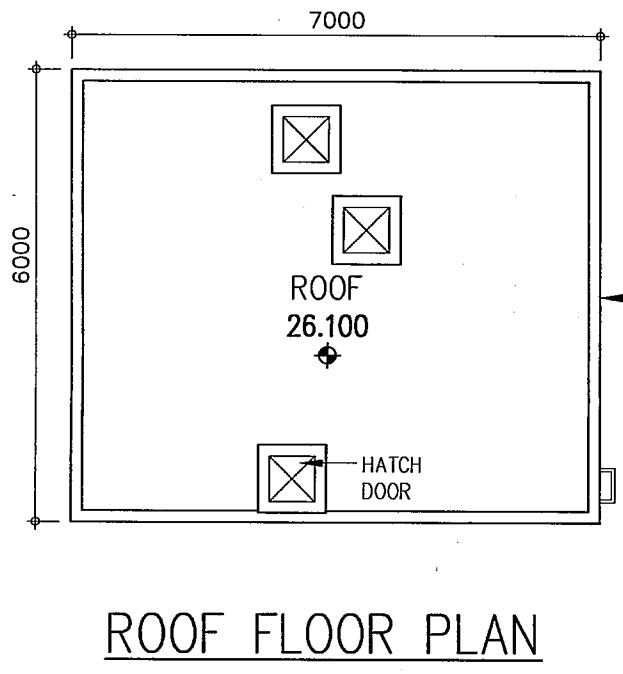
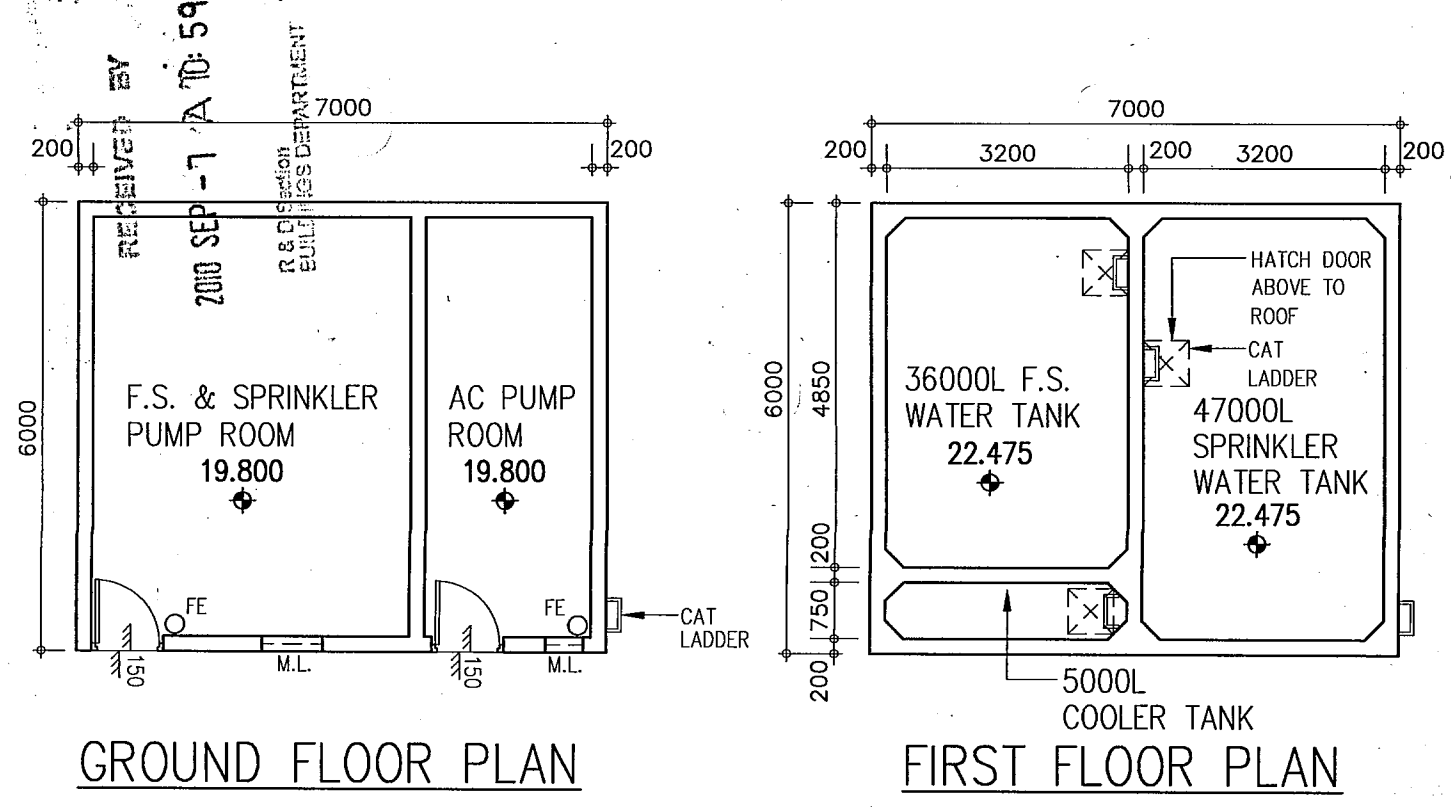
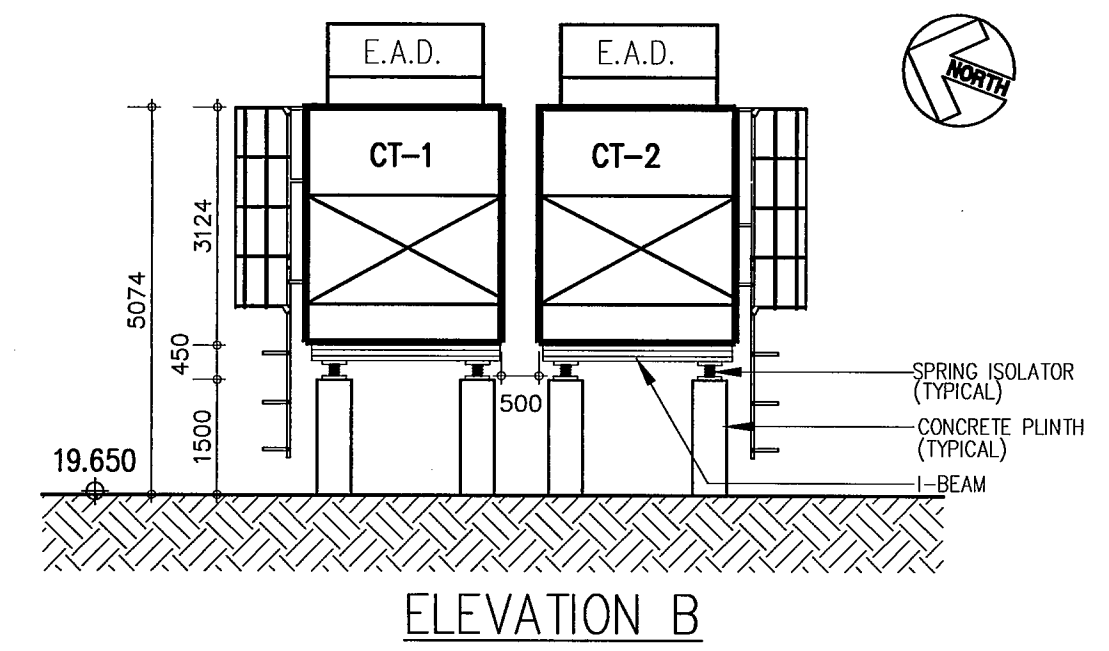
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CHECKED	E.X.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:250 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-2	C

**LCK**  
 LCK ARCHITECTS LTD  
 林陳簡建築師有限公司

*VICTOR CHAN*  
 VICTOR CHAN  
 陳顯仁建築師  
 REGISTERED ARCHITECT (H.K.)

**CALCULATIONS ON MAJOR FACADE SERVED BY E.V.A.**  
 TOTAL LENGTH OF FACADE SERVED BY E.V.A.  
 = 51,244 m  
 TOTAL LENGTH OF ALL THE PERIMETER WALLS  
 = (56,730 + 22,200) x 2 = 157,860 m  
 PERCENTAGE OF FACADE SERVED BY E.V.A.  
 = 51,244 / 157,860 x 100% = 32.5% > 25%

**BLOCK PLAN & E.V.A. PLAN**  
 1:250

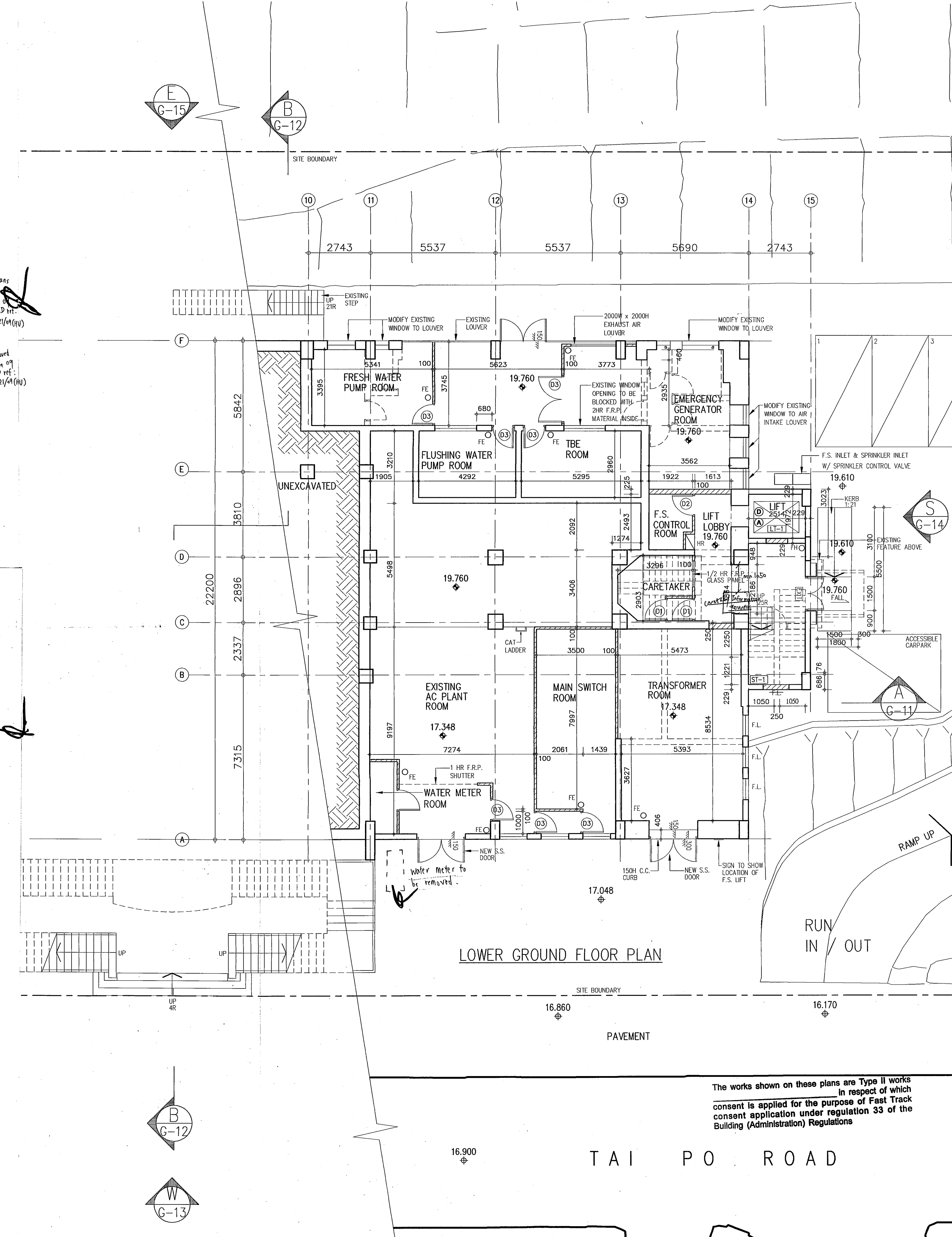


**F.S. & SPRINKLER PUMP ROOM**  
 1:100

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

Permit No. & Issue Date	Description	Granted Condition
HK 336/2009(MOD) 26 June 2009	(A) B(A)R 29(1A) to permit exemption from payment of fees for the processing of plans. (B) B(P)R 30 to permit the reduction/omission in standard of natural lighting and ventilation in all ancillary offices. (C) B(P)R 36 to permit the reduction/omission in standard of natural lighting and ventilation in all toilets.	The said works to be carried out in accordance with Plans approved on 26 Jun 09 under BD ref.: 22-3/3021/09 (HU) (i) Artificial lighting and mechanical ventilation on fresh air supply at a rate of not less than 1.1L/s/m <sup>2</sup> or 10L/person for all ancillary office and 10 air changes per hour for all toilets to be provided to the satisfaction of the Building Authority. (ii) The fresh air intake should be placed where the air is free from contamination or odour. The location of fresh air intake should meet the following requirements: 1. It should not be located within 5m from other sources of contamination such as exhaust outlets of the building or adjacent buildings, traffic, car parks, unloading bays, refuse chutes/refuse rooms, evaporative cooling towers, emergency generators, plumbing vents, kitchens, and toilets. 2. It should not be located below ground level or close to cooling towers. 3. It should face away from potential pollution sources. 4. It should be protected from rain entrainment, and covered by a screen to prevent the entry of birds, rodents, and extraneous articles. (iii) The said works to be carried out in accordance with plans approved on 26 Jun 09 under BD ref.: 22-3/3021/09 (HU) Permanent artificial lighting system with 30 lux min. lighting level backed up by an emergency lighting system providing a horizontal illuminance at floor level of not less than 2 lux. The design of the emergency lighting system should comply with the COP for minimum FS installation & equipment. The said works to be carried out in accordance with plans approved on 26 Jun 09 under BD ref.: 22-3/3021/09 (HU)
HK 481/2009(MOD) 17 September 2009	(a) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 28(1) & 29(2) to permit the provision of cleaning access to be other than cleaning eyes. (b) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 44(4) to permit protection of cast iron pipes to be other than asphaltic coating. (c) Building (Standard of Sanitary Fittings, Plumbing, Drainage Works & Latrines) Regulation 50(2) to permit jointing of cast iron pipes to be other than lead caulking.	The said works to be carried out in accordance with plans approved on 17 Sep 09 under BD ref.: 22-3/3021/09 (HU).

HK 291/2010(MOD) 28 May 2010	B(A)R 33(1) for prior approval and consent to minor amendments of Building, Structure and Drainage Works to the following approved plans: (i) Building (A&A) Amendment (ii) Building (A&A) Amendment (iii) Building (A&A) Amendment (iv) Building (A&A) Amendment (v) Building (A&A) Amendment (vi) Building (A&A) Amendment (except skylight) (vii) Drainage (A&A) Amendment (viii) Structural (A&A) Amendment (ix) Structural (A&A) Amendment (x) External Water Tank (Structural (A&A) and External Water Tank Amendment	(a) This permit is only applicable to minor amendments as described in para. 20 of PN/A/AM/19. (b) AP/RSE should ensure that the minor amendments comply with the building regulations and the requirements of concerned government departments and the lease conditions prior to execution of the works. (c) The amendments are required to be clearly documented and deposited in the site office. Approved Date: 19.8.2009 19.8.2009 19.8.2009 19.8.2009 11.2.2010.
375/2010(MOD) 30 June 2010	(A) B(C)R 8(2)(b) to permit the protective barriers along the flights of the internal staircases at Entrance Hall & Lobby/Student Resting Areas from G/F to 2/F to be maintained at their existing height of not less than 0.9m. (B) B(C)R 8(2)(c) to permit the existing construction of the above-said protective barriers as to inhibit the passage of articles more than 130mm in their smallest dimension.	This modification is given in recognition of the undertaking from the applicant dated 26 June 2010. The internal staircases and adjoining Entrance Hall and Lobby/Student Resting Areas should be used in a manner as indicated on the approved plans and the said undertaking letter. The said works to be carried out in accordance with plans approved on 30 June 2010 under BD ref. no. BD 22-3/3021/09 (HU)
481/2010(MOD) 16 August 2010	(A) B(C)R 8(2)(b) to permit the protective barriers along the flights of the external staircases adjacent Tai Po Road to be maintained at their existing height of not less than 0.9m. (B) B(C)R 8(2)(c) to permit the existing construction of the above-said protective barriers as to inhibit the passage of articles more than 150mm in their smallest dimension. (C) B(C)R 8(3) to permit the lowestmost 150mm of protective barriers at the outer edges of landings at the above-said staircases not built solid. (D) B(C)R 35 to permit the internal areas of Common Area & Library at G/F less than 150mm above the level of the external ground.	This modification is given in recognition of the undertaking from the applicant dated 9 August 2010 & 12 August 2010. The external staircases adjacent Tai Po Road should be used in a manner as indicated on the approved plans and the said undertaking letter. The said works to be carried out in accordance with plans approved on 16 August 2010 under BD ref. no. BD 22-3/3021/09 (HU) (i) Provision of additional drainage channels, each with at least 2 no. of drainage outlets. (ii) Provision of a fall, not less than 1:80 on the flat roof or external ground sloping away from the adjoining intermunitable floor areas. The said works to be carried out in accordance with plans approved on 16 Aug 10 under BD ref no. BD 22-3/3021/09 (HU)



B.D. REF.  
B.D. 22-3 / 3021 / 09(HU)P11

F.S.D. REF.  
FPB

W.G. REF.

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LEGEND:

- EXISTING WORK TO BE REMOVED
- EXISTING WALL & DOOR TO REMAIN
- NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
F	BD 8TH AMENDMENT	3.9.10	R.M.	W.L.
	BD 7TH AMENDMENT APPROVAL			
E	BD 7TH AMENDMENT	16.7.10	R.M.	W.L.
	BD 6TH AMENDMENT APPROVAL			
D	BD 6TH AMENDMENT	4.6.10	R.M.	W.L.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
C	BD 5TH AMENDMENT	22.04.10	R.M.	W.L.
	BD 3RD AMENDMENT APPROVAL	16.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.L.
	BD 1ST AMENDMENT APPROVAL	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.L.
	SUBMISSION APPROVED	6.6.09		

FOR B.D. USE ONLY

Plan Approved

*YU Po-mei, Clarice*  
Senior Building Surveyor  
for BUILDING AUTHORITY  
- 8 SEP 2010

PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

DRAWING TITLE  
LOWER GROUND FLOOR PLAN

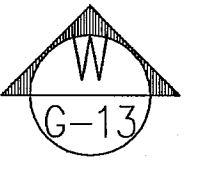
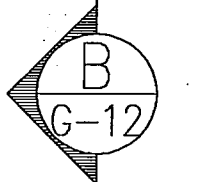
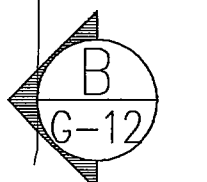
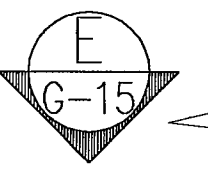
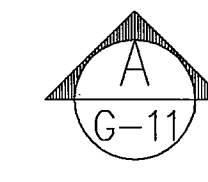
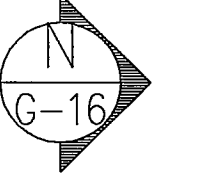
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CHECKED	E.Y.
APPROVED	W.C.
DATE	4 MAY 09
SCALE	1:100 (A1)

JOB NO.	DRAWING NO.	REV.
09002	G-3	F

The works shown on these plans are Type II works in respect of which consent is applied for the purpose of Fast Track consent application under regulation 33 of the Building (Administration) Regulations

LCK ARCHITECTS LTD  
林陳簡建築師有限公司

VICTOR CHAN  
段威仁建築師  
REGISTERED ARCHITECT AP



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2009 SEP - 3 P 3:58  
B & D Section  
BUILDINGS DEPARTMENT

B.D. REF. 22-3 / 3021 / 09(HU)PT11

F.S.D. REF. FPB

W.W.O. REF.

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LEGEND:  
--- EXISTING WORK TO BE REMOVED  
--- EXISTING WALL & DOOR TO REMAIN  
--- NEW WALL & DOOR

H	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
C	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 6TH AMENDMENT APPROVAL			
F	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
E	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVAL	0.02.10		
D	BD 4TH AMENDMENT	5.01.10	KAN	W.T.
	BD 3RD AMENDMENT APPROVAL	16.11.09		
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	BD 2ND AMENDMENT APPROVAL	30.9.09		
B	BD 2ND AMENDMENT	04.9.09	KAN	W.T.
	BD 1ST AMENDMENT APPROVAL	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		
NO.	REVISIONS	DATE	DRAWN BY	CHECK BY

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Plan Approved  
*Clarice*  
YU Po-mei, Clarice  
Senior Building Surveyor  
for BUILDING AUTHORITY  
- 8 SEP 2010

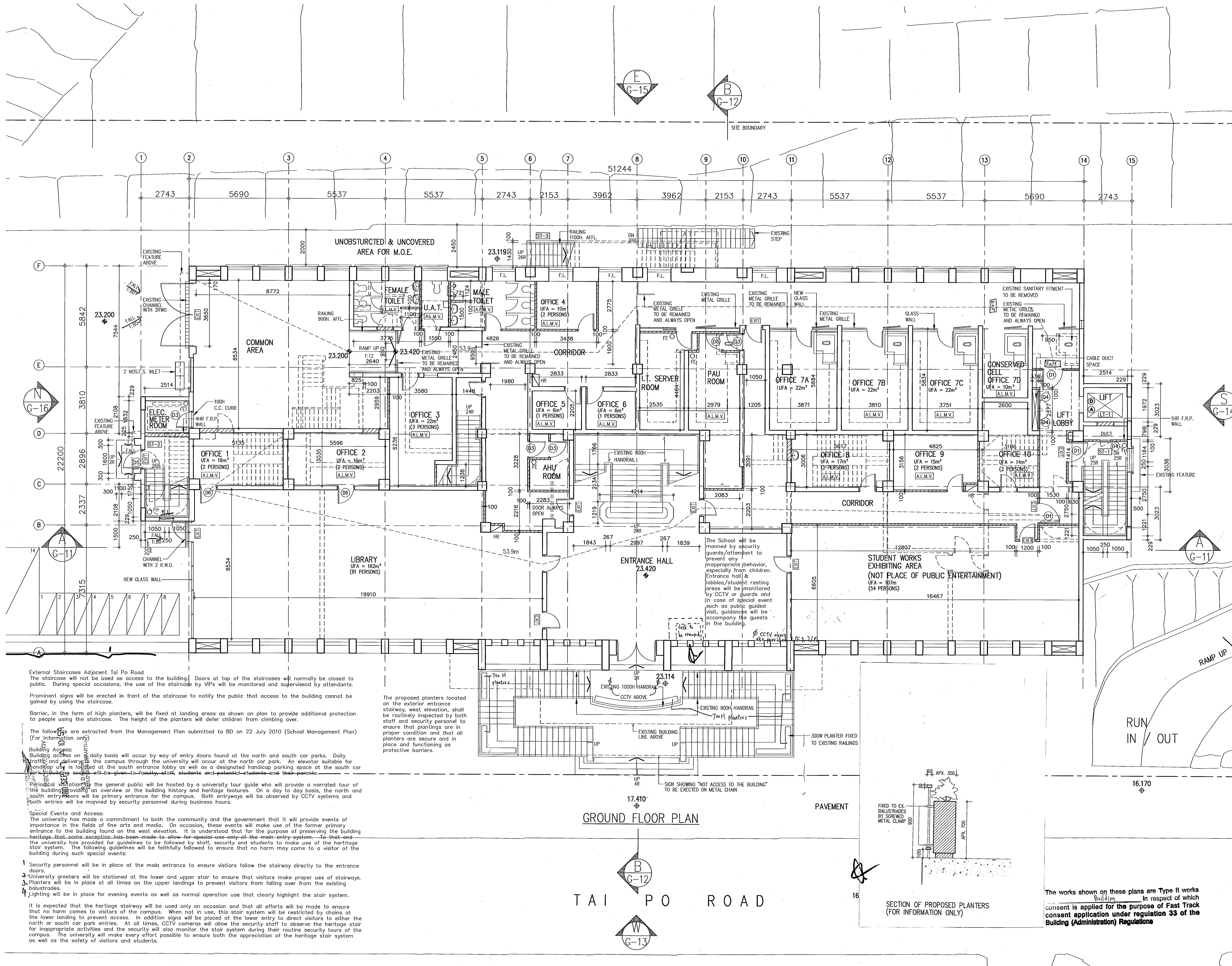
PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

DRAWING TITLE  
GROUND FLOOR PLAN

DRAWN	HO	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-4	H

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External Staircases Adjacent To Po Road  
The staircase will not be used as access to the building. Doors at top of the staircases will normally be closed to public. During special occasions, the use of the staircase by VIPs will be monitored and supervised by attendants.

Prominent signs will be erected in front of the staircase to notify the public that access to the building cannot be gained by using the staircase.

Barrier, in the form of high planters, will be fixed at landing areas as shown on plan to provide additional protection to people using the staircase. The height of the planters will defer children from climbing over.

The following are extracted from the Management Plan submitted to BD on 22 July 2010 (School Management Plan) (For information only)

2. Building Access:  
Building access on a daily basis will occur by way of entry doors found at the north and south car parks. Daily traffic and deliveries to the campus through the university will occur at the north car park. An elevator suitable for handling use is located at the south entrance lobby as well as a designated handicap parking space at the south car park. Building access will be given to faculty, staff, students and potential students and their parents.

3. Periodical visitors:  
The general public will be hosted by a university tour guide who will provide a narrated tour of the building providing an overview of the building history and heritage features. On a day to day basis, the north and south entry doors will be primary entrance for the campus. Both entryways will be observed by CCTV systems and both entries will be manned by security personnel during business hours.

4. Special Events and Access:  
The university has made a commitment to both the community and the government that it will provide events of importance in the fields of fine arts and media. On occasion, these events will make use of the former primary entrance to the building found on the west elevation. It is understood that for the purpose of preserving the building heritage that some exception has been made to allow for special use of the main entry system. To that end, the university has provided for guidelines to be followed by staff, security and students to make use of the heritage stair system. The following guidelines will be faithfully followed to ensure that no harm may come to a visitor of the building during such special events:

- Security personnel will be in place at the main entrance to ensure visitors follow the stairway directly to the entrance doors.
- University greeters will be stationed at the lower and upper stair to ensure that visitors make proper use of stairways.
- Planters will be in place at all times on the upper landings to prevent visitors from falling over from the existing balustrades.
- Lighting will be in place for evening events as well as normal operation use that clearly highlight the stair system.

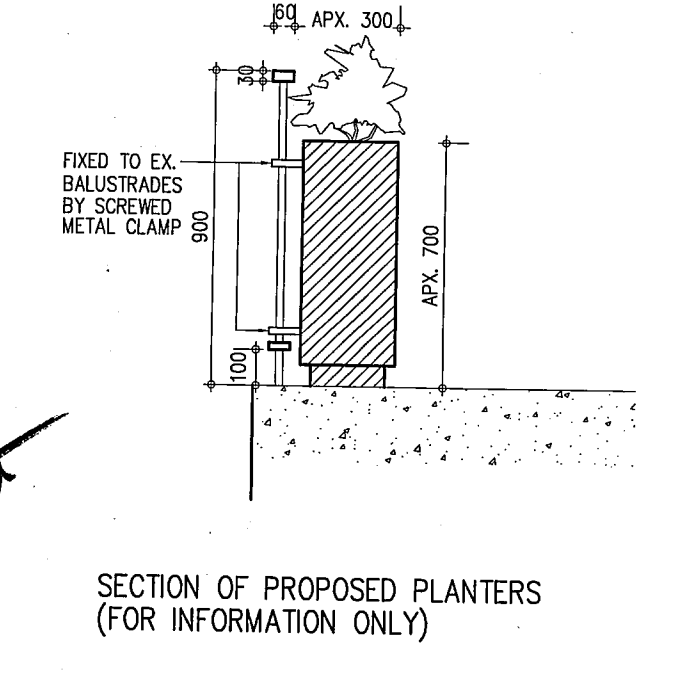
It is expected that the heritage stairway will be used only on occasion and that all efforts will be made to ensure that no harm comes to visitors of the campus. When not in use, this stair system will be restricted by chains at the lower landing to prevent access. In addition signs will be placed at the lower entry to direct visitors to either the north or south car park entries. At all times, CCTV cameras will allow the security staff to observe the heritage stair for inappropriate activities and the security will also monitor the stair system during their routine security tours of the campus. The university will make every effort possible to ensure both the appreciation of the heritage stair system as well as the safety of visitors and students.

The proposed planters located on the exterior entrance stairway, west elevation, shall be routinely inspected by both staff and security personnel to ensure that plantings are in proper condition and that all planters are secure and in place and functioning as protective barriers.

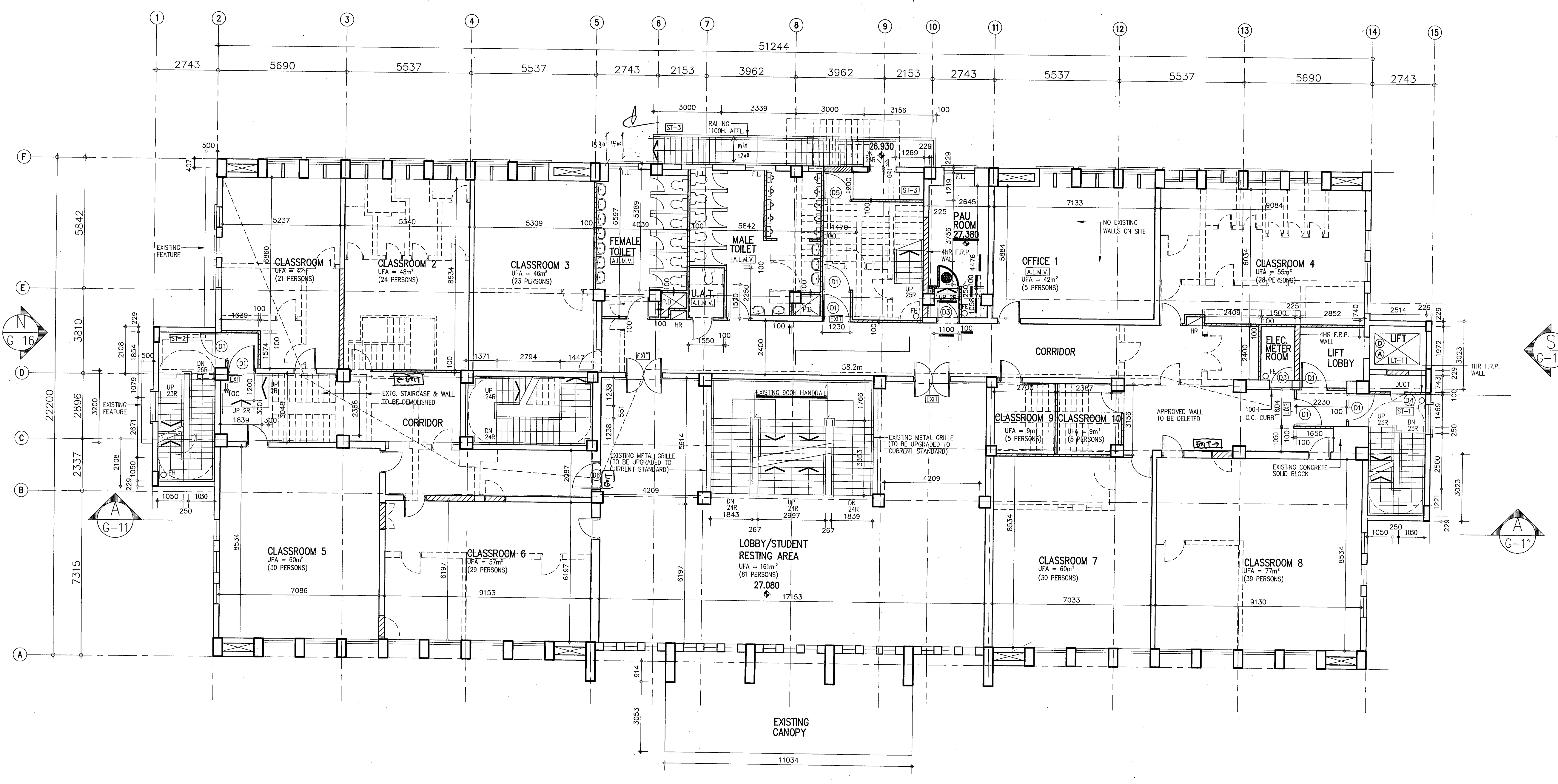
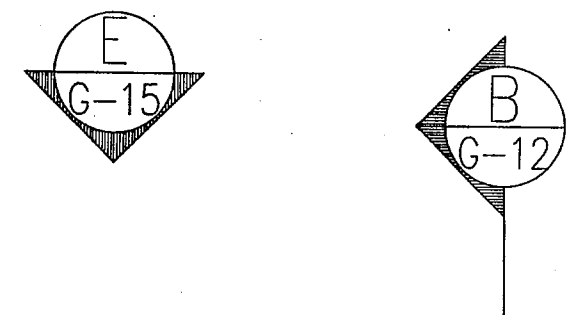
The School will be manned by security guards/attendant to prevent any inappropriate behavior, especially from children. Entrance hall & lobbies/student resting areas will be monitored by CCTV or guards and in case of special event such as public guided visit, guides will accompany the guests in the building.

GROUND FLOOR PLAN

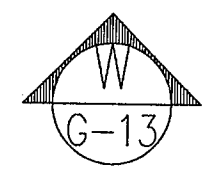
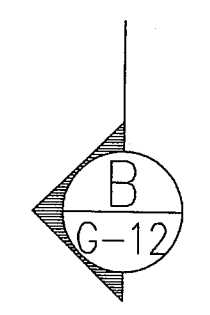
TAI PO ROAD



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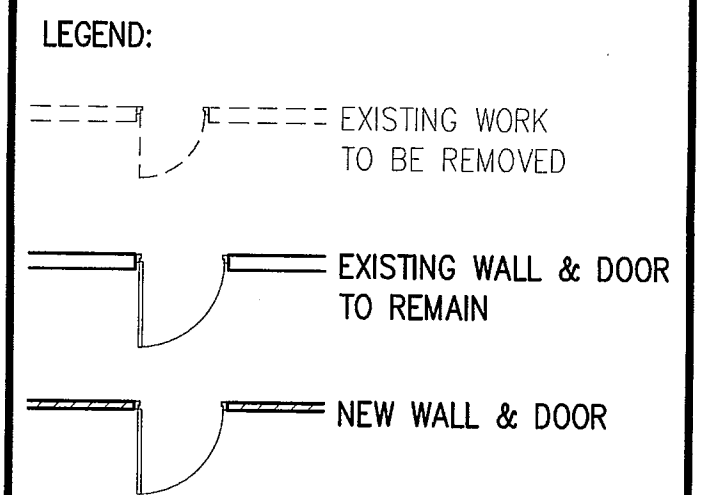


FIRST FLOOR PLAN



B.D. REF.	
F.S.D. REF.	22-3 / 3021 / 09(HU)PTII
FPB	
W.W.D. REF.	

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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
E	BD 6TH AMENDMENT			
D	BD 5TH AMENDMENT APPROVAL	10.5.10	R.M.	W.T.
C	BD 4TH AMENDMENT APPROVED	10.02.10		
B	BD 3RD AMENDMENT APPROVED	15.01.10	KAN	W.T.
A	BD 1ST AMENDMENT APPROVED	16.11.09		
	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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Plan Approved

YU Po-mei, Clarice  
Senior Building Surveyor  
for BUILDING AUTHORITY

30 JUN 2010

PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

DRAWING TITLE  
FIRST FLOOR PLAN

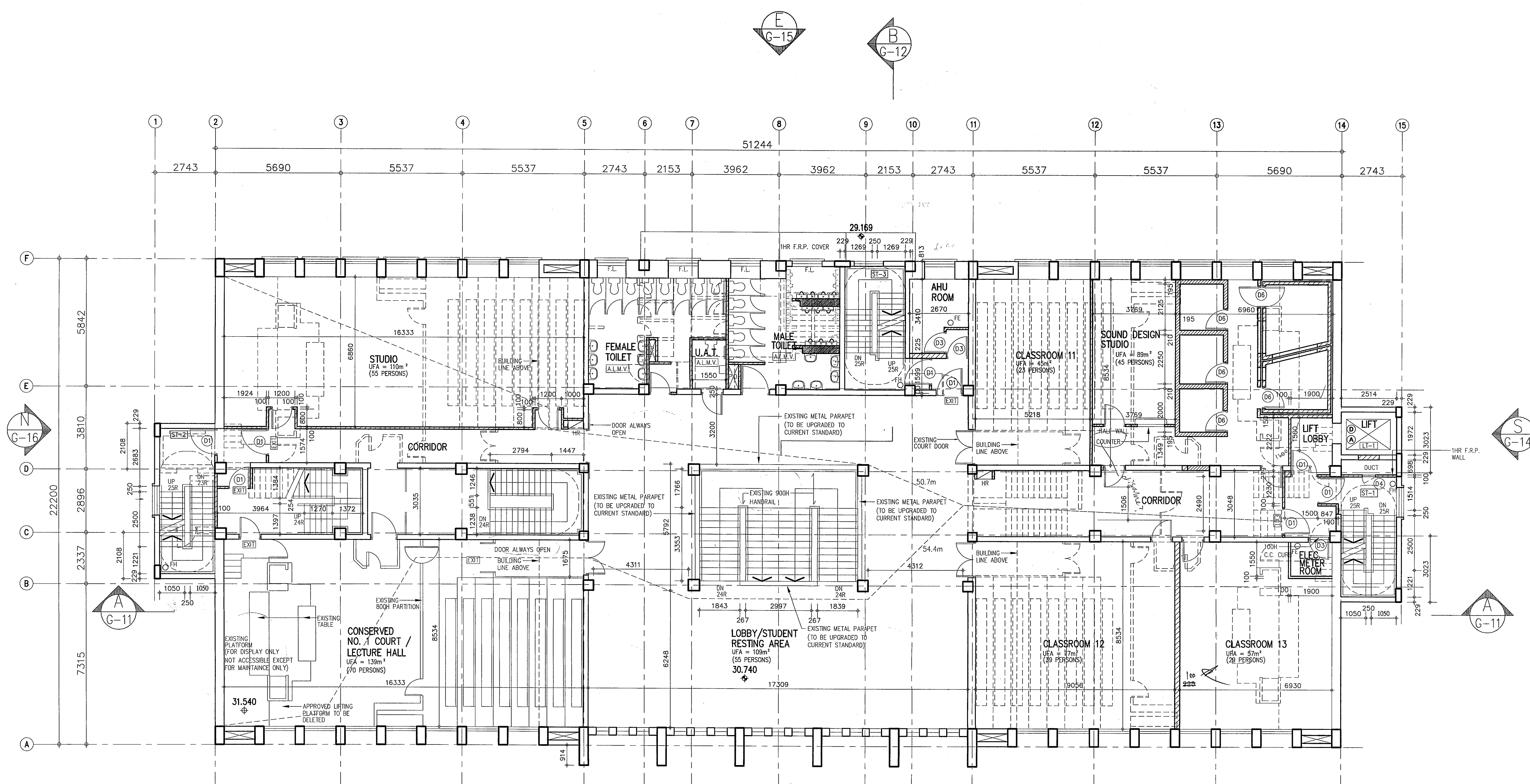
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APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-5	E

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SECOND FLOOR PLAN

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F.S.D. REF.	FPB
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LEGEND:  
 - - - - - EXISTING WORK TO BE REMOVED  
 ———— EXISTING WALL & DOOR TO REMAIN  
 ———— NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
E	BD 6TH AMENDMENT			
D	BD 5TH AMENDMENT APPROVAL	10.5.10		
D	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
C	BD 4TH AMENDMENT APPROVED	0.02.10		
C	BD 4TH AMENDMENT	5.01.10	KAN	W.T.
B	BD 3RD AMENDMENT APPROVED	16.11.09		
B	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
A	BD 1ST AMENDMENT APPROVED	13.8.09		
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	SUBMISSION APPROVED	6.6.09		

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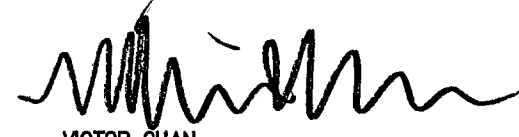
YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 30 JUN 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 SECOND FLOOR PLAN

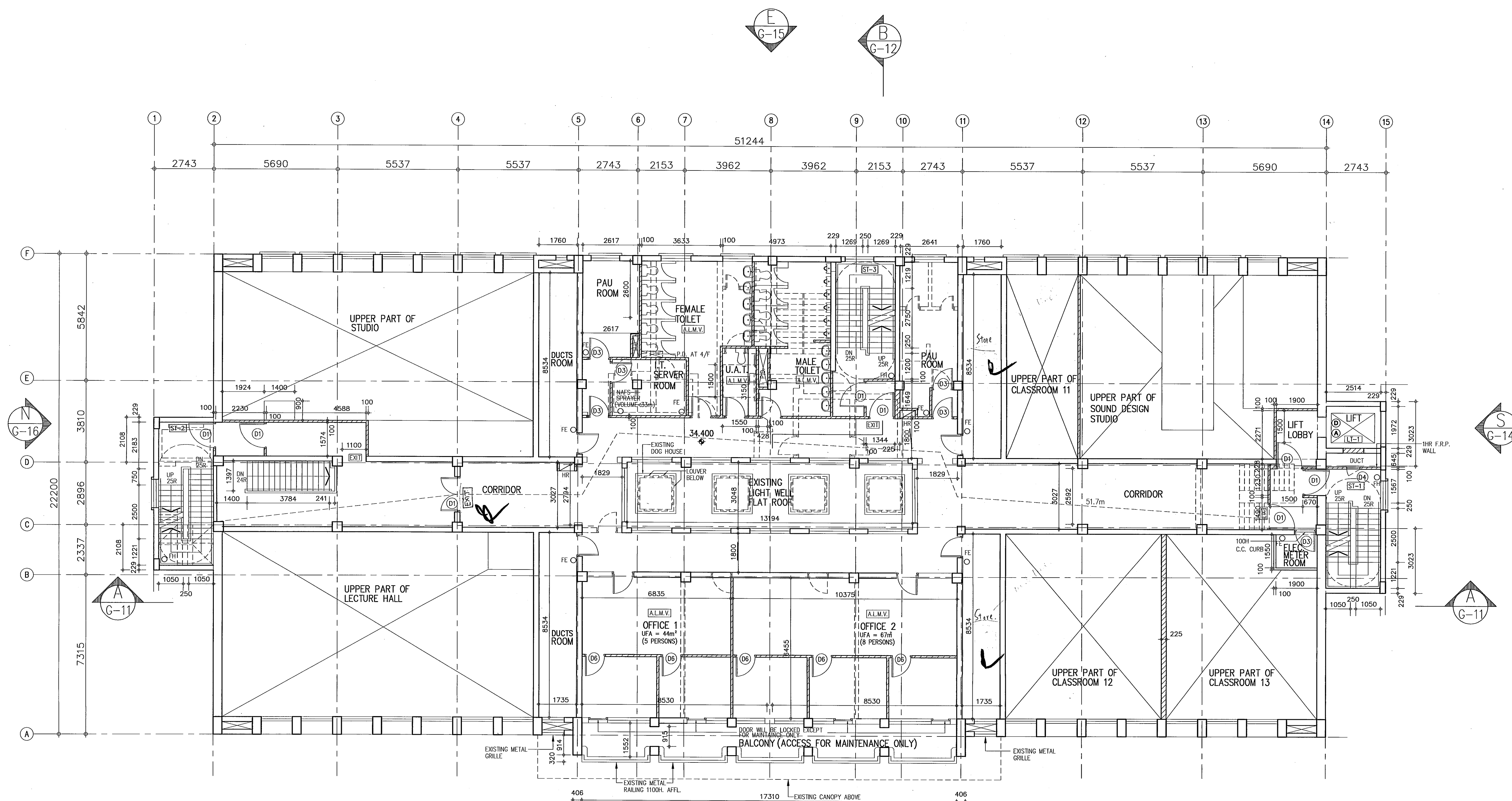
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APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-6	E

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THIRD FLOOR PLAN

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 F.S.D. REF.  
 FPB  
 W.W.O. REF.

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 --- EXISTING WALL & DOOR TO REMAIN  
 --- NEW WALL & DOOR

NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
F	BD 6TH AMENDMENT	6.9.10	R.M.	W.T.
E	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
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D	BD 5TH AMENDMENT	7.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVED	10.02.10		
C	BD 4TH AMENDMENT	5.01.10	KAN	W.T.
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B	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 THIRD FLOOR PLAN

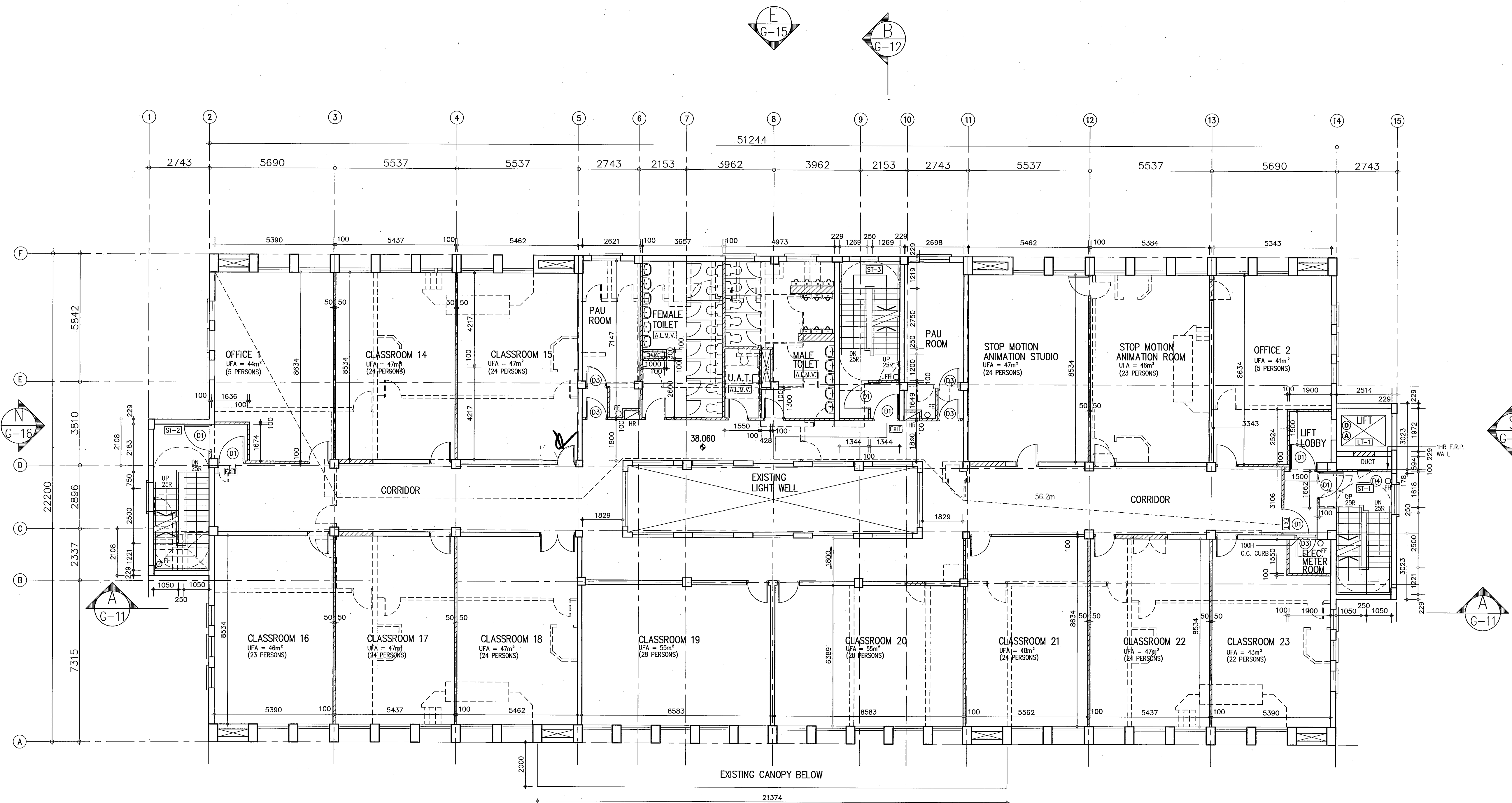
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DATE	4 MAY 09	
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JOB NO.	DRAWING NO.	REV.
09002	G-7	F

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FOURTH FLOOR PLAN

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 F.S.D. REF.  
 FPB  
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F	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
E	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
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A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	8.6.09		
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 Senior Building Surveyor  
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- 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
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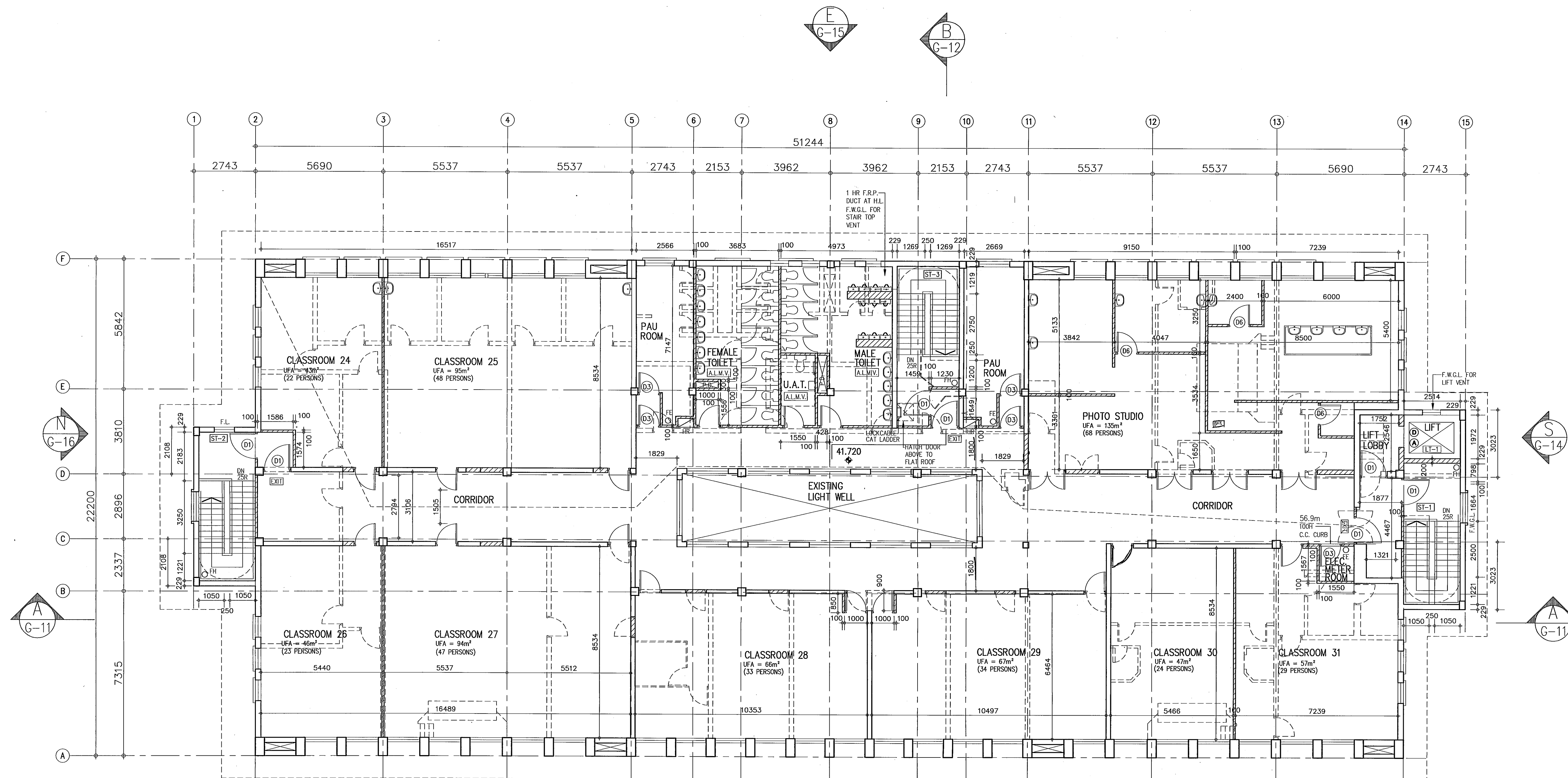
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DATE	4 MAY 09	
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09002	G-8	F

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FIFTH FLOOR PLAN

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C	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
B	BD 6TH AMENDMENT	4.6.10	R.M.	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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*Clarence*

YU Po-mei, Clarence  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 FIFTH FLOOR PLAN

DRAWN	HO	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
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JOB NO.	DRAWING NO.	REV.
09002	G-9	C

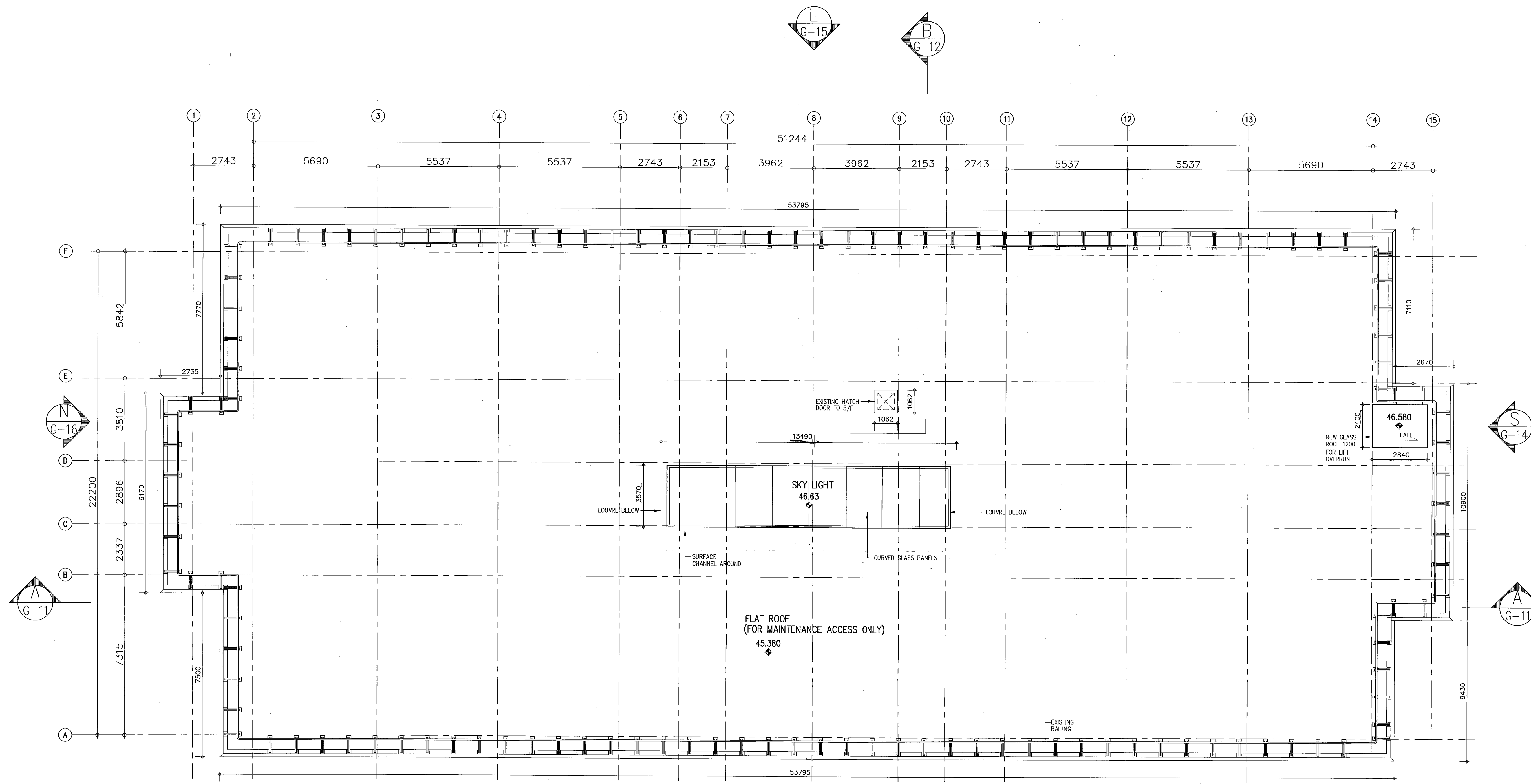
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 陳繼仁建築師  
 R. ARCHT. (H.K.) F.R.I.B.A. F.R.A.S. F.R.A.S.  
 REGISTERED ARCHITECT (H.K.)

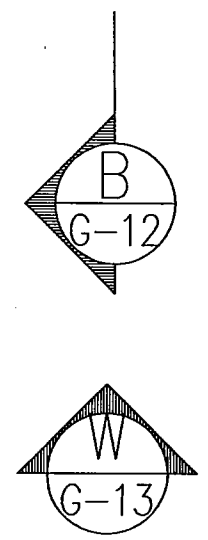
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ROOF PLAN



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F.S.D. REF.	FPB
W.W.G. REF.	

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C	BD 8TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVAL	10.5.10		
B	BD 5TH AMENDMENT	2.04.10	R.M.	W.T.
	BD 3RD AMENDMENT APPROVED	16.11.09		
A	BD 3RD AMENDMENT	20.10.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY

- 8 SEP 2010

PROJECT

NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE

ROOF PLAN

DRAWN	HD	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-10	C

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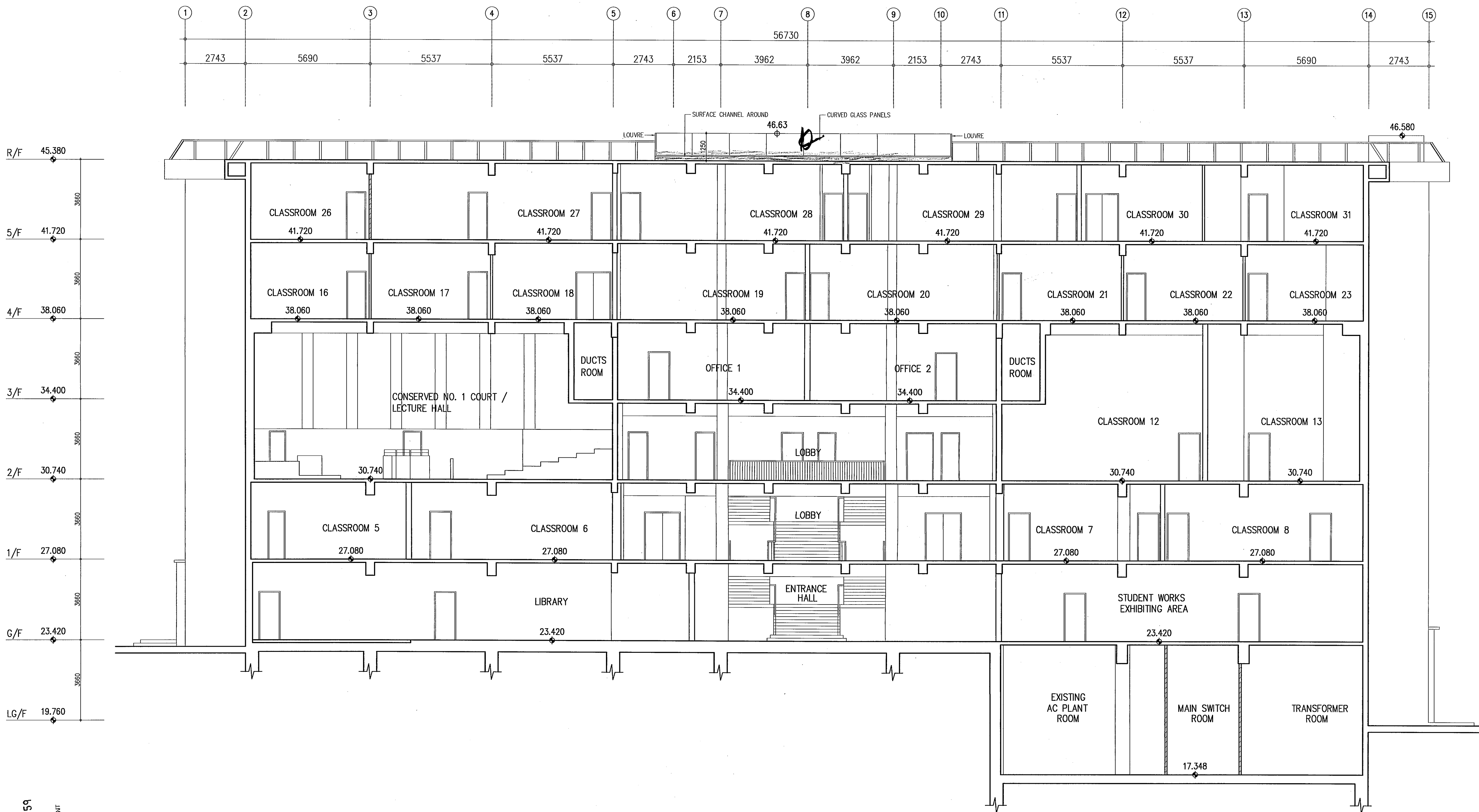
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VICTOR CHAN  
 陳維仁 建築師  
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SECTION A-A

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BUILDINGS DEPARTMENT

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B.D.	/ /
F.S.D. REF.	/ /
FPB	/ /
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B	BD 8TH AMENDMENT	6.9.10	R.M.	W.T.
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A	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
	SUBMISSION APPROVED	6.6.09		

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*YU Po-mei*  
YU Po-mei, Clarice  
Senior Building Surveyor  
for BUILDING AUTHORITY  
- 8 SEP 2010

PROJECT  
NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN

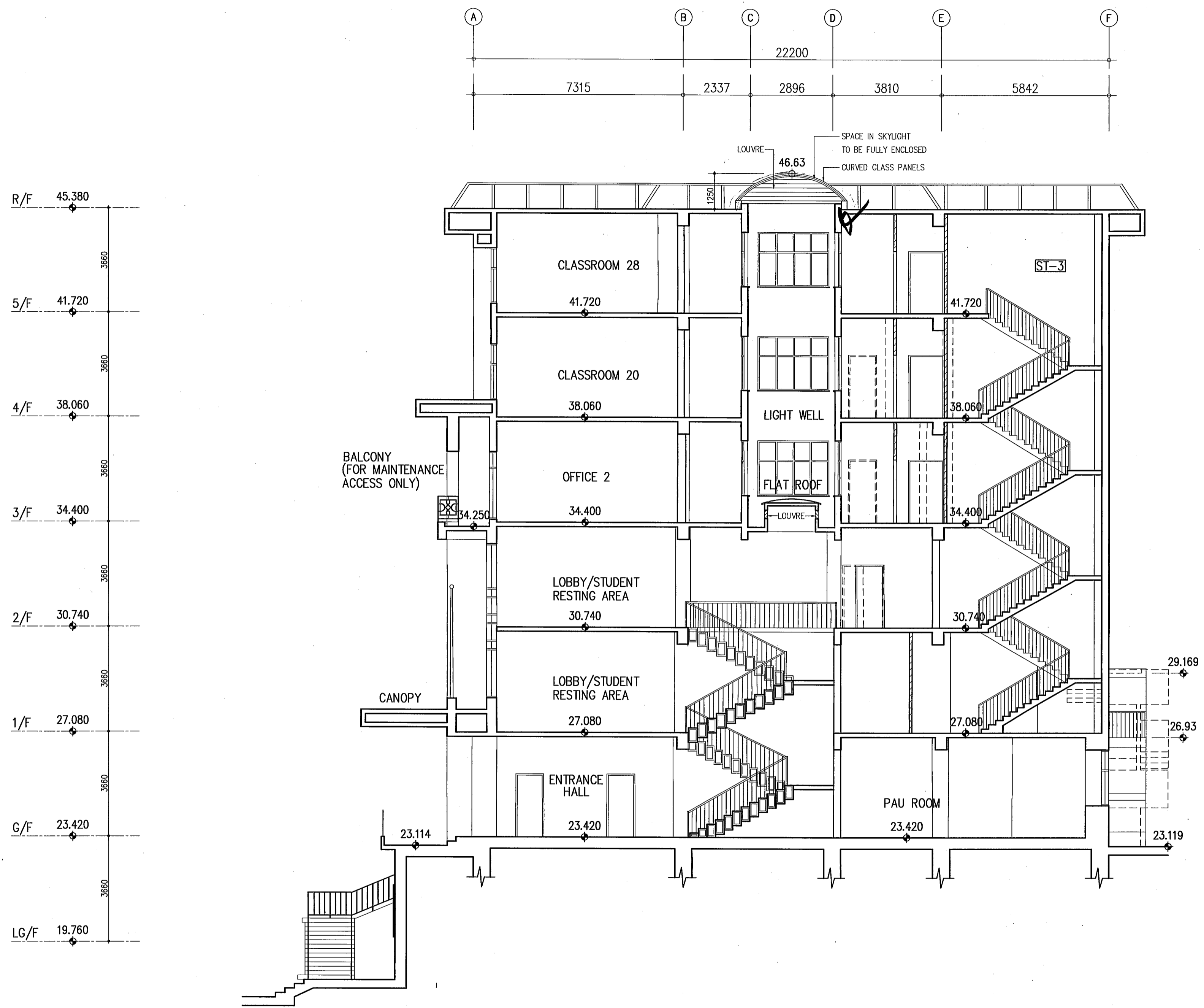
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JOB NO.	DRAWING NO.	REV.
09002	G-11	B

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SECTION B-B

B.D. REF. /  
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A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

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Plan Approved

*YU Po-mei*

YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY

- 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 SECTION B-B

DRAWN	KAN	
CHECKED	E.K.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-12	C

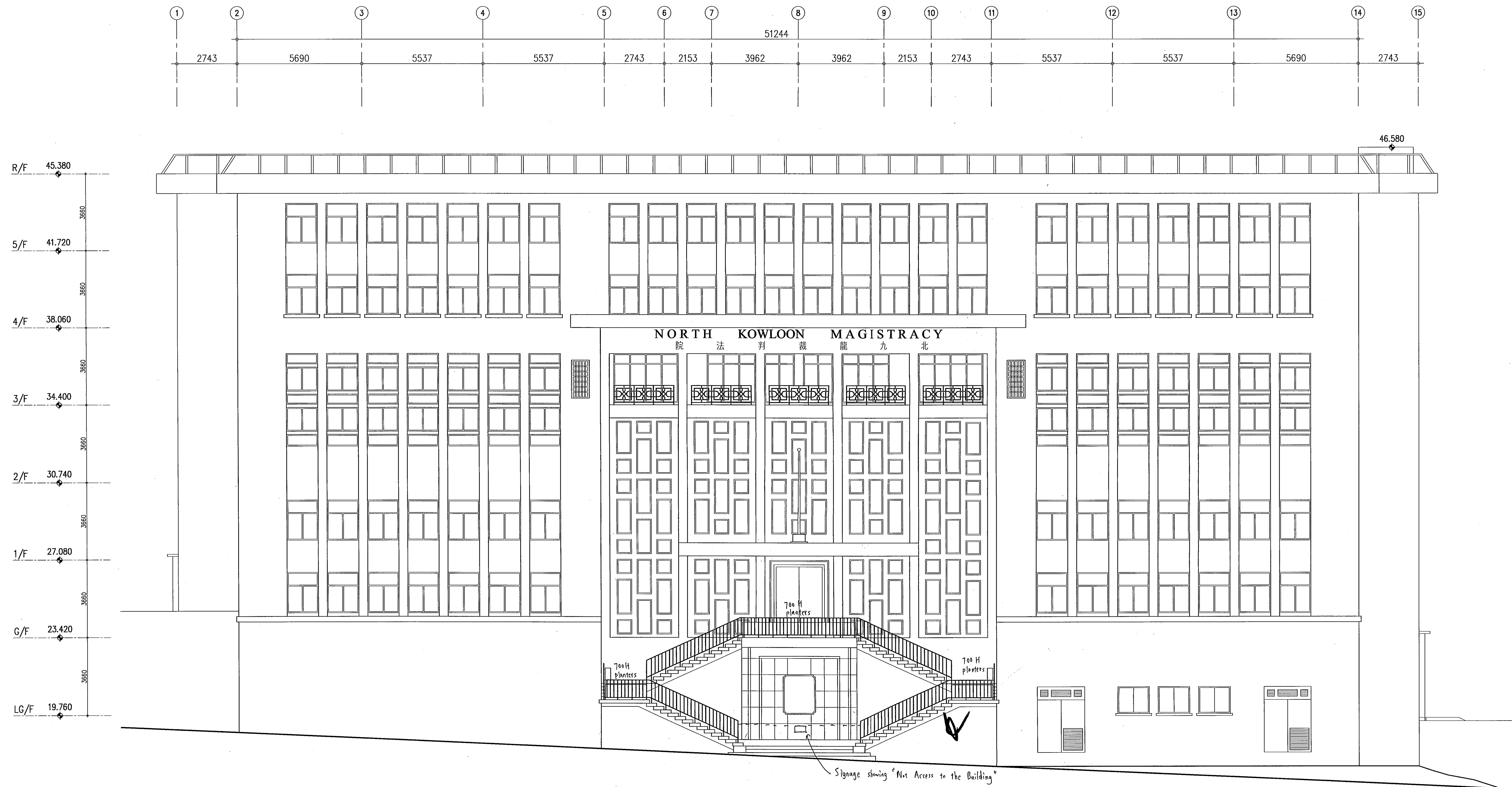
**LCK**  
 LCK ARCHITECTS LTD  
 林陳簡建築師有限公司

*Victor Chan*

VICTOR CHAN  
 陳國仁建築師  
 8 ADDONDO TUNG ROAD, HONG KONG  
 REGISTERED ARCHITECT A.P.

The works shown on these plans are those works  
 for which consent is applied for the purpose of Fast Track  
 consent application under regulation 33 of the  
 Building (Administration) Regulations

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 2010 SEP -7 A 10 59  
 B.D. Section  
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WEST ELEVATION  
(FRONT ELEVATION)

B.D. REF.	/	/
B.D.	/	/
F.S.D. REF.	/	/
FPB	/	/
W.W.O. REF.		

NOTES :  
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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
B	BD 8TH AMENDMENT	6.9.10	R.M.	W.T.
	BD 1ST AMENDMENT APPROVAL	13.8.09	KAN	W.T.
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.

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Plan Approved  
  
 YU Po-mei, Clarice  
 Senior Building Surveyor  
 for BUILDING AUTHORITY  
 - 8 SEP 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 WEST ELEVATION

DRAWN	KAN	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-13	B

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 陳顯仁建築師  
 REGISTERED ARCHITECT AP

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B.D. REF.	22-3 / 3021 / 09(HU)PTII
F.S.D. REF.	FPB
W.W.O. REF.	

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NO.	REVISIONS	DATE	DRAWN BY	CHECK BY
D	BD 5TH AMENDMENT			
C	BD 4TH AMENDMENT APPROVED	10.02.10	KAN	W.T.
B	BD 3RD AMENDMENT APPROVED	16.11.09	KAN	W.T.
A	BD 1ST AMENDMENT APPROVED	13.8.09	KAN	W.T.

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Plan Approved

*Clarice YU*  
YU Po-mei, Clarice  
Senior Building Surveyor  
for BUILDING AUTHORITY

10 MAY 2010

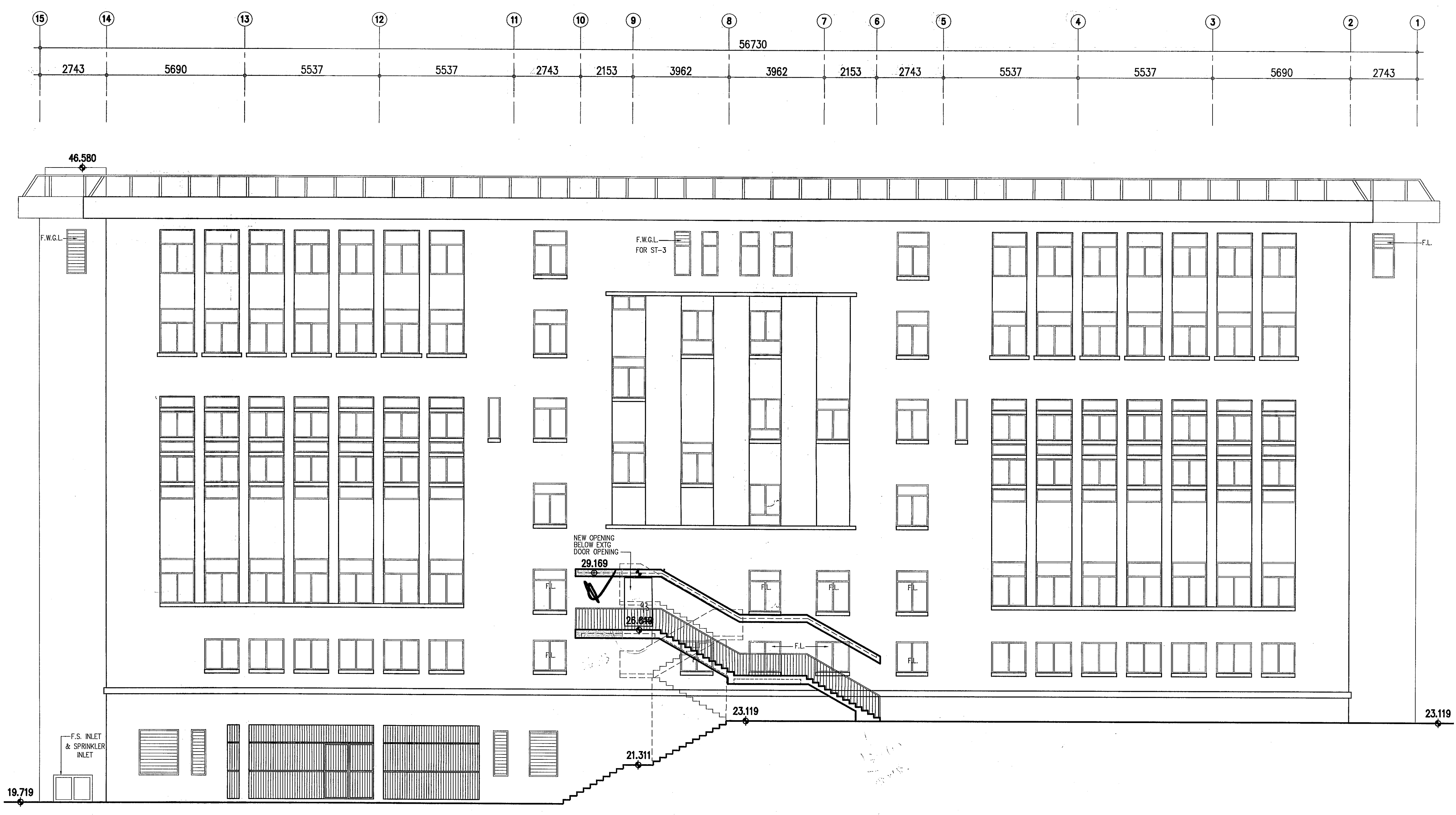
PROJECT  
**NORTH KOWLOON MAGISTRACY  
NEW SCAD CAMPUS  
292 TAI PO ROAD, KLN**

DRAWING TITLE  
**EAST ELEVATION**

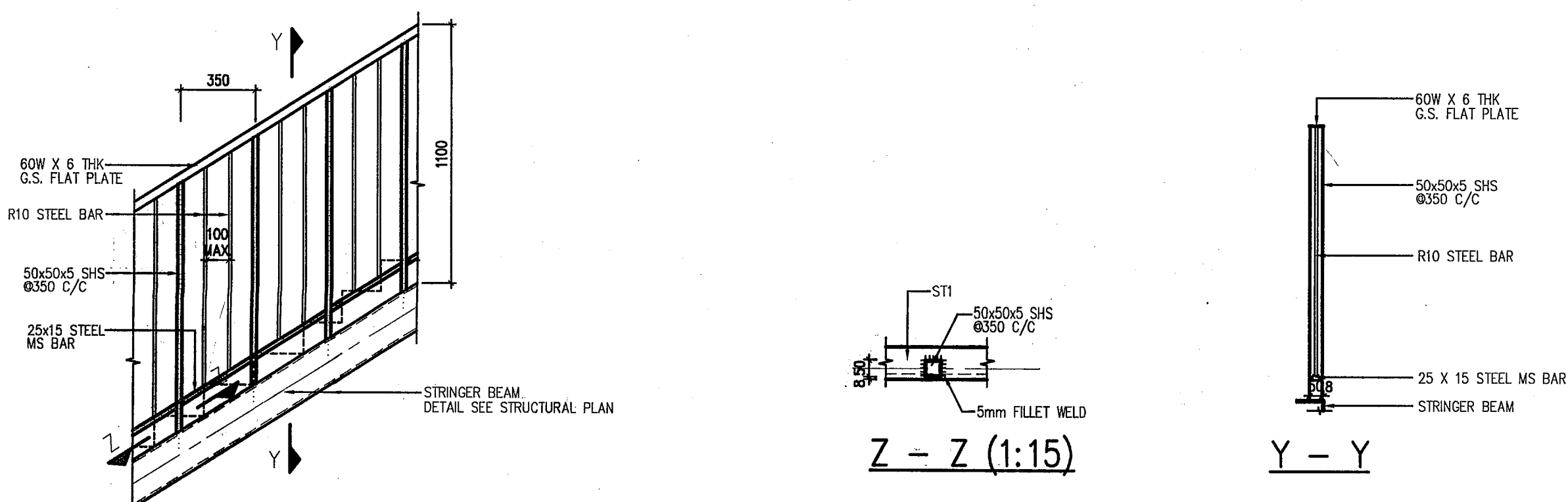
DRAWN	KAN	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:100 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-15	D

**LCK**  
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林陳簡建築師有限公司

*Wai Chan*  
**WAI CHAN**  
ARCHITECT



**EAST ELEVATION  
(REAR ELEVATION)**



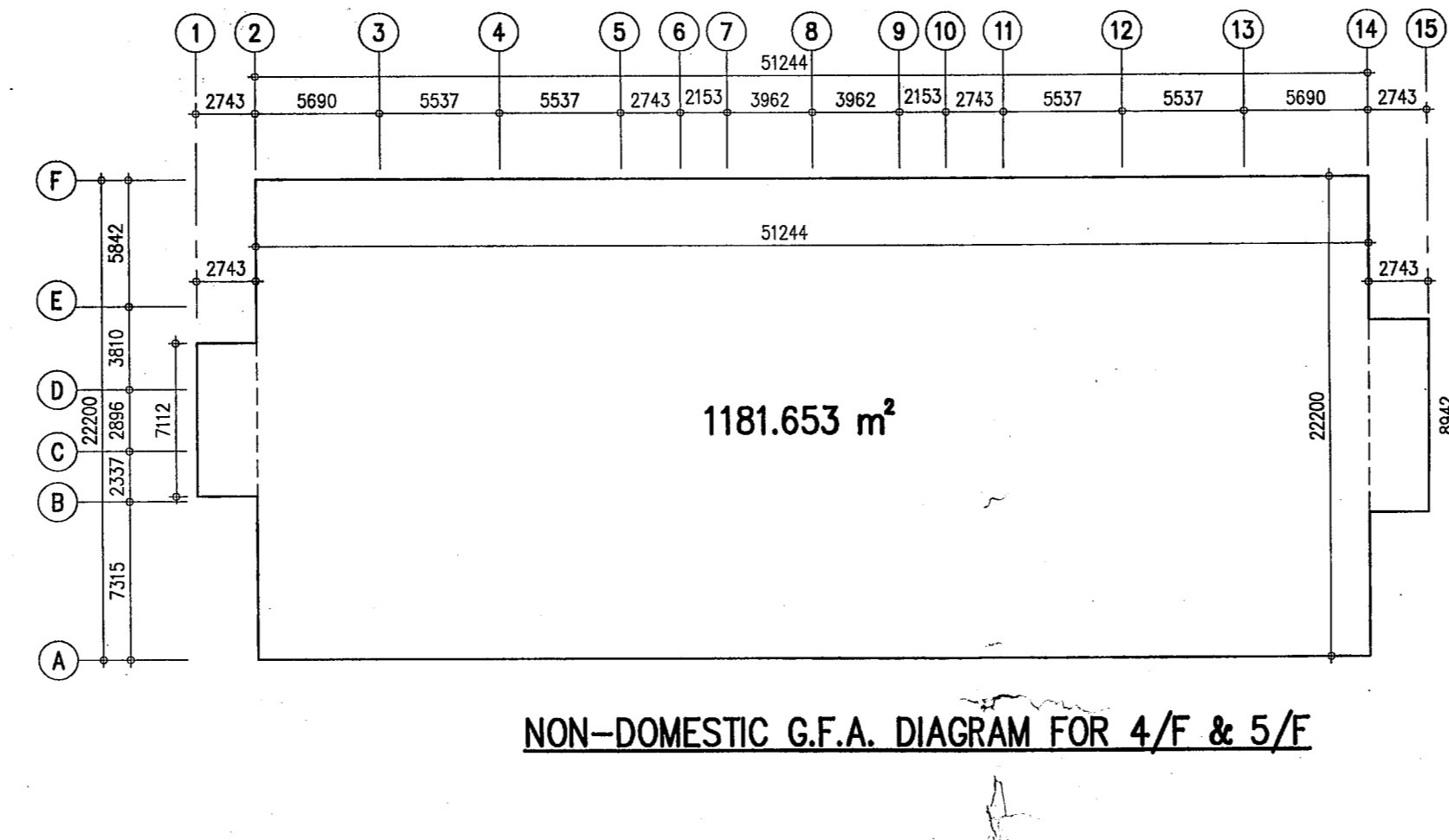
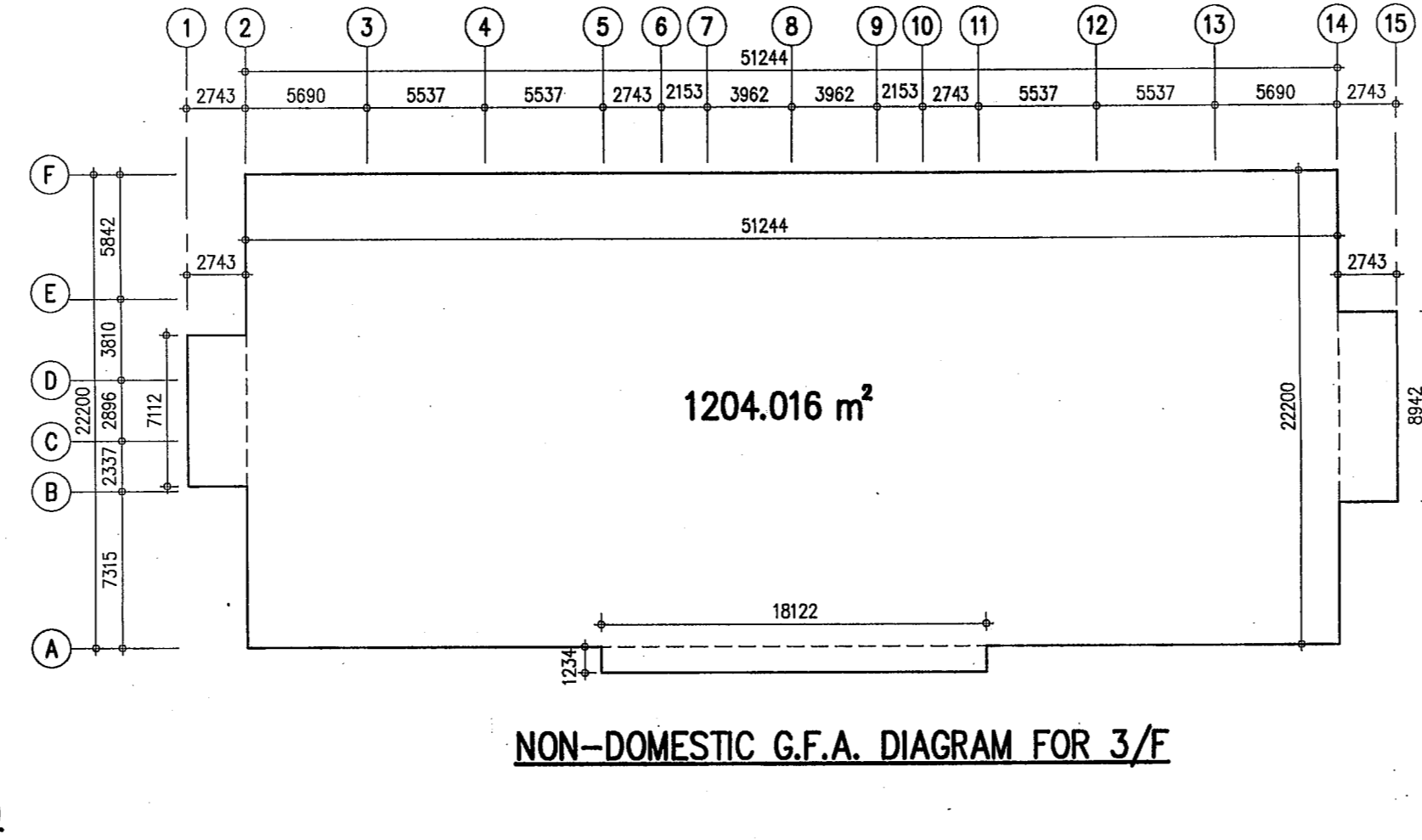
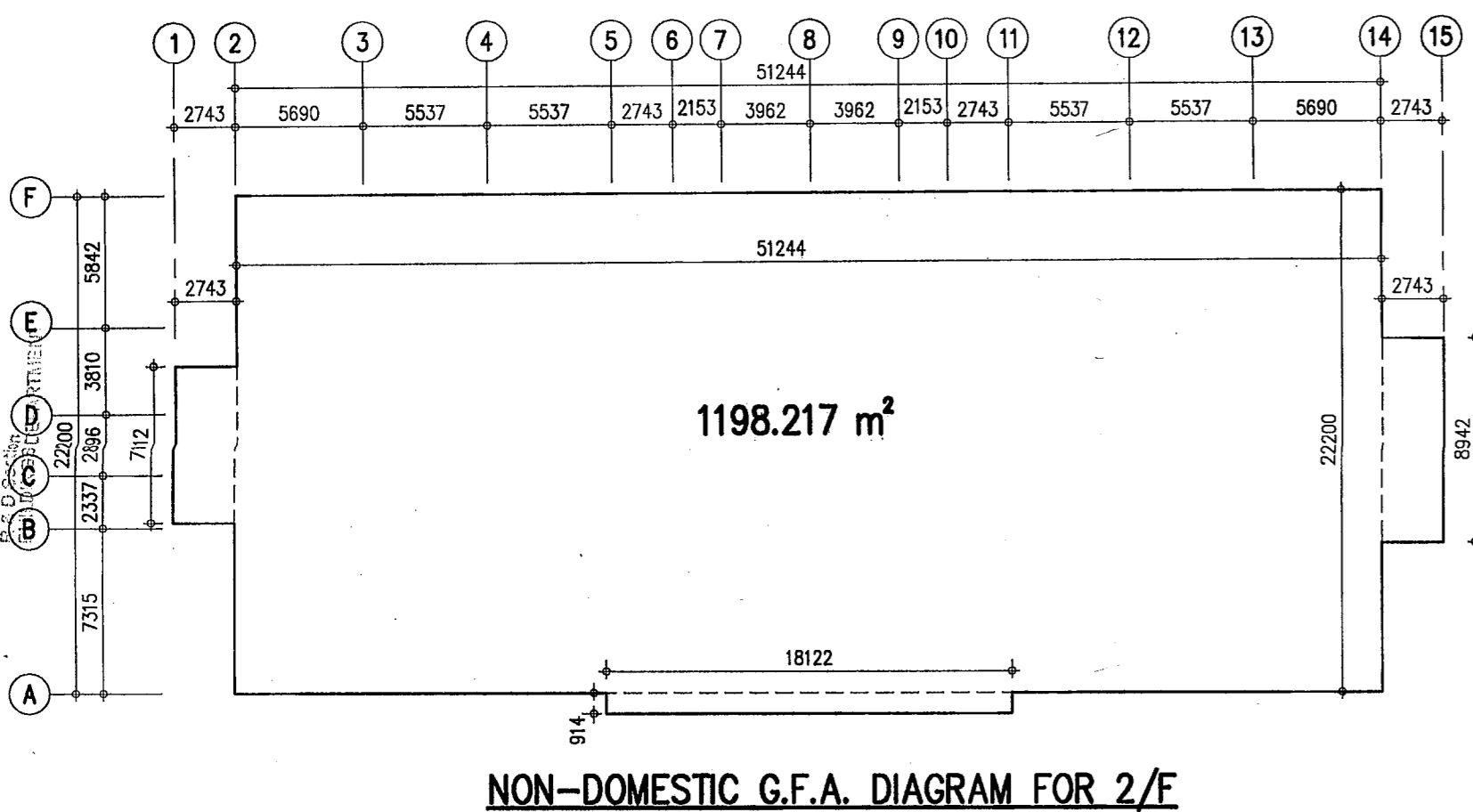
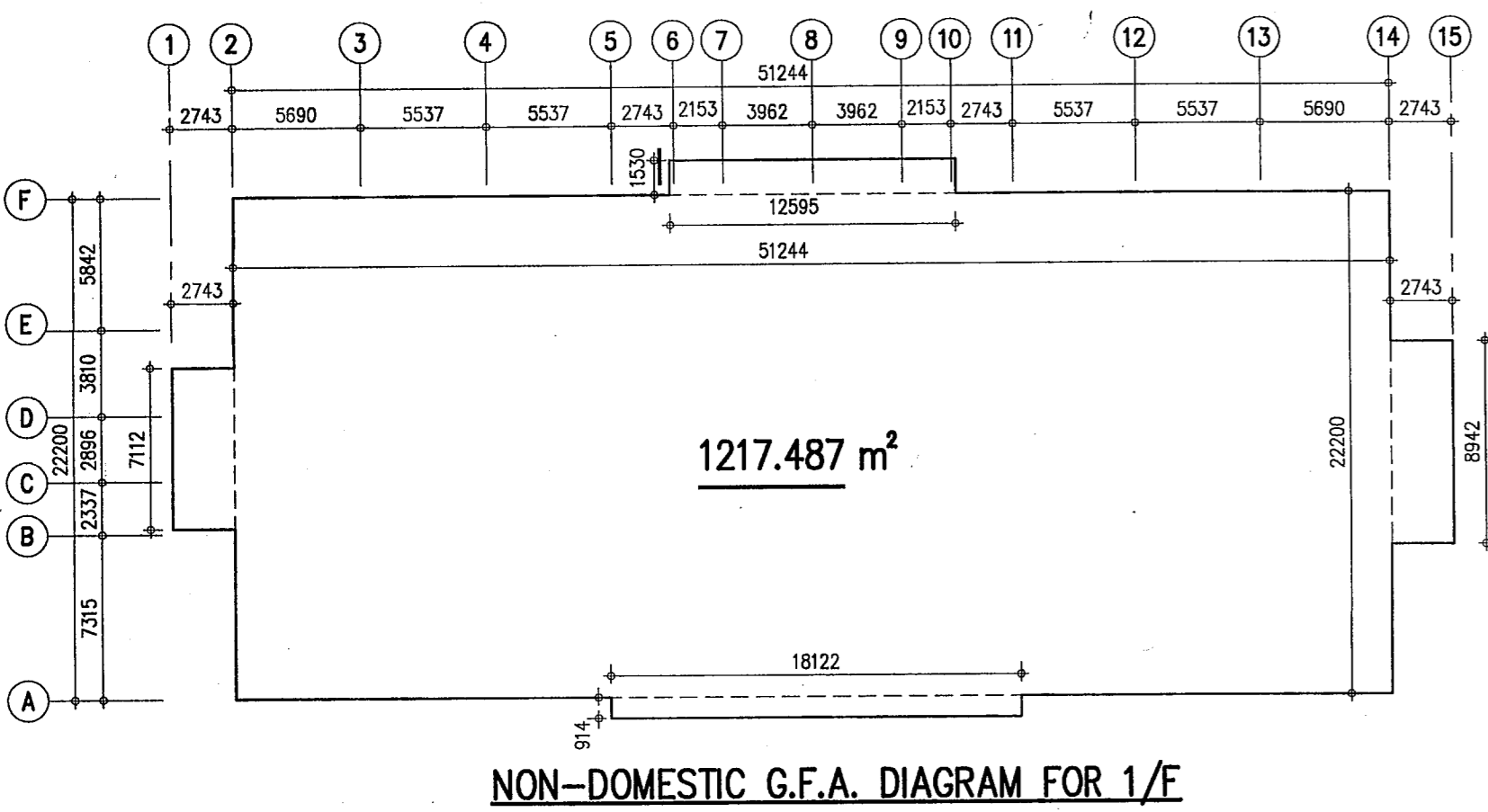
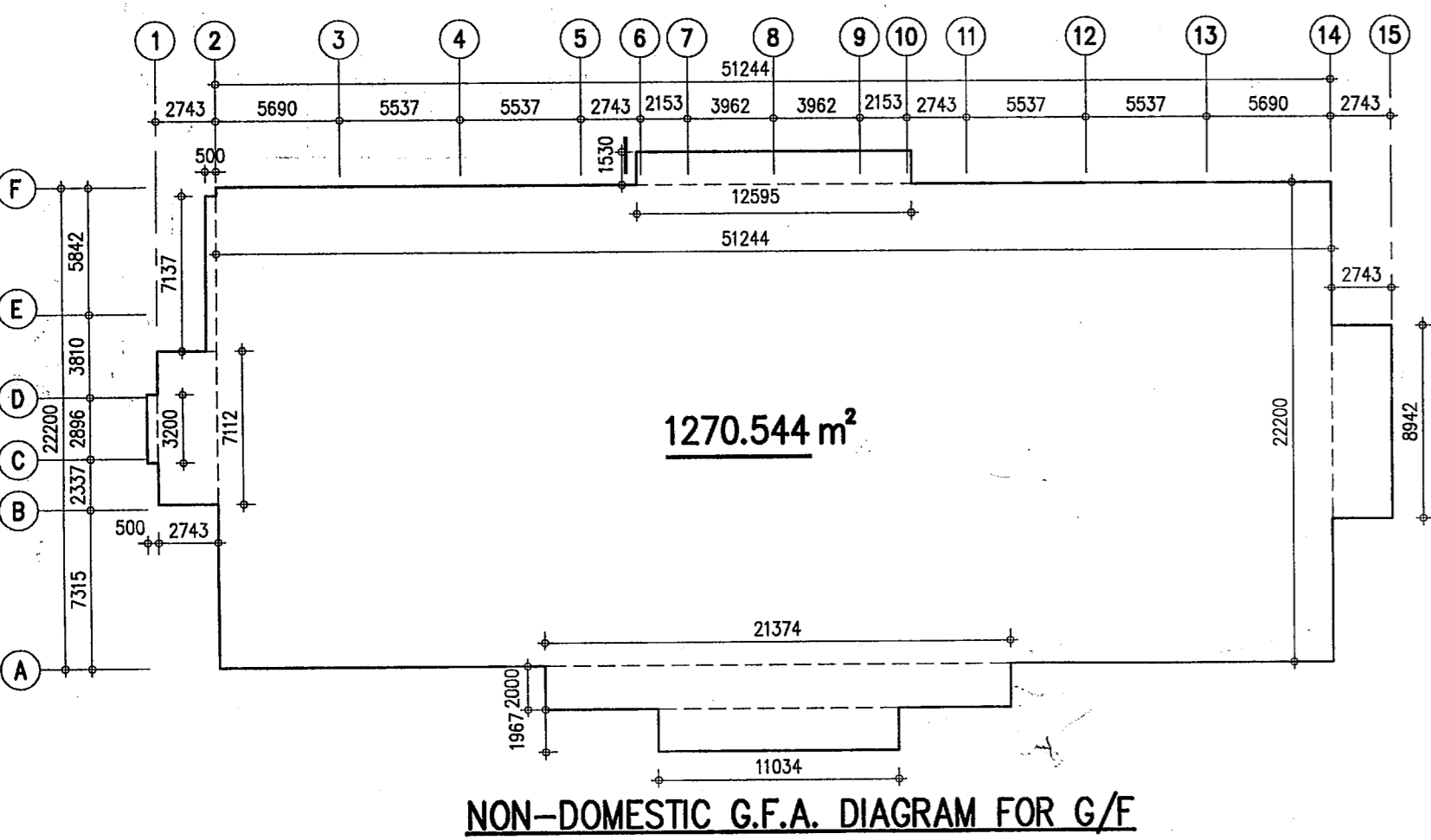
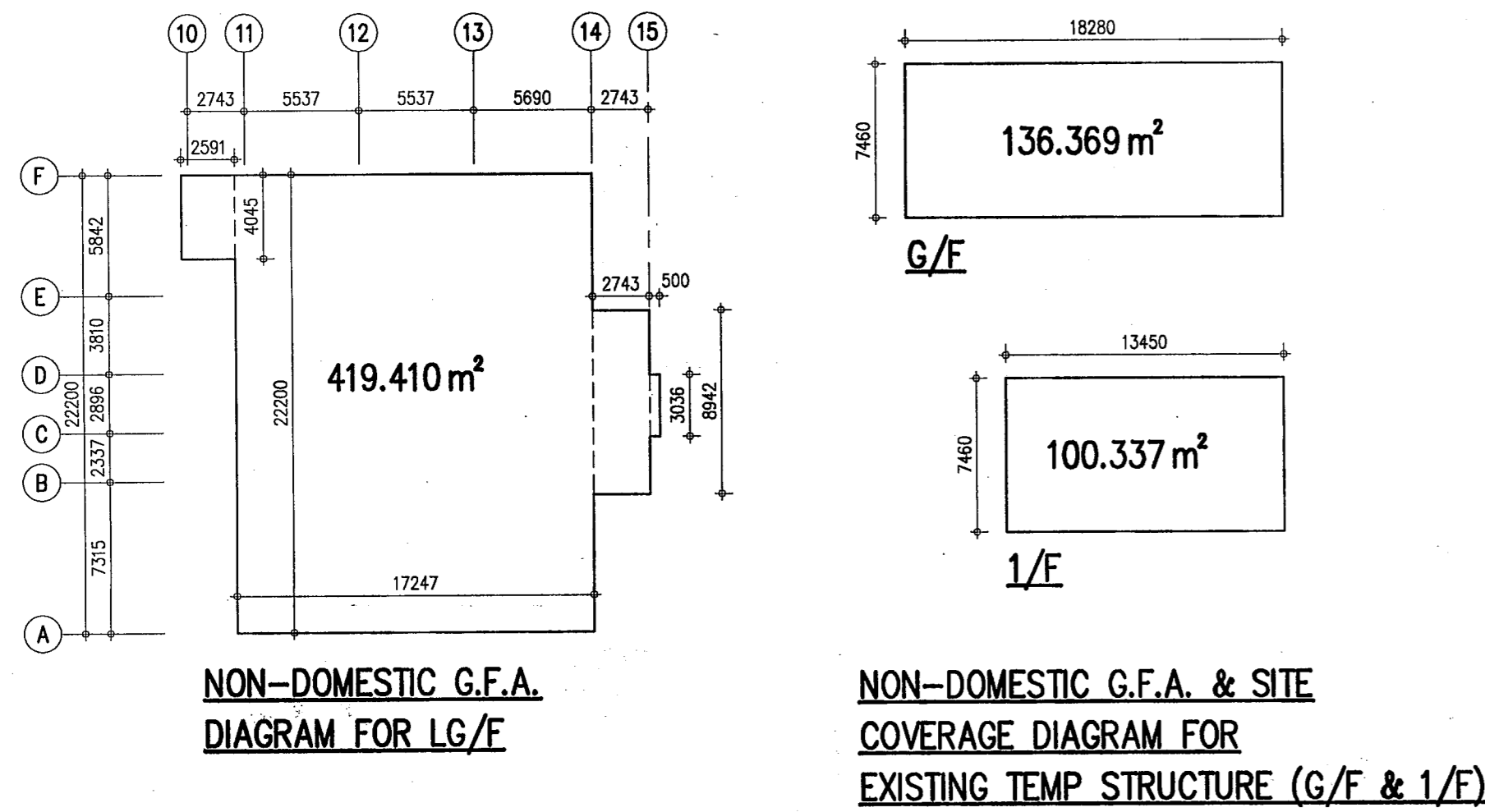
**TYPICAL DETAILS FOR STAIRCASE HANDRAIL (1:25)  
(ST-1, ST-2 AND ST-3)**

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2 P 11:37  
BUILDING DEPARTMENT

- GENERAL NOTES**
- EXCEPT OTHERWISE STATED ALL DIMENSIONS ARE IN mm AND TO BE VERIFIED ON SITE.
  - STRUCTURAL WORKS SHALL COMPLY WITH HONG KONG BUILDING (CONSTRUCTION) REGULATIONS 1980, DESIGN OF STRUCTURAL ELEMENTS SHALL BE IN ACCORDANCE WITH 'THE STRUCTURAL USE OF STEEL 2005'.
  - ALL STRUCTURAL STEEL WORKS SHALL BE GRADE S275 (Class 1) COMPLYING WITH BS EN 10025 AND BS EN 10210 FOR HOLLOW SECTION.
  - MILD STEEL BARS (DENOTED BY R) SHALL BE PLAIN ROUND GRADE 250 TO CS2:1995. ALL REINFORCEMENT SHALL BE CUT AND BENT IN ACCORDANCE WITH BS4466.
  - ALL STRUCTURAL STEEL WORKS SHALL BE HOT DIP GALVANIZED TO BS EN 10130 (MINIMUM THICKNESS TO BE 85um THICK OTHERWISE SPECIFIED).
  - ALL GALVANIZED COATING DAMAGED BY WELDING SHALL BE MADE GOOD WITH AT LEAST TWO COATS OF ZINC RICH PAINT TO BS 4652.
  - ALL WELDING SHALL BE 4 mm ALL ROUND FILLET WELD COMPLYING WITH BS EN 1011-2 AND ELECTRODE SHALL COMPLY WITH BS EN 2380 EXCEPT OTHERWISE SPECIFIED. ALL WELD STRENGTH SHALL BE 220 N/mm.
  - HORIZONTAL IMPOSED LOADS ON HANDRAIL:

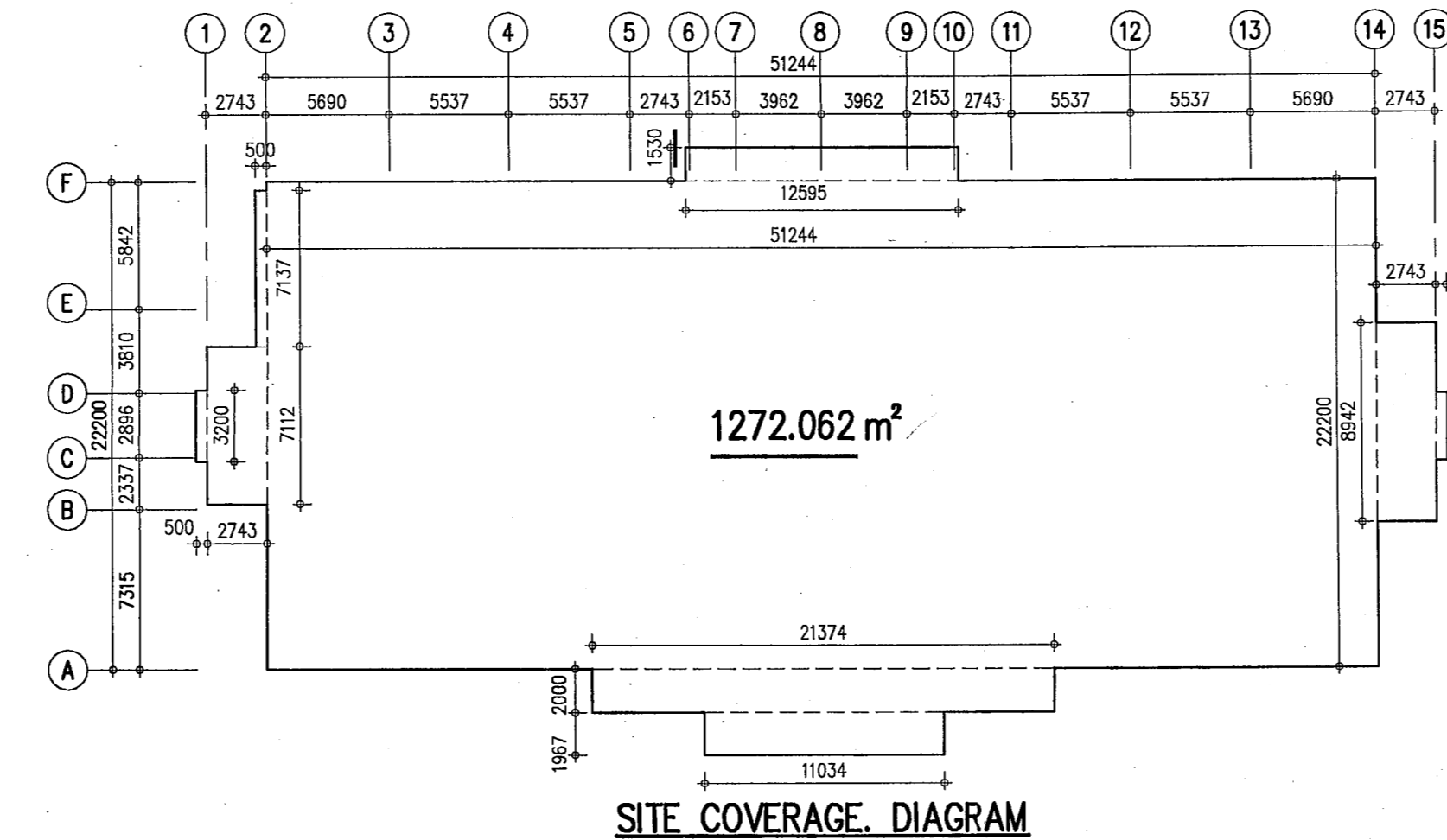
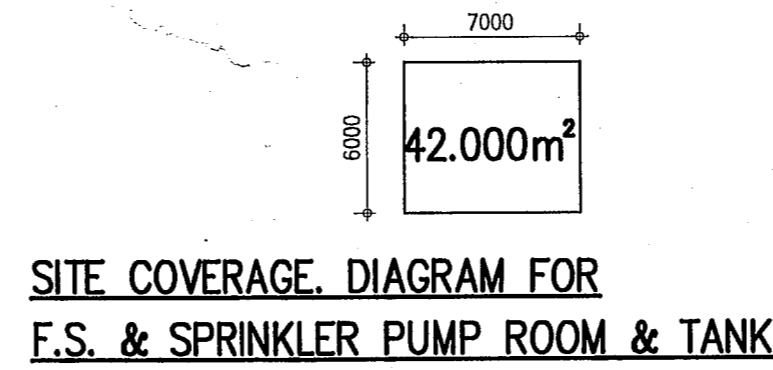
UNIFORMLY DISTRIBUTED LOAD APPLIED AT 1.1m ABOVE FLOOR (kN/m RUN)	UNIFORMLY DISTRIBUTED LOAD APPLIED BETWEEN FLOOR AND TOP RAIL (kPa)	CONCENTRATED LOAD APPLIED ON ANY PART OF THE INFILL BETWEEN FLOOR AND TOP RAIL (kN)
0.75	1.0	0.5





**NON-DOMESTIC G.F.A. SCHEDULE**

FLOOR	NON-DOMESTIC G.F.A.	EXISTING TEMP STRUCTURE G.F.A.
LG/F	419.410 m <sup>2</sup>	
G/F	1270.544 m <sup>2</sup>	136.369 m <sup>2</sup>
1/F	1217.487 m <sup>2</sup>	100.337 m <sup>2</sup>
2/F	1198.217 m <sup>2</sup>	
3/F	1204.016 m <sup>2</sup>	
4/F	1181.653 m <sup>2</sup>	
5/F	1181.653 m <sup>2</sup>	
TOTAL	7909.686 m <sup>2</sup>	



**SITE COVERAGE AND PLOT RATIO CALCULATION**

SITE AREA = 4815.000 m<sup>2</sup>  
 CLASS OF SITE = A  
 BUILDING HEIGHT = 45.380 - 17.324 = 28.056 m

SITE COVERAGE  
 PERMITTED NON-DOMESTIC SITE COVERAGE = 85 %  
 ACTUAL COVERED AREA = NORTH KOWLOON MAGISTRACY + EXISTING TEMP STRUCTURE + F.S. & SPRINKLER PUMP ROOM & TANK = 1272.062 + 136.369 + 42.000 = 1450.431 m<sup>2</sup>  
 ACTUAL SITE COVERAGE = 1450.431 / 4815.000 = 30.123 % < 85 %

PLOT RATIO  
 PERMITTED NON-DOMESTIC PLOT RATIO = 8.5  
 ACTUAL NON-DOMESTIC G.F.A. = 7909.686 m<sup>2</sup>  
 ACTUAL NON-DOMESTIC PLOT RATIO = 7909.686 / 4815.000 = 1.643 < 8.5

B.D. REF.	B.D.	22-3	3021	09(HU)PTII
F.S.D. REF.	FPB			
W.V.O. REF.				
NOTES:	DO NOT SCALE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR. ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.			
NO.	REVISIONS	DATE	DRAWN BY	CHECK BY

FOR B.D. USE ONLY

D	BD 7TH AMENDMENT	16.7.10	R.M.	W.T.
	BD 5TH AMENDMENT APPROVED	10.5.10		
C	BD 5TH AMENDMENT	12.04.10	R.M.	W.T.
	BD 4TH AMENDMENT APPROVED	10.02.10		
B	BD 4TH AMENDMENT	15.01.10	KAN	W.T.
	BD 1ST AMENDMENT APPROVED	13.8.09		
A	BD 1ST AMENDMENT	17.7.09	KAN	W.T.
	SUBMISSION APPROVED	6.6.09		

Plan Approved

*YIM Yuen-ling*

YIM Yuen-ling  
Senior Building Surveyor  
for BUILDING AUTHORITY

16 AUG 2010

Plan Approved

*YIM Yuen-ling*

YIM Yuen-ling  
Senior Building Surveyor  
for BUILDING AUTHORITY

16 AUG 2010

PROJECT  
 NORTH KOWLOON MAGISTRACY  
 NEW SCAD CAMPUS  
 292 TAI PO ROAD, KLN

DRAWING TITLE  
 CALCULATIONS ( SITE COVERAGE ,  
 PLOT RATIO & COMPARTMENTATION )

DRAWN	R.M.	
CHECKED	E.Y.	
APPROVED	W.T.	
DATE	4 MAY 09	
SCALE	1:300 (A1)	
JOB NO.	DRAWING NO.	REV.
09002	G-17	D

**LCK ARCHITECTS LTD**  
 林陳簡建築師有限公司

*VICTOR CHAN*  
 VICTOR CHAN  
 陳偉仁建築師

The works shown on these plans in respect of the consent is applied for the purpose of Fast Track consent application under regulation 33 of the (Amendment) Regulations

**COMPARTMENTATION CALCULATIONS**

FLOOR	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
5/F	1181.653 x 3.66 = 4324.850 m <sup>2</sup>	TOTAL VOLUME OF COMPARTMENT = 26548.066 m <sup>3</sup> < 28000 m <sup>3</sup>
4/F	1181.653 x 3.66 = 4324.850 m <sup>2</sup>	
3/F	1204.016 x 3.66 = 4406.699 m <sup>2</sup>	
2/F	1198.217 x 3.66 = 4385.474 m <sup>2</sup>	
1/F	1217.487 x 3.66 = 4456.002 m <sup>2</sup>	
G/F	1270.544 x 3.66 = 4650.191 m <sup>2</sup>	

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## 附錄 VII

用地及建築物相片



相片編號：1  
前北九龍裁判法院



相片編號：2  
正立面/西面立面



相片編號：3  
北面立面



相片編號：4  
東面立面



相片編號：5  
南面及東面立面



相片編號：6  
一對開放式大樓梯



相片編號：7  
臨時構築物



相片編號：8  
臨時存放處



相片編號：9

消防與花灑泵房及水缸



相片編號：10

北面露天前庭



相片編號：11  
南面露天前庭



相片編號：12  
北面車輛通道



相片編號：13  
南面車輛通道



相片編號：14  
北面入口





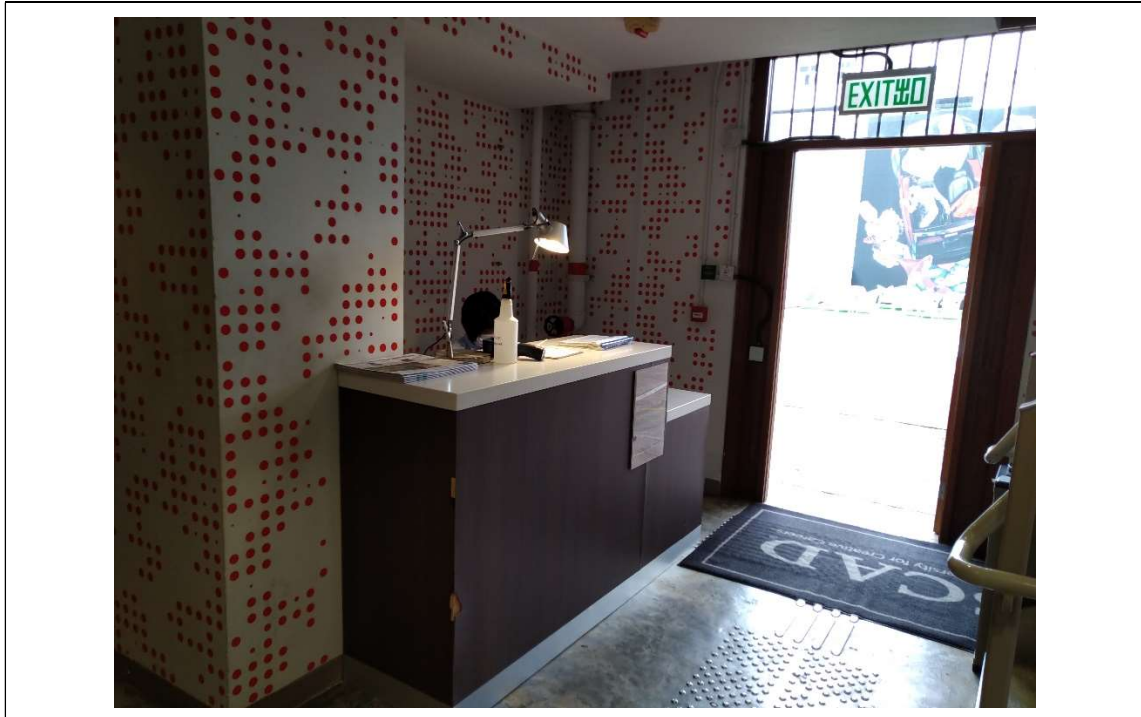
相片編號：15

南面入口



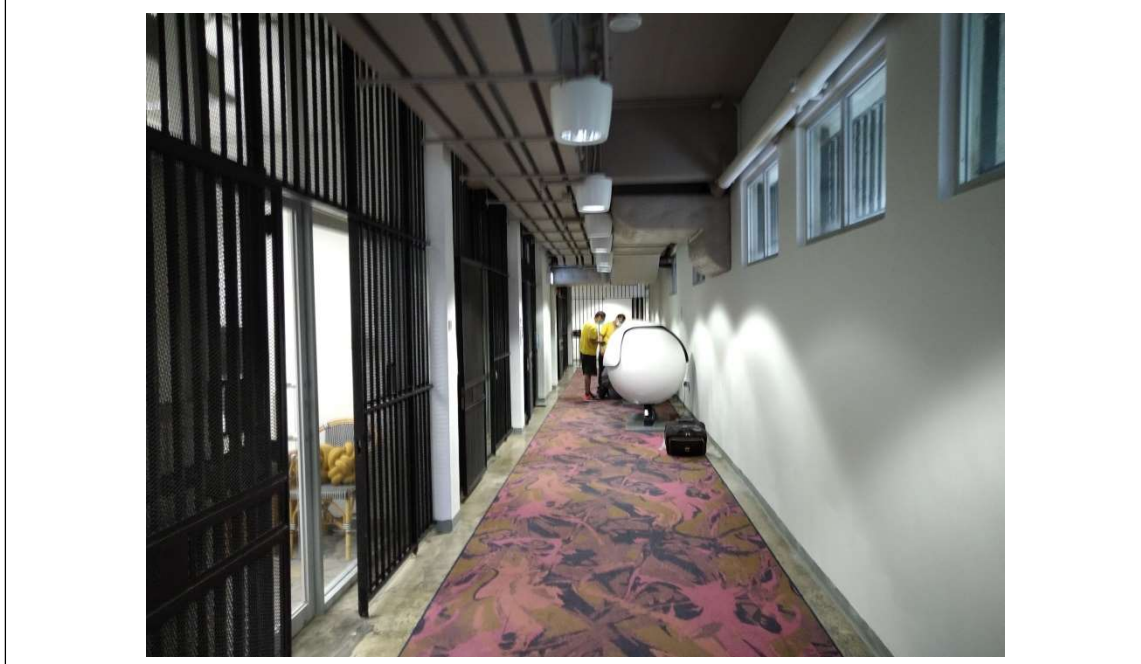
相片編號：16

地下低層(LG/F)升降機大堂



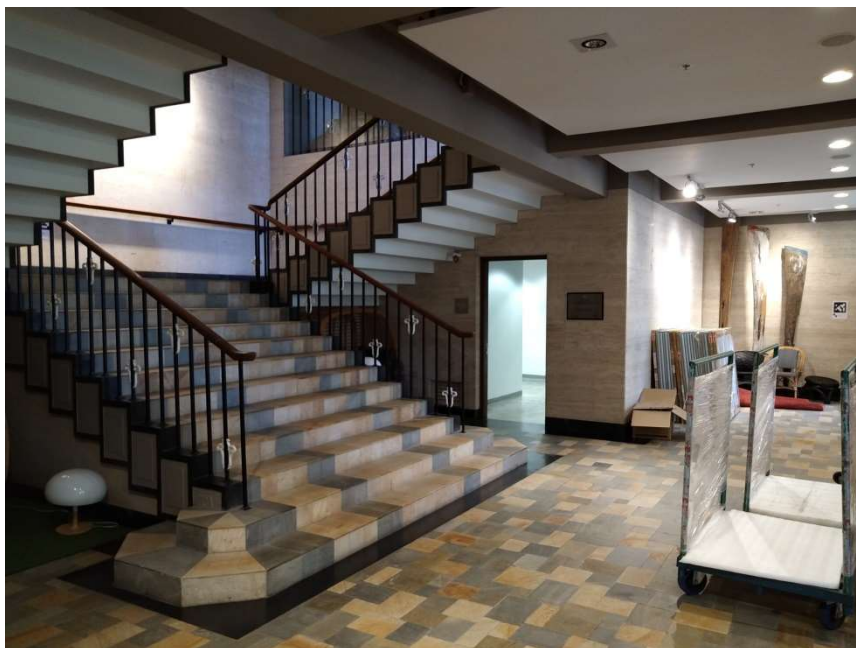
相片編號：17

地下低層(LG/F)大堂



相片編號：18

地下(G/F)走廊 (舊羈留室走廊)



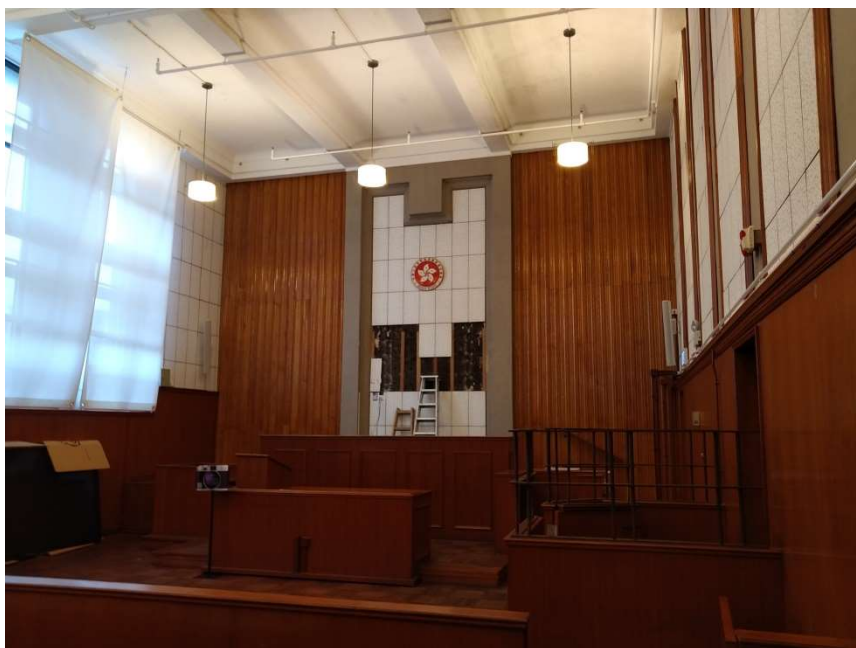
相片編號：19  
地下(G/F)入口大堂



相片編號：20  
一樓(1/F)中央大堂



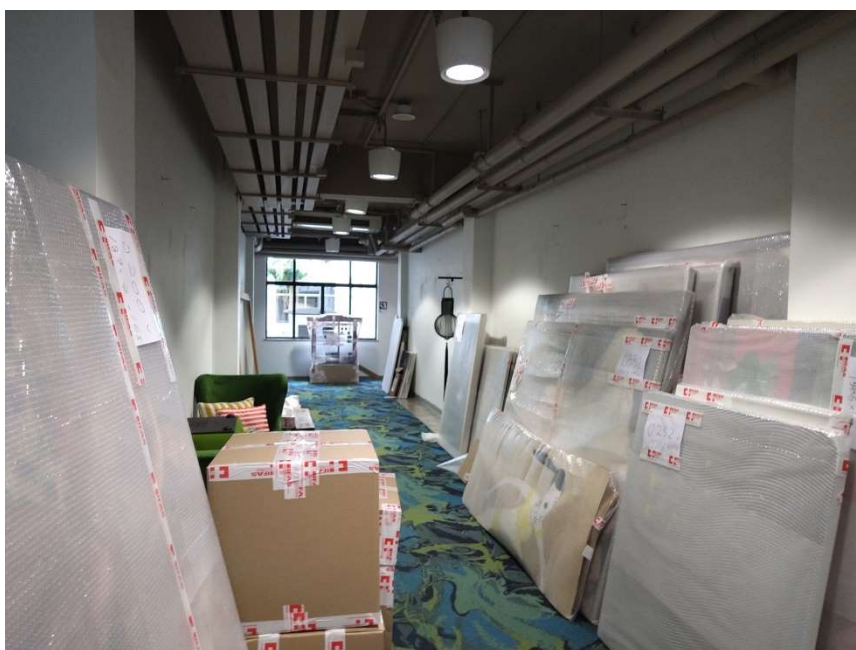
相片編號：21  
一樓(1/F)課室



相片編號：22  
二樓(2/F)獲保存的第一法庭 / 演講廳 (獲保存的第一法庭)



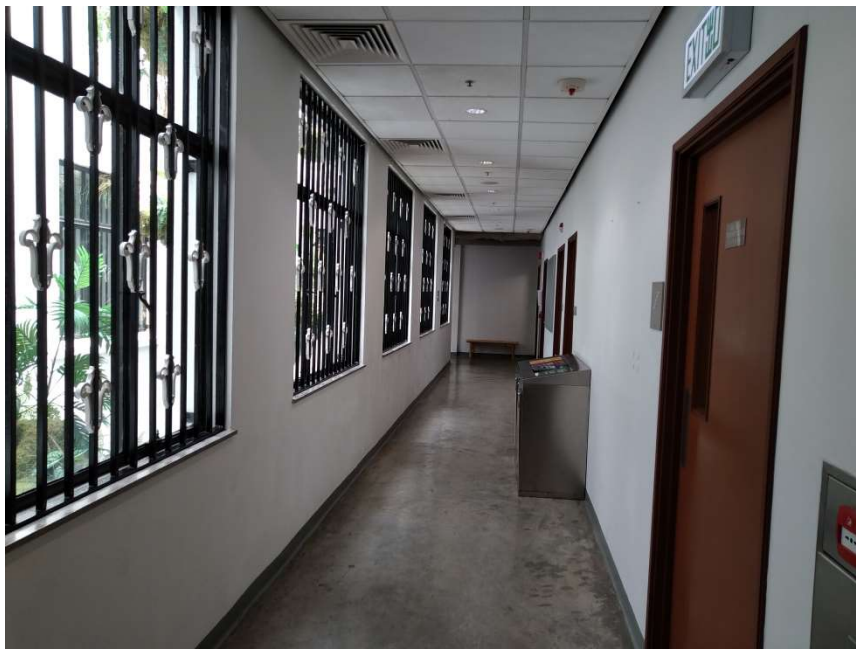
相片編號：23  
二樓(2/F)課室



相片編號：24  
三樓(3/F)走廊



相片編號：25  
三樓(3/F)中央天井



相片編號：26  
四樓(4/F)走廊



相片編號：27  
五樓(5/F)課室



相片編號：28  
五樓(5/F)攝影工作室



相片編號：29  
五樓(5/F)洗手間



相片編號：30  
五樓(5/F)鮮風櫃房





相片編號 : 31

天台(R/F)

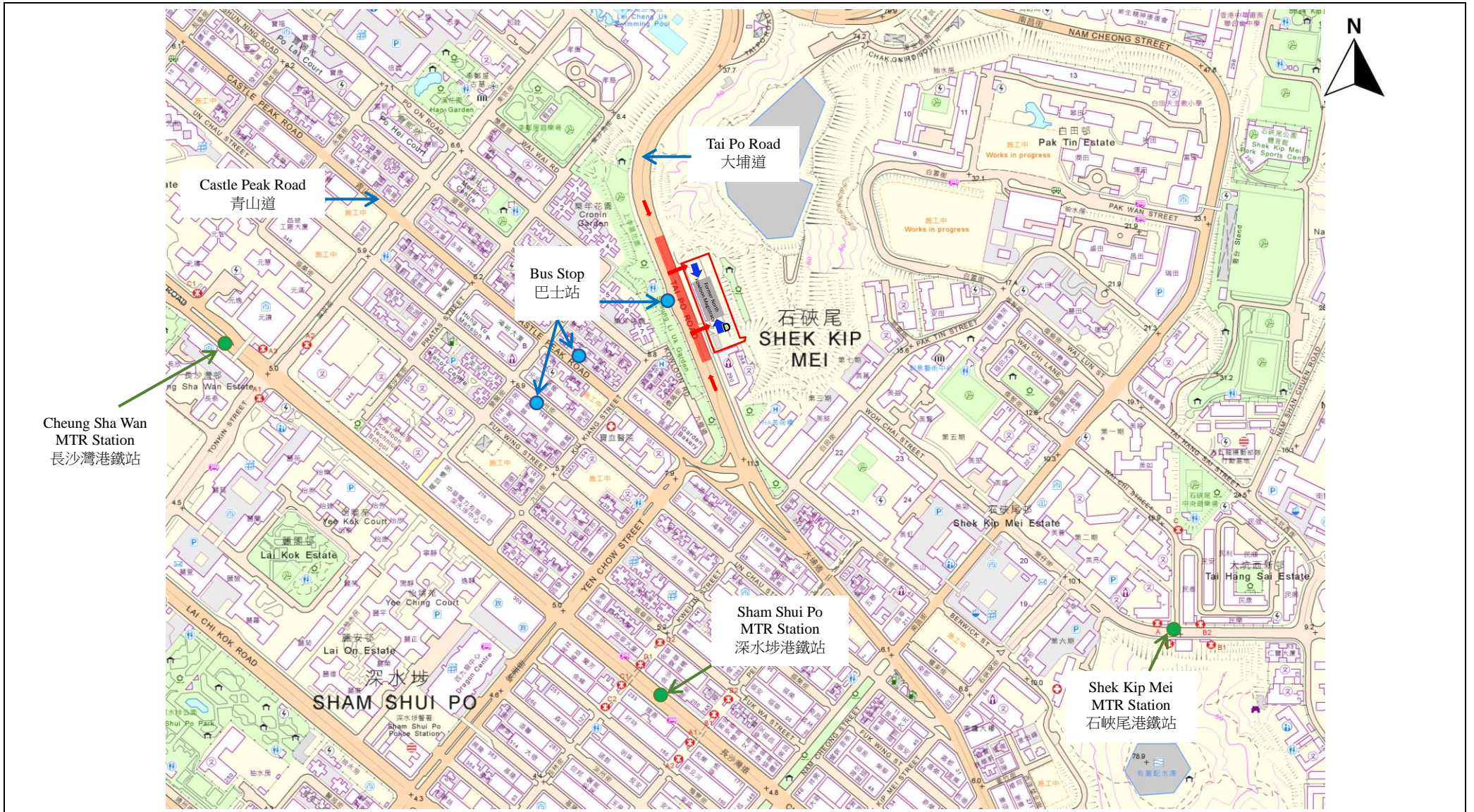


相片編號 : 32

天台(R/F)升降機裝置的玻璃圍封

附錄 VIII

前往途徑圖則



- 用地界線
- 緊急車輛通道
- ↑ 行人前往途徑
- ↑ 車輛前往途徑
- ↑ 暢通無阻的通道

根據第 11-NW-B 號測量地圖繪製

前北九龍裁判法院

附錄 VIII

前往途徑圖則

不按比例

附錄IX

須予保存的建築特色一覽表

# 前北九龍裁判法院 須予保存的建築特色一覽表

## 1. 室外用地

項目	建築特色
1.1	<p data-bbox="316 461 576 495"><u>布局／四周範圍</u></p> <p data-bbox="316 501 1481 577">整體地勢較高，現有的車輛出入通道面向大埔道，通往用地南面露天前庭和北面露天前庭。</p> <div data-bbox="539 640 1339 1037"></div> <p data-bbox="667 1055 1209 1088">通往用地北面露天前庭的車輛出入通道</p> <div data-bbox="534 1104 1343 1608"></div> <p data-bbox="667 1626 1209 1659">通往用地南面露天前庭的車輛出入通道</p>

項目

建築特色

1.2

護土構築物

現有面向大埔道的護土構築物及其形成的平台或基座。南面露天前庭入口處現有的自然景觀連成齡樹。北面露天前庭的石護牆。沿地下低層(LG/F)一對對稱大樓梯北面建造的簡單琢石鑲面護土牆。



南面露天前庭入口處的護土構築物連成齡樹



北面露天前庭的石護牆



沿地下低層(LG/F)北面建造的簡單琢石鑲面護土牆

項目

建築特色

1.3

面向大埔道的行人路面層休憩空間

車輛出入通道與中央一對大樓梯之間面向大埔道的行人路面層休憩空間。



中央一對大樓梯南面的休憩空間



中央一對大樓梯北面的休憩空間

項目

建築特色

1.4

歷史建築的南面露天前庭和北面露天前庭

南面露天前庭設有停車場連附屬設施，例如消防泵房及貯水箱、空調系統冷卻塔、臨時存放處及臨時構築物，由面向大埔道的金屬圍欄及車輛出入閘門圍起。

北面露天前庭設有停車場，由面向大埔道的石護牆及車輛出入閘門圍起。



南面露天前庭



北面露天前庭



## 2. 主樓—外部

項目	建築特色
2.1	<p><u>建築物外立面</u> 建築物所有外立面，包括設計對稱的正立面及側立面連中央向外伸展的開間；設計對稱的前後立面連一系列以垂直支柱隔開的窄長形窗戶；所有原有的窗戶及門口；所有石造部分、方琢石、槽紋粉飾灰泥及裝飾瓷磚等；地下(G/F)橫向的帶層及所有橫向凸出的屋簷。</p>
	 <p data-bbox="549 1061 676 1093">西面立面</p>  <p data-bbox="1134 1061 1262 1093">東面立面</p>
	 <p data-bbox="549 1653 676 1684">南面立面</p>  <p data-bbox="1134 1653 1262 1684">北面立面</p>

項目	建築特色
2.2	<p><u>平屋頂</u> 公眾不能到達的平屋頂連凸出的屋簷、天台地磚、排水明渠及天台進出口。</p>
	<div data-bbox="438 392 1364 712" data-label="Image"> </div> <p data-bbox="790 714 1013 745">凸出的屋頂簷篷</p> <div data-bbox="427 772 1375 1059" data-label="Image"> </div> <p data-bbox="821 1061 981 1093">露天平屋頂</p>

項目	建築特色
2.3	<p><u>西面立面中央開間上的銅字</u> 位於四樓(4/F)外伸開間中央的琢石鑲面支撐牆牆板上的原有中英文銅字(NORTH KOWLOON MAGISTRACY 及 北九龍裁判法院)。</p>
	<div data-bbox="327 1435 1476 1693" data-label="Image"> </div> <div data-bbox="494 1727 1305 2007" data-label="Image"> </div>

項目

建築特色

2.4

四樓(4/F)的平頂平台

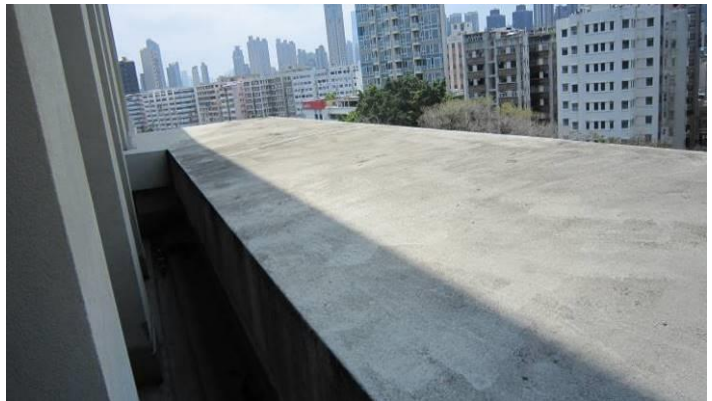
中央外伸開間的平頂平台，包括外伸的地台、實心護牆連深屋簷頂板、屋簷頂板底部的簷楣飾線、地台飾面、法式門門檻、牆腳線及排水明渠。



四樓(4/F)平頂平台連實心護牆



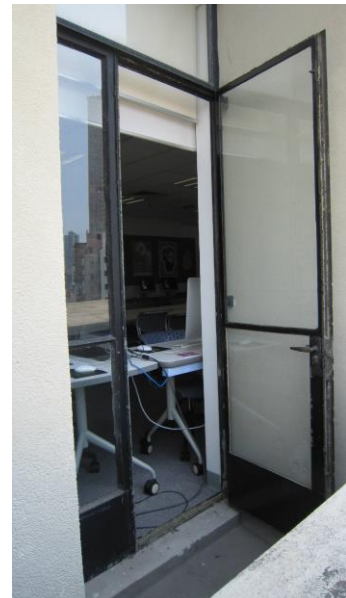
平頂平台連排水明渠



實心護牆連深屋簷頂板



屋簷頂板底部的簷楣飾線



法式鋼門連門檻

項目

建築特色

2.5

三樓(3/F)露台

一個半開放式的露台，包括支柱、頂板、裝飾鐵製扶欄、馬賽克地磚飾面、排水明渠、牆腳線及外伸的地台。



項目	建築特色
2.6	<p>正門入口上的簷篷連旗杆 外伸的混凝土深簷篷，包括倒置的樑板結構及排水明渠，以及固定在混凝土基座上的原有金屬旗杆。</p>
	

項目

建築特色


2.7

一對對稱的大樓梯

一對對稱的轉角開放式大樓梯，由多級花崗石石級(包括街道地面三個花崗石石級)、花崗石樓梯平台、帶層裝飾、梯底位和裝飾鐵製扶欄所組成，從街道地面一直通往建築物地下(G/F)的正門入口。



項目	建築特色
2.8	<p><u>扶壁</u>            在樓梯梯底位之間凸出的琢石鑲面扶壁，其石造部分有槽紋或凹入接縫，上有建築物名稱的模製石碑則置於凹入的牆板上。</p>
	

項目	建築特色
2.9	<p><u>石碑</u>            石碑置於凸出的琢石鑲面扶壁上，碑上有中英文銅字 (NORTH KOWLOON MAGISTRACY 及 北九龍裁判法院).</p>
	

項目	建築特色
2.10	<p><u>正門入口的銅門框及銅門</u>            正門入口的大門，包括置於附有飾線的銅門框和附有飾線的框緣上的飾釘格板雙開銅門，連全套門柄、門、鎖及鉸。</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="603 1043 663 1070">外觀</p> </div> <div style="text-align: center;">  <p data-bbox="1155 1043 1216 1070">內觀</p> </div> </div>

項目	建築特色
2.11	<p><u>入口的石門框連梯級</u>            面向南面露天前庭的石雕門框，包括附有飾線的框緣、簷楣冠頂飾線，以及花崗石門檻及梯級。            面向北面露天前庭的石雕門框，包括附有飾線的框緣及上方的琢石鑲面簷篷，以及花崗石梯級。</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="467 2009 916 2036">面向南面露天前庭的入口石門框</p> </div> <div style="text-align: center;">  <p data-bbox="1098 2009 1449 2072">面向北面露天前庭的入口石門框</p> </div> </div>



項目	建築特色
2.12	<p><u>入口木門</u>            面向南面露天前庭和北面露天前庭的入口木格板門連木框氣窗，包括門面、門框及門楣上的飾線(門扉及門框並非原件，但設計模仿舊木門。)</p>
	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="395 1070 815 1099">面向南面露天前庭的入口木門</p> </div> <div style="text-align: center;">  <p data-bbox="979 1070 1399 1099">面向北面露天前庭的入口木門</p> </div> </div>

項目	建築特色
2.13	<p><u>通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門</u>            法式鋼門開口，包括通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門及氣窗連鋼框。</p>
	<div style="display: flex; justify-content: space-around; align-items: center;">   </div>

項目

建築特色

2.14

窗口及鋼窗

所有等距的窗口，包括鋼製楣窗連外部的花崗石窗台或窗圍、五金配件及內部的水磨石窗台。



項目

建築特色

2.15

裝飾瓷磚

裝飾瓷磚，包括轉角磚及牆身磚、鋪貼在窗下牆身的凹凸坑紋磚，以及圍着鋼窗框的窗邊磚。



項目	建築特色
2.16	<p>地下(G/F)原有的車房開口 面向北面露天前庭的舊警車車房(連舊有金屬閘門)及舊裁判官車房的原有牆壁開口。</p>
	<div data-bbox="588 405 1291 831"></div> <p data-bbox="620 842 1254 875">舊警車車房(連舊有金屬閘門)原有的牆壁開口</p> <div data-bbox="580 898 1295 1294"></div> <p data-bbox="727 1296 1142 1330">舊裁判官車房原有的牆壁開口</p>

項目	建築特色
2.17	<p data-bbox="316 208 1085 286">東面立面的牆壁開口連舊鋼閘 東面立面地下低層(LG/F)的牆壁開口連舊鋼閘。</p> 

項目	建築特色
2.18	<p data-bbox="316 1225 1356 1303">牆壁開口及通花磚 牆壁開口內嵌預製通花磚，以助樓梯圍封處及外牆喉管井通風。</p> 

項目

建築特色

2.19

中央天井(三樓(3/F)、四樓(4/F)、五樓(5/F))

中央天井、抽氣扇的防護外罩連二樓(2/F)天花底部用玻璃磚砌成的固定天窗，以及鋼窗。



### 3. 主樓—內部

項目	建築特色
3.1	<p data-bbox="316 264 1204 347"><u>建築結構</u> 所有結構構件，包括支柱、橫樑、地台及天台樓板等。</p>  <p>The photograph shows a complex industrial or mechanical interior. Large, polished silver pipes with U-shaped bends are the central focus. To their left, there are green-painted pipes. The ceiling is white with visible structural beams and a network of smaller pipes and conduits. A long, rectangular fluorescent light fixture hangs from the ceiling, illuminating the scene. On the right, there are large, dark-colored cylindrical components, possibly part of a cooling or ventilation system. The overall impression is one of a well-maintained, functional mechanical space.</p>

項目

建築特色

3.2

中央大堂

地下(G/F)至二樓(2/F)的中央大堂，包括地下(G/F)的不規則圖案石地面、地下(G/F)至二樓(2/F)的雲石面牆壁連黑雲石牆腳線、中央大堂樓梯井周邊的裝飾鐵製扶欄連木扶手和金屬護杆(飾有鳶尾花圖案)，以及垂直長形窗戶的裝飾金屬扶手和護杆。



二樓(2/F)中央大堂



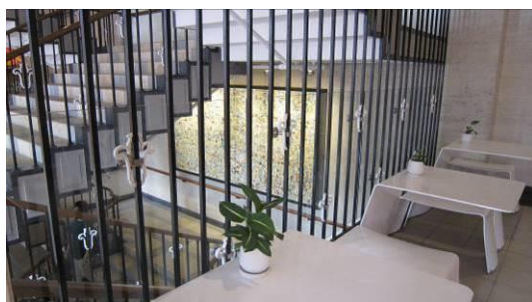
一樓(1/F)中央大堂



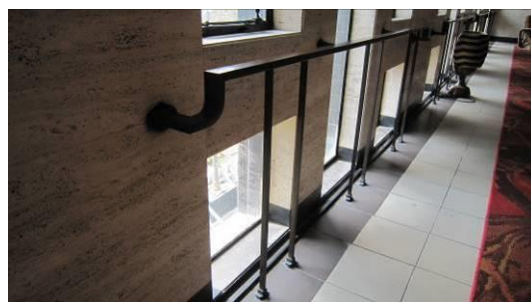
地下(G/F)中央入口大堂



地下(G/F)的不規則圖案石地面



樓梯周邊的金屬護杆



垂直長形窗戶的金屬扶手和護杆



項目

建築特色

3.3

中央樓梯

由地下(G/F)至二樓(2/F)的中央樓梯，上方設有用玻璃磚砌成的固定天窗。中央樓梯包括級面和豎板的石飾面、兩側的方形飾線、裝有木扶手的裝飾鐵製扶欄（飾有鳶尾花圖案），以及雲石面牆壁連黑雲石牆腳線。



項目

建築特色

3.4

2、3、4、5、7號舊羈留室

2、3、4、5、7號舊羈留室的存留部分，包括所有原有的間隔、金屬欄柵及格柵、所有金屬閘門連插鎖，以及所有以半身間隔板分隔的蹲廁(連白色磁磚牆身飾面及馬賽克磁磚地台飾面)。



2、3、4、5號舊羈留室的金屬欄柵、格柵及閘門



7號舊羈留室的金屬欄柵、格柵及閘門



羈留室原有的間隔



羈留室內以半身間隔板分隔的蹲廁

項目

建築特色

3.5

獲保存的6號羈留室

獲保存的6號羈留室連原有的間隔及布局，包括金屬欄柵及格柵、金屬閘門連插鎖、以半身間隔板分隔的蹲廁(連白色磁磚牆身飾面及馬賽克磁磚地台飾面)、混凝土長櫈、上漆的牆壁飾面(牆裙是灰色，牆身上方髹上白色)、牆壁上的歷史塗鴉、原有的混泥土地面，以及羈留室外面的洗手盆。



金屬欄柵、格柵、閘門及洗手盆



羈留室原有的間隔及布局



以半身間隔板分隔的蹲廁及混凝土長櫈



蹲廁的白色磁磚牆身飾面及馬賽克磁磚地台飾面



混凝土長櫈及上漆的牆壁飾面連灰色牆裙

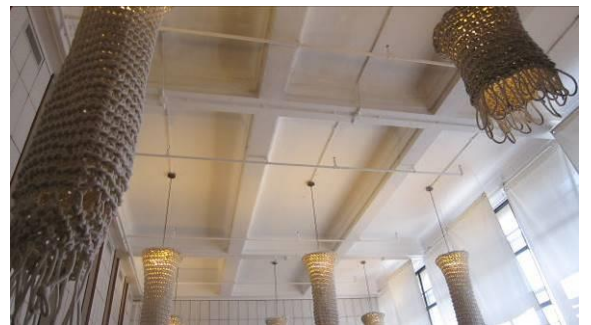
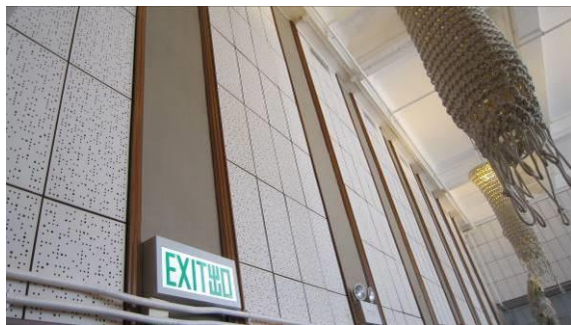


牆壁上的歷史塗鴉

項目	建築特色
3.6	<p data-bbox="316 208 703 241"><u>地下(G/F)舊羈留室走廊</u></p> <p data-bbox="316 248 1474 365">地下(G/F)舊羈留室走廊，即由舊警車車房(現有的公用地方)通往舊羈留室，以及由舊羈留室通往獲保存被告人樓梯金屬閘門的部分，包括四道金屬閘門，以及高窗口的金屬護杆。</p> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div data-bbox="331 456 903 775">  </div> <div data-bbox="932 456 1503 775">  </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <p data-bbox="411 792 820 826">舊警車車房(現有的公用地方)</p> <p data-bbox="1187 792 1310 826">舊羈留室</p> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div data-bbox="347 853 603 1305">  </div> <div data-bbox="647 853 903 1305">  </div> <div data-bbox="922 853 1177 1305">  </div> <div data-bbox="1206 853 1461 1305">  </div> </div> <p data-bbox="667 1323 1230 1357" style="text-align: center;">位於地下(G/F) 舊羈留室走廊的金屬閘門</p>

項目	建築特色
3.7	<p><u>二樓(2/F)獲保存的第一法庭</u>  獲保存的第一法庭連原有的間隔和布局，包括：</p> <ul style="list-style-type: none"> <li>i) 隔音門廊(sound lobby)連木天花、較高位置的固定玻璃嵌板及板框，以及一對木製內門(裝有鐵絲網玻璃板)及門框；</li> <li>ii) 設於梯級上的公眾席長木櫈、記者席的長木櫈，以及分隔公眾席的半身木屏障及木閘；</li> <li>iii) 犯人欄及欄柵，以及後面供犯人／被告人出入使用的木格板門及木門框；</li> <li>iv) 書記席、證人台連木椅子，以及法庭速記主任的桌子(設於較低的凸起木平台上)；</li> <li>v) 裁判官席(設於較高的凸起木平台上)、背景牆(包括兩側由樓面至天花板的護牆木板、附有飾線的框、隔音板及中央的洋紫荊牌匾、通往較高凸起木平台的木梯級及木扶手、供裁判官出入使用的木格板門及木門框；以及</li> <li>vi) 其中一面牆設有雙倍高度的鋼窗；牆上較低處的護牆木板飾面，較高處的隔音板；拼花木地板；以及天花橫樑上的飾線。</li> </ul>
	

(續上頁)



項目	建築特色
3.8	<p>二樓(2/F)舊有的第二、第三及第四法庭</p> <p>舊有第二、第三及第四法庭的間隔格局，包括兩層高的樓底高度及其中一邊為雙倍高度鋼窗的設計，以及天花橫樑上原有的飾線。</p>
	<div style="display: flex; justify-content: space-around;">   </div>
	<p>舊第二法庭(現有的工作室)</p>
	<div style="display: flex; justify-content: space-around;">   </div>
	<p>舊第三法庭(現有的課室 11 及聲效工作室)</p>
	<div style="display: flex; justify-content: space-around;">   </div>
	<p>舊第四法庭(現有的課室 12 及 13)</p>

項目

建築特色

3.9

二樓(2/F)舊法庭入口的門

舊有的第一至第四法庭原有的雙開木格板門，包括所有門框、木門楣格板連飾線、金屬標示牌及所有舊式五金配件。





項目	建築特色
3.10	<p data-bbox="316 210 655 248"><u>獲保存的被告人樓梯</u></p> <p data-bbox="316 248 1485 371">獲保存的被告人樓梯，由地下(G/F)羈留室通往獲保存的第一法庭，包括金屬閘門及金屬欄柵、白色的梯級邊緣磚、白色的瓷磚牆身飾面(至牆裙高度)，以及二樓(2/F)的玻璃磚窗。</p> <div data-bbox="456 465 778 1032">A hallway with a metal gate on the left and a wooden door on the right. The floor is polished and reflects the overhead light.</div> <div data-bbox="1038 465 1361 1032">A room with a metal gate on the left and a window on the right. The floor is polished and reflects the overhead light.</div> <div data-bbox="331 1048 903 1368">A staircase with a metal gate on the left. The walls are white and tiled, and the floor is polished.</div> <div data-bbox="1050 1048 1372 1615">A room with a metal gate on the left and framed pictures on the wall on the right. The floor is polished and reflects the overhead light.</div>

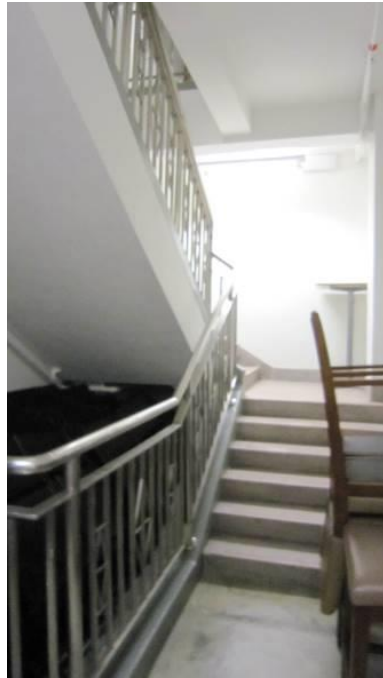
項目

建築特色

3.11

獲保存的裁判官樓梯

裁判官樓梯獲保存的部分由二樓(2/F)獲保存的第一法庭通往舊裁判官內庭坐落的三樓(3/F)，包括級面、豎板及牆腳線的馬賽克磁磚飾面及梯級邊緣磚，以及不銹鋼扶欄。



項目

建築特色

3.12

三樓(3/F)舊管道房

三樓(3/F)四個舊管道房(現有的舊管道房及儲物房)的配置，包括地台上現有的通風管道口(為下面舊法庭而設)，以及外牆的牆壁開口。



管道房 (格線 A-C)



管道房 (格線 D-F)



儲物房 (格線D-F)



儲物房 (格線A-C)

項目

建築特色

3.13

所有其他舊木格板門

除第 3.7 項及 3.9 項所述舊式格板門以外的所有其他舊木格板門，包括門框及五金配件。部分舊門已獲保留並存放起來。



項目


建築特色

3.14

所有舊金屬護杆/欄柵及閘門

所有舊金屬護杆/欄柵及閘門，包括安裝在窗戶上的，以及已獲保留並存放起來的。部分舊金屬護杆飾以鳶尾花圖案，圖案髹上白漆。



項目	建築特色
3.15	<p data-bbox="316 206 753 286">八字形灰塑天花飾線 所有八字形灰塑天花飾線。</p> <div data-bbox="347 376 865 1281"></div> <div data-bbox="932 376 1449 1281"></div>

項目

建築特色

3.16

其他獲保留的項目

所有獲保留的項目，包括現正重用、展出和存放起來的家具、設備及標示牌。





附錄 X

建築特色規定處理方法一覽表



前北九龍裁判法院  
建築特色的規定處理方法

1. 室外用地

項目	建築特色	規定處理方法
1.1	<u>布局／四周範圍</u>	<p>a. 整體升高的地勢應保持原狀。</p> <p>b. 面向大埔道，通往用地南面露天前庭和北面露天前庭的車輛出入通道，應大致保持原狀。</p> <p>c. 可考慮進行場地出入通道改善工程，惟工程必須符合法定要求，以可還原的方式進行，而且對歷史建築影響輕微，並須獲古蹟辦批准。</p>
		 <p data-bbox="651 1305 1150 1335">通往用地北面露天前庭的車輛出入通道</p>  <p data-bbox="651 1841 1150 1870">通往用地南面露天前庭的車輛出入通道</p>

項目	建築特色	規定處理方法
1.2	<u>護土構築物</u>	<ul style="list-style-type: none"> <li>a. 現有面向大埔道並由護土構築物形成的平台應保持原狀。</li> <li>b. 面向大埔道並由簡單琢石鑲面護土牆形成的地下低層(LG/F)基座應原位保存。適當地大致清潔基座，並從表面刷走和移除污漬。</li> <li>c. 南面露天前庭入口處的自然景觀連成齡樹，須盡量保留。</li> <li>d. 北面露天前庭的石護牆應原位保存。清除表面上的青苔及疏水孔的淤塞物。適當地修葺和修復石飾面。</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="608 1317 1118 1350">南面露天前庭入口處的護土構築物連成齡樹</p> </div> <div style="text-align: center;">  </div> </div> <div style="display: flex; justify-content: space-around; align-items: center; margin-top: 20px;"> <div style="text-align: center;">  <p data-bbox="405 1720 703 1753">北面露天前庭的矮石護牆</p> </div> <div style="text-align: center;">  <p data-bbox="895 1720 1406 1798">沿地下低層(LG/F)北面建造的簡單琢石鑲面 護土牆</p> </div> </div>		

項目	建築特色	規定處理方法
1.3	面向大埔道的行人路面層休憩空間	<ul style="list-style-type: none"> <li>a. 面向大埔道並原用作裁判法院泊車位的行人路面層休憩空間，應盡量保持空曠，以保留望向歷史建築地下底層(LG/F)立面的景觀。</li> <li>b. 不反對移除現有地面花槽及／或矮柱，以配合新用途。</li> <li>c. 休憩空間整體的園景設計連同鋪砌物料(如有)，應與周圍環境融合，以保存歷史建築的歷史特色，以及須獲古蹟辦批准。</li> </ul>



中央一對大樓梯南面的休憩空間



中央一對大樓梯北面的休憩空間

項目	建築特色	規定處理方法
1.4	<p><u>歷史建築的南面露天前庭和北面露天前庭</u></p>	<p>a. 歷史建築立面的景觀十分重要，應予保留。南面露天前庭和北面露天前庭應盡量保持空曠，讓市民欣賞建築物。</p> <p>b. 應保存下圖標示與歷史建築相連的南面露天前庭和北面露天前庭(「休憩空間」)，以盡量減少對建築物立面所造成的視覺影響，並保持眺望歷史建築的景觀不受遮擋。</p> <p>c. 除非得到相關部門批准繼續使用，否則應清拆下圖標示的現有兩層高臨時構築物(「臨時構築物」)。</p> <p>d. 應清拆下圖標示的現有臨時存放處(「臨時存放處」)。</p> <p>e. 露天前庭的園景設計連同鋪砌物料(如有)，應與周圍環境融合，以保存歷史建築的歷史特色，以及須獲古蹟辦批准。</p> <p>f. 可考慮更換面向大埔道的金屬圍欄及通道閘門。設計應相互配合，而且可與歷史建築區分開來，以及須獲古蹟辦批准。</p> <p>g. 可考慮更換排水明渠上蓋，惟須獲古蹟辦批准。</p>



南面露天前庭



北面露天前庭



臨時構築物



臨時存放處



休憩空間

臨時構築物

臨時存放處

## 2. 主樓—外部

項目	建築特色	規定處理方法
2.1	<u>建築物外立面</u>	<p>a. 建築物所有外立面（包括設計對稱的正立面及側立面連中央向外伸展的開間；設計對稱的前後立面連一系列以垂直支柱隔開的窄長形窗戶；所有原有的窗戶及門口；所有石造部分、方琢石、槽紋粉飾灰泥及裝飾瓷磚等；地下(G/F)橫向的帶層及所有橫向凸出的屋簷) 應原位保存。</p> <p>b. 不得在建築物立面加設新構築物、空調設備、遮篷及遮簷等。</p> <p>c. 據知曾在立面進行局部改建工程。除非有充分證據，並獲古蹟辦批准，否則不得改動或封上立面現有的開口，或在立面上增設開口。</p> <p>d. 按需要修葺破損的批盪牆身，並參照現有式樣，使用認可的方法和物料重新髹漆。</p> <p>e. 移除固定在立面上的臨時標示牌，並按需要修復。</p> <p>f. 清除表面上的所有青苔。</p>
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>西面立面</p> </div> <div style="text-align: center;">  <p>東面立面</p> </div> </div> <div style="display: flex; justify-content: space-around; align-items: center; margin-top: 20px;"> <div style="text-align: center;">  <p>南面立面</p> </div> <div style="text-align: center;">  <p>北面立面</p> </div> </div>		

項目	建築特色	規定處理方法
2.2	<u>平屋頂</u>	<ul style="list-style-type: none"> <li>a. 平屋頂連凸出的屋簷一般應保持原狀。</li> <li>b. 不得在天台加建樓層。</li> <li>c. 可考慮在天台安裝屋宇裝備、管道、喉管等，惟須把對歷史建築所造成的視覺影響減至最小。這些新裝置連相關建築屏障的安裝位置須從立面往後移，並盡量遠離立面，以及須獲古蹟辦批准。</li> <li>d. 天台加建新構築物及裝置前，均須徵詢註冊結構工程師的意見，以及獲古蹟辦批准。</li> <li>e. 按需要修葺破損的天台樓板、防水層、天台地磚等，以及進行重鋪天台工程。</li> <li>f. 清除天台表面及排水明渠上的所有青苔。</li> </ul>
 <p data-bbox="767 1104 959 1137">凸出的屋頂簷篷</p>  <p data-bbox="794 1462 932 1496">露天平屋頂</p>		

項目	建築特色	規定處理方法
2.3	<u>西面立面中央開間上的銅字</u>	<ul style="list-style-type: none"> <li>a. 四樓(4/F)外伸開間中央的琢石鑲面支撐牆牆板上原有的中英文銅字(NORTH KOWLOON MAGISTRACY 及“北九龍裁判法院”)應原位保存。</li> <li>b. 原有的銅字應予保存，供公眾欣賞，不得全面或局部遮蓋。</li> <li>c. 清洗表面的污漬及污垢。</li> </ul>
<div style="text-align: center;">     </div>		

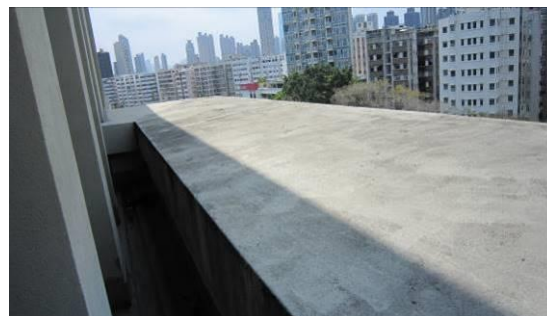
項目	建築特色	規定處理方法
2.4	四樓(4/F)的平頂平台	<ul style="list-style-type: none"> <li>a. 平頂平台應保持開放。整個平台(包括外伸的地台、實心護牆連深屋簷頂板、屋簷頂板底部的簷楣飾線、地台飾面、法式門門檻、牆腳線及排水明渠)應原位保存。</li> <li>b. 平頂平台不得全部或局部遮蓋。</li> <li>c. 不得改動平頂平台的開口，或在平頂平台上增設開口或其他永久裝置。</li> <li>d. 參照現有物料，按需要修葺破損的地台飾面、法式門門檻、牆腳線及排水明渠。</li> <li>e. 修葺實心護牆、頂板、屋簷頂板底部簷楣飾線的破損批盪。參照現有式樣，按需要重修飾面。</li> </ul>



四樓(4/F) 平頂平台連實心護牆



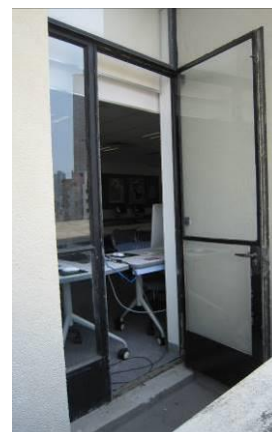
平頂平台連排水明渠



實心護牆連深屋簷頂板



屋簷頂板底部的簷楣飾線






法式鋼門連門檻




項目	建築特色	規定處理方法
2.5	<u>三樓(3/F)露台</u>	<ul style="list-style-type: none"> <li>a. 三面的露台均須保留開闊感，保持自然通風。整個露台(包括支柱、頂板、裝飾鐵製扶欄、馬賽克地磚飾面、排水明渠、牆腳線及外伸的地台)應原位保存。</li> <li>b. 露台不得全部或局部圍封。</li> <li>c. 露台範圍內不得改動或加設開口、裝設垂吊式天花板或其他永久裝置。</li> <li>d. 不得改動裝飾鐵製扶欄。清洗表面的污漬及污垢。</li> <li>e. 參照現有物料，按需要修葺破損的地磚及排水明渠。</li> <li>f. 按需要修葺牆壁及天花破損的批盪，並參照現有式樣重修飾面。</li> </ul>



項目	建築特色	規定處理方法
2.6	<u>正門入口上的 簷篷連旗杆</u>	<ul style="list-style-type: none"> <li>a. 外伸的混凝土深簷篷(包括倒置的樑板結構及排水明渠)應原位保存。</li> <li>b. 修葺簷篷破損的批盪。參照現有式樣，按需要重修飾面。</li> <li>c. 移除臨時的標示牌，按需要修復簷篷。</li> <li>d. 可考慮裝設臨時的標示牌，惟必須以可還原的方式裝設，而且不會造成不良的視覺影響，以免妨礙公眾欣賞主立面。工程須獲古蹟辦批准。</li> <li>e. 固定在混凝土基座上的原有金屬旗杆應原位保存。清洗表面的污漬及污垢。</li> </ul>
<div style="display: flex; justify-content: space-around;">   </div>		

項目	建築特色	規定處理方法
2.7	<p><u>一對對稱的大樓梯</u></p>	<p>a. 一對對稱的轉角開放式大樓梯(由多級花崗石石級(包括街道地面三個花崗石石級)、花崗石樓梯平台、帶層裝飾、梯底位和裝飾鐵製扶欄所組成，從街道地面一直通往建築物地下(G/F)的正門入口)應原位保存。</p> <p>b. 應按需要用鬃毛刷或尼龍刷以清水清洗所有花崗石面，不得使用腐蝕性化學清潔劑，亦不得在石面上塗漆。</p> <p>c. 不得改動裝飾鐵製扶欄。清洗表面的污漬及污垢。</p> <p>d. 移除臨時的標示牌，按需要修復牆身。</p>
  		

項目	建築特色	規定處理方法
2.8	扶壁	<p>a. 在樓梯梯底位之間凸出的琢石鑲面扶壁(其石造部分有槽紋或凹入接縫，上有建築物名稱的模製石碑則置於凹入的牆板上)應原位保存。</p> <p>b. 清洗表面的污漬及污垢。</p>
		

項目	建築特色	規定處理方法
2.9	石碑	<p>a. 石碑(置於凸出的琢石鑲面扶壁上，碑上有中英文銅字(NORTH KOWLOON MAGISTRACY 及 北九龍裁判法院))應原位保存。</p> <p>b. 銅字應予保存，供公眾欣賞，不得全面或局部遮蓋。</p> <p>c. 清洗表面的污漬及污垢。</p>
		

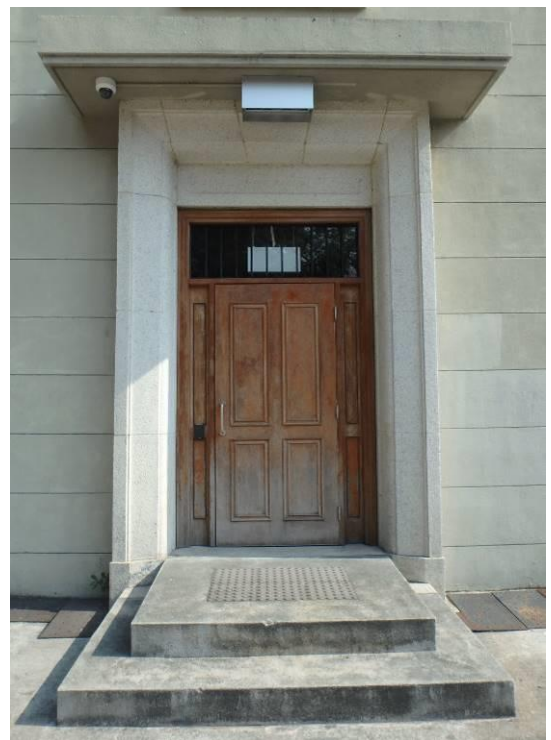
項目	建築特色	規定處理方法
2.10	<u>正門入口的銅門框及銅門</u>	<ul style="list-style-type: none"> <li>a. 正門入口的大門(包括置於附有飾線的銅門框和附有飾線的框緣上的飾釘格板雙開銅門，連全套門柄、門、鎖及鉸)應原位保存。</li> <li>b. 銅門應予保存，供公眾欣賞，不得全部或局部遮蓋。</li> <li>c. 應避免在銅門安裝新的五金配件。</li> <li>d. 應使用適當的清潔劑清洗表面的污漬及污垢。</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p data-bbox="612 1218 673 1249">外觀</p> </div> <div style="text-align: center;">  <p data-bbox="1053 1218 1114 1249">內觀</p> </div> </div>		

項目	建築特色	規定處理方法
2.11	<u>入口的石門框連梯級</u>	<ul style="list-style-type: none"> <li>a. 石雕門框(包括附有飾線的框緣、簷楣冠頂飾線、琢石鑲面簷篷，以及花崗石門檻及梯級)應原位保存。</li> <li>b. 不得改動和加大門開口。</li> <li>c. 按需要用鬃毛刷或尼龍刷以清水清洗所有石面，不得使用腐蝕性化學清潔劑。</li> <li>d. 可考慮進行入口梯級改善工程，以符合當前法定要求，惟必須以可還原的方式進行，而且須把對歷史建築所造成的視覺及實體影響減至最小，以及須獲古蹟辦批准。</li> <li>e. 擬議工程應相互配合，而且可與歷史建築區分開來。</li> </ul>
<div style="display: flex; justify-content: space-around; align-items: flex-end;"> <div style="text-align: center;">  <p data-bbox="459 1223 834 1256">面向南面露天前庭的入口石門框</p> </div> <div style="text-align: center;">  <p data-bbox="1066 1223 1361 1290">面向北面露天前庭的入口石門框</p> </div> </div>		

項目	建築特色	規定處理方法
2.12	<u>入口木門</u>	<p>a. 面向南面露天前庭和北面露天前庭的入口木門連氣窗(包括門邊框及門楣)應原位保存。</p> <p>b. 木格板門及門框(包括門面上的飾線) 雖然並非原有舊物，卻是模仿舊木門的設計重造，應在可行情況下盡量重用。</p> <p>c. 現有的五金配件為新安裝的，以符合法定要求或配合運作需要。為保安理由改動或更換五金配件，以配合運作需要，或會獲得准許，惟須獲古蹟辦批准。</p> <p>d. 不得在門口裝設空調裝置或任何相關的管道及支架，以免干擾門口和因開設開口而對門戶構成影響。</p> <p>e. 檢查木門能否正常操作和有否滲水情況，按需要修葺。</p>



面向南面露天前庭的入口木門



面向北面露天前庭的入口木門

項目	建築特色	規定處理方法
2.13	<u>通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門</u>	a. 法式鋼門開口(包括通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門及氣窗連鋼框)應原位保存。 b. 不得改動和加大門開口。 c. 檢查鋼門能否正常操作和有否滲水情況，參照現有式樣，按需要修葺和重新髹漆。 d. 應使用適當的清潔劑清洗表面的污漬及污垢。
<div style="display: flex; justify-content: space-around; align-items: center;">   </div>		



項目	建築特色	規定處理方法
2.14	<u>窗口及鋼窗</u>	<p>a. 所有等距的窗口(包括鋼製楣窗連外部的花崗石窗台或窗圍、五金配件及內部的水磨石窗台)應原位保存。</p> <p>b. 不得改建和加大窗口。</p> <p>c. 可考慮改動窗框及五金配件，包括安裝金屬百葉窗、防火閘等，以配合新用途，惟須獲古蹟辦批准。</p> <p>d. 部分現有的窗戶曾作改動以符合法定要求或配合運作需要。研究窗戶原本的設計，假如經改動的窗戶未能配合新用途，應把窗戶修復到原來的設計。</p> <p>e. 拆下所有窗口式空調裝置或固定在窗框上的棄用屋宇裝備，參照原有設計修復窗框及／或玻璃。</p> <p>f. 參照現有物料，按需要修補現有窗台上的裂縫。</p> <p>g. 應使用適當的清潔劑清洗表面的污漬及污垢。</p> <p>h. 檢查窗戶能否正常操作和有否滲水情況，參照現有式樣，按需要修葺和重新髹漆。</p>
		

項目	建築特色	規定處理方法
2.15	<u>裝飾瓷磚</u>	a. 裝飾瓷磚(包括轉角磚及牆身磚、鋪貼在窗下牆身的凹凸坑紋磚，以及圍着鋼窗框的窗邊磚)應原位保存。 b. 不得遮蓋裝飾瓷磚。 c. 只有當裝飾瓷磚已損毀至無法修葺時，才可小心地移除，並換上顏色相配的瓷磚。



項目	建築特色	規定處理方法
2.16	<u>地下(G/F)原有的車房開口</u>	<ul style="list-style-type: none"> <li>a. 面向北面露天前庭的舊警車車房(連舊有金屬閘門)及舊裁判官車房的原有牆壁開口，應原位保存。</li> <li>b. 不得改動開口。</li> <li>c. 檢查舊有金屬閘門能否正常操作，參照現有式樣，按需要修葺。</li> <li>d. 裁判官車房裝有玻璃牆以把車房改作室內空間。如玻璃牆未能配合新用途，不反對把玻璃牆拆除。如能保持現有透明度，則改動或更換玻璃牆以配合運作需要，或會獲得准許，惟須獲古蹟辦批准。</li> </ul>



舊警車車房(連舊有金屬閘門)原有的牆壁開口



舊裁判官車房原有的牆壁開口

項目	建築特色	規定處理方法
2.17	<u>東面立面的牆壁開口連舊鋼閘</u>	<ul style="list-style-type: none"> <li>a. 東面立面地下低層(LG/F)的牆壁開口連舊鋼閘應原位保存。</li> <li>b. 檢查舊鋼閘能否正常操作，參照現有式樣，按需要修葺和重新髹漆。</li> </ul>
		

項目	建築特色	規定處理方法
2.18	<u>牆壁開口及通花磚</u>	<ul style="list-style-type: none"> <li>a. 牆壁開口連內嵌預製通花磚(有助樓梯圍封處及外牆喉管井通風)應原位保存。</li> <li>b. 不得填滿通花磚所砌的圖案。</li> <li>c. 部分牆壁開口從內部圍封，以符合法定要求或配合運作需要。可考慮從內部圍封牆壁開口，惟必須以可還原的方式進行，並須獲古蹟辦批准。</li> </ul>
		

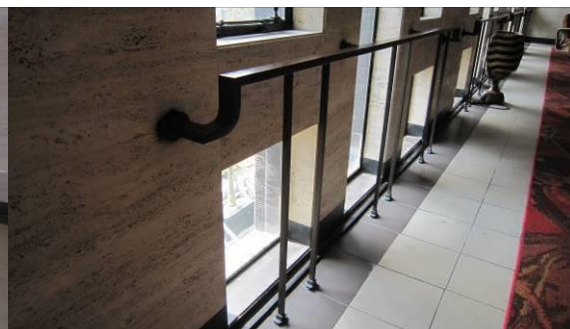
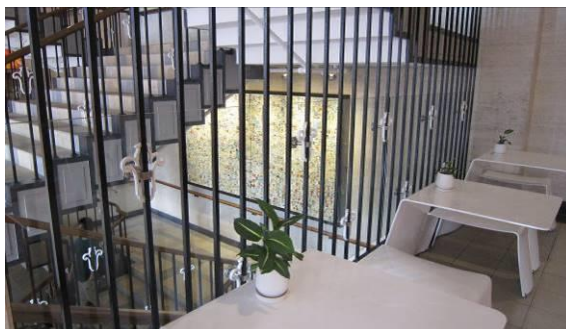
項目	建築特色	規定處理方法
2.19	<u>中央天井(三樓(3/F)、四樓(4/F)、五樓(5/F))</u>	<p>a. 中央天井、抽氣扇的防護外罩連二樓(2/F)天花底部用玻璃磚砌成的固定天窗，以及鋼窗，應原位保存。</p> <p>b. 為配合運作需要，中央天井以天窗為頂蓋。如可保留自然日光環境，可考慮遮蓋中央天井，惟須獲古蹟辦批准。</p> <p>c. 按需要維修和修復二樓(2/F)天花底部用玻璃磚砌成的固定天窗，並修正漏水情況。只有當玻璃磚已損毀至無法修葺時，才可小心地移除，並換上物料相配的磚。</p>



### 3. 主樓一內部

項目	建築特色	規定處理方法
3.1	<u>建築結構</u>	<p>a. 所有結構構件(包括支柱、橫樑、地台及天台樓板等)應在可行情況下盡量保持原狀。</p> <p>b. 應重用現有的逃生樓梯 (ST-1、ST-2及 ST-3)，以及無障礙通道(包括暢通易達升降機(LT-1) )，以免大幅改動結構構件。</p> <p>c. 除(b)點外，須研究原本的布局及結構，在可行情況下盡量移除後加的構築物，從而恢復原狀，以配合新用途，惟須獲古蹟辦批准。</p> <p>d. 可考慮按設計規定及法定要求而以可還原方式改善屋宇裝備的走線及一般通道。有關在結構構件上鑽孔或加設開口或改動現有開口的設計，須先徵詢註冊結構工程師的意見，並獲古蹟辦批准。</p> <p>e. 按需要修補所有剝落的混凝土以及其他欠妥之處。</p> <p>f. 可考慮進行加固工程，以符合法定要求，惟須先徵詢註冊結構工程師的意見，並獲古蹟辦批准。不過，應在可行情況下盡量避免在二樓(2/F)舊有的第一至第四法庭、地下(G/F)舊羈留室、地下(G/F)至二樓(2/F)中央大堂獲保存的地方、獲保存的被告人樓梯及獲保存的裁判官樓梯進行加固或重建工程。</p>
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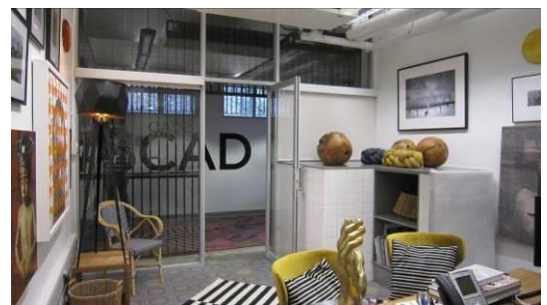
項目	建築特色	規定處理方法
3.2	<u>中央大堂</u>	<p>a. 曾於1970年代經改動的地下(G/F)入口大堂間隔格局，應修復至原來的對稱設計。一樓(1/F)至二樓(2/F)的中央大堂應保持原狀。除非獲古蹟辦批准，否則不得在牆壁上加設開口。</p> <p>b. 地下(G/F)的不規則圖案石地面及地下(G/F)至二樓(2/F)的雲石面牆壁連黑雲石牆腳線，應原位保存。參照現有式樣，按需要清潔和修葺石地面及雲石面牆壁連牆腳線。</p> <p>c. 中央大堂樓梯井周邊的裝飾鐵製扶欄連木扶手和金屬護杆，以及垂直長形窗戶的裝飾金屬扶手和護杆，應原位保存。參照現有式樣，按需要清潔和修葺鐵製及木製部分，並為其重新髹漆。</p> <p>d. 為符合法定要求而為扶欄及金屬護杆後加的玻璃屏障，應在可行情況下盡量重用。</p> <p>e. 垂吊式天花板的設計應可讓天花橫樑的飾線細節及窗戶廓線全部外露，不受影響。</p>



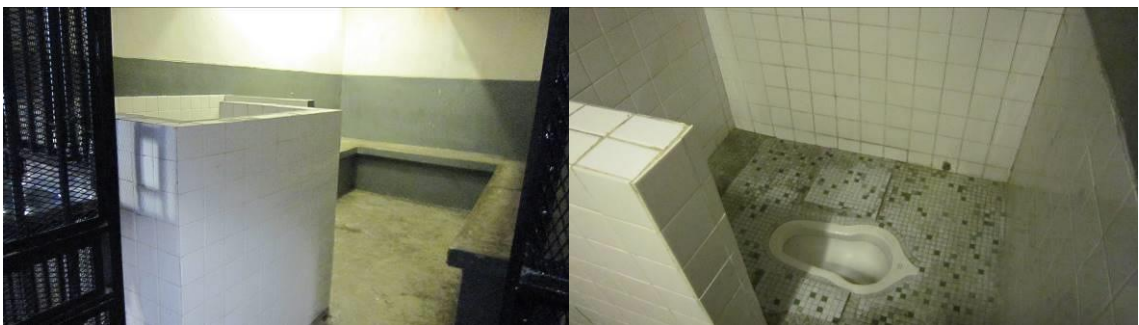
項目	建築特色	規定處理方法
3.3	中央樓梯	<p>a. 由地下(G/F)至二樓(2/F)的中央樓梯(包括級面和豎板的石飾面、兩側的方形飾線、裝有木扶手的裝飾鐵製扶欄(飾有鳶尾花圖案))應原位保存。</p> <p>b. 參照現有式樣，按需要修葺和重新批盪樓梯(包括鐵製及木製部分)，並為其重新髹漆。</p> <p>c. 應在可行情況下盡量避免為符合法定要求而為現有扶手及扶欄進行改善工程，惟須獲建築事務監督批准。假如必須進行改善工程，改裝工程須以可還原方式進行。設計應可與現有扶手及扶欄區分開來，但又能相互配合，並獲古蹟辦批准。</p> <p>d. 雲石面牆壁連黑雲石牆腳線應原位保存。按需要清潔和修葺。</p> <p>e. 不要遮蓋二樓(2/F)天花用玻璃磚砌成的固定天窗。</p>
		




項目	建築特色	規定處理方法
3.4	2、3、4、5、7號 <u>舊羈留室</u>	<p>a. 2、3、4、5、7號舊羈留室的存留部分(包括所有原有的間隔、金屬欄柵及格柵、所有金屬閘門連插鎖，以及所有以半身間隔板分隔的蹲廁(連白色磁磚牆身飾面及馬賽克磁磚地台飾面))應原位保存。</p> <p>b. 參照現有式樣，按需要清潔和修葺鐵製部分及磁磚飾面。</p> <p>c. 不反對重用後加的玻璃間隔板及玻璃門。除非進行修復工程和獲古蹟辦批准，否則不得改動現有牆壁或加建間隔板，並須先徵詢註冊結構工程師的意見。</p> <p>d. 在可行情況下盡量重用牆壁、金屬欄柵及格柵上現有的開口接駁屋宇裝備。如須改動牆壁、金屬欄柵及格柵上現有的開口或在其上加設開口，須獲古蹟辦批准。</p> <p>e. 可考慮以可還原方式遮蓋以半身間隔板分隔的蹲廁，惟須獲古蹟辦批准。</p>



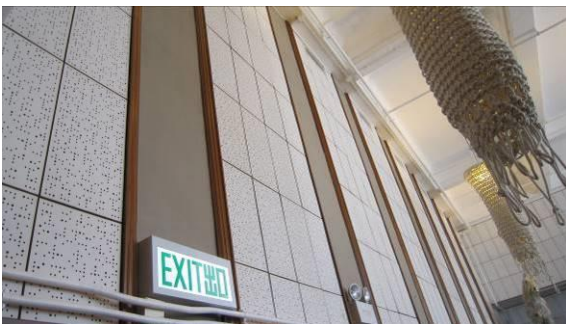
項目	建築特色	規定處理方法
3.5	獲保存的6號羈留室	<p>a. 獲保存的6號羈留室連原有的間隔及布局(包括金屬欄柵及格柵、金屬閘門連插鎖、以半身間隔板分隔的蹲廁(連白色磁磚牆身飾面及馬賽克磁磚地台飾面)、混凝土長檯、上漆的牆壁飾面(牆裙是灰色，牆身上方髹上白色)、牆壁上的歷史塗鴉、原有的混泥土地面，以及羈留室外面的洗手盆)應原位保存。</p> <p>b. 參照現有式樣，按需要清潔和修葺鐵製部分及磁磚飾面。</p> <p>c. 參照現有色調，按需要為牆壁及混凝土長檯重新髹漆。小心移除牆上的新塗鴉，並避免損毀歷史塗鴉。</p> <p>d. 在可行情況下盡量重用牆壁上現有的開口、通風管道、照明裝置及消防裝置。如須改動牆壁、金屬欄柵及格柵上現有的開口或在其上加設開口，須獲古蹟辦批准。</p>



項目	建築特色	規定處理方法
3.6	<u>地下(G/F)舊羈留室走廊</u>	<p>a. 地下(G/F)舊羈留室走廊，由舊警車車房(現有的公用地方)通往舊羈留室，以及由舊羈留室通往獲保存被告人樓梯的金屬閘門，當中一部分範圍在上次翻新工程中有所改動，走廊沿途亦加設了門開口，影響了羈留室走廊原本受管制的環境氣氛。</p> <p>b. 應研究羈留室走廊原本的布局，原位保存未經改動的部分，修復或重新規劃曾作改動的部分，以便在可行情況下盡量加強羈留室走廊受管制的環境氣氛，惟須獲古蹟辦批准。</p> <p>c. 應把經改裝的金屬閘門修復到原本面貌，並應原位保存另外三道金屬閘門及獲保留的高窗口金屬護杆。</p> <p>d. 按照研究結果，應修復原有羈留室走廊窗口曾裝有但其後被移除的金屬護杆。</p> <p>e. 在可行情況下盡量重用牆壁、金屬欄柵及格柵上現有的開口接駁屋宇裝備。如須改動牆壁、金屬欄柵及格柵上現有的開口或在其上加設開口，須獲古蹟辦批准。</p> <p>f. 參照現有式樣，按需要清潔和修葺現有飾面，並為金屬護杆重新髹漆。</p> <p>g. 不反對以另一色調及可還原方式為牆壁重新髹漆，但設計須獲古蹟辦批准。</p>
		

項目	建築特色	規定處理方法
3.7	<u>二樓(2/F)獲保存的第一法庭</u>	<p>a. 獲保存的第一法庭連原有的間隔和布局應原位保存，包括：</p> <ul style="list-style-type: none"> <li>i) 隔音門廊(sound lobby)連木天花、較高位置的固定玻璃嵌板及板框，以及一對木製內門(裝有鐵絲網玻璃板)及門框；</li> <li>ii) 設於梯級上的公眾席長木櫈、記者席的長木櫈，以及分隔公眾席的半身木屏障及木閘；</li> <li>iii) 犯人欄及欄柵，以及後面供犯人／被告人出入使用的木格板門及木門框；</li> <li>iv) 書記席、證人台連木椅子，以及法庭速記主任的桌子(設於較低的凸起木平台上)；</li> <li>v) 裁判官席(設於較高的凸起木平台上)、背景牆(包括兩側由樓面至天花板的護牆木板)、附有飾線的框、隔音板及中央的洋紫荊牌匾、通往較高凸起木平台的木梯級及木扶手、供裁判官出入使用的木格板門及木門框；以及</li> <li>vi) 牆上較低處的護牆木板飾面，較高處的隔音板；拼花木地板；以及天花橫樑上的飾線。</li> </ul> <p>b. 參照現有式樣，按需要清潔和修葺所有破損的設備、飾面及家具。</p> <p>c. 不得遮蓋雙倍高度的鋼窗。可考慮在窗前以可還原方式加裝窗簾或百葉簾，但設計須獲古蹟辦批准。</p> <p>d. 在可行情況下盡量重用牆壁上現有的開口、通風管道、照明裝置及消防裝置。如須改動牆壁上現有的開口或在其上加設開口，須獲古蹟辦批准。</p> <p>e. 不得安裝垂吊式天花板。</p>
		

(續上頁)



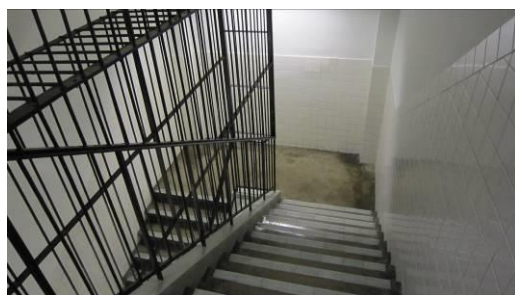
項目	建築特色	規定處理方法
3.8	<u>二樓(2/F)舊有的第二、第三及第四法庭</u>	<ul style="list-style-type: none"> <li>a. 舊有第二、第三及第四法庭的間隔格局應大致保持原狀。各法庭內的間隔設計不應遮蓋現有的雙倍高度鋼窗，隔板數量應減至最少，以展示法庭原有的寬敞長方形設計。</li> <li>b. 應在可行情況下盡量移除所有遮蓋雙倍高度鋼窗的後加隔板，以及所有假天花，以展示雙倍高度鋼窗及原有的兩層高樓底設計。</li> <li>c. 不可在原有兩層高樓底空間內加建新樓層。</li> <li>d. 不要遮蓋雙倍高度的鋼窗。可考慮在窗前以可還原方式加裝窗簾或百葉簾，但設計須獲古蹟辦批准。</li> <li>e. 按需要重新設計法庭內屋宇裝備的走線，組合起來後藏於隔壁內，以便在可行情況下盡量減少所造成的視覺影響，以及展示天花橫樑上的飾線。</li> </ul>



項目	建築特色	規定處理方法
3.9	<u>二樓(2/F)舊法庭入口的門</u>	a. 舊有的第一至第四法庭原有的雙開木格板門(包括所有門框、木門楣格板連飾線、金屬標示牌及所有舊式五金配件)應原位保存。 b. 按需要清潔木門，並修葺破損部分，以回復正常操作。

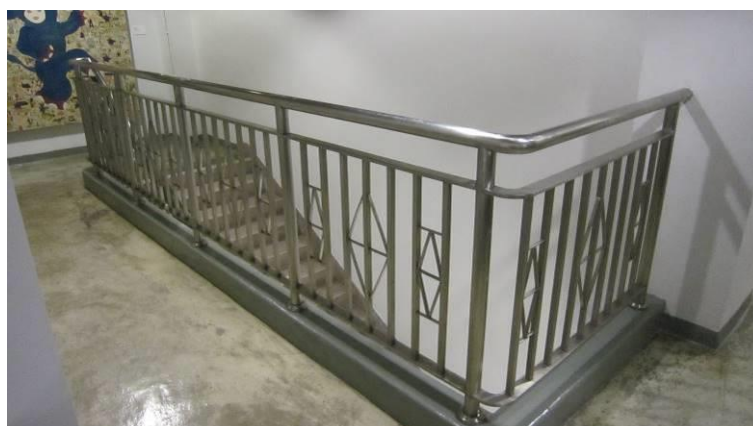
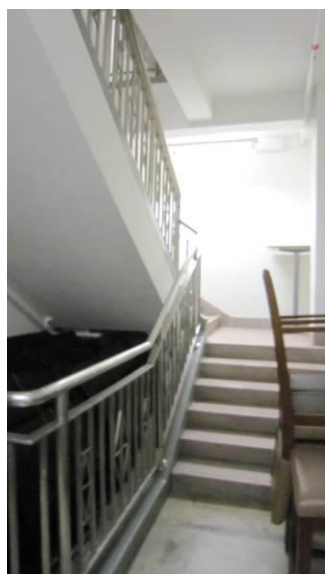


項目	建築特色	規定處理方法
3.10	<u>獲保存的被告人樓梯</u>	<p>a. 獲保存的被告人樓梯(由地下(G/F)羈留室通往獲保存的第一法庭，包括金屬閘門及金屬欄柵、白色的梯級邊緣磚、白色的瓷磚牆身飾面(至牆裙高度))，以及二樓(2/F)的玻璃磚窗應原位保存。</p> <p>b. 由於樓梯並非保留作主要通道，而只是作詮釋用途，因此應採用相同方式，在可行情況下盡量避免為現有樓梯進行改善工程，惟須獲建築事務監督批准。</p> <p>c. 假如須為現有樓梯進行改善工程，或加裝防護欄障或扶手，以符合法定要求，則所有工程須以可還原方式進行。設計應可與現有樓梯區分開來，但又能相互配合，並獲古蹟辦批准。</p> <p>d. 參照現有式樣，按需要清潔和修葺現有飾面及金屬欄柵，並重新髹漆。</p> <p>e. 在可行情況下盡量重用牆壁上現有的開口、照明裝置及消防裝置。如須改動牆壁、金屬欄柵及格柵上現有的開口或在其上加設開口，須獲古蹟辦批准。</p>





項目	建築特色	規定處理方法
3.11	<u>獲保存的裁判官樓梯</u>	<p>a. 裁判官樓梯獲保存的部分(由二樓(2/F)獲保存的第一法庭通往舊裁判官內庭坐落的三樓(3/F)，包括級面、豎板及牆腳線的馬賽克磁磚飾面及梯級邊緣磚，以及不銹鋼扶欄)應原位保存。</p> <p>b. 由於樓梯並非保留作主要通道，而只是作詮釋用途，因此應採用相同方式，在可行情況下盡量避免為現有樓梯進行改善工程，惟須獲建築事務監督批准。</p> <p>c. 假如須為現有樓梯進行改善工程，或加裝防護欄障或扶手，以符合法定要求，則所有工程須以可還原方式進行。設計應可與現有樓梯區分開來，但又能相互配合，並獲古蹟辦批准。</p> <p>d. 參照現有式樣，按需要清潔和修葺現有飾面及扶欄，並重新髹漆。</p> <p>e. 在可行情況下盡量重用牆壁上現有的開口、照明裝置及消防裝置。如須改動牆壁上現有的開口或在其上加設開口，須獲古蹟辦批准。</p>





項目	建築特色	規定處理方法
3.12	<u>三樓(3/F)舊管道房</u>	三樓(3/F)四個舊管道房(現有的管道房和儲物房)的配置(包括地台上現有的通風管道口(為下面舊法庭而設)，以及外牆的牆壁開口)應原位保存。
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;">     </div>		

項目	建築特色	規定處理方法
3.13	<u>所有其他舊木格板門</u>	<p>a. 除第3.7項及3.9項所述舊式格板門以外的所有其他安裝在歷史建築的舊木格板門(包括門框及五金配件)，應在可行情況下盡量重用。</p> <p>b. 舊管道房的舊木格板門(第3.12項)應原位保存。至於其他安裝在歷史建築內的舊門，可考慮移到別的房間，以配合新布局設計。</p> <p>c. 至於所有已獲保留並存放起來的門，須檢查門及門框的狀況，並以照片及繪圖方式記錄資料；評估每道門的重要性；以及探討在可行情況下盡量在址內重用或展出獲保留的門的方法(即使獲保留的門不能重用或展出，也須在址內妥善貯存)。把門的狀況報告、有關文件及建議提交古蹟辦審批。</p> <p>d. 參照現有式樣，按需要為所有原位保存、重用或展出的木門清潔，進行木材防腐處理，以及修葺破損部分，以回復正常操作。</p>



項目	建築特色	規定處理方法
3.14	<p><u>所有舊金屬護杆/欄柵及閘門</u></p>	<p>a. 除非獲古蹟辦批准，否則所有安裝在歷史建築內的現有金屬護杆/欄柵及閘門應原位保存，並按需要修葺。</p> <p>b. 檢查所有已獲保留並存放起來的金屬護杆/欄柵及閘門的狀況，並以照片及繪圖方式記錄資料；評估各金屬護杆/欄柵及閘門的重要性；以及探討在可行情況下盡量在址內重用或展出獲保留金屬護杆/欄柵及閘門的方法(即使獲保留的金屬護杆/欄柵及閘門不能重用或展出，也須在址內妥善貯存)。</p> <p>c. 如找到已獲保留並飾有鳶尾花圖案的窗戶金屬護杆，須調查其原有位置，按需要予以修葺，並在可行情況下盡量放回原有位置。</p> <p>d. 把所有已獲保留金屬護杆/欄柵的狀況報告、有關文件及建議提交古蹟辦審批。</p> <p>e. 按需要為所有原位保存、重用、展出或修復的舊金屬護杆/欄柵清潔、修葺破損部分，並重新髹漆。</p>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;">       </div>		

項目	建築特色	規定處理方法
3.15	<u>八字形灰塑天花飾線</u>	<p>a. 所有八字形灰塑天花飾線，應原位保存。</p> <p>b. 按需要修葺和重新髹漆。</p> <p>c. 可考慮安裝垂吊式假天花，惟設計應可讓天花的飾線細節及窗戶廓線全部外露，不受影響，並須獲古蹟辦批准。</p>
		

項目	建築特色	規定處理方法
3.16	其他獲保留的項目	<p>a. 除非獲古蹟辦批准，否則所有其他獲保留的項目(包括現正重用、展出和存放起來的家具、設備及標示牌)應在址內保存。</p> <p>b. 須檢查所有獲保留項目的狀況，並以照片及繪圖方式記錄資料。在可行情況下盡量重用或展出所有獲保留的項目。</p> <p>c. 參照現有樣式，按需要清潔和修葺獲保留的項目。</p>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;">         </div>		

附錄 XI

建築特色建議處理方法一覽表

# 前北九龍裁判法院 建築特色建議處理方法


## 1. 室外用地







項目	建築特色	建議處理方法
1.1	<p><u>歷史建築南面露天前庭和北面露天前庭的配套設施</u> (後期加建)</p>	<p>a. 南面露天前庭設有後期加建的配套設施，例如殘疾人士專用車位、消防泵房及水缸、消防花灑入水掣櫃、檢測錶櫃、空調系統冷卻塔等。北面露天前庭設有後期加建的消防入水掣櫃。後期加建的設施應盡量重用。</p> <p>b. 可考慮安裝／改動屋宇裝備、管道、喉管等，惟須把對歷史建築所造成的視覺影響減至最小。這些新裝置連相關建築屏障應盡量遠離歷史建築，並須獲古蹟辦批准。</p> <p>c. 不反對更改配套設施的色調，惟須獲古蹟辦批准。</p>
		




## 2. 主樓 — 外部

項目	建築特色	建議處理方法
2.1	<u>東面立面的室外逃生樓梯</u> (後期加建)	a. 位於東面立面地下(G/F)至一樓(1/F)的有蓋逃生樓梯曾進行重建，以符合法定要求，應盡量重用。 b. 不反對更改逃生樓梯的色調，惟須獲古蹟辦批准。
		

項目	建築特色	建議處理方法
2.2	<u>東面立面的應急發電機排氣管</u> (後期加建)	a. 東面立面地下(G/F)至天台(R/F)建有一條應急發電機排氣管。盡量重用有關設施。 b. 檢查排氣管能否正常運作，按需要加以維修。
		

項目	建築特色	建議處理方法
2.3	平屋頂上的屋宇裝備／裝置 (後期加建)	<p>a. 平屋頂建有天幕、升降機裝置的玻璃圍封、避雷保護系統、應急發電機排氣煙囪及金屬扶欄，以符合法定要求及運作需要。盡量重用有關設施。</p> <p>b. 檢查各項設施能否正常運作，按需要加以維修。</p>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;"> <div style="text-align: center; width: 45%;">  <p>天幕</p> </div> <div style="text-align: center; width: 45%;">  <p>升降機裝置的玻璃圍封</p> </div> <div style="text-align: center; width: 45%;">  <p>金屬扶欄</p> </div> <div style="text-align: center; width: 45%;">  <p>應急發電機排氣煙囪</p> </div> <div style="text-align: center; width: 45%;">  <p>通道口</p> </div> <div style="text-align: center; width: 45%;">  <p>避雷保護系統</p> </div> </div>		

項目	建築特色	建議處理方法
2.4	<u>正門入口簷篷上的防墮系統</u> (後期加建)	a. 裝有防墮系統以符合法定要求及運作需要。盡量重用該系統。 b. 檢查系統能否正常運作，按需要加以維修。
		

項目	建築特色	建議處理方法
2.5	<u>四樓(4/F)平頂平台及三樓(3/F)露台</u>	a. 過往提交的法定文件載述四樓(4/F)平頂平台及三樓(3/F)露台均採取了「通道只供進行維修之用」的措施，以求在保持建築原真性和遵從法定要求之間取得平衡。 b. 建議盡量採取類似措施，以原位保存平頂平台／露台。
		
		
<div style="display: flex; justify-content: space-around; width: 100%;"> <span>三樓露台</span> <span>四樓平頂平台</span> </div>		

項目	建築特色	建議處理方法
2.6	一對對稱的大樓梯	<p>a. 過往提交的法定文件載述採取了多項管理措施(包括兩道樓梯不會用作通往建築物內部的通道；只有在職員監察和監督下，才可於某些情況下使用樓梯內進；豎立常設標示牌以告知公眾不得使用樓梯內進；以及在樓梯平台的指定範圍設置欄障，以提供額外保護等)，以求在保持建築原真性和遵從法定要求之間取得平衡。</p> <p>b. 建議盡量採取類似管理措施，以原位保存一對大樓梯。</p>

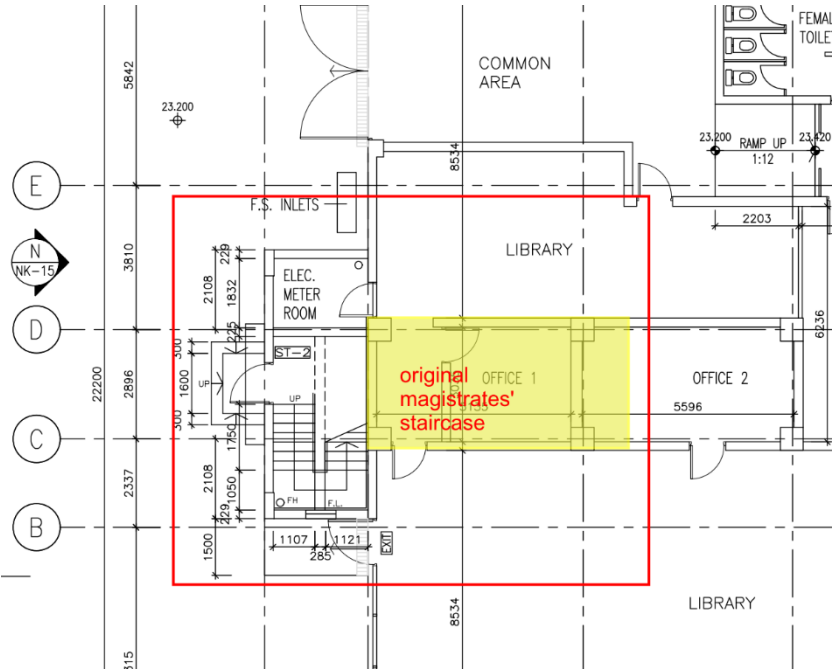
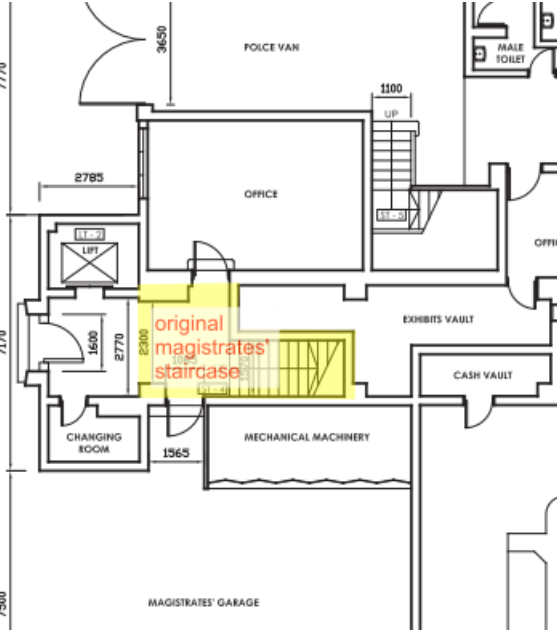


項目	建築特色	建議處理方法
2.7	<u>正門入口的銅門框及銅門</u>	<p>a. 過往提交的法定文件載述採取了以下管理措施(即在一般情況下會關閉銅門，禁止公眾內進)，以求在保持建築原真性和遵從法定要求之間取得平衡。</p> <p>b. 建議盡量採取類似管理措施，以原位保存銅門。</p>
	 <p style="text-align: center;">外觀</p>	 <p style="text-align: center;">內觀</p>

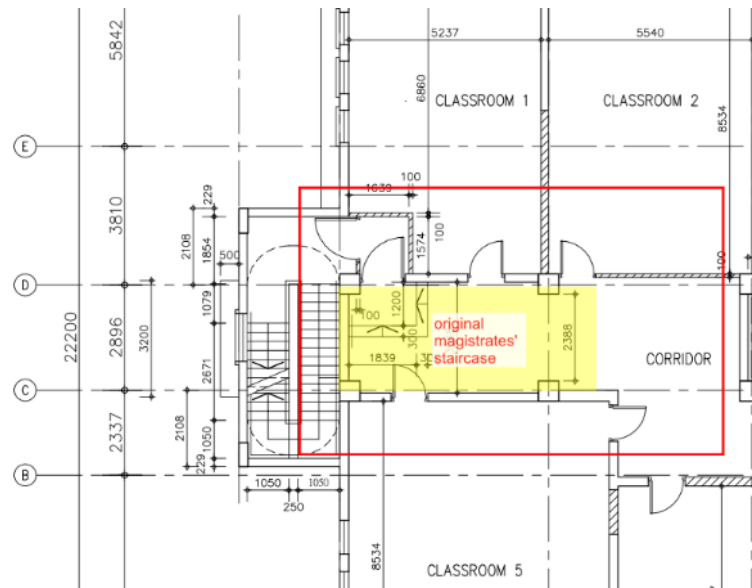
項目	建築特色	建議處理方法
2.8	<u>無障礙斜道及梯級</u> (後期加建)	<p>a. 面向南面露天前庭的側面入口現有花崗石梯級，已以可還原方式加建了無障礙斜道，以符合法定要求。盡量重用無障礙通道。</p> <p>b. 面向北面露天前庭的側面入口現有花崗石梯級，已以可還原方式加建了數級梯級，以符合法定要求。盡量重用有關設施。</p> <p>c. 檢查設施能否正常運作，按需要加以維修。</p>
	 <p style="text-align: center;">面向南面露天前庭經加建的無障礙斜道</p>	 <p style="text-align: center;">面向北面露天前庭經加建的入口梯級</p>

項目	建築特色	建議處理方法
2.9	<u>通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門</u>	<p>a. 過往提交的法定文件載述通往四樓(4/F)平頂平台及三樓(3/F)露台的法式鋼門均已上鎖，只供維修時使用，以符合法定要求。</p> <p>b. 建議盡量採取類似措施。</p>
		

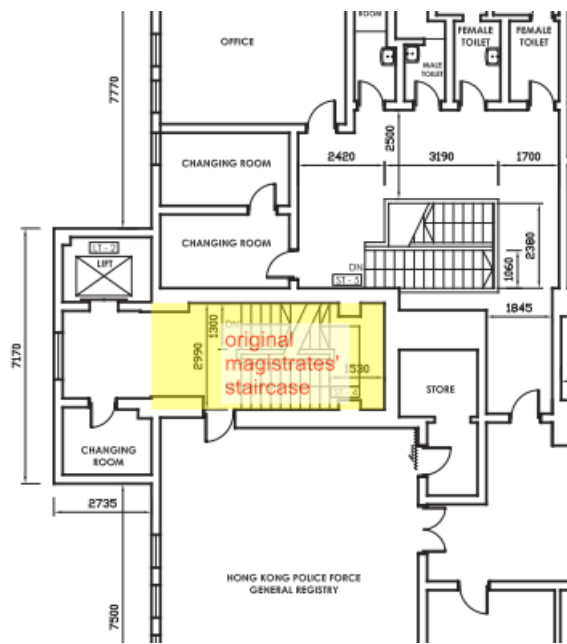
### 3. 主樓 — 內部

項目	建築特色	建議處理方法
3.1	舊裁判官樓梯	重新規劃在地下(G/F)、一樓(1/F)及二樓(2/F)ST-2 樓梯附近的室內布局（請參閱下圖以紅線標示的範圍），以修復由地下(G/F)北面入口通往二樓(2/F)獲保存的第一法庭的舊裁判官樓梯的已拆除部分（請參閱下圖的黃色範圍），為的是完整地詮釋裁判官專用通道（由地下(G/F)入口至法庭及辦公室樓層）原來的設計。
<div style="text-align: center;">  <p>現時的地下(G/F)局部平面圖（移除裁判官樓梯後）</p>  <p>舊地下(G/F)局部平面圖（顯示2009年原有的裁判官樓梯）</p> </div>		

(續上頁)



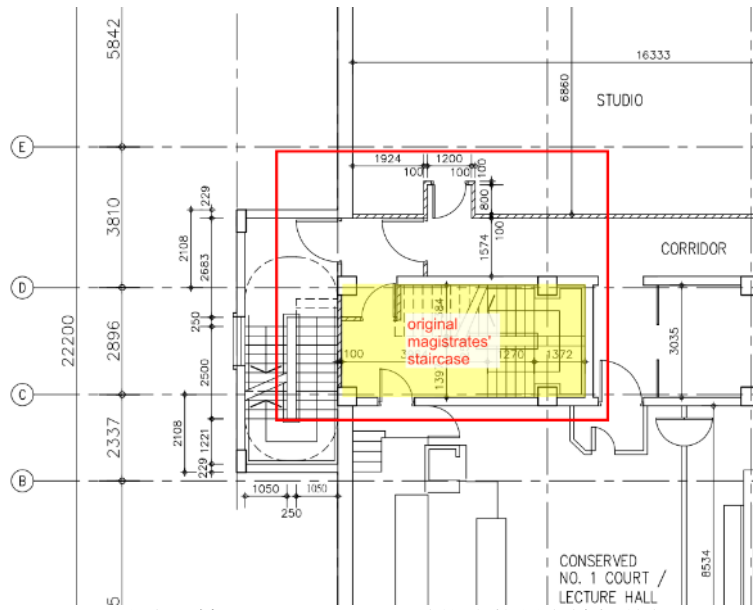
現時的一樓(1/F)局部平面圖 (移除裁判官樓梯後)



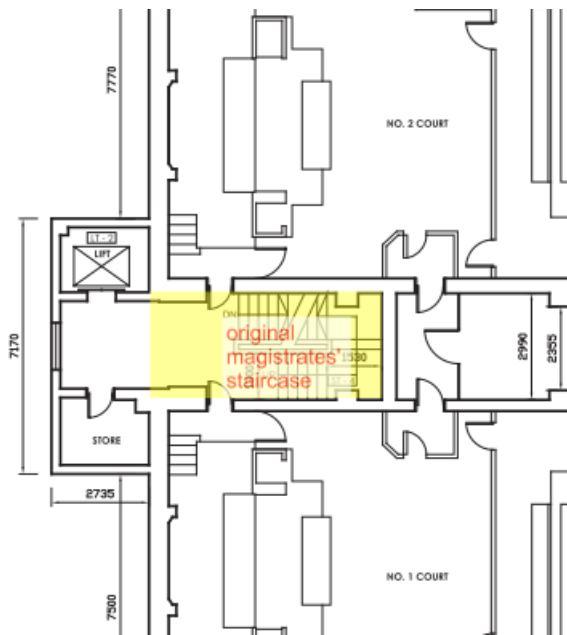
舊一樓(1/F)局部平面圖 (顯示2009年原有的裁判官樓梯)



(續上頁)



現時的二樓(2/F)局部平面圖 (移除裁判官樓梯後)

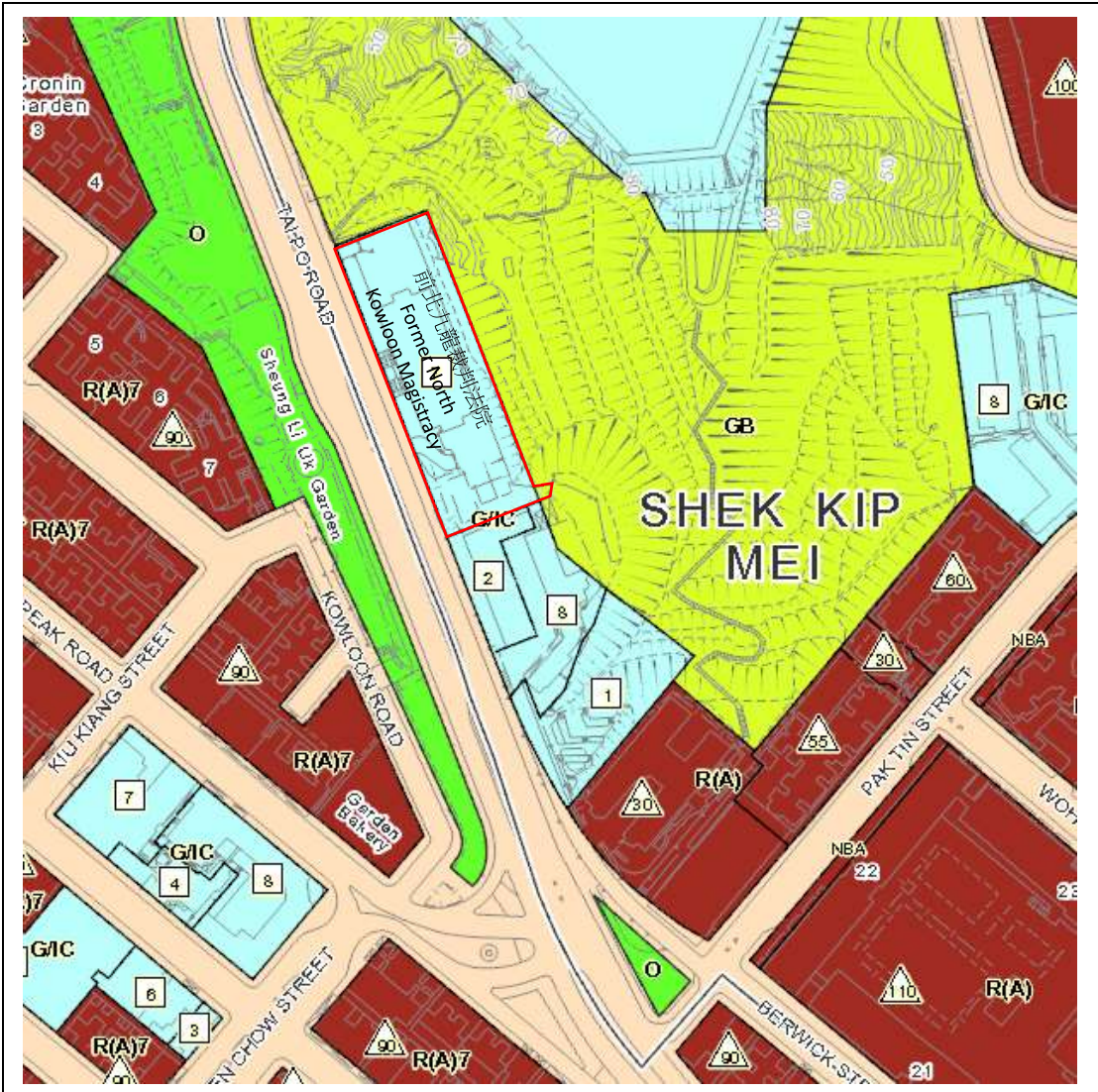


舊二樓(2/F)局部平面圖 (顯示2009年原有的裁判官樓梯)

項目	建築特色	建議處理方法
3.2	現有的屋宇裝備 (後期加建)	<ul style="list-style-type: none"> <li>a. 在可行情況下盡量重用歷史建築內現有的屋宇裝備。</li> <li>b. 可考慮改動或安裝屋宇裝備、管道、喉管等，惟須把對歷史建築所造成的視覺影響減至最小，並須獲古蹟辦批准。</li> </ul>
<div style="display: flex; flex-wrap: wrap; justify-content: space-around;"> <div style="text-align: center; width: 45%;">  <p data-bbox="501 1048 694 1079">現有的鮮風櫃房</p> </div> <div style="text-align: center; width: 45%;">  <p data-bbox="1086 1048 1305 1079">現有的沖廁水泵房</p> </div> <div style="text-align: center; width: 45%;">  <p data-bbox="475 1435 719 1467">現有的應急發電機房</p> </div> <div style="text-align: center; width: 45%;">  <p data-bbox="1098 1435 1294 1467">現有的食水泵房</p> </div> <div style="text-align: center; width: 45%;">  <p data-bbox="501 1818 694 1850">現有的冷氣機房</p> </div> <div style="text-align: center; width: 45%;">  <p data-bbox="1114 1818 1278 1850">現有的總掣房</p> </div> </div>		

附錄 XII

分區計劃大綱圖



# OUTLINE ZONING PLAN

(EXTRACT PLAN BASED ON WEBSITE OF TOWN PLANNING)

DATE:27.05.2020

<p><b>Legend:</b></p> <p>Statutory Plan</p> <p>OZP Zoning</p> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90EE90; border: 1px solid black; margin-right: 5px;"></span> O Open Space</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFFF00; border: 1px solid black; margin-right: 5px;"></span> GB Green Belt</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #8B0000; border: 1px solid black; margin-right: 5px;"></span> R(A) Residential (Group A)</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ADD8E6; border: 1px solid black; margin-right: 5px;"></span> G/C Government, Institution or Community</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFA500; border: 1px solid black; margin-right: 5px;"></span> OU Other Specified Uses</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> 140 Maximum Building Height (In Metres Above Principal Datum)</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> 5 Maximum Building Height (In Number of Storeys)</li> </ul> <p><span style="display: inline-block; width: 20px; height: 10px; border: 2px solid red; margin-right: 5px;"></span> SITE BOUNDARY</p>	<p>FORMER NORTH KOWLOON MAGISTRACY</p>	<p>APPENDIX XII OUTLINE ZONING PLAN NOT TO SCALE</p>
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GOVERNMENT, INSTITUTION OR COMMUNITY

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Columbarium Correctional Institution Crematorium Driving School Eating Place (not elsewhere specified) Flat Funeral Facility Helicopter Filling Station Helicopter Landing Pad Holiday Camp Hotel House Mass Transit Railway Vent Shaft and/or Other Structure above Ground Level other than Entrances Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

Remarks

- (1) On land designated “Government, Institution or Community” (“G/IC”), no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building heights in terms of number of storey(s) or metres above Principal Datum (mPD) as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- (2) On land designated “G/IC(1)”, “G/IC(2)”, “G/IC(3)”, “G/IC(4)”, “G/IC(5)”, “G/IC(6)”, “G/IC(7)” and “G/IC(8)”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum plot ratio, building height, gross floor area specified below, or the plot ratio, building height, gross floor area of the existing building, whichever is the greater :

Sub-Area	Restriction
G/IC(1)	a maximum building height of 10.67m
G/IC(2)	a maximum building height of 46mPD
G/IC(3)	a maximum building height of 51mPD
G/IC(4)	sub-area (A) - a maximum building height of 70mPD sub-area (B) - a maximum building height of 119.5mPD
G/IC(5)	a maximum gross floor area of 27 400m <sup>2</sup> and a maximum building height of 112mPD
G/IC(6)	a maximum plot ratio of 3.37 and a maximum building height of 134.9mPD
G/IC(7)	a maximum building height of 112mPD
G/IC(8)	a maximum building height of 38mPD

- (3) In determining the relevant maximum number of storey(s) for the purposes of paragraph (1) above, any basement floor(s) may be disregarded.
- (4) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio/gross floor area/building height restrictions stated in paragraphs (1) and (2) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

(Please see next page)

GOVERNMENT, INSTITUTION OR COMMUNITY (Cont'd)

Remarks (Cont'd)

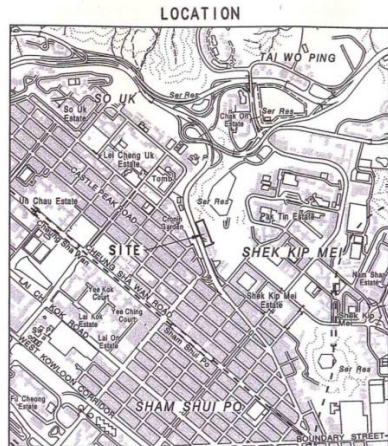
- (5) On land designated "G/IC(5)", the maximum building height as set out in paragraph (2) above may, upon obtaining permission of the Town Planning Board under section 16 of the Town Planning Ordinance, be increased to a maximum of 135mPD, with the support of a visual and landscape impact assessment and any other information as may be required by the Town Planning Board.
- (6) Under exceptional circumstances, for developments and/or redevelopments, minor relaxation of the non-building area restrictions as shown on the Plan may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

附錄 XIII

土地契約及地段分界圖



66



SCALE 1 : 20000

SIDE	DISTANCE IN METRES	BEARING ° ' "	Pt.	CORNER MARKED BY
A B	117.396	158 52 55		
B C	7.186	80 30 28		
C D	5.205	191 38 13		
D E	42.855	248 41 47		
E F	1.685	338 48 20		
F G	5.512	332 43 24		
G H	19.880	340 28 47		
H J	98.246	338 48 20		
J A	38.085	68 48 20		

- U, V, W } ENGINEERING CONDITIONS REFER
- X, Y, Z } ENGINEERING CONDITIONS REFER
- EXISTING FRESH WATER MAINS
- EXISTING SALT WATER MAINS



COLOURED PINK AND PINK HATCHED BLACK AREA 4 815 SQUARE METRES (ABOUT)

SCALE 1 : 1000



District Survey Office, Kowloon  
Lands Department

GOVERNMENT LAND ALLOCATION - NK 757  
DEVELOPMENT BUREAU

File No. DSO/K 1132/2003, 1031/KGS/KW(P)
Survey Sheet No. 11-NW-9C
Layout Plan No.
Reference Plan No.
PLAN No. KL6024-D

Date : 17/02/2009

附錄 XIV

樹木評估表

**TREE IDENTIFICATION SCHEDULE**

**PROJECT:** **Resource Kit for Former North Kowloon Magistracy**

**Site Location:** Former North Kowloon Magistracy, no. 292 Tai Po Road, Sham Shui Po, Kowloon  
**Submission:** Third Submission - 27 June 2020

**Topographic Survey:** From Henry Chan Surveyors Ltd, drawing No. HC-15181/01 dated May 2020  
**Tree Survey:** By Wong Yun Keung (ISA-CA no. HK-0007BUM, TRAQ, HKILA-AA no. AA024) dated 16 May & 13 June 2020

This schedule to be read in conjunction with Tree Survey Plan Drawing No. TS-01

Tree ID Number	Tree Species <sup>1</sup>		Location <sup>2</sup>	Tree Size <sup>2</sup>			Coordinate <sup>2</sup>		Top of Soil Level above Root Zone (mPD) <sup>2</sup>	Health	Form	Structure	Amenity Value	Anticipated Survival Rate after Transplanting	Registered OVT/ Potential OVT <sup>3</sup>	Conservation Status <sup>1,4</sup>	Hazardous Tree	Proposed Treatment	Remarks
	Scientific name	Chinese name		Height (m)	Spread (m)	Girth (mm)	East	North											
T1	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	360	834823.65	821851.17	23.96	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T2	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	2	340	834821.46	821856.23	23.92	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T3	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	320	834820.49	821858.86	23.92	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T4	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	310	834819.29	821861.35	23.95	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T5	<i>Melia azedarach</i>	苦楝	Inside Lot	10	7	1110	834819.12	821862.04	23.82	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant trunks, root restricted by toe planter
T6	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	320	834817.39	821866.60	23.89	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T7	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834816.16	821869.31	23.83	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T8	<i>Melia azedarach</i>	苦楝	Inside Lot	7	6	500	834815.17	821871.51	23.94	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T9	<i>Melia azedarach</i>	苦楝	Inside Lot	8	5	390	834813.71	821875.35	23.90	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other tree
T10	<i>Melia azedarach</i>	苦楝	Inside Lot	9	6	490	834813.54	821875.78	23.91	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other tree
T11	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	360	834813.11	821876.93	23.87	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T12	<i>Melia azedarach</i>	苦楝	Inside Lot	6	4	530	834812.03	821879.53	23.87	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other tree
T13	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834811.93	821879.59	23.89	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T14	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834805.98	821877.77	23.87	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T15	<i>Albizia lebeck</i>	大葉合歡	Inside Lot	7	5	490	834805.92	821877.50	23.85	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant leaders, root restricted by toe planter, root restricted by other tree
T16	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834802.97	821876.49	23.84	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T17	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	320	834800.49	821875.61	23.90	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T18	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	360	834797.55	821874.29	23.79	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T19	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	390	834795.12	821873.15	23.53	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T20	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	350	834792.57	821872.27	22.93	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T21	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	320	834825.75	821846.33	23.88	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T22	<i>Ficus hispida</i>	青果榕	Inside Lot	10	6	890	834826.87	821844.43	23.81	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T23	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	320	834826.90	821843.43	23.81	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by other tree
T24	<i>Macaranga tanarius var. tomentosa</i>	血桐	Inside Lot	8	6	500	834827.20	821842.58	23.79	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, unbalanced crown, cavity at lower trunk, decay at root collar, root restricted by toe planter
T25	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	340	834827.76	821840.86	23.79	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by toe planter
T26	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834839.28	821811.71	20.45	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T27	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	350	834840.23	821809.62	20.47	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T28	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	5	320	834841.45	821807.02	20.60	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by toe planter
T29	<i>Ficus hispida</i>	青果榕	Inside Lot	8	6	720	834842.65	821805.64	20.49	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter
T30	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	5	4	320	834842.33	821804.27	20.55	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T31	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834843.32	821801.70	20.48	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T32	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	370	834845.75	821798.40	20.88	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T33	<i>Ficus hispida</i>	對葉榕	Inside Lot	5	5	420	834845.39	821798.76	20.33	Fair	Fair	Fair	Medium	Low	No	No	No	Retain	Co-dominant trunks, vined, root restricted by toe planter
T34	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	340	834845.19	821796.76	20.49	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T35	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	350	834845.81	821794.76	20.50	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T36	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	330	834847.29	821791.34	20.53	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T37	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	320	834848.19	821788.72	20.45	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T38	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	3	3	330	834848.89	821785.99	20.54	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T39	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	3	340	834850.03	821783.21	20.56	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter, root restricted by other tree
T40	<i>Celtis sinensis</i>	朴樹	Inside Lot	6	5	350	834850.36	821782.24	20.51	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, root restricted by toe planter, root restricted by other tree
T41	<i>Phoenix roebelenii</i>	日本葵	Inside Lot	4	4	310	834850.92	821780.62	20.54	Fair	Fair	Fair	Low	Low	No	No	No	Retain	Root restricted by toe planter
T42	<i>Aporosa dioica</i>	銀荊	Inside Lot	5	4	320	834856.68	821776.00	21.43	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice
T43	<i>Morus alba</i>	桑	Inside Lot	6	5	760	834857.52	821774.61	20.12	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, unbalanced crown, sparse crown, wounds on trunk, grown from rock crevice
T44	<i>Heteropanax fragrans</i>	幌傘楓	Inside Lot	2	2	550	834859.96	821774.34	19.78	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Regrowth from pruned trunks, root restricted by rock slope
T45	<i>Macaranga tanarius var.</i>	血桐	Inside Lot	6	6	410	834860.61	821774.14	20.07	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, unbalanced crown, root restricted by rock slope
T48	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	7	6	770	834824.07	821781.11	18.63	Fair	Poor	Fair	Low	Medium	No	No	No	Retain	Leaning, unbalanced crown, large pruning wound, root restricted by road
T50	<i>Celtis sinensis</i>	朴樹	Inside Lot	8	8	1270	834821.63	821780.13	18.32	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, unbalanced crown, grown on slope
T51	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	5	8	640	834827.61	821763.68	19.85	Fair	Poor	Fair	Medium	Low	No	No	No	Retain	Unbalanced crown, forked, severely root restricted by tree ring, root restricted by u-channel, grown on slope
T52	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	13	10	2240	834818.43	821783.81	17.63	Fair	Poor	Fair	Medium	Medium	No	No	No	Retain	Unbalanced crown, root restricted by road, grown on slope
T53	<i>Ficus microcarpa</i>	細葉榕	Inside Lot	12	9	840	834821.01	821793.22	18.96	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Sparse crown, root restricted by building, root restricted by road
T58	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	520	834789.87	821860.55	20.49	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T59	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	610	834791.65	821855.95	20.23	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T60	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	4	540	834793.29	821851.57	19.98	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T61	<i>Livistona chinensis</i>	蒲葵	Inside Lot	4	5	520	834794.92	821847.62	19.77	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T62	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	500	834796.78	821842.74	19.56	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T63	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	620	834798.50	821838.22	19.28	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T64	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	530	834800.28	821833.68	19.05	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T65	<i>Livistona chinensis</i>	蒲葵	Inside Lot	3	4	660	834802.03	821829.23	18.76	Fair	Fair	Good	Low	High	No	No	No	Retain	Grown in portable planter
T46	<i>Micracos nervosa</i>	布渣葉	Outside Lot Boundary	7	5	340	834864.65	821775.65	21.72	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice
T47	<i>Albizia lebeck</i>	大葉合歡	Outside Lot Boundary	8	6	730	834866.63	821775.96	21.64	Poor	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, sparse crown, grown from rock crevice

**TREE IDENTIFICATION SCHEDULE**

**PROJECT:** **Resource Kit for Former North Kowloon Magistracy**

**Site Location:** Former North Kowloon Magistracy, no. 292 Tai Po Road, Sham Shui Po, Kowloon  
**Submission:** Third Submission - 27 June 2020

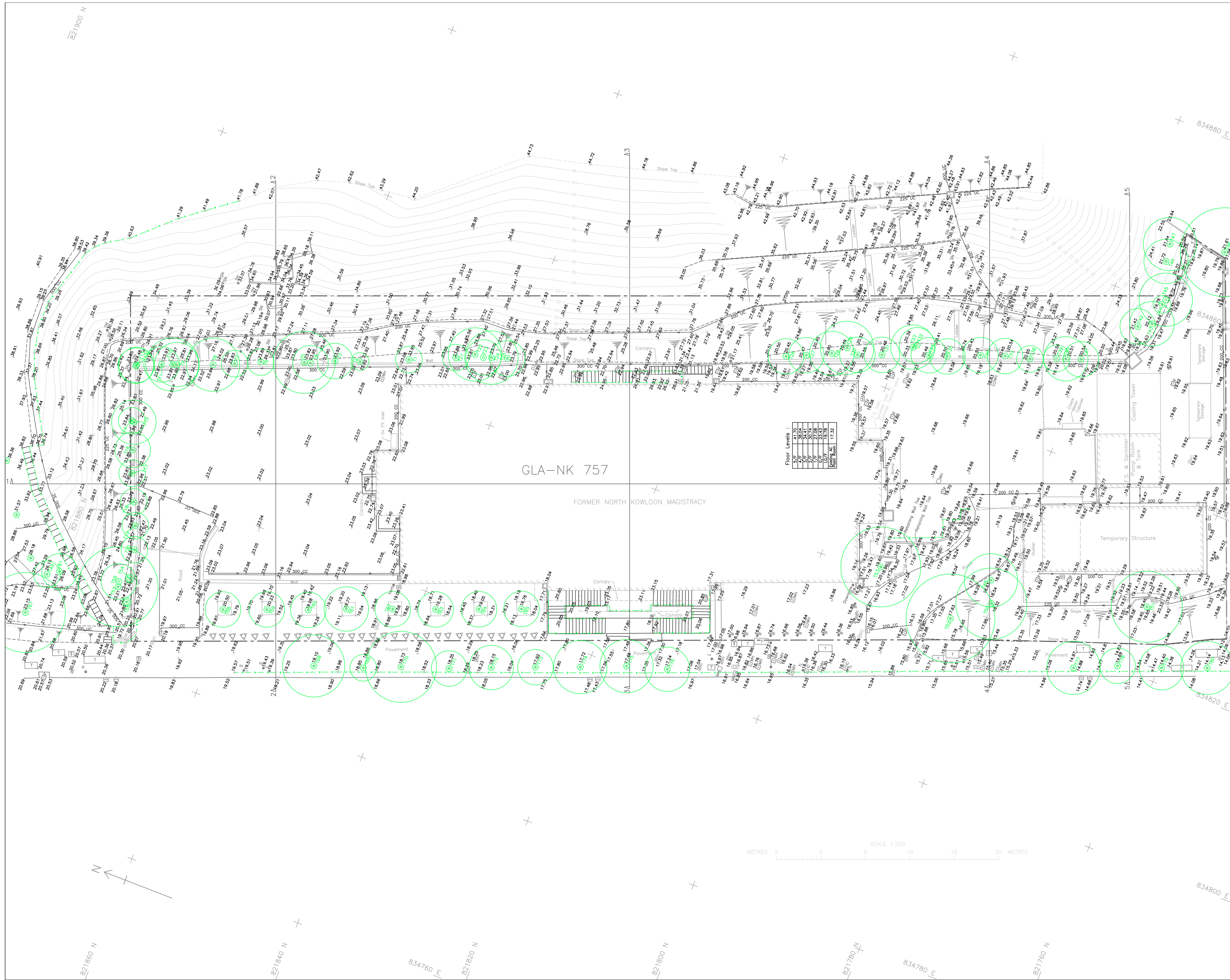
**Topographic Survey:** From Henry Chan Surveyors Ltd, drawing No. HC-15181/01 dated May 2020  
**Tree Survey:** By Wong Yun Keung (ISA-CA no. HK-0007BUM, TRAQ, HKILA-AA no. AA024) dated 16 May & 13 June 2020

This schedule to be read in conjunction with Tree Survey Plan Drawing No. TS-01

Tree ID Number	Tree Species <sup>1</sup>		Location <sup>2</sup>	Tree Size <sup>2</sup>			Coordinate <sup>2</sup>		Top of Soil Level above Root Zone (mPD) <sup>2</sup>	Health	Form	Structure	Amenity Value	Anticipated Survival Rate after Transplanting	Registered OVT/ Potential OVT <sup>3</sup>	Conservation Status <sup>1,4</sup>	Hazardous Tree	Proposed Treatment	Remarks
	Scientific name	Chinese name		Height (m)	Spread (m)	Girth (mm)	East	North											
T49	<i>Macaranga tanarius var. tomentosa</i>	血桐	Outside Lot Boundary	7	3	470	834786.43	821880.46	26.15	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced form, decay on trunk, root restricted by mass concrete, grown on slope
T54	<i>Phoenix roebelenii</i>	日本葵	Outside Lot Boundary	2	1	320	834789.33	821871.60	22.40	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T55	<i>Phoenix roebelenii</i>	日本葵	Outside Lot Boundary	2	1	350	834786.76	821870.98	22.14	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, root restricted by toe planter
T56	<i>Ligustrum sinense</i>	山指甲	Outside Lot Boundary	4	4	380	834788.59	821872.61	23.51	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Leaning, co-dominant trunks, root restricted by other tree, grown on slope
T57	<i>Melia azedarach</i>	苦楝	Outside Lot Boundary	10	9	2010	834788.00	821872.47	23.21	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Unbalanced crown, co-dominant branches, root restricted by other tree, grown on slope
T66	<i>Leucaena leucocephala</i>	銀合歡	Outside Lot Boundary	15	10	970	834868.00	821769.89	21.61	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Undesirable species, leaning, unbalanced crown, grows on wall, stems intercalated with chain-linked fence
T67	<i>Peltophorum pterocarpum</i>	雙翼豆	Outside Lot Boundary	13	9	1730	834781.54	821881.17	23.15	Fair	Fair	Fair	Medium	Low	No	No	No	Retain	Root restricted by u-channel, grown on slope
T68	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	7	1240	834787.62	821848.73	19.10	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T69	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	4	3	430	834789.43	821843.45	18.85	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T70	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	8	1510	834791.07	821839.54	18.73	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T71	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	4	4	610	834792.84	821834.42	18.35	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T72	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	640	834794.65	821830.04	18.15	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T73	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	6	4	520	834796.48	821825.40	17.92	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T74	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	9	6	930	834798.31	821820.70	17.72	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T75	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	6	740	834800.28	821815.88	17.46	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T76	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	640	834801.61	821811.48	17.24	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Dead branches, root restricted by road, grown in tree pit
T77	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	8	6	860	834818.23	821768.89	14.88	Fair	Fair	Good	Medium	Medium	No	No	No	Retain	Root restricted by road, grown in tree pit
T78	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	6	4	490	834820.22	821764.35	14.69	Fair	Poor	Fair	Low	Medium	No	No	No	Retain	Bent trunk, root restricted by road, grown in tree pit
T79	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	5	460	834821.81	821759.67	14.40	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T80	<i>Bombax ceiba</i>	木棉	Outside Lot Boundary	7	6	580	834823.64	821754.85	14.14	Fair	Poor	Good	Low	Medium	No	No	No	Retain	Unbalanced form, root restricted by road, grown in tree pit
T81	<i>Celtis sinensis</i>	朴樹	Outside Lot Boundary	7	4	430	834787.24	821879.25	26.09	Fair	Poor	Fair	Low	Low	No	No	No	Retain	Severely leaning, grown on slope

Note:

1. Tree species identification, name and protection status re adopted from Hong Kong Plant Record of Hong Kong Herbarium of AFCD.
2. Tree location, size and top soil level above root zone are according to topographic survey information from Land Surveyor.
3. Registered Old and Valuable Trees and potential Old and Valuable Trees are checked in accordance with DevB TC No. 5/2020.
4. Cap. 96 refers to plants scheduled under Forestry Regulations (subsidiary legislation of the Forests and Countryside Ordinance, Cap. 96);  
 Cap 586 refers to plants protected under The Protection of Endangered Species of Animals and Plants Ordinance, Cap. 586;  
 RPPHK refers to plants under Rare and Precious Plants of Hong Kong as recorded by AFCD 2003;  
 IUCN refers to plants under IUCN Red List of Threatened Species from www.iucnredlist.org.



- Notes : -
1. All levels are in meters above P.D.
  2. Grid lines are in H.K. Metric Grid 1980.
  3. Elevations of kerb are referred to the bottom of kerb.
  4. Boundary of GLA-NK757 was extracted from Folder No. KL6024 of DSO/K, Lands Department.

Legend :

- GLA Boundary
- T1 Tree & Tree Number with Canopy Spread

Floor Levels :

5/F	41.30
4/F	38.04
3/F	34.78
2/F	31.52
1/F	28.26
0/F	25.00
Basement	17.32

Drawing title  
 Tree Survey Plan for Former North Kowloon Magistracy, Tai Po Road, Kowloon.

Drawing no.	Date	Scale
TS-01	June 2020	1 : 200 A1 Sheet
Sheet 1 of 1	Checked by	Drawn by
	BW	BT

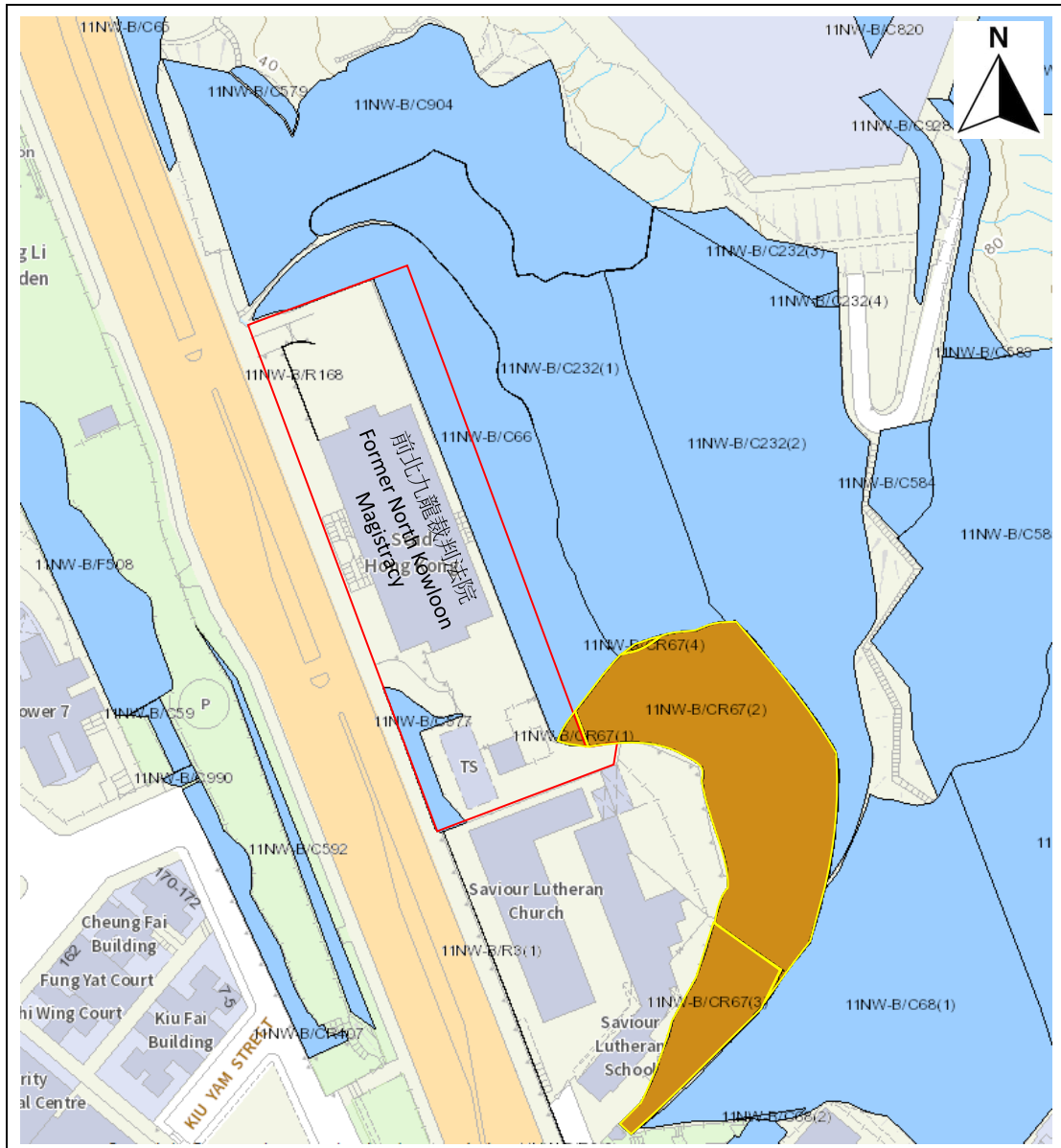
Government Department  
 ARCHITECTURAL SERVICES DEPARTMENT

Arboricultural Consultant  
 Sedum Arbor Limited  
 Rm D, 3/F, Good Harvest Centre, 33 On Chuen Street  
 On Lok Tsuen, Fanling, N.T.  
 Telephone: (852) 3957 0578 e-mail : sedum.info@gmail.com

WONG Yun Keung  
 ISA-BCMA  
 HK-0007BUM

附錄 XV

斜坡資料



用地界線



政府維修的斜坡



政府及私人維修的斜坡

前北九龍裁判法院

附錄 XV

斜坡資料  
不按比例

根據斜坡維修責任信息系統的網頁繪製



斜坡維修及責任範圍列表

1	11NW-B/C66	斜坡分段編號		不適用
	地點	位於政府撥地第NK757號內, 並毗連該地		
	負責地段/負責方	發展局	維修代理人	建築署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問, 請直接與有關維修代理人聯絡。		

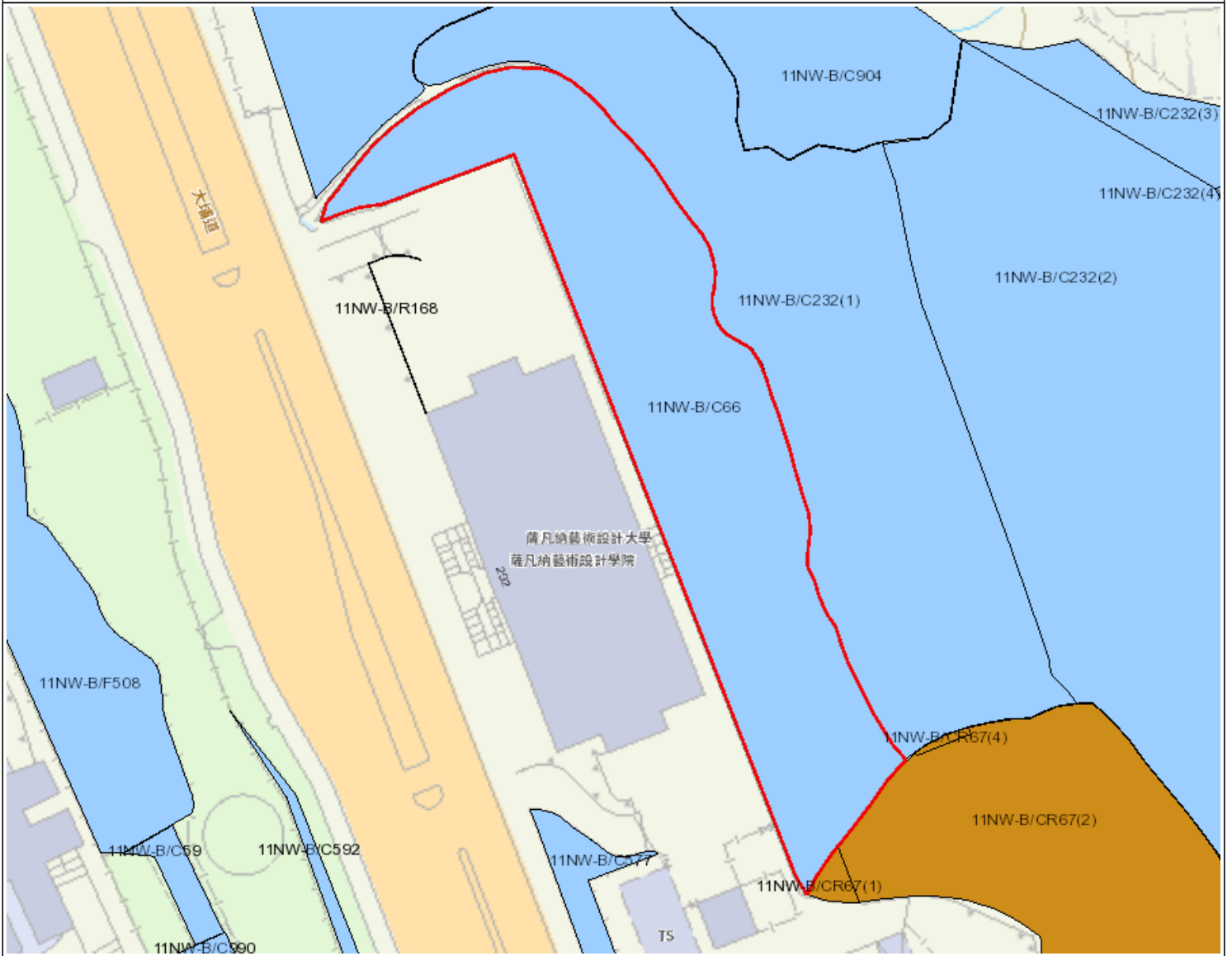
- 完 -

**附註:**

- (i) 附帶之位置圖只作識別斜坡使用。
- (ii) 本斜坡維修及責任報告所載列之斜坡, 可能沒有在附帶之斜坡圖則上顯示。



位置圖



圖例

- 斜坡範圍
- 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
- 政府及私人維修的斜坡



地政總署  
產業管理組

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日期: 10/06/2020

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搜尋條件: 11NW-B/C66



斜坡維修及責任範圍列表

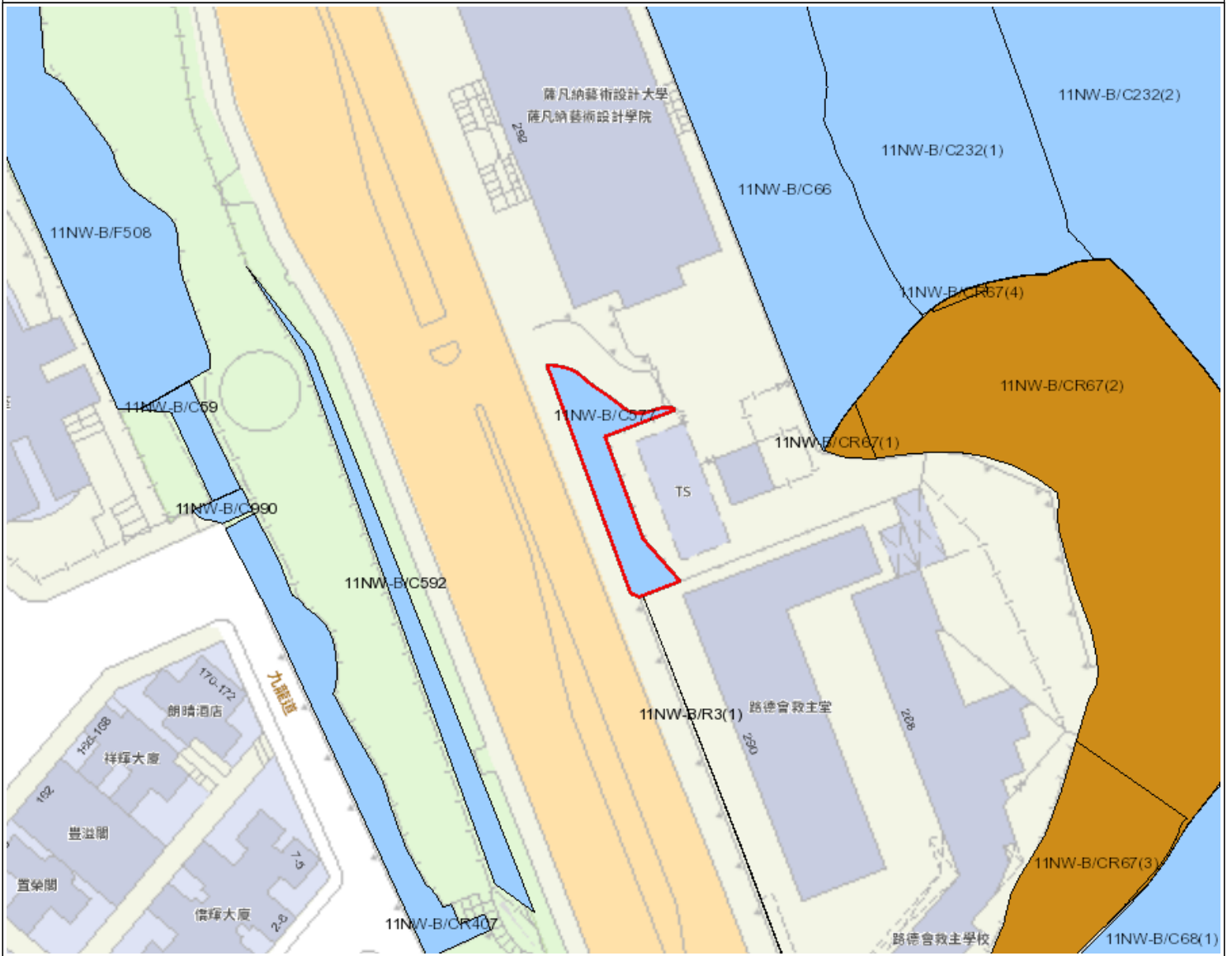
1	11NW-B/C577	斜坡分段編號		不適用
	地點	位於政府撥地第NK757號及其南面角落的政府土地內		
	負責地段/負責方	發展局	維修代理人	建築署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問，請直接與有關維修代理人聯絡。		

- 完 -

附註:

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- (ii) 本斜坡維修及責任報告所載列之斜坡，可能沒有在附帶之斜坡圖則上顯示。

位置圖



圖例

- 斜坡範圍
- 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
- 政府及私人維修的斜坡



地政總署  
產業管理組

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搜尋條件: 11NW-B/C577



斜坡維修及責任範圍列表

1	11NW-B/CR67	斜坡分段編號		1
	地點	部分位於政府撥地第NK 757號內，部分位於政府撥地第NK 739號內，並部分在毗連新九龍內地段第4456號及增批部分的未批撥政府土地上		
	負責地段/負責方	發展局	維修代理人	地政總署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問，請直接與有關維修代理人聯絡。		

- 完 -

**附註:**

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位置圖



圖例

- 斜坡範圍
- - - 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
- 政府及私人維修的斜坡



地政總署  
產業管理組

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搜尋條件: 11NW-B/CR67



斜坡維修及責任範圍列表

1	11NW-B/CR67	斜坡分段編號	2
	地點	部分位於政府撥地第NK 757號內，部分位於政府撥地第NK 739號內，並部分在毗連新九龍內地段第4456號及增批部分的未批撥政府土地上	
	負責地段/負責方	地政總署	維修代理人 地政總署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問，請直接與有關維修代理人聯絡。	

- 完 -

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位置圖



圖例

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- 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
- 政府及私人維修的斜坡



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搜尋條件: 11NW-B/CR67



斜坡維修及責任範圍列表

1	11NW-B/CR67	斜坡分段編號		3
	地點	部分位於政府撥地第NK 757號內，部分位於政府撥地第NK 739號內，並部分在毗連新九龍內地段第4456號及增批部分的未批撥政府土地上		
	負責地段/負責方	新九龍內地段第4456號及增批部分	維修代理人	不適用
	備註	不適用		

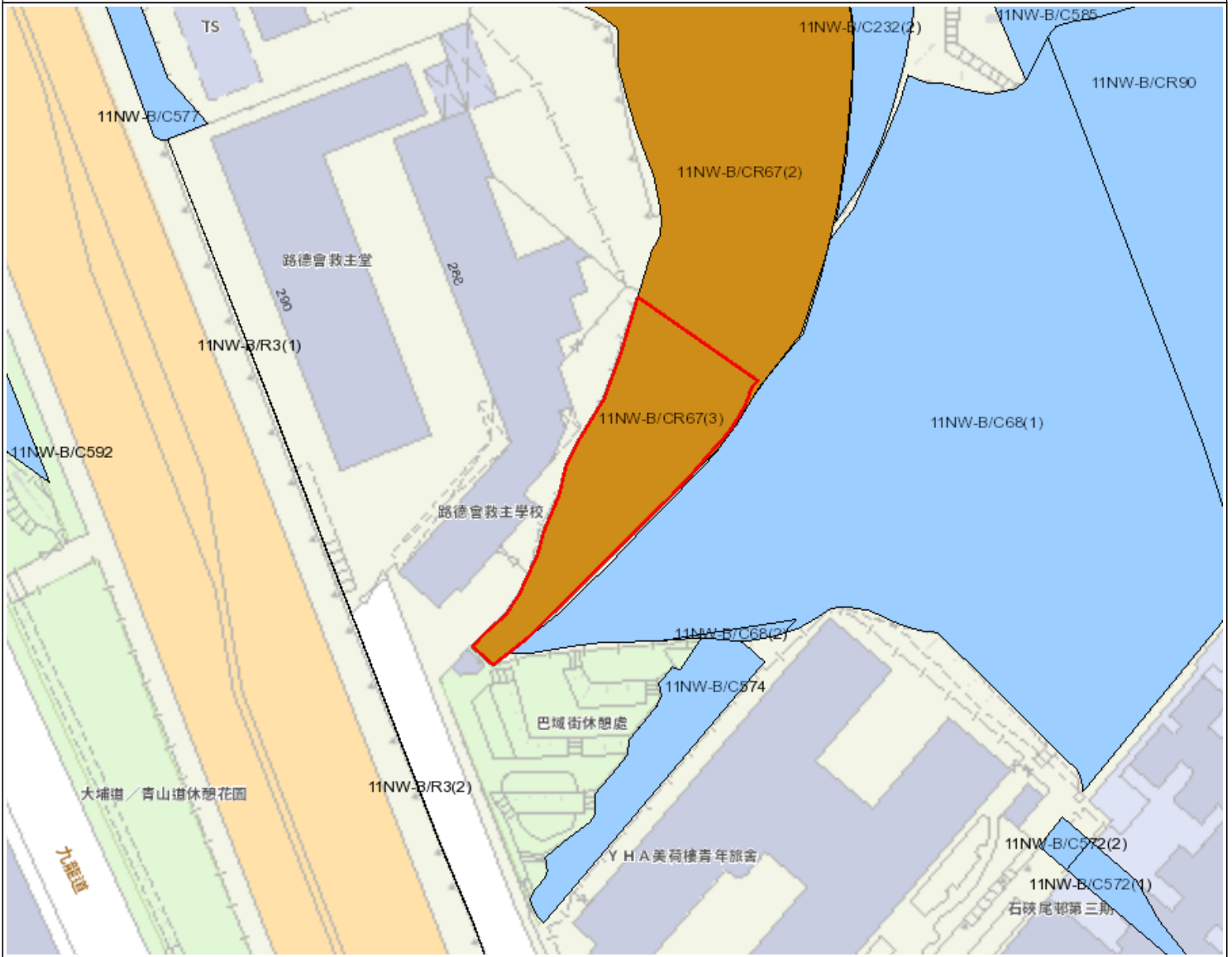
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位置圖



圖例

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- 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
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產業管理組

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搜尋條件: 11NW-B/CR67



斜坡維修及責任範圍列表

1	11NW-B/CR67	斜坡分段編號		4
	地點	部分位於政府撥地第NK 757號內，部分位於政府撥地第NK 739號內，並部分在毗連新九龍內地段第4456號及增批部分的未批撥政府土地上		
	負責地段/負責方	康樂及文化事務署	維修代理人	建築署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問，請直接與有關維修代理人聯絡。		

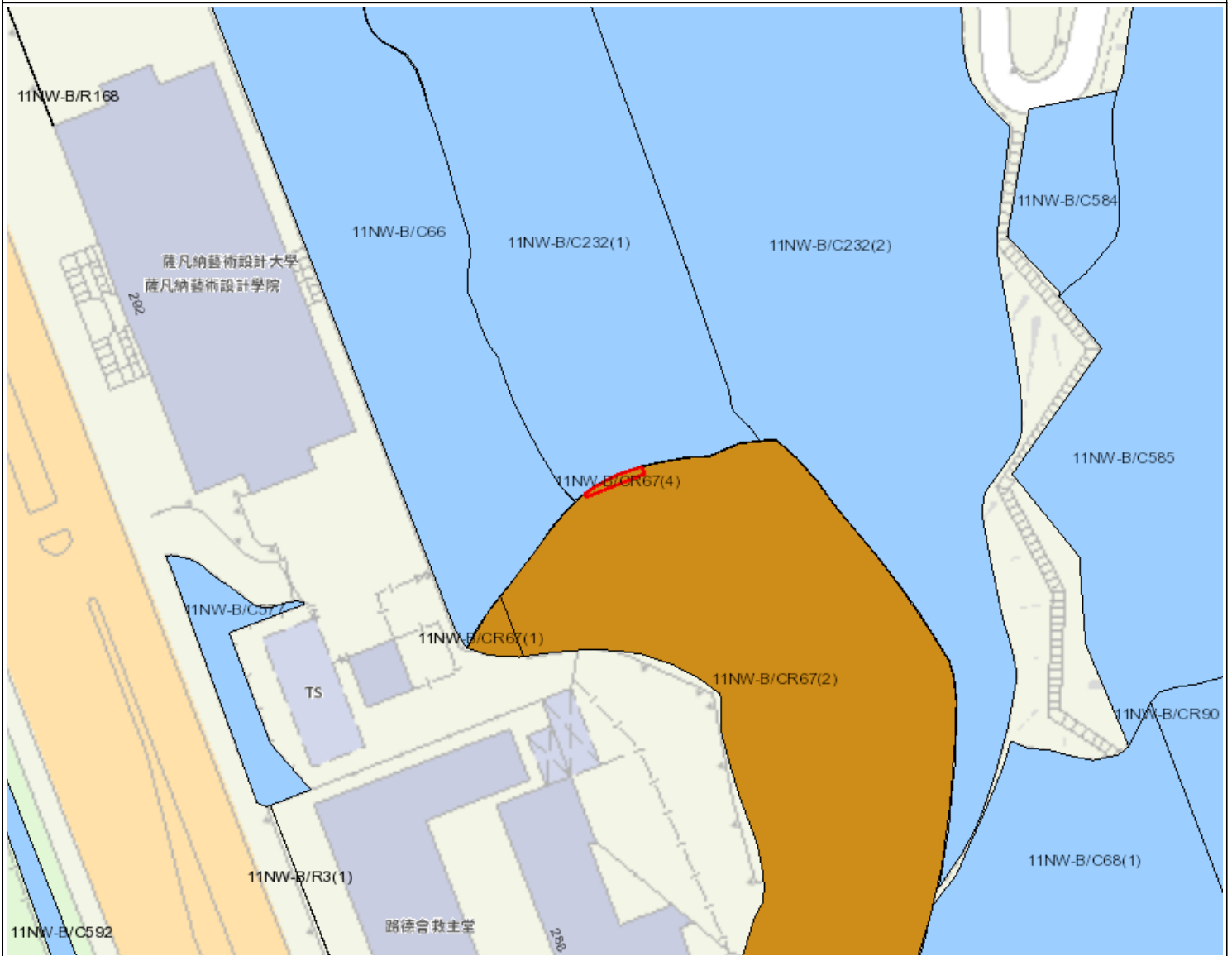
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位置圖



圖例

- 斜坡範圍
- - - - 搜尋位置
- 政府維修的斜坡
- 私人維修的斜坡
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產業管理組

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搜尋條件: 11NW-B/CR67



斜坡維修及責任範圍列表

1	11NW-B/R168	斜坡分段編號		不適用
	地點	位於政府撥地 - 新九龍第757號內，在薩凡納藝術設計學院		
	負責地段/負責方	發展局	維修代理人	建築署
	備註	如欲查詢有關此斜坡 / 斜坡分段的維修疑問，請直接與有關維修代理人聯絡。		

- 完 -

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位置圖



圖例

- 斜坡範圍
- 搜尋位置
- 政府維修的斜坡
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搜尋條件: 11NW-B/R168

附錄 XVI

經常性開支

## 經常性開支

### (A) 電費

可行用途 <sup>(1)</sup>	總樓面面積(平方米)	淨面積/總面積比率	室內樓面面積(平方米)	能源消耗量指標 <sup>(2)</sup> (兆焦耳/平方米/年)	每年能源消耗量 (千瓦小時/年) <sup>(3)</sup>	預算每年電費 (元) <sup>(4)</sup>	能源消耗量是以機電工程署網站內的下列用途分類為基礎 <sup>(2)</sup>
	(a)	(b)	(c)=(a)x(b)	(d)	(e)=(c)*(d)*0.2778		
教育機構	7,673	77.1%	5,913	535	878,807.80	1,163,541.53	成人教育學院/補習社/職業訓練學校
食肆				8,149	13,385,803.28	17,722,803.54	其他飲食場所
康體文娛場所				2,958	4,858,903.68	6,433,188.47	商業樓宇/商場公用地方
研究所、設計及發展中心				437	717,829.92	950,406.81	創作及表演藝術

#### 註:

- (1) 上表假設辦公時間配合一般營運模式，如：10 小時。
- (2) 有關「能源消耗量指標」請參閱網站：  
<https://ecib.emsd.gov.hk/index.php/hk/energy-utilisation-index-hk/commercial-sector-hk>
- (3) 1兆焦耳 x 0.2778 = 1千瓦小時
- (4) 電則以中華電力有限公司（中電）的收費為基數。  
中電：每個單位收費@\$1.016。燃料價條款調整收費為每單位收費\$0.308。  
1單位= 1千瓦小時。  
預算每年電費只供提出申請時作預算成本用途。  
實際收費須按當時的電費及實際消耗量而定。

## (B) 水費及排污費

可行用途 <sup>(1)</sup>	總樓面面積 (平方米) (a)	淨面積 / 總面積 比率 (b)	室內樓面面積 (平方米) (c) = (a) x (b)	預算每月水費及 排污費 (元) (d)	預算每年水費及排污費 (元) <sup>(2)</sup> (e) = (d) x 12
教育機構	7,673	77.1%	5,913	(d) = (c) x \$0.3 <sup>(1)</sup> 1,773.9	21,286.8
食肆				(d)=(請參閱附註 3) 16,524	198,288
康體文娛場所				(d) = (c) x \$0.3 <sup>(1)</sup> 1,773.9	21,286.8
研究所、設計及 發展中心				(d) = (c) x \$0.3 <sup>(1)</sup> 1,773.9	21,286.8

### 註:

- (1) 根據政府產業署發表的標準辦公地方費用表，政府擁有的辦公室的預算每月水費及排污費為每平方米 0.3 元。按照上述預算，假設下列地方的每平方米用水量如下：教育機構或訓練設施、展覽或會議廳或郊野學習／教育／遊客中心 = 辦公室
- (2) 預算水費及排污費只供提出申請時作成本預算用途。申請機構可按情況參考其他資料來源。實際收費須按當時的收費及實際消耗量而定。
- (3) 食物及飲品製造廠及商店及服務行業的預算每月水費及排污費為  
[洗手盤數量 x 作業時間(小時) x 每秒用水量(公升) x 每小時(秒) x 預算每平方米的用水費及排污費 x 服務每月的營業日 =  
(i) x (ii) x 3600 x (iii) x 30 = 127.5 x 0.00016 x 3600 x 7.5 x 30 = 16,524
  - (i) 假設每天有 30 個洗手盤運作及有以下假設：
    - a) 營業時間 = 12 小時  
[總耗水量 - (0900 - 1200 (45 分鐘) + 1200 - 1500 (80 分鐘.) + 1500 - 1800(70 分鐘.) + 1800 - 2100 (60 分鐘.) = 255 分鐘)]
    - b) 255 分鐘 X 30 個洗手盤運作 = 7,650 分鐘 (127.5 小時)
  - (ii) 水龍頭的流量一秒 0.16 升  
(根據 Members of Intuition of Plumbing Engineers Guide)，所以水龍頭流量為每秒 0.00016 立方米。
  - (iii) 根據水務署發表的標準辦公地方費用表，餐飲服務的預算每月水費及排污費為每立方米 4.58 元及 2.92 元。所以水費及排污費為每立方米 7.5 元。
  - (iv) 假設餐飲服務每月營業 30 天。



(C) 預計價格與租金

可行用途 <sup>(1)</sup>	總樓面面積 (平方米)	用地面積 (平方米)	應課差餉租值 <sup>(1)</sup> (元)	差餉/每年 (元)	地租/每年 (元)	差餉及地租/每年(元)
			(a)	(b) = (a) x 5%	(c) = (a) x 3%	(d) = (b) + (c)
教育機構	7,673	4,815	11,520,000	576,000	345,600	921,600
食肆						
康體文娛場所						
研究所、設計及發展中心						

**註:**

- (1) 應課差餉租值是根據可行用途而作出的粗略估計，並供提出申請時作預算成本用途。應課差餉租值的實際評估會視乎每幢歷史建築的實際用途、營運模式、翻新工程的規模、實際樓面面積等。應課差餉租值會視乎差餉物業估價署每年所定的重估價值。